



**COURT  
ATKINS  
GROUP**

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BLUFFTON, SC 29910  
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ISSUED FOR HPC REVIEW

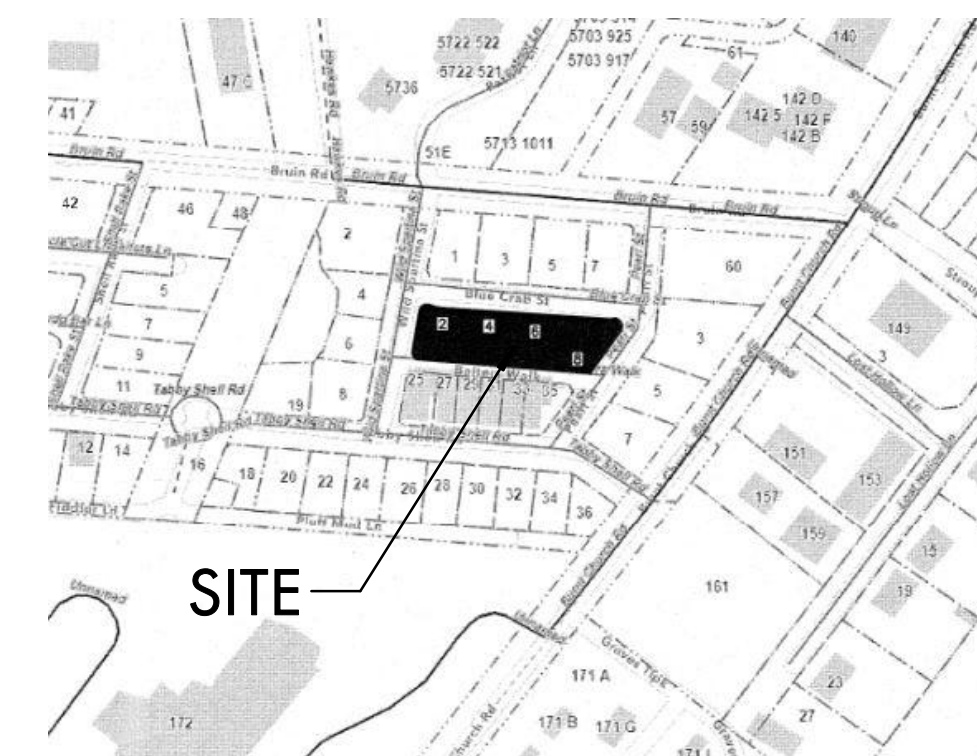
# LOT 51 - BLUE CRAB PRIVATE RESIDENCE

4 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

## SHEET INDEX:

A0.0	COVER
A0.1	GENERAL NOTES
A1.0	SITE PLAN
A1.1	SITE PLAN - MOBILIZATION
A2.0	FOUNDATION PLAN
A2.1	FIRST FLOOR PLAN
A2.2	SECOND FLOOR PLAN
A2.3	ROOF PLAN
A3.0	BUILDING ELEVATIONS
A3.1	BUILDING ELEVATIONS
A3.2	BUILDING ELEVATIONS WITH BRICK FENCE
A4.0	BUILDING SECTIONS
A4.1	BUILDING SECTIONS
A5.0	DETAILS
A5.1	DETAILS
A5.2	DETAILS
A5.3	DETAILS
A5.4	DETAILS
A6.0	DOOR AND WINDOW SCHEDULE
A8.1	Unnamed
E2.1	FIRST FLOOR ELEC. PLAN
E2.2	SECOND FLOOR ELEC. PLAN
SURVEY	

## VICINITY MAP - N.T.S.



## PROJECT INFORMATION:

NAME OF PROJECT: LOT 51 - BLUE CRAB PRIVATE RESIDENCE  
ADDRESS: 4 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

PROPOSED USE: SINGLE FAMILY RESIDENCE  
OWNER / CONTACT PERSON: PATRICK MASON  
CODE ENFORCEMENT JURISDICTION: TOWN OF BLUFFTON

INTERNATIONAL RESIDENTIAL CODE (IRC): 2021  
INTERNATIONAL ENERGY CONSERVATION CODE: 2009

### DESIGNER OF RECORD:

DESIGNER	NAME	LICENSE NO.	TELEPHONE NO.
Architectural	COURT ATKINS ARCHITECTS	#100019	(843) 815-2557
Electrical			
Plumbing			
Mechanical			
Structural			
Civil			
Landscape	MARIA GHYS DESIGNS LLC	#1663	843-816-2565

## GENERAL NOTES:

NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNER'S REPRESENTATION AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENT ENGINEERING DOCUMENTS.

- THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.
- SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.
- SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
- SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER / OWNER'S REPRESENTATIVES.
- BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.
- THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- THE ARCHITECT HAS NOT BEEN CONTRACTED TO PERFORM CONSTRUCTION ADMINISTRATION/ ON-SITE OBSERVATION FOR THIS PROJECT.
- FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD-ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL AS-BUILT INFORMATION TO THE ARCHITECT IN CLEAR AND LEGIBLE FORMAT.
- SIGNS SHALL BE LIMITED TO THE PROJECT IDENTIFICATION SIGN. THE IDENTIFICATION SIGN SHALL IDENTIFY THE PROJECT, THE ARCHITECT AND THE CONTRACTOR.
- INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.
- WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

## BUILDING AREA:

### MAIN HOUSE TOTAL SF

First Floor	
Heated and Cooled:	1,488 sq.ft.
Covered and Enclosed:	464 sq.ft.
Second Floor	
Heated and Cooled:	1,371 sq.ft.
Covered and Enclosed:	477 sq.ft.
<b>Total Gross Area:</b>	<b>3,800 sq.ft.</b>

### CARRIAGE HOUSE TOTAL SF

Bonus -Heated and Cooled:	346 sq.ft.
Garage-Covered and Enclosed:	540 sq.ft.
<b>Total Gross Area:</b>	<b>886 sq.ft.</b>

## BUILDING DATA:

OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3  
MIXED OCCUPANCY: Yes  No  Separation  Hr.

CONSTRUCTION TYPE: I-A  I-B  II-A  II-B   
III-A  III-B  IV  V-A  V-B

MIXED CONSTRUCTION: Yes  No  Type   
SPRINKLERED: Yes  No   
FIRE DISTRICT: Yes  No   
BUILDING HEIGHT: 30'-6"  A.F.F. Number of Stories: 2  
MEZZANINE: Yes  No   
HIGH RISE: Yes  No



N.T.S.

LOT 51 - BLUE CRAB PRIVATE  
RESIDENCE  
4 BLUE CRAB STREET - TABBY  
ROADS, BLUFFTON, SC  
29910

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### PROJECT INFO

Date: 02.04.2026

Project No.: 25-072

### ISSUE

NO. REV. DATE DESCRIPTION

## CONSTRUCTION ADMIN.:

THIS WRITTEN NOTICE REQUIRED BY SOUTH CAROLINA REGULATIONS TO THE PERMITTING AUTHORITY AND BUILDING OWNER THAT THE ARCHITECTS WILLIAM COURT AND JAMES ATKINS HAVE NOT BEEN HIRED TO PROVIDE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES ON THE FOLLOWING PROJECT.

REGULATION 11-12.B.4 AND 5 STATE:

(4) ON A PROJECT WHERE A BUILDING PERMIT HAS BEEN ISSUED AND THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM AT LEAST MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SUBSECTION (5) BELOW, THE SEALING ARCHITECT AND FIRM MUST REPORT TO THE PERMITTING AUTHORITY AND THE BUILDING OWNER THAT HE AND THE FIRM HAVE NOT BEEN SO ENGAGED.

(5) THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES EXPECTED OF THE SEALING ARCHITECT AND FIRM DEEMED NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC SHALL BE PERIODIC SITE OBSERVATIONS OF THE CONSTRUCTION PROGRESS AND QUALITY, REVIEW OF CONTRACTOR SUBMITTAL DATA AND DRAWINGS, AND REPORTING TO THE BUILDING OFFICIAL AND OWNER ANY VIOLATIONS OF CODES OR SUBSTANTIAL DEVIATIONS FROM THE CONTRACT DOCUMENTS WHICH THE ARCHITECT OBSERVED.

### SHEET TITLE

COVER

**A0.0**



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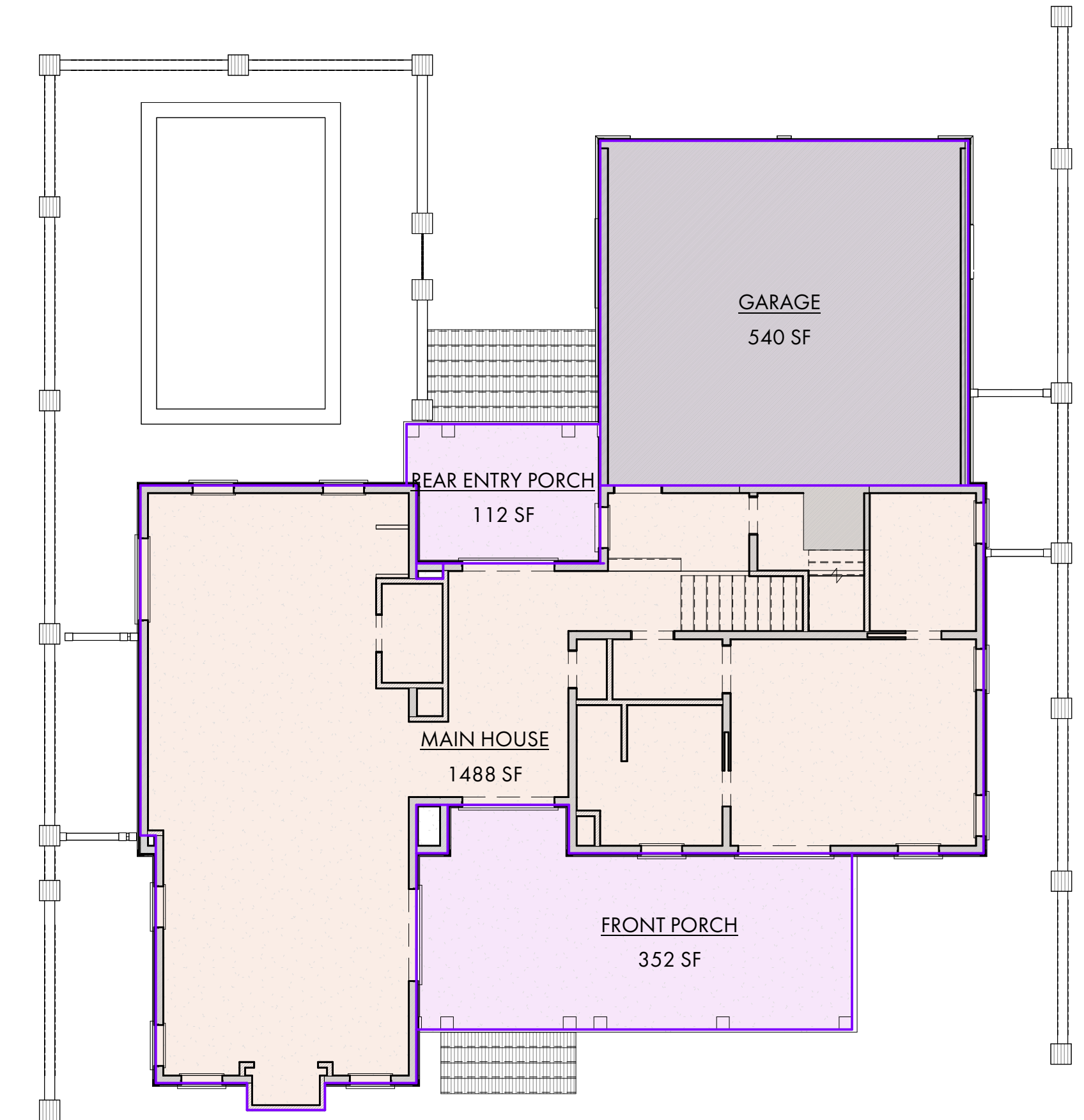
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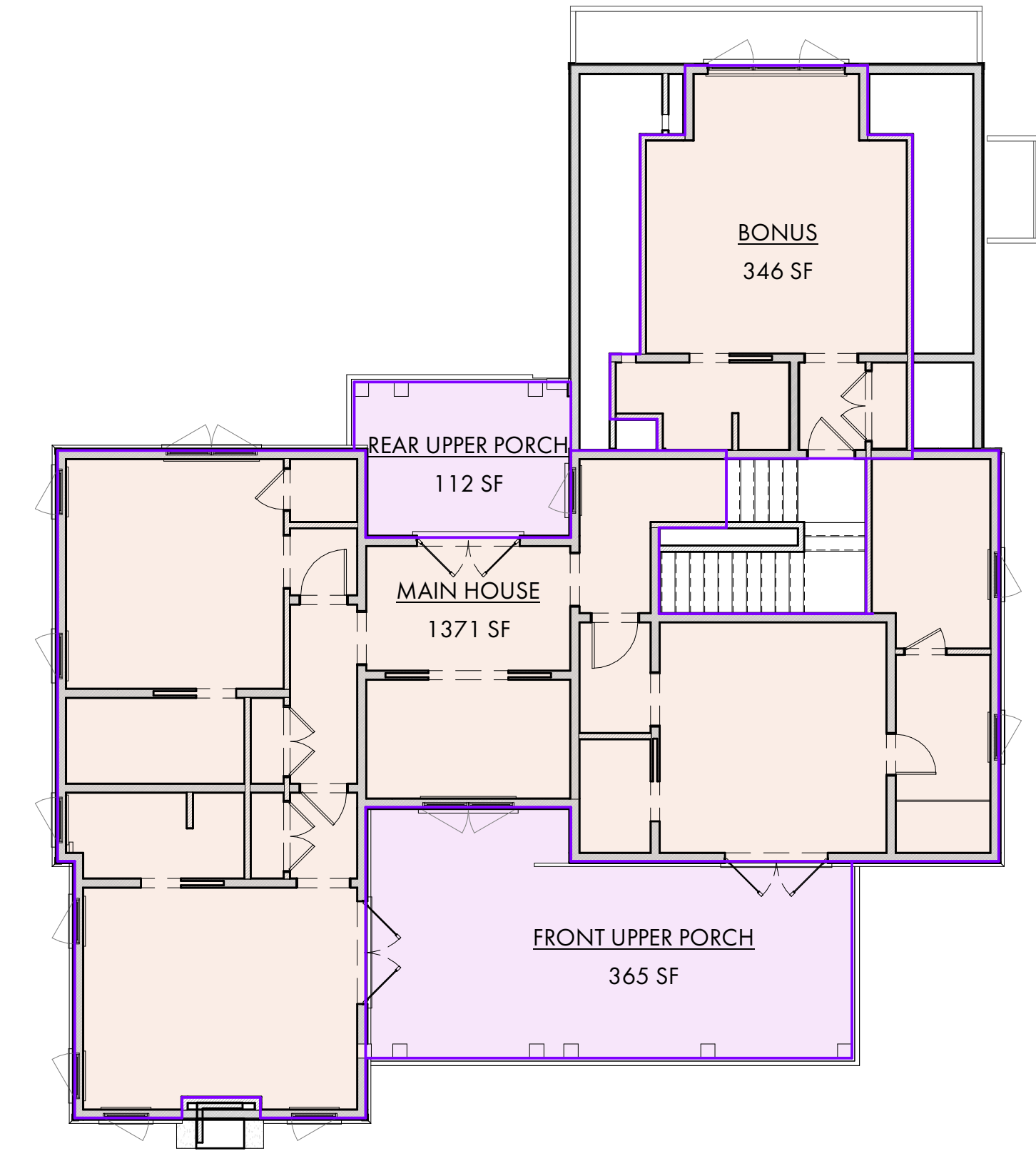


**MAIN HOUSE TOTAL SF**

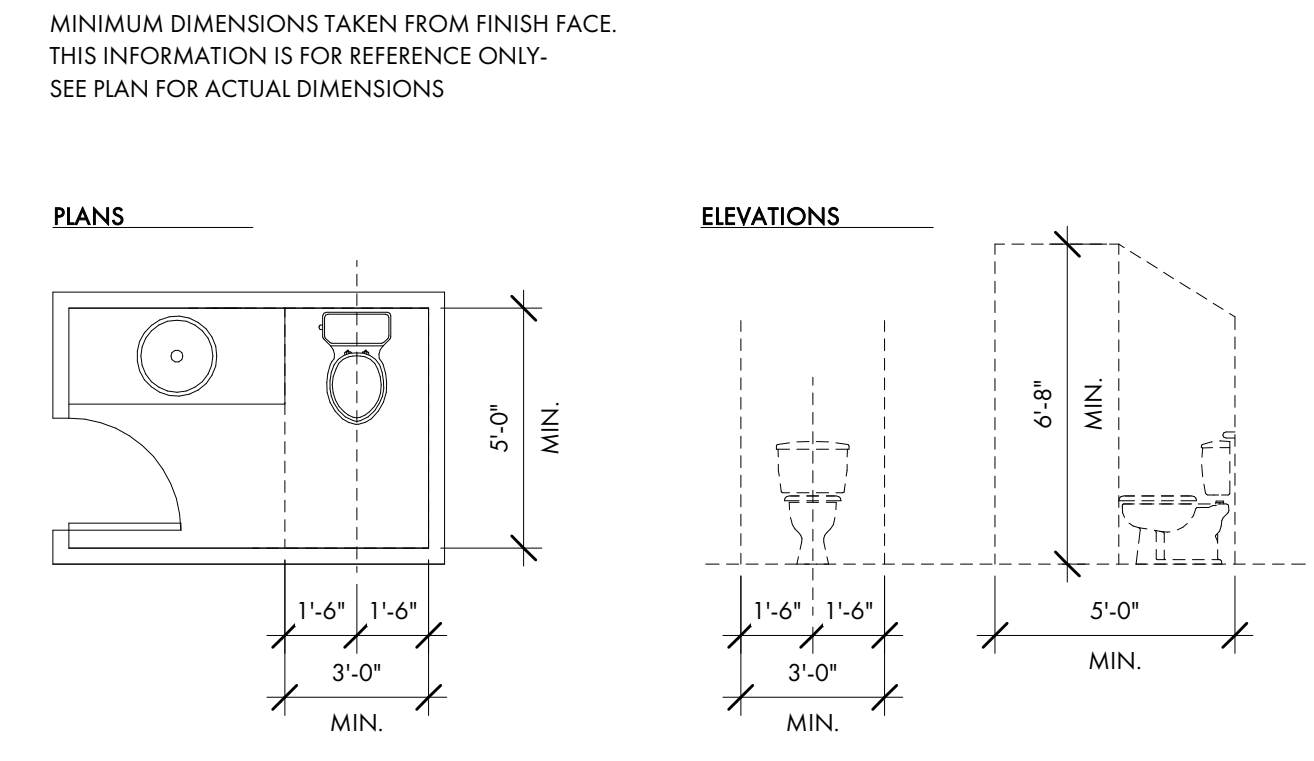
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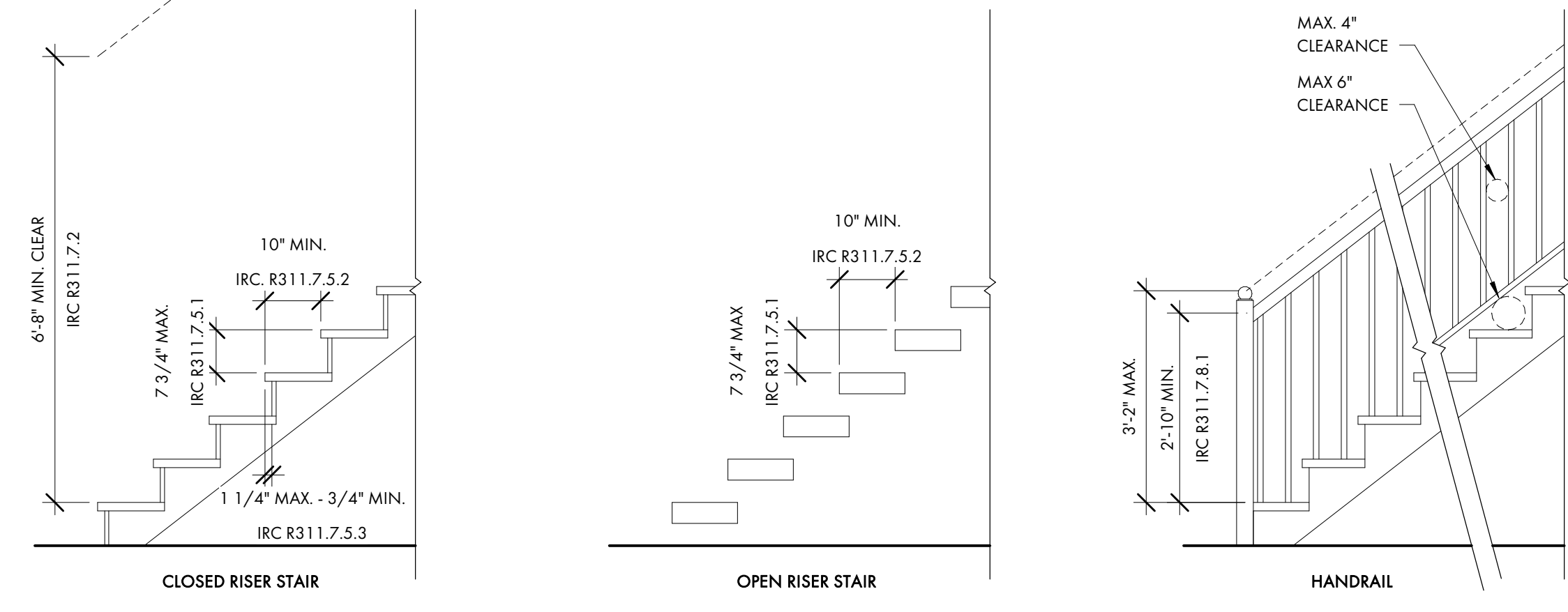
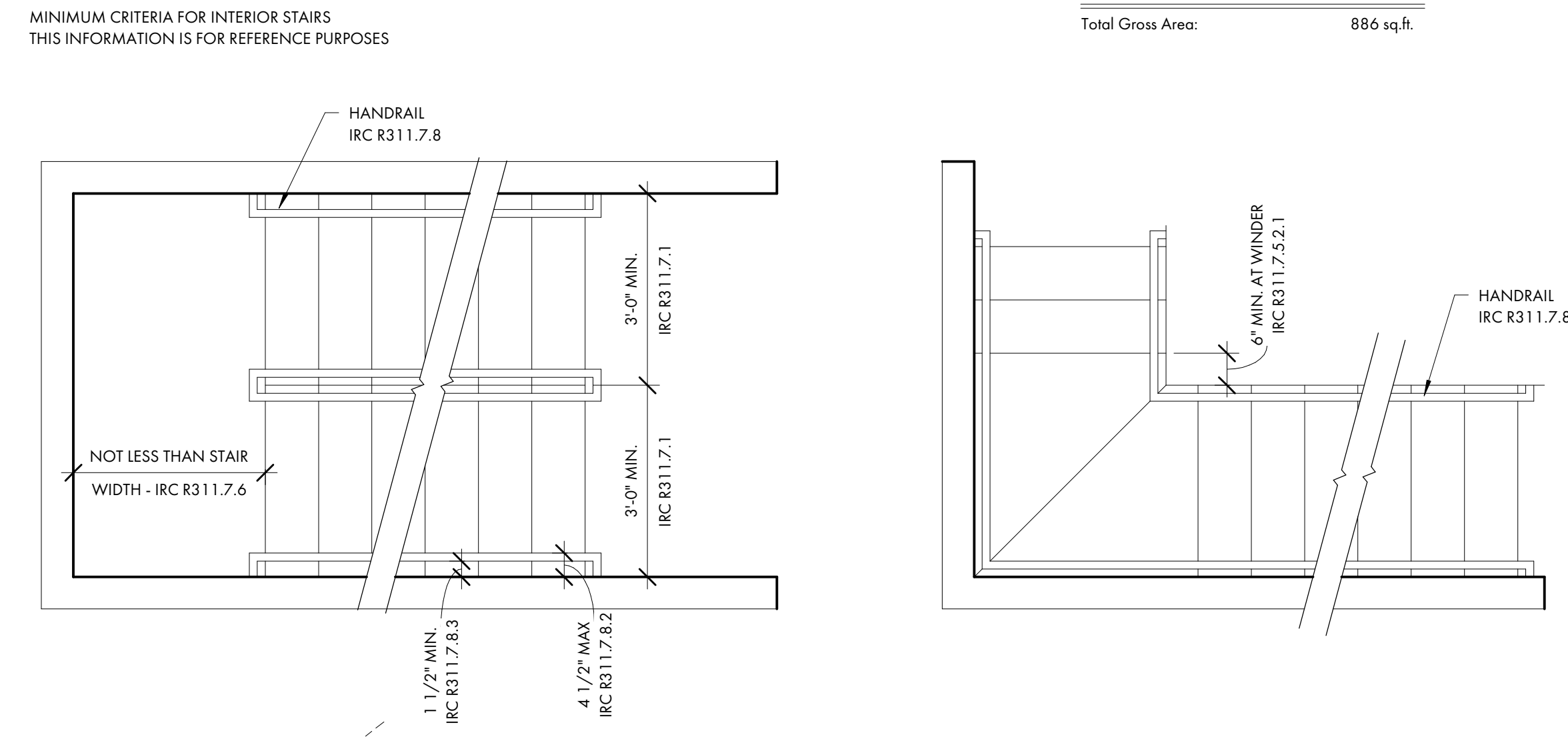
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TYP. RESTROOM CLEARANCES



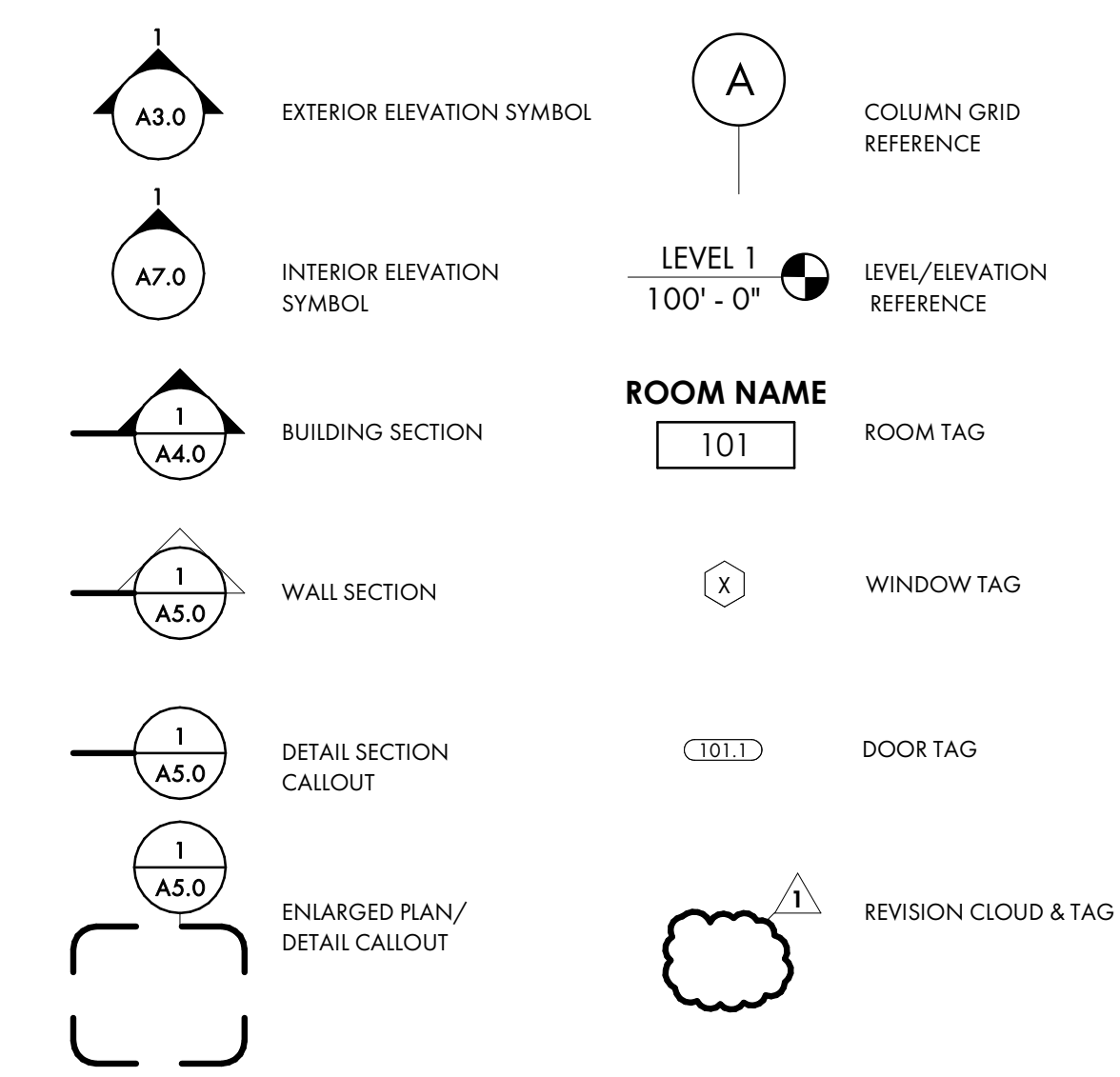
STAIR CRITERIA



ABBREVIATIONS

AB	ANCHOR BOLT	JNT	JOINT
ABV	ABOVE	KS	KNEE SPACE
AFF	ABOVE FINISH FLOOR	LAM	LAMINATE
ASF	ABOVE SUBFLOOR	LL	LINE LOAD
A/C	AIR CONDITIONER	LT	LIGHT
AHU	AIR HANDLING UNIT	LIN	LINEN
ALUM	ALUMINUM	MA	MASONITE
AMSL	ABOVE MEAN SEA LEVEL	MAS	MASONRY
APPROX	APPROXIMATE	MAX	MAXIMUM
A/V	AUDIO/VISUAL	MECH	MECHANICAL
BD	BOARD	MED	MEDIUM
BF	BI-FOLD	MFR	MANUFACTURER
BIKG	BLOCKING	MID	MIDDLE
BLDG	BUILDING	MIN	MINIMUM
B.O.	BOTTOM OF	MISC	MISCELLANEOUS
BOD	BASIS OF DESIGN	MUL	MILLION
BRG	BEARING	N/A	NOT APPLICABLE
BTW	BETWEEN	N.I.C.	NOT IN CONTRACT
CAB	CABINET	NTS	NOT TO SCALE
CANT	CANTILEVER	OC	ON CENTER
CJ	CENTER	OH	OVERHANG
CL	CEILING JOIST	OPNG	OPENING
CLG	CENTERLINE	OSB	ORIENTED STRAND BOARD
CLG	CEILING	PEMB	PRE-ENGINEERED METAL BLDG
CO	CASED OPENING	PL	PLATE
COL	COLUMN	PNL	PANEL
CONC	CONCRETE	PNT	PAINT
CT	CERAMIC TILE	PR	PAIR
DBL	DOUBLE	PT	PRESSURE TREATED
DEMO	DEMOLISH	PVC	POLYVINYLCHLORIDE
DH	DOUBLE HUNG	PVMT	PAVEMENT
DIA	DIAMETER	PLY	PLYWOOD
DIM	DIMENSION	PWDR	POWDER ROOM
DIST	DISTANCE	R	RISER
DN	DOWN	R & S	ROD & SHELF
DP	DESIGN PRESSURE	RAG	RETURN AIR GRILL
DR	DOOR	REF	REFRIGERATOR
DW	DISHWASHER	REQ'D	REQUIRED
DWG	DRAWING	RM	ROOM
EA	EACH	R.O.	ROUGH OPENING
ELEV	ELEVATION	RV	RIDGE VENT
ELEC	ELECTRICAL	SCHED	SCHEDULE
EQ	EQUAL	SECT	SECTION
EQUIP	EQUIPMENT	SF	SQUARE FEET
ETR	EXISTING TO REMAIN	SH	SHelf
EXST	EXISTING	SIM	SIMILAR
EXT	EXTERIOR	SPEC	SPECIFICATION
FD	FLOOR DRAIN	SQ	SQUARE FEET
FDIN	FOUNDATION	STD	STANDARD
FF	FIRST FLOOR	STL	STEEL
FEE	FINISH FLOOR ELEVATION	STOR	STORAGE
FIN	FINISH	SYS	SYSTEM
FIX	FIXTURE	T	TREAD
FLX	FLUORESCENT	T.B.D.	TO BE DETERMINED
FLR	FLOOR	TR	TREAD
FRZ	FREEZER	T & G	TONGUE & GROOVE
FRMG	FRAMING	TEL	TELEPHONE
FT	FEET	TEMP	TEMPORARY/TEMPERATURE
FTG	FOOTING	THK	THICK
GA	GAUGE	T.O.	TOP OF
GALV	GALVANIZE	TV	TELEVISION
G.C.	GENERAL CONTRACTOR	TYP	TYPICAL
GHI	GROUND FAULT INTERRUPTER	UC	UNDERCOUNTER
GL	GLASS	UNFIN	UNFINISHED
GYP	GYPsum	U.N.O.	UNLESS NOTED OTHERWISE
HB	HOSE BIBB	U.O.N.	UNLESS OTHERWISE NOTED
HDR	HEADER	VB	VAPOR BARRIER
HORIZ	HORIZONTAL	VER	VERIFY
HT	HEIGHT	V.I.F.	VERIFY IN FIELD
HVAC	HEATING, VENTILATION & AIR CONDITIONING	VERT	VERTICAL
IN	INCH	W/D	WASHER-DRYER
INCL	INCLUDE	WH	WATER HEATER
INSUL	INSULATION	WWF	WELDED WIRE FABRIC
INT	INTERIOR		
IRC	INTERNATIONAL RESIDENTIAL CODE		
JST	JOIST		

REFERENCE SYMBOLS





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PROJECT INFO

NO.	REV.	DATE	DESCRIPTION

SHEET TITLE

SITE PLAN CALCS:

TOTAL LOT AREA	5,143 SQ. FT.
BUILDING FOUNDATION FOOTPRINT	2,548 SQ. FT.
WALKS & DRIVES (50% IMPERVIOUS)	378 SQ. FT.
BRICK WALKS (IMPERVIOUS)	186 SQ. FT.
POOL & TERRACE (IMPERVIOUS)	631 SQ. FT.
IMPERVIOUS COVER (LOT AREA)	3,743 SQ. FT.
IMPERVIOUS TO LOT RATIO	72%

SITE PLAN NOTES:

OWNER TO PROVIDE TREE AND TOPOGRAPHIC SURVEY W/ FLOOD PLAIN INFORMATION UNDER SEPARATE COVER.

GENERAL CONTRACTOR NOTE:  
ADJUST TOP OF SLAB, WALL AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

GRADING INFORMATION IS INCLUDED FOR SCHEMATIC REFERENCE ONLY. LANDSCAPE ARCHITECT TO PROVIDE GRADING AND DRAINAGE PLANS IN ACCORDANCE WITH NEIGHBORHOOD GUIDELINES.

SITE PLAN LOCATION AND DIMENSIONS ARE APPROXIMATE. G.C. TO COORDINATE ACTUAL BUILDING LOCATION WITH FOUNDATION AND FRAMING PLANS.

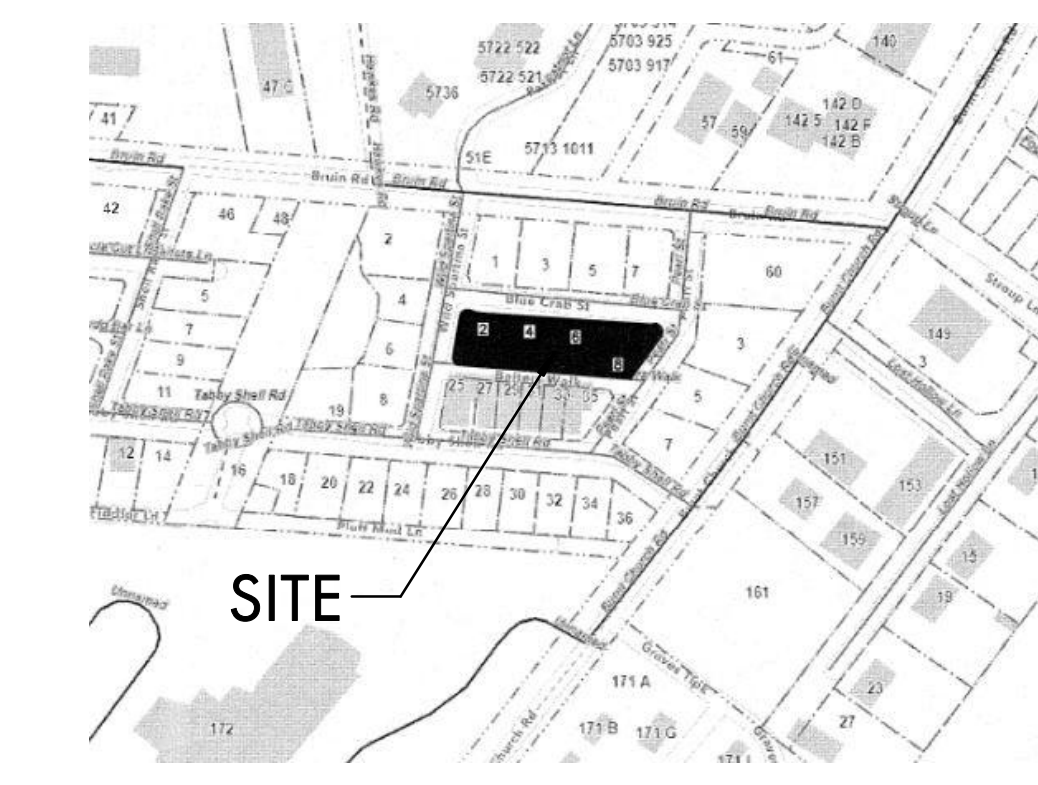
SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

TREE BARRICADE PROCEDURES:  
ALL TREES TO BE PROTECTED WITH A 5'-0" HIGH FENCE FRAMED WITH 2x4'S AND ORANGE PROTECTION MATERIAL (ALL TREES WHERE BARRICADING IS INDICATED).

SEE LANDSCAPE PLANS FOR FINAL:  
- SITE MOBILIZATION & TREE PROTECTION  
- GRADING  
- TREE REMOVAL  
- DRIVE, WALK & TERRACE LAYOUTS  
- HARDSCAPE DETAILS

TREE LEGEND

- WHIOK - WHITE OAK
- LAOK - LAUREL OAK
- LOK - LIVE OAK
- WOK - WATER OAK
- ROK - RED OAK
- PCAN - PECAN
- MAG - MAGNOLIA
- HIC - HICKORY
- MPL - MAPLE
- PLM - PALMETTO
- CHY - CHERRY
- HLY - HOLLY
- CDR - CEDAR
- RDB - RED BUD
- SAS - SASSAFRAS
- DOG - DOGWOOD
- SB - SUGARBERRY
- P - PINE
- G - GUM
- B - BAY



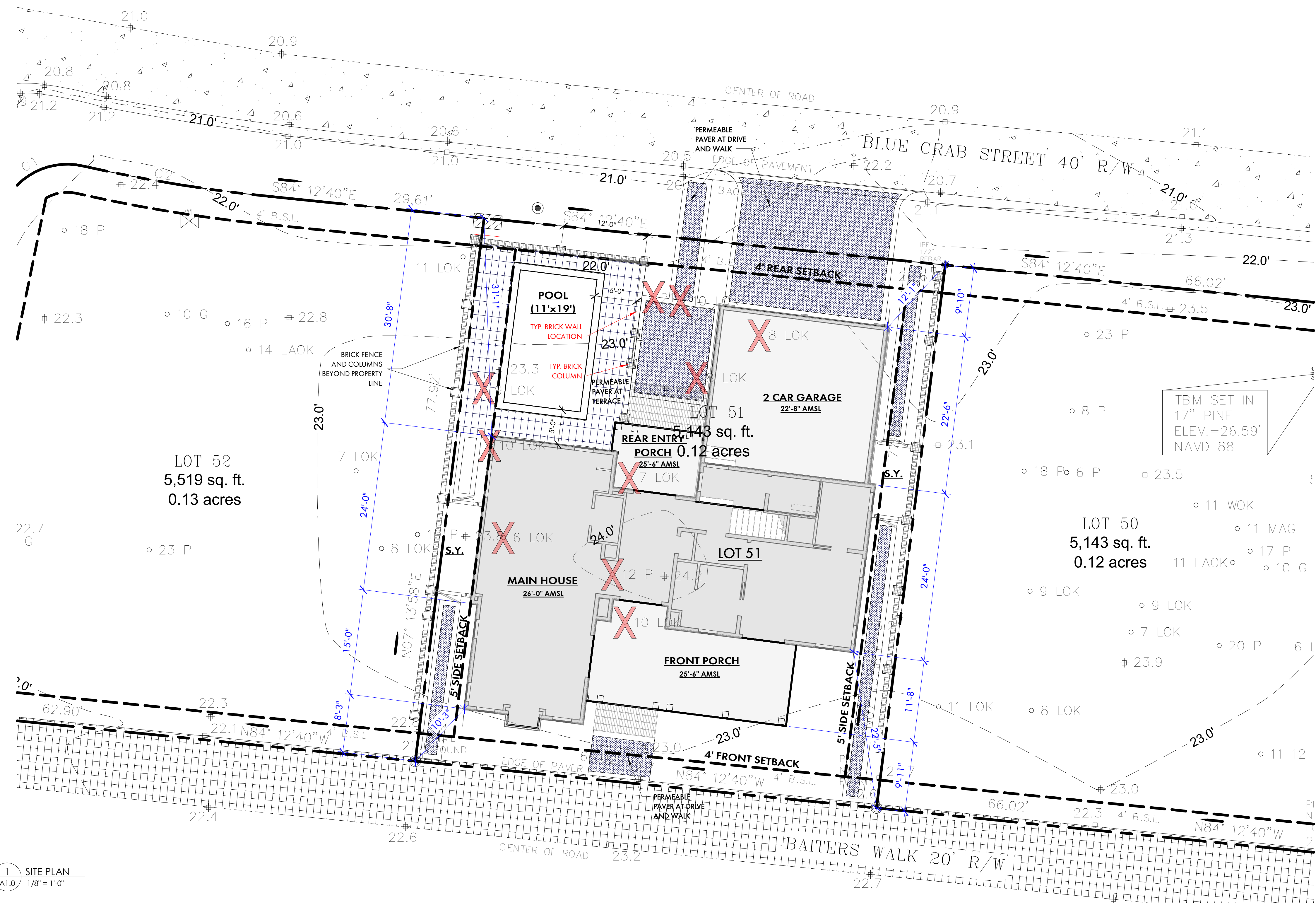
Notes:

- According To FEMA Flood Insurance Rate Map # 45013C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A Ft. NAVD88
- This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
- This Survey Was Performed Without The Benefit Of A Wetland Delineation.
- All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

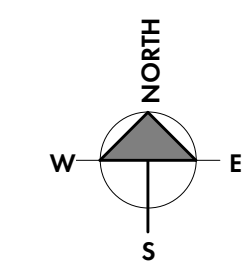
Reference Plats:  
PLAT BOOK 142 AT PAGE 119

LEGEND

- CMS - CONCRETE MONUMENT SET
- CMF - CONCRETE MONUMENT FOUND
- IPS - IRON PIN SET
- IPF - IRON PIN FOUND
- # - INDICATES STREET ADDRESS
- TBM - TEMPORARY BENCH MARK
- BSL - BUILDING SETBACK LINE
- - TELEPHONE PEDESTAL/ COMMUNICATOR
- - SEWER LATERAL
- - SANITARY SEWER MANHOLE
- - ELECTRIC BOX
- ⊕ - SPOT ELEVATION SHOTS
- - CONTOUR LINES
- ▨ - XFMR - TRANSFORMER
- - WATER LATERAL
- ⊕ - WATER METER
- ⊕ - IRRIGATION CONTROL VALVE
- ⊕ - FIRE HYDRANT
- ⊕ - GRATE INLET
- ⊕ - POWER POLE
- O.H.P.L. - OVER HEAD POWER LINE
- - GUY LINE
- ⊕ - LIGHT POLE
- ⊕ - STORM DRAIN MANHOLE
- ⊕ - FIBEROPTICS MANHOLE
- ⊕ - PROPANE TANK



1 SITE PLAN  
A1.0 1/8" = 1'-0"





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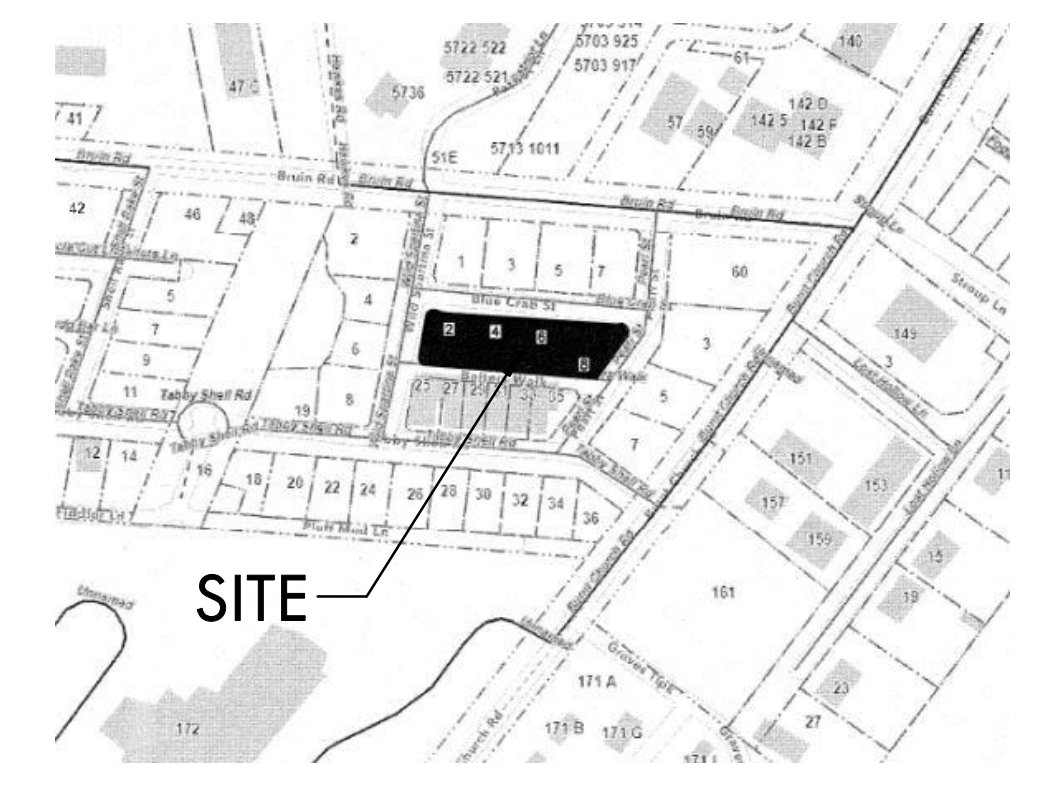
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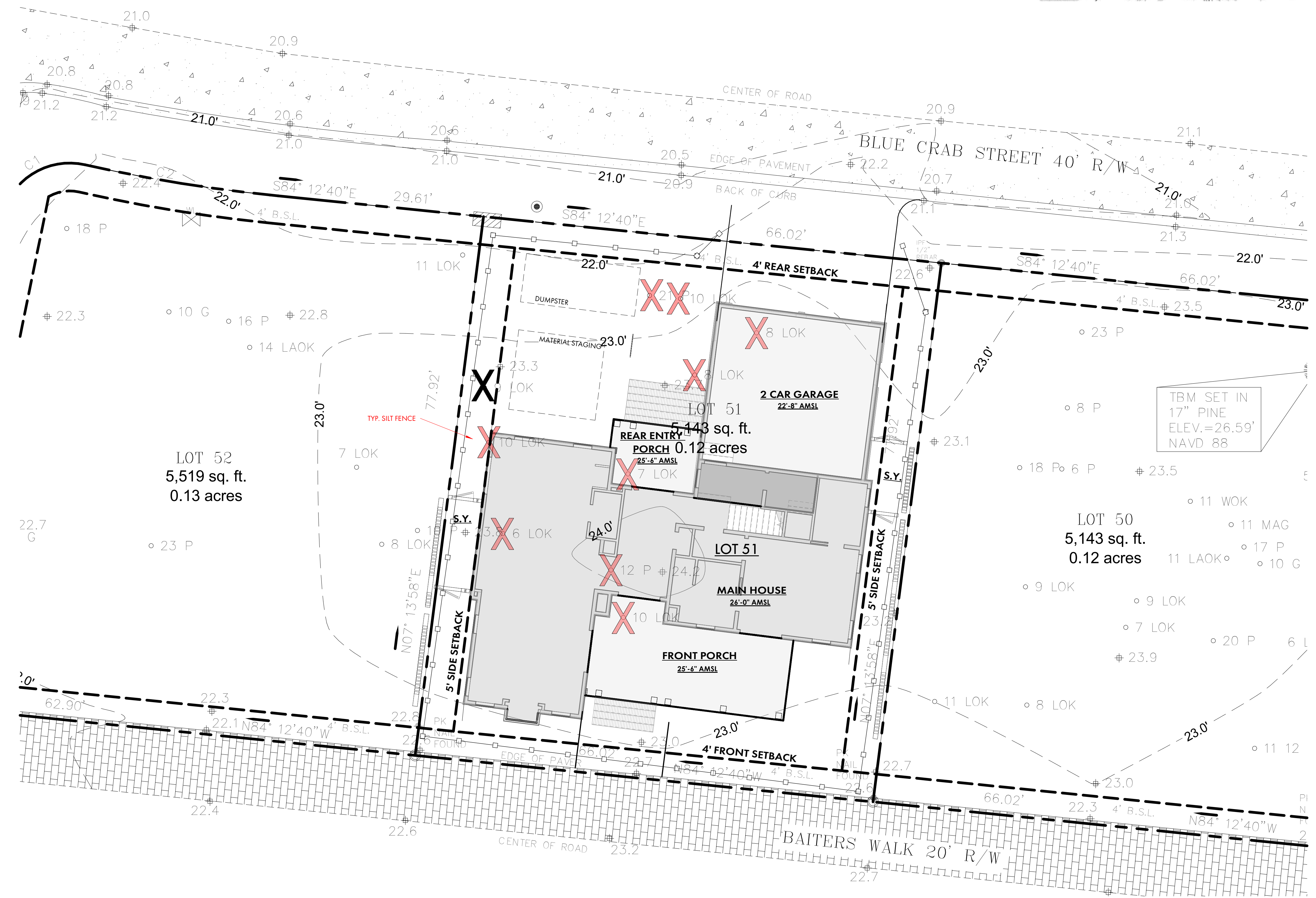
SITE PLAN -  
MOBILIZATION



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- P - PINE
- G - GUM
- B - BAY

1 SITE PLAN - MOBILIZATION  
A1.1 1/8" = 1'-0"



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FOUNDATION PLAN NOTES:  
SEE COVER PAGE FOR NOTES AND LIMITATIONS TO  
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GENERAL CONTRACTOR NOTE:  
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS  
REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR  
EXISTING SITE CONDITIONS.

G.C. / OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND  
PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR  
TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:  
ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING  
AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.N.O. G.C. TO  
COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK  
LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.  
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY  
DISCREPANCIES.

FOUNDATION NOTES:  
STRUCTURAL ENGINEERING DOCUMENTS SUPERCEDE ARCH.  
DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF  
STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL  
ENGINEER, OR STRUCTURAL DRAWINGS, FOUNDATION IS TO BE AS  
FOLLOWS:

AT ALL RETAINING/FOUNDATION WALL LOCATIONS WITH FILL,  
WALLS TO BE CMU WITH BITUMINOUS COATING AND VERTICAL  
DRAINAGE MAT (ENKADRAIN) ON THE DIRT SIDE, GRAVEL BASE, AND  
DRAINAGE PIPE WITH SLEEVE DISCHARGE TO EXTERIOR. SLOPE ALL  
WATER/DRAINAGE TO EXTERIOR OF RETAINING WALL.

TYPICAL THICKENED SLAB:  
SEE STRUCTURAL ENGINEERING DOCUMENTS.

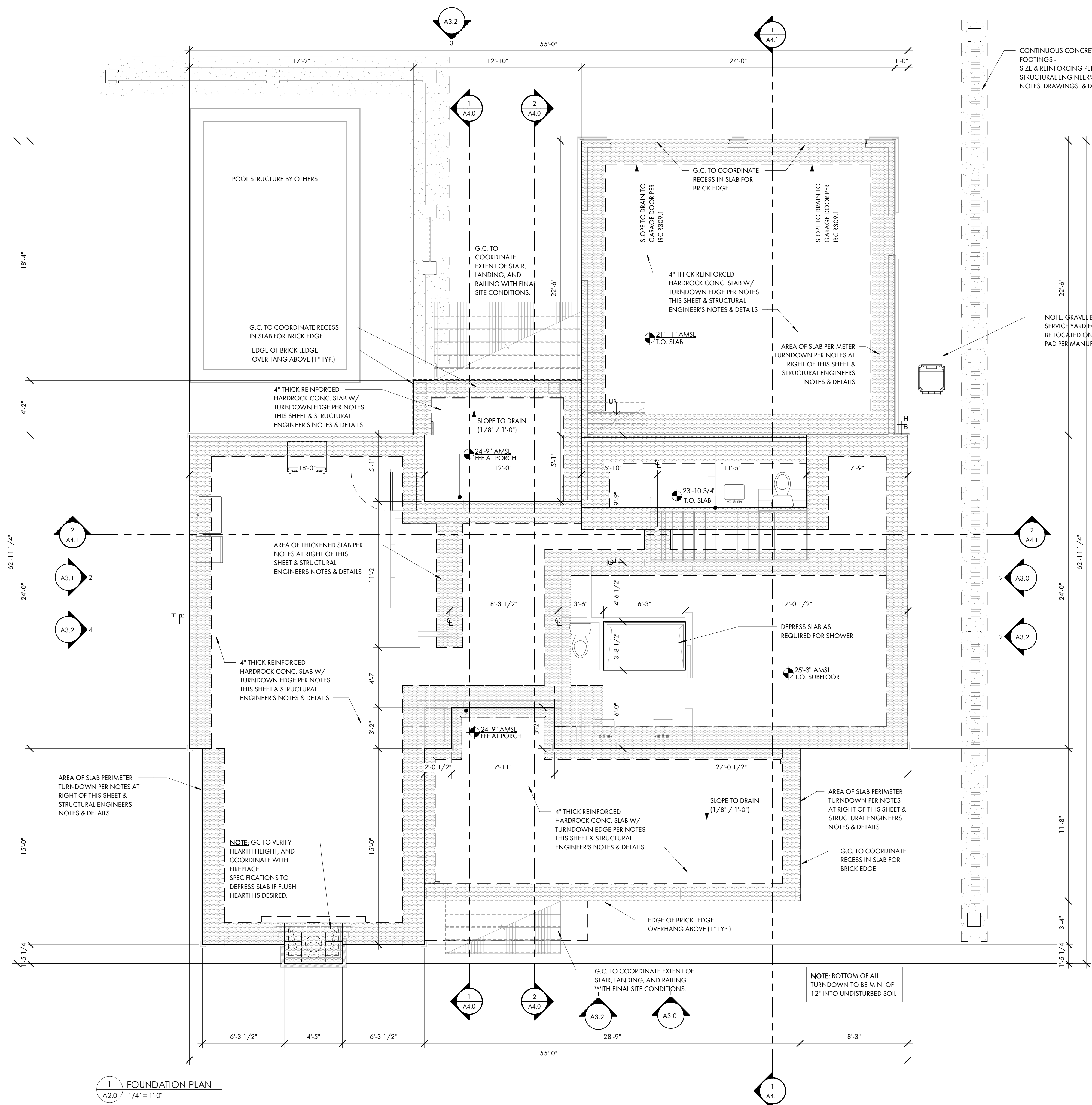
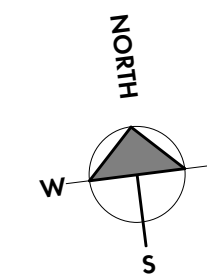
TYPICAL SLAB ON GRADE:  
4" CONCRETE SLAB WITH TURNDOWN EDGE AND RECESSED BRICK  
BORDER IN SOME LOCATIONS. SEE STRUCTURAL ENGINEERING  
DOCUMENTS

TYPICAL PIERCED BRICK LANDSCAPE WALL:  
FOOTINGS AT PIERCED BRICK LANDSCAPE WALL ARE TO BE 12" DEEP x  
32" WIDE (MAINTAIN 12" CLEAR FROM OUTSIDE EDGE OF BLOCK TO  
OUTSIDE EDGE OF FOOTING ON BOTH SIDES). SUPPORT  
REINFORCING DURING CONCRETE PLACEMENT PER IRC R506.2.4

NOTE: ALL TOP OF WALL NOTES ARE TO THE TOP OF BLOCK WALLS,  
U.N.O. (SEE DETAILS FOR FINISHES)

FOUNDATION PLAN - SYMBOL KEY

- CONCRETE TURN-DOWN EDGE / THICKENED SLAB / CMU FOOTING
- CONCRETE SLAB



1 FOUNDATION PLAN  
A2.0 1/4" = 1'-0"



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PROJECT INFO

Date: 02.04.2026  
Project No.: 25-072

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

FIRST FLOOR PLAN

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:  
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

G.C./OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:  
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.O.N.  
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

CABINET & EQUIPMENT NOTES:  
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FINISH NOTES:  
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND OWNER. 1/2" MOLD- AND MOISTURE-RESISTANT GYPSUM BOARD TO BE INSTALLED ON ALL INTERIOR SURFACES OF BATHROOMS WHERE GYPSUM BOARD IS DESIRED. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:  
G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

FRAMING NOTES:  
STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

FRAMING IS TO BE AS FOLLOWS:

WALLS:  
EXTERIOR: PLYWOOD SHEATHING PER STRUCTURAL ENG. DOCS. (EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN. SEE STRUCTURAL ENG. DOCS. FOR SHEAR WALL LOCATIONS AND REQUIREMENTS.

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CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x4 SLEEPER SYSTEM OVER IMPERVIOUS MOISTURE BARRIER WHERE TILE IS NOT USED, THICK SET TILE IN OTHER LOCATIONS.

SECOND FLOOR SYSTEM:  
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG.). G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS REQUIRED BY IRC R302.12. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS, NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

PORCH FLOOR SYSTEM:  
CONCRETE SLAB FLOOR WITH TABBY STUCCO FINISH AND BRICK EDGING. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS.

BONUS ROOM FLOOR SYSTEM:  
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" TRUSS JOIST SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG.). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY G.C.)  
3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16" O.C. G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS REQUIRED BY IRC R302.12. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

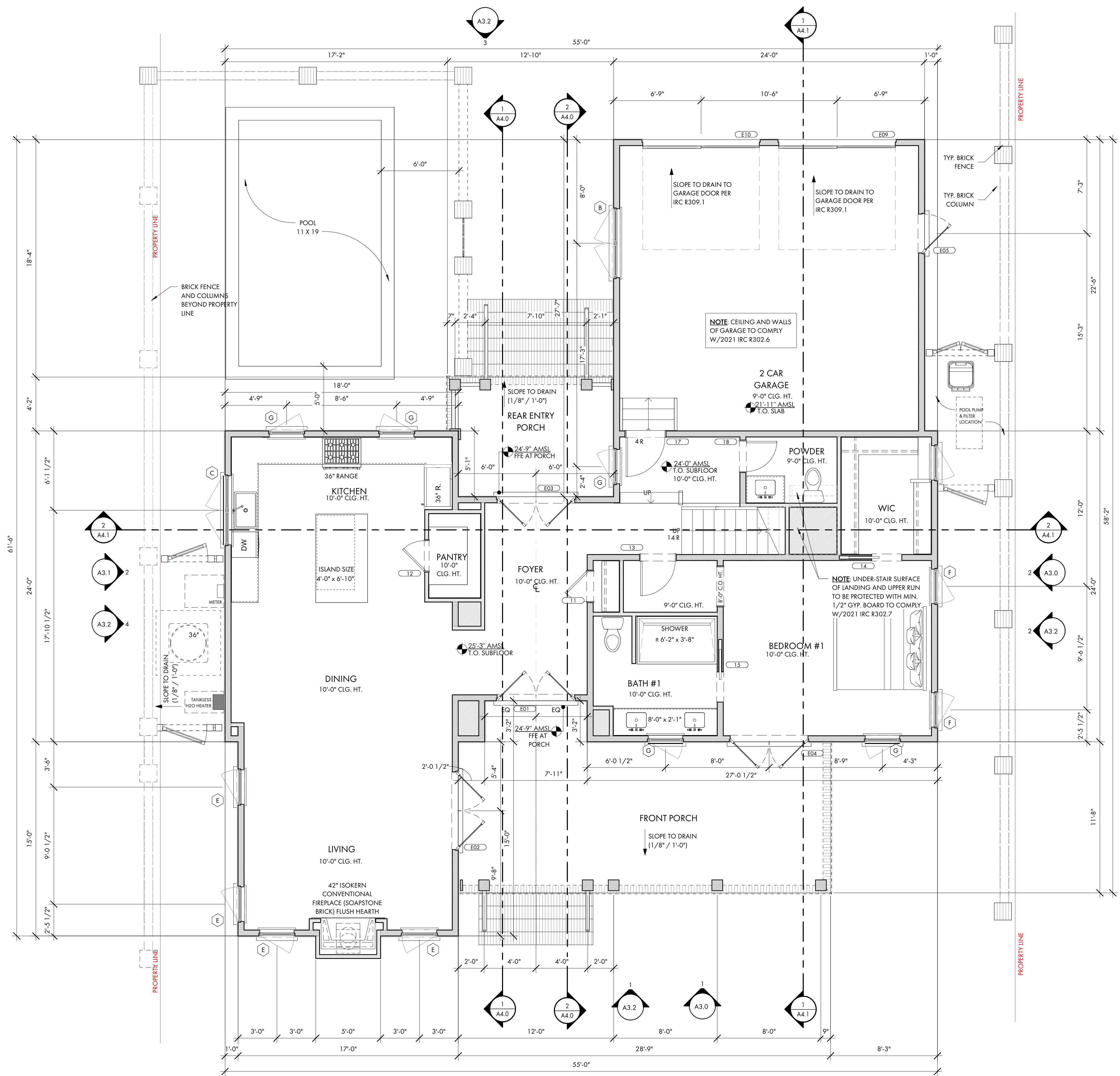
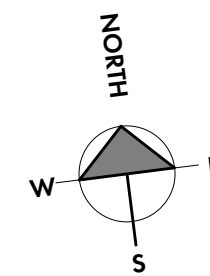
ATTIC CEILING JOISTS / PORCH CEILING:  
2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

ROOF RAFTERS:  
NOTE: SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LOCATION AND PLACEMENT OF ALL WORK DESCRIBED.

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FLOOR PLAN - SYMBOL KEY

- 2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD
- 2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD



1 FIRST FLOOR PLAN  
A2.1 1/4" = 1'-0"



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PROJECT INFO

Date  
02.04.2026

Project No.  
25-072

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

SECOND FLOOR PLAN

A2.2

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

**GENERAL CONTRACTOR NOTE:**  
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**PLUMBING NOTES:**  
G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

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**PORCH FLOOR SYSTEM:**  
CONCRETE SLAB FLOOR WITH TABBY STUCCO FINISH AND BRICK EDGING. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS.

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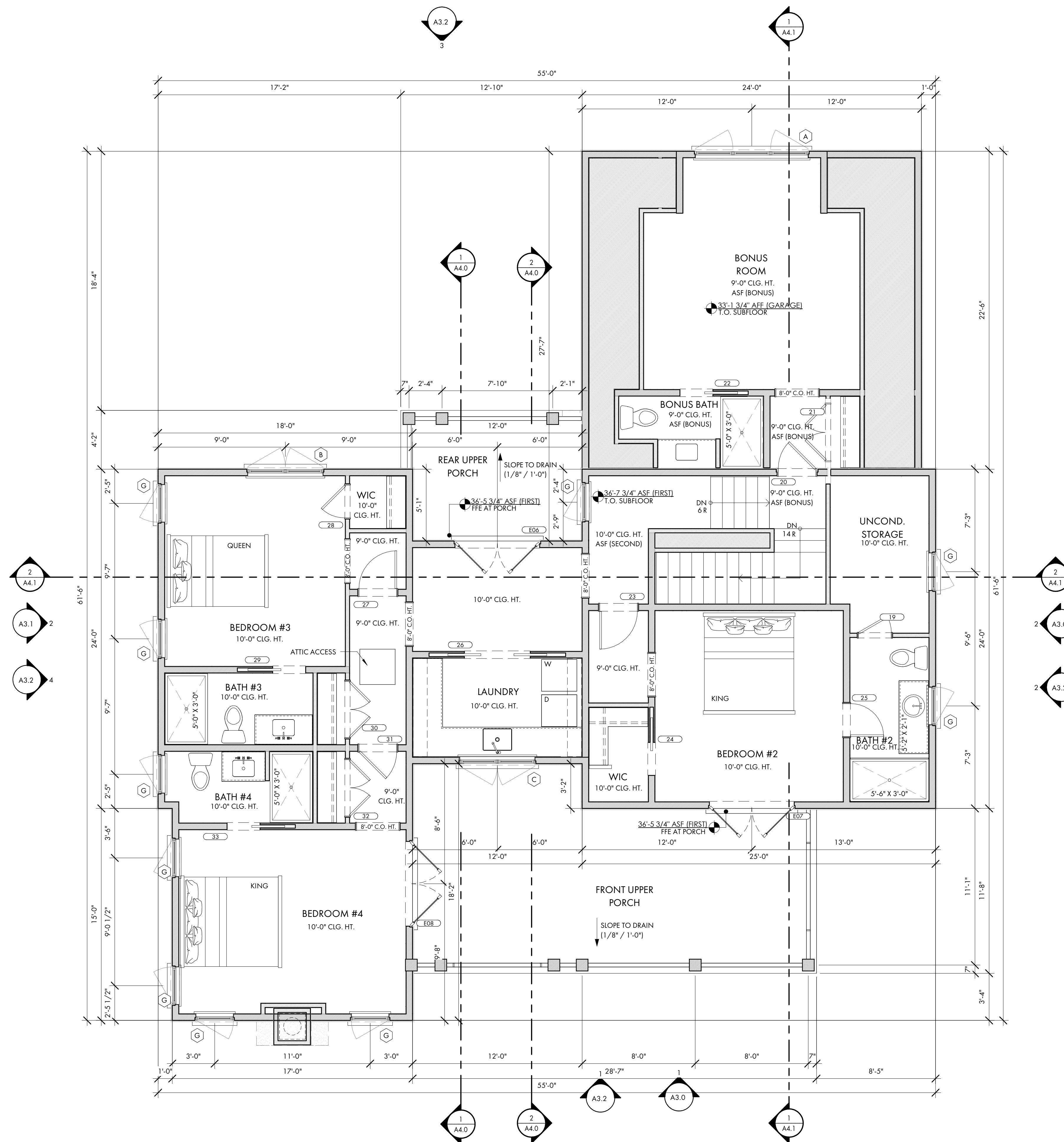
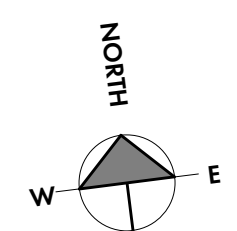
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**ROOF RAFTERS:**  
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FLOOR PLAN - SYMBOL KEY

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- 2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD



1 SECOND FLOOR PLAN  
A2.2 1/4" = 1'-0"



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PROJECT INFO

Date: 02.04.2026  
Project No.: 25-072

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

ROOF PLAN

A2.3

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:  
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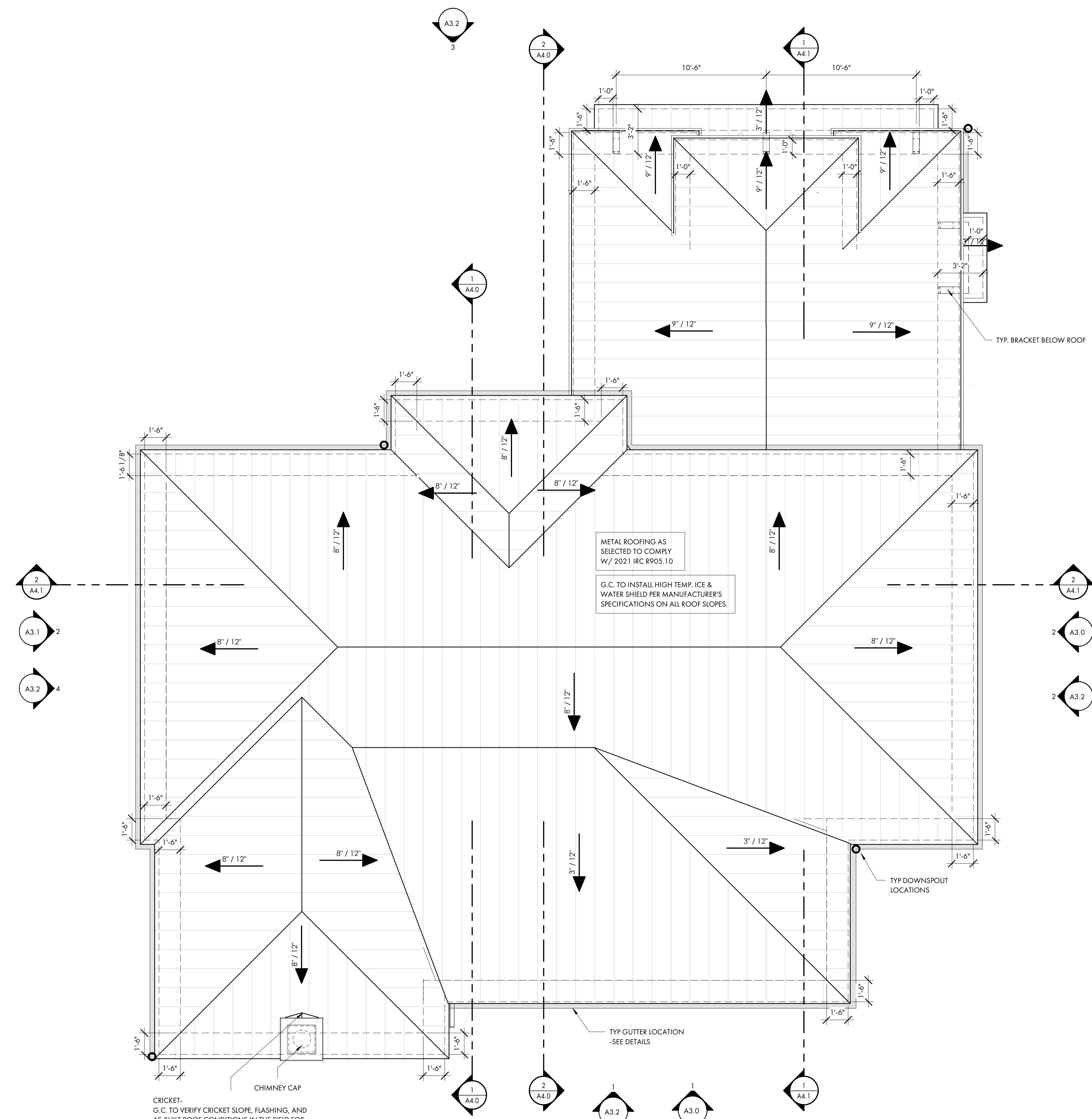
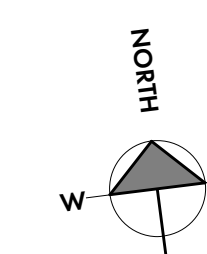
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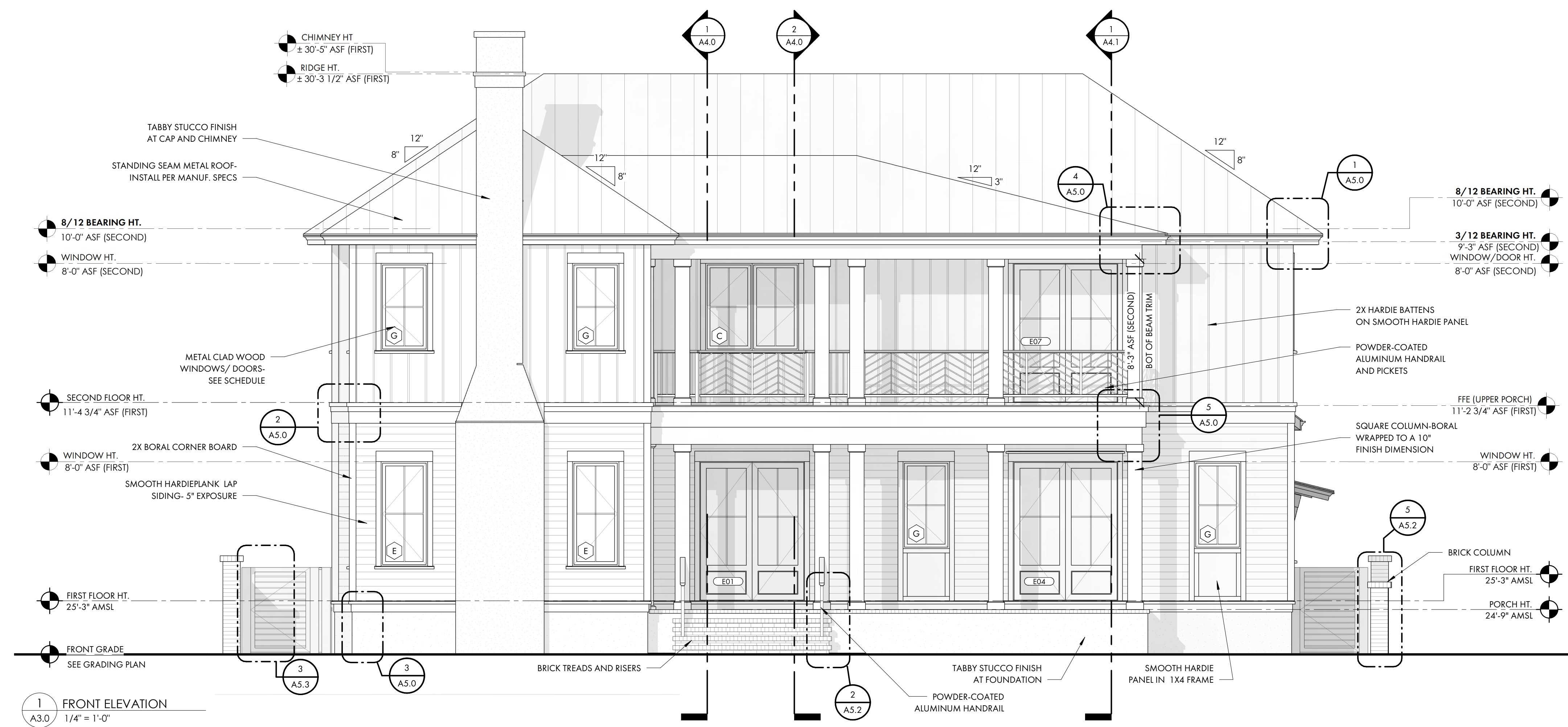


CRICKET - G.C. TO VERIFY CRICKET SLOPE, FLASHING, AND AS-BUILT ROOF CONDITIONS IN THE FIELD FOR PROPER WATER SHED AND DRAINAGE AND REPORT CONFLICTS TO ARCHITECT IMMEDIATELY UPON DISCOVERY

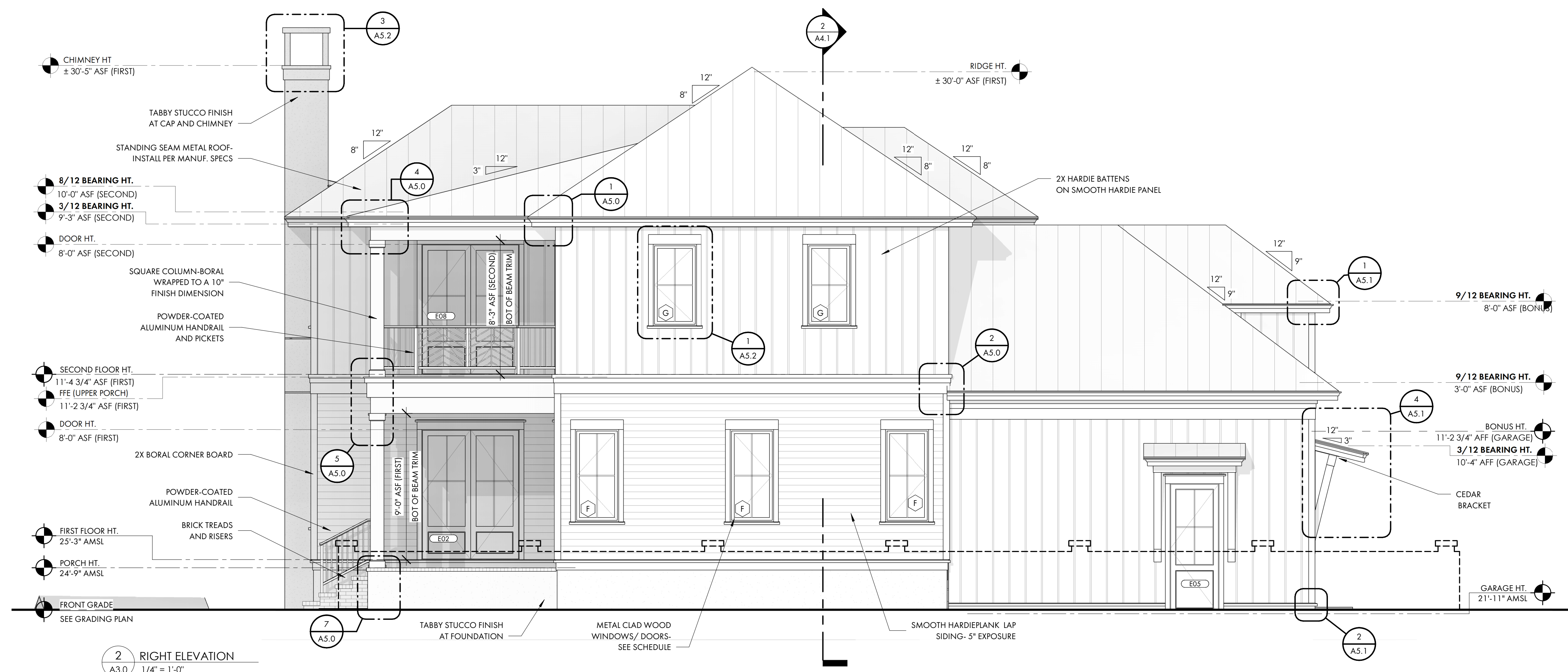
CHIMNEY CAP

METAL ROOFING AS SELECTED TO COMPLY W/ 2021 IRC R905.10

G.C. TO INSTALL HIGH TEMP. ICE & WATER SHIELD PER MANUFACTURER'S SPECIFICATIONS ON ALL ROOF SLOPES.



1 FRONT ELEVATION  
A3.0 1/4" = 1'-0"



2 RIGHT ELEVATION  
A3.0 1/4" = 1'-0"

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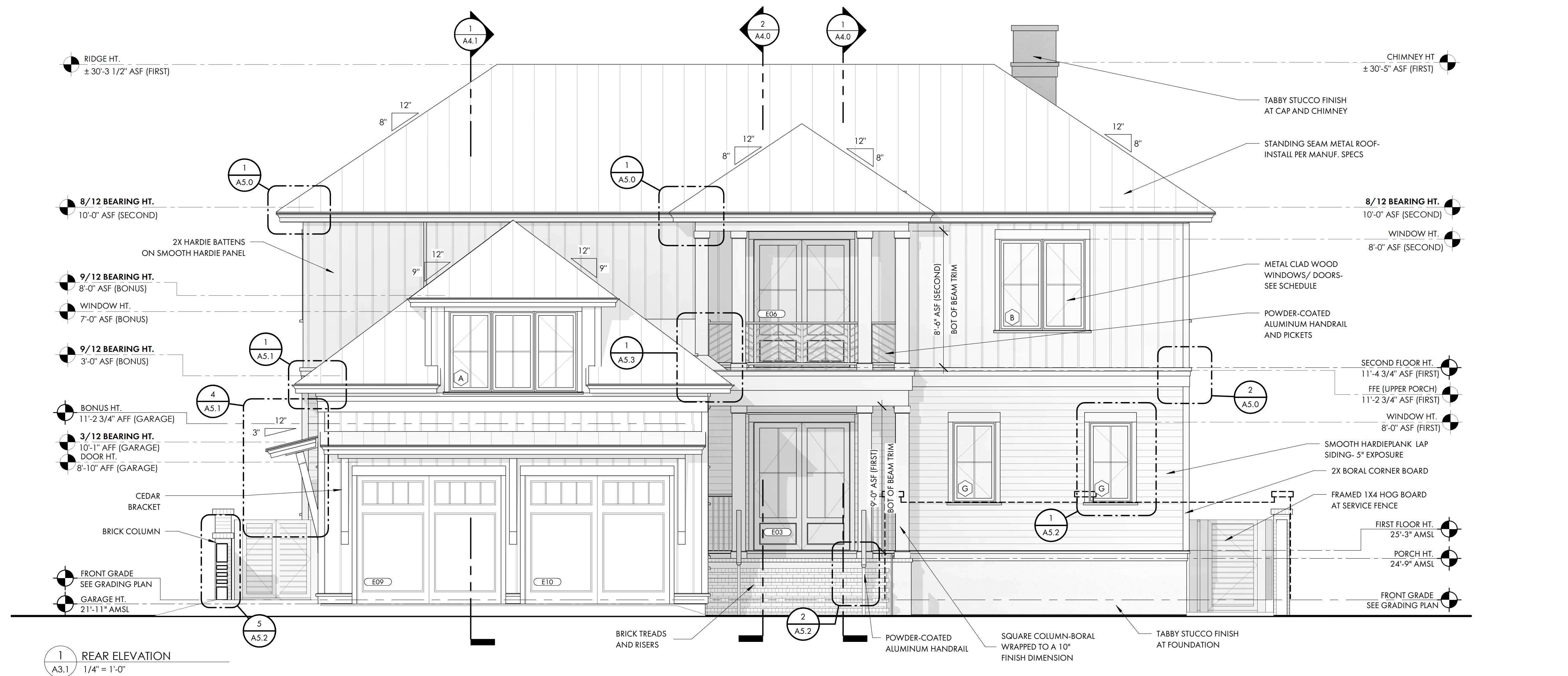
**ISSUE**

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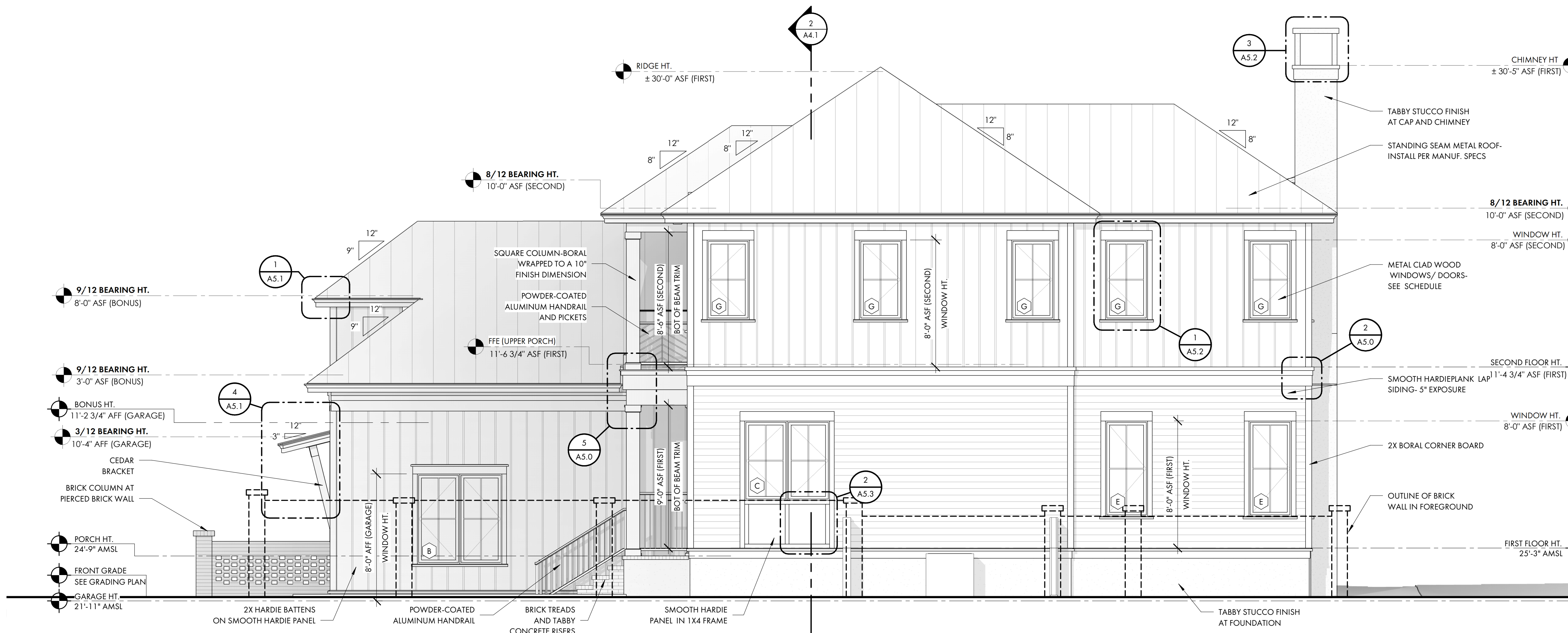
**SHEET TITLE**

BUILDING ELEVATIONS

**A3.0**



**1 REAR ELEVATION**  
A3.1 1/4" = 1'-0"



**2 LEFT ELEVATION**  
A3.1 1/4" = 1'-0"

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BUILDING ELEVATIONS



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SHEET TITLE

BUILDING ELEVATIONS  
WITH BRICK FENCE

A3.2



SERVICE YARD-GATE

SERVICE YARD-GATE

1 FRONT ELEVATION  
A3.2 3/16" = 1'-0"



42" MAX HEIGHT  
WALL AT FRONT/  
SIDE YARD

SERVICE YARD-MIN 25%  
OPACITY PER UDO

42" HEIGHT  
WALL AT REAR/  
SIDE YARD

2 RIGHT ELEVATION  
A3.2 3/16" = 1'-0"



SERVICE YARD GATE

POOL PRIVACY + SOLID WALL UP  
TO 4FT TO MEET POOL  
SECURITY

3 REAR ELEVATION  
A3.2 3/16" = 1'-0"



POOL PRIVACY + SOLID WALL UP  
TO 4FT TO MEET POOL  
SECURITY

SERVICE YARD-MIN 25%  
OPACITY PER UDO

ADJACENT LOT  
SERVICE YARD-MIN 25%  
OPACITY PER UDO

4 LEFT ELEVATION  
A3.2 3/16" = 1'-0"



**COURT  
ATKINS  
GROUP**

POST OFFICE BOX 3978  
BLUFFTON, SC 29910  
PH: 843.815.2557  
FX: 843.815.2547

WWW.COURTATKINS.COM

**LOT 51 - BLUE CRAB PRIVATE  
RESIDENCE**

4 BLUE CRAB STREET - TABB  
ROADS, BLUFFTON, SC  
29910

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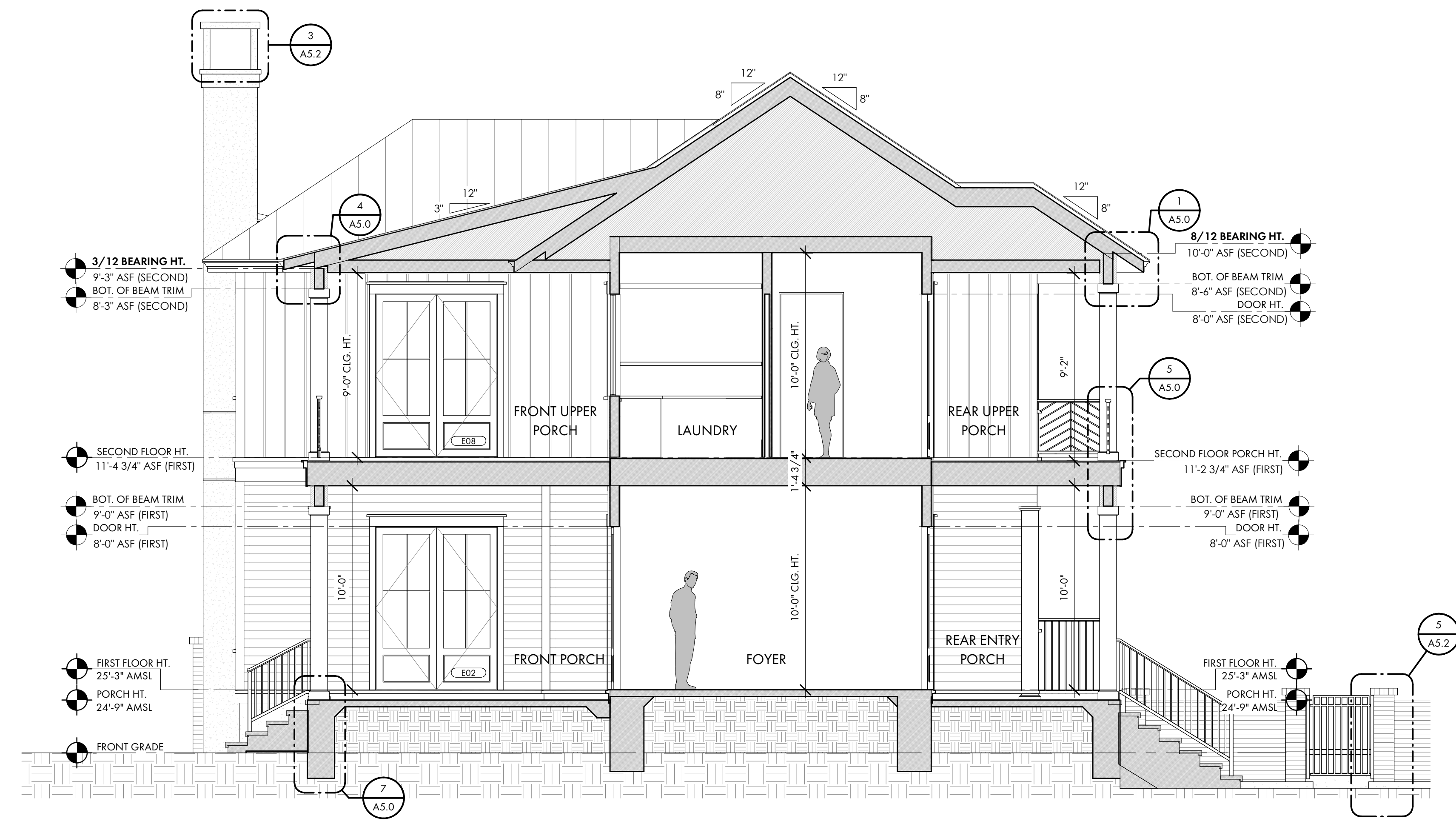
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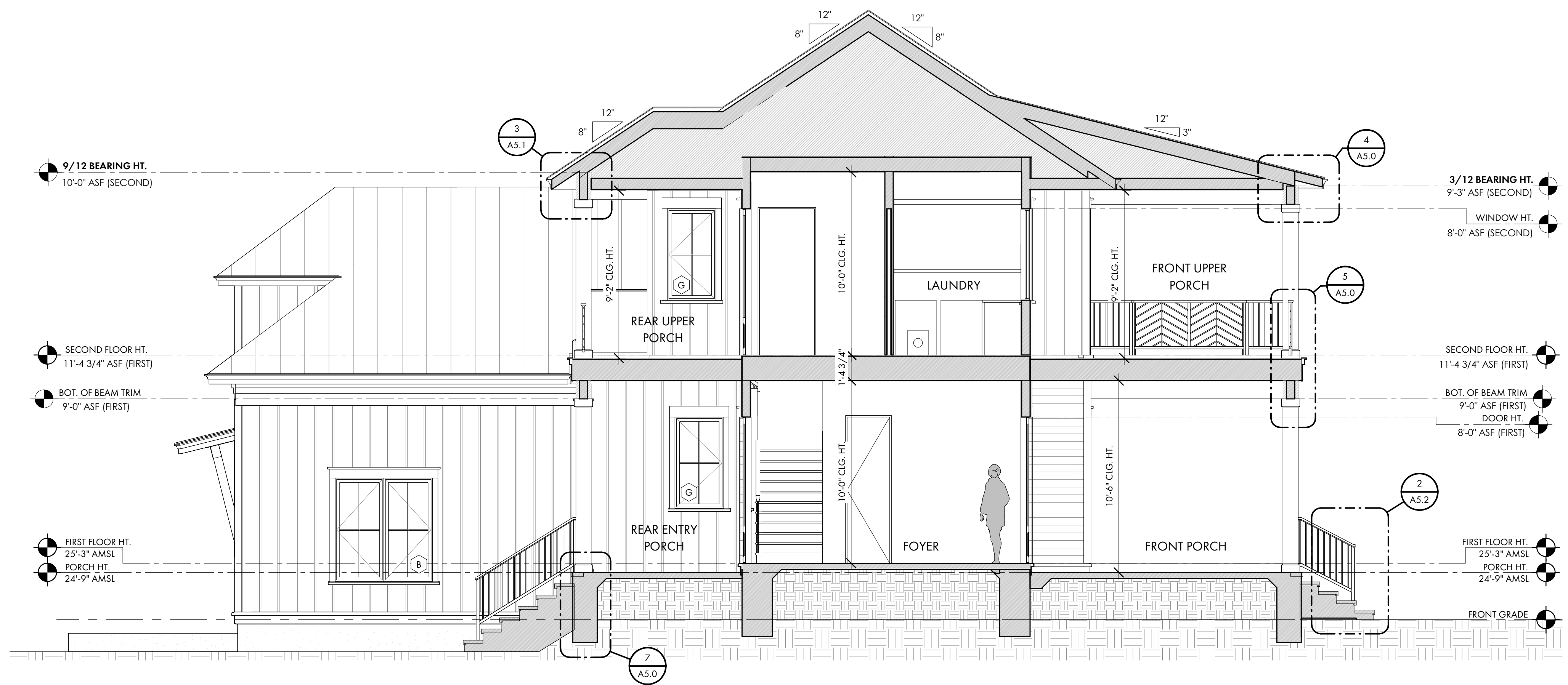
**SHEET TITLE**

BUILDING 3D VIEWS

**A3.3**



1 SECTION THROUGH PORCHES 1  
A4.0 1/4" = 1'-0"



2 SECTION THROUGH PORCHES 2  
A4.0 1/4" = 1'-0"

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**PROJECT INFO**

Date: 02.04.2026  
Project No.: 25-072

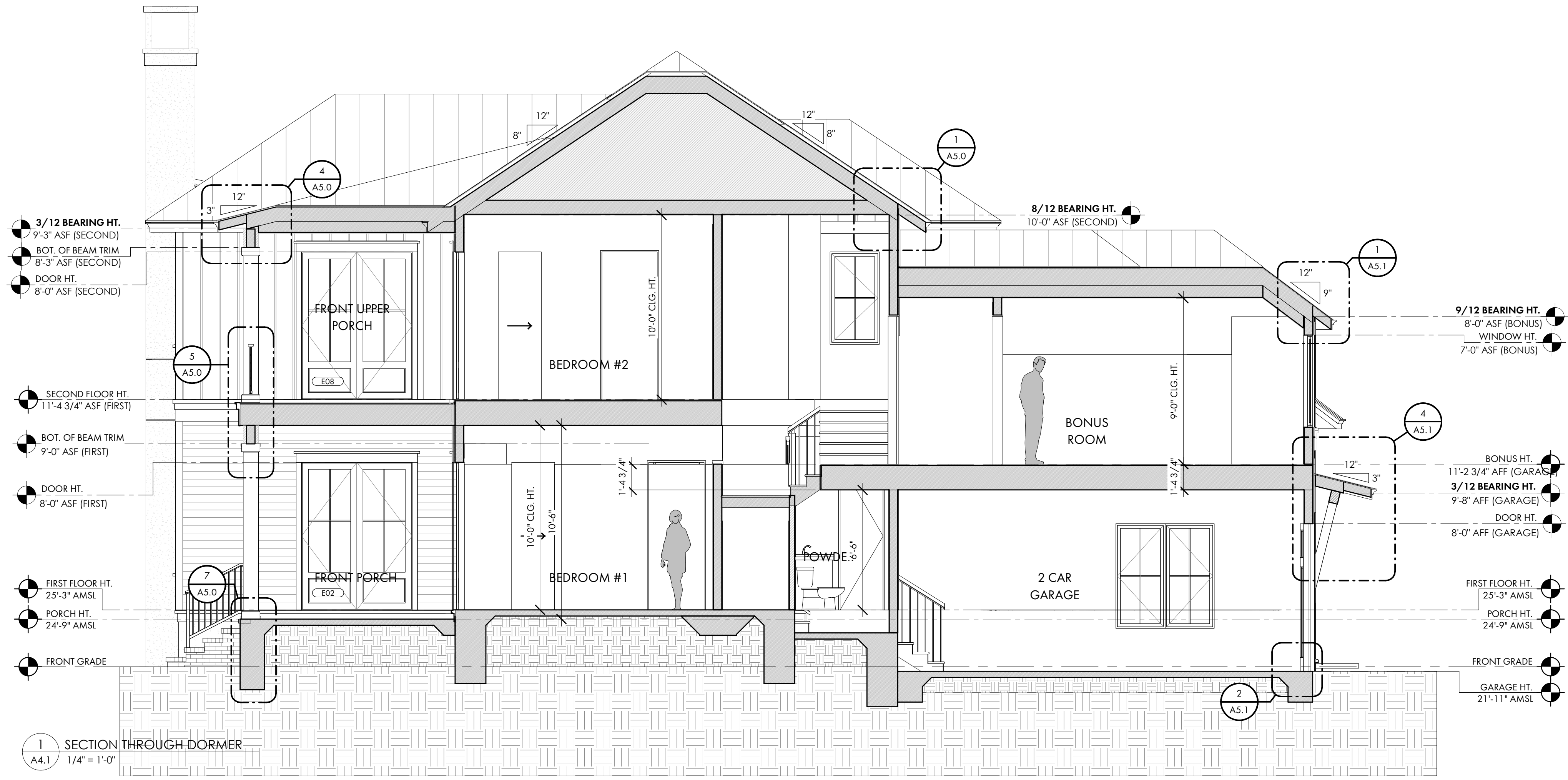
**ISSUE**

NO.	REV.	DATE	DESCRIPTION

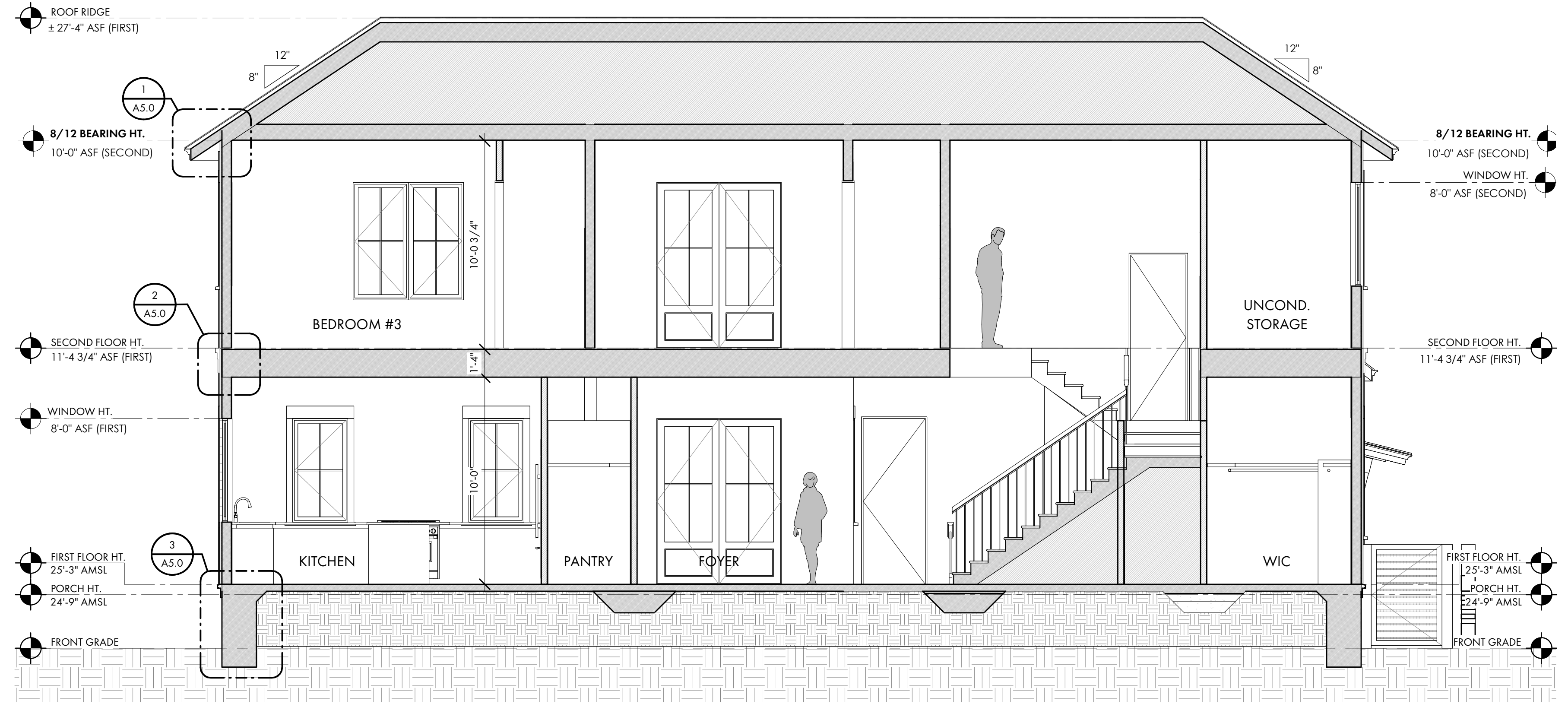
**SHEET TITLE**

BUILDING SECTIONS

**A4.0**



1 SECTION THROUGH DORMER  
1/4" = 1'-0"



2 SECTION THROUGH STAIR  
1/4" = 1'-0"

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PROJECT INFO

Date  
02.04.2026

Project No.  
25-072

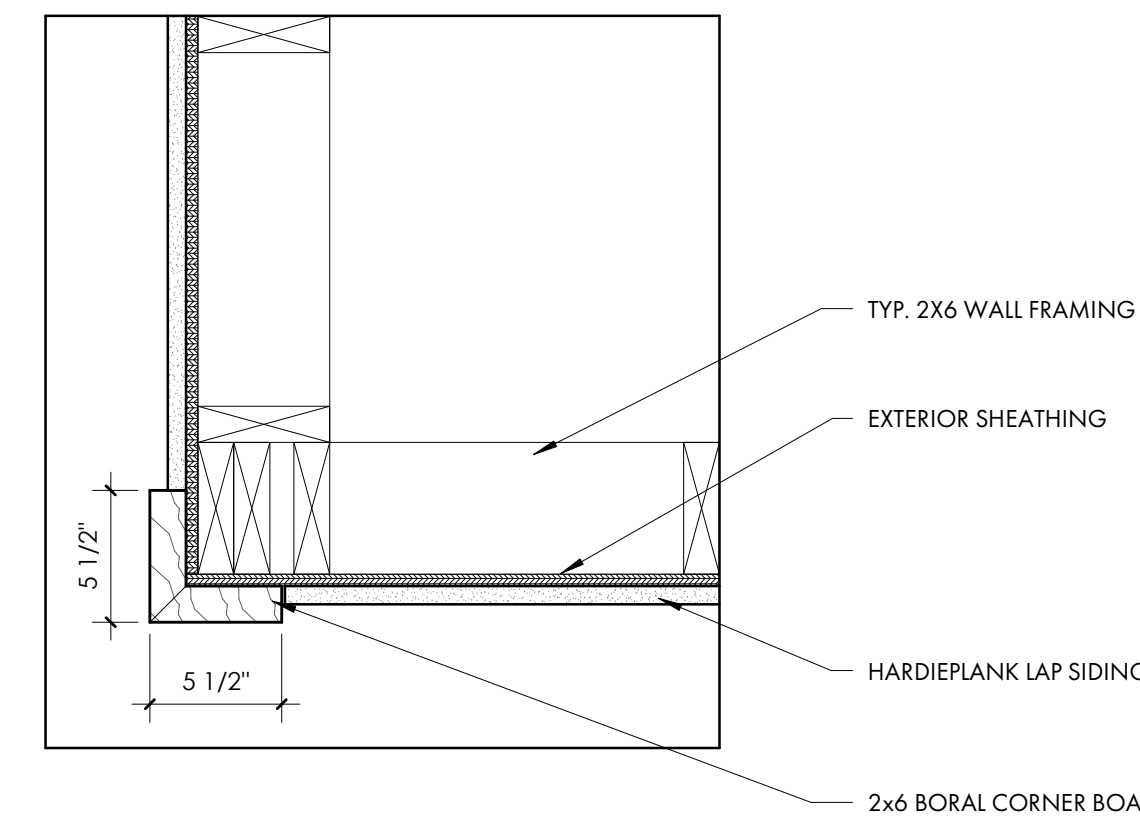
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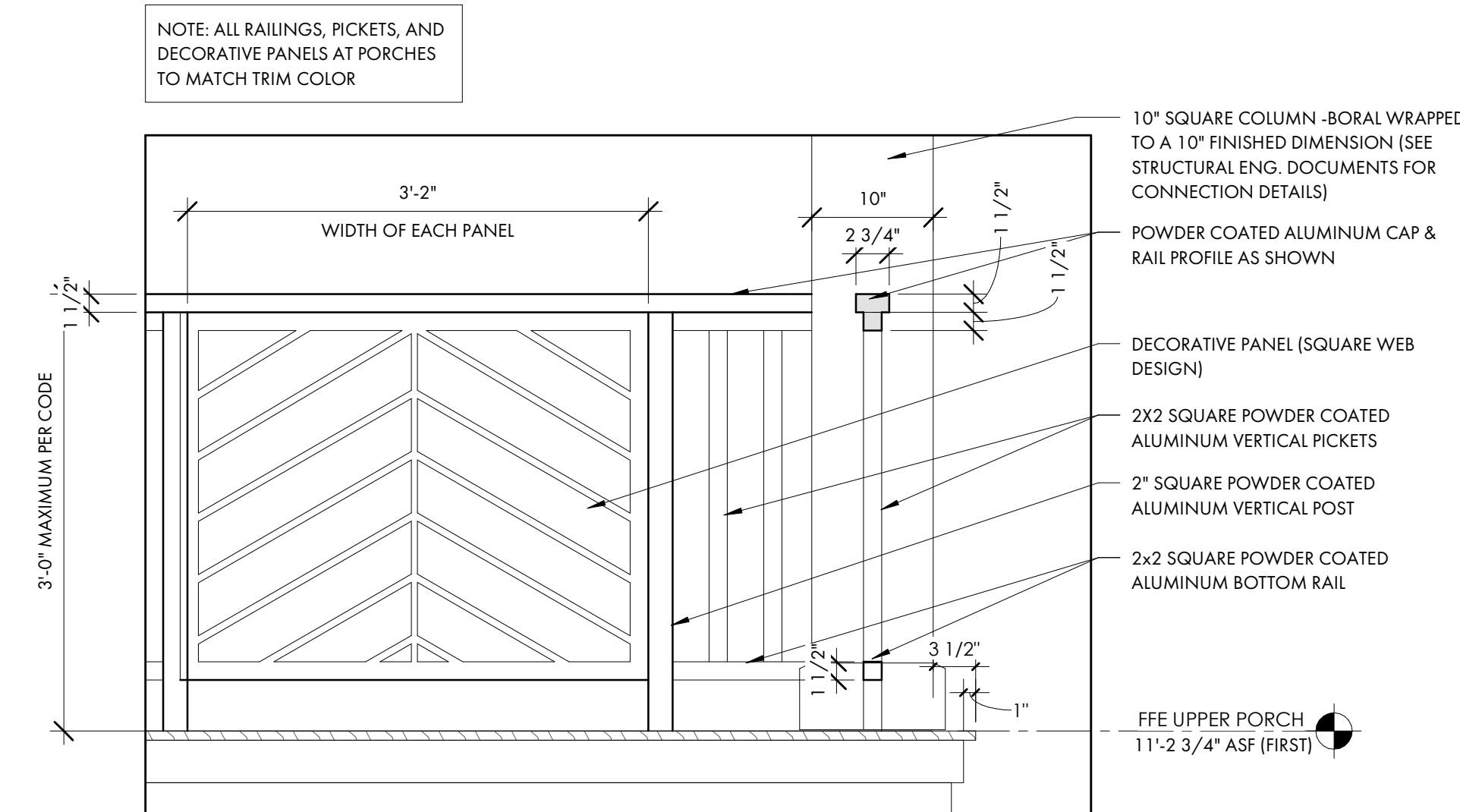
SHEET TITLE

DETAILS

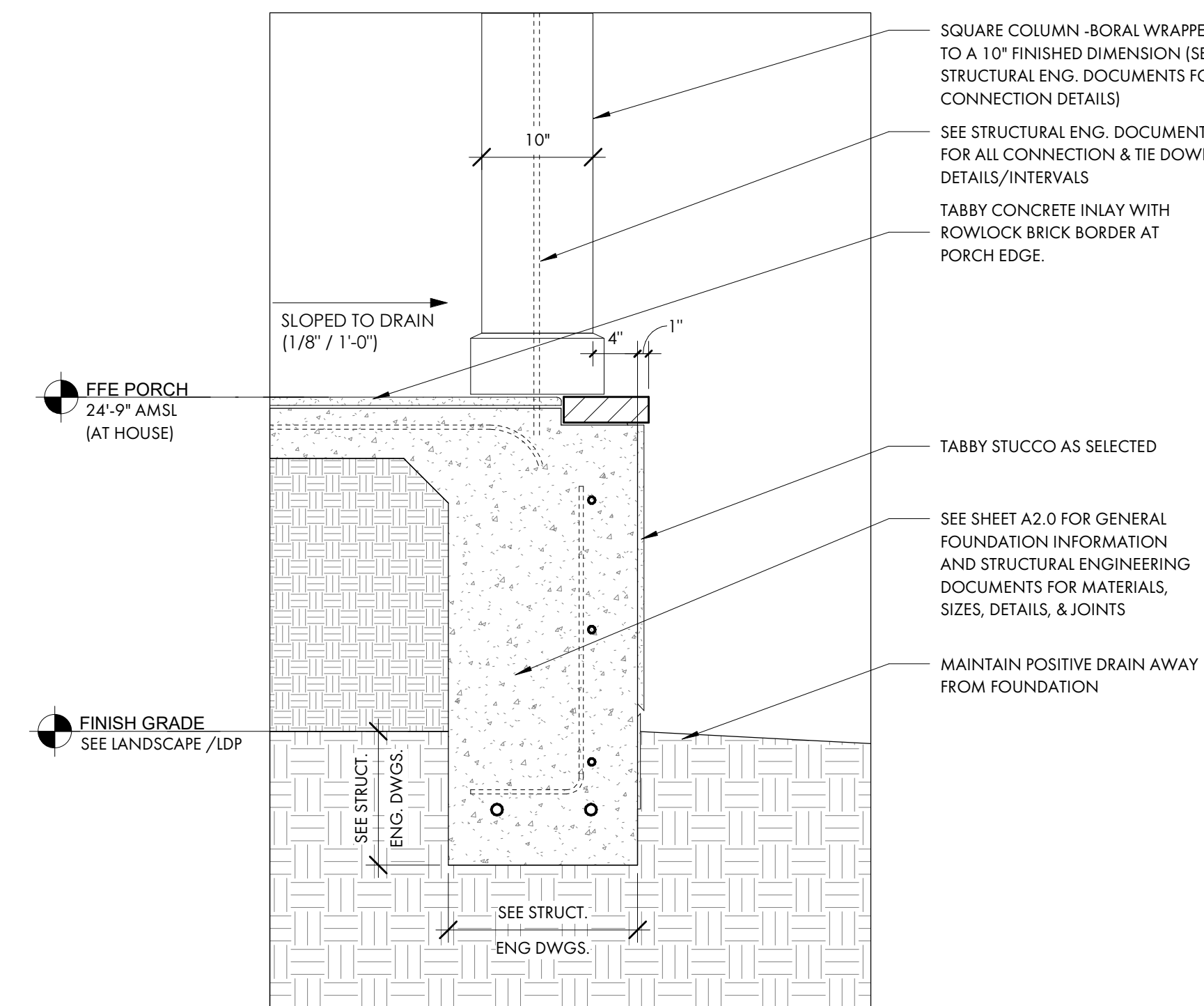
A5.0



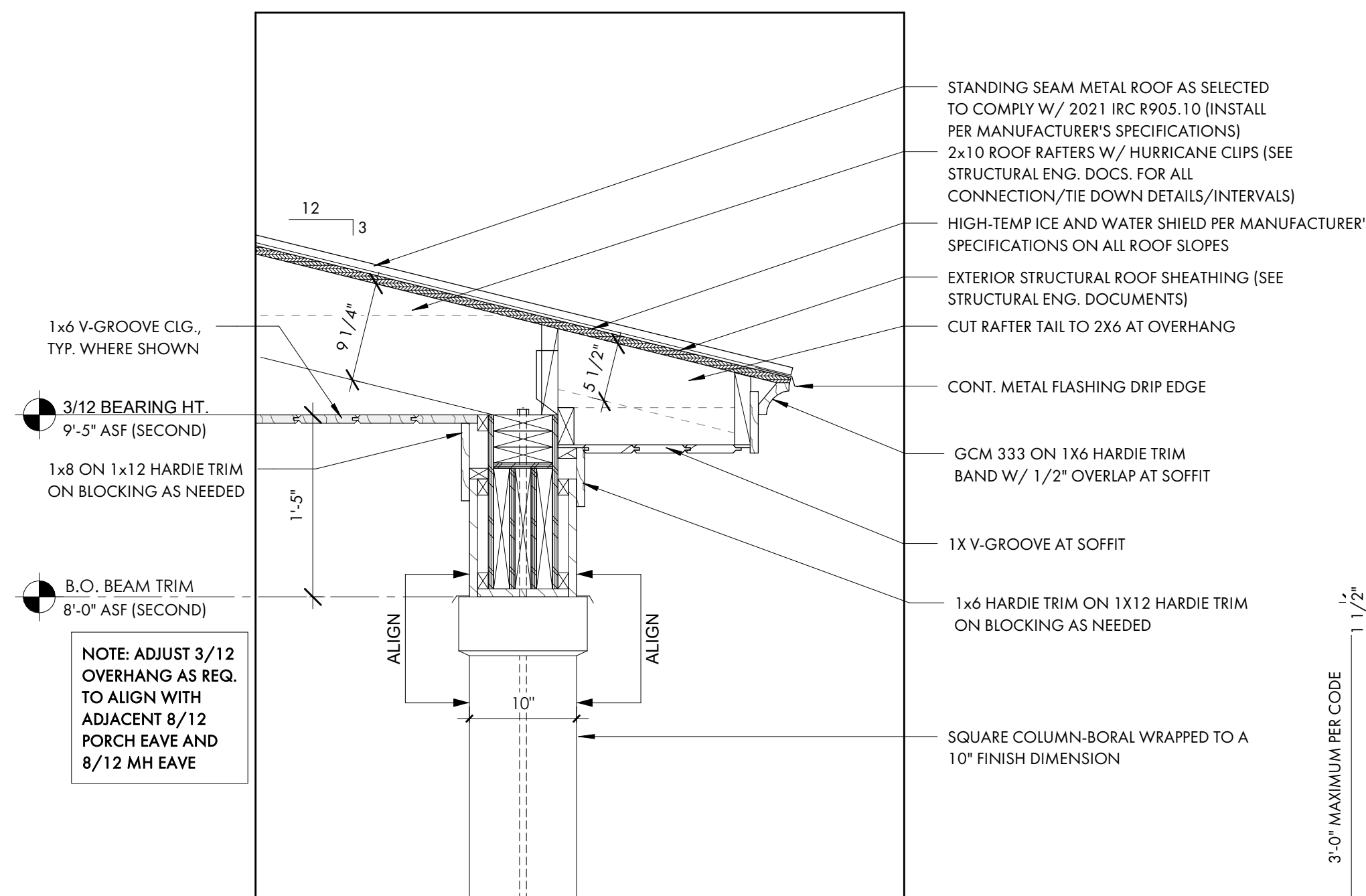
8 TYP. CORNER BOARD DETAIL  
A5.0 1 1/2" = 1'-0"



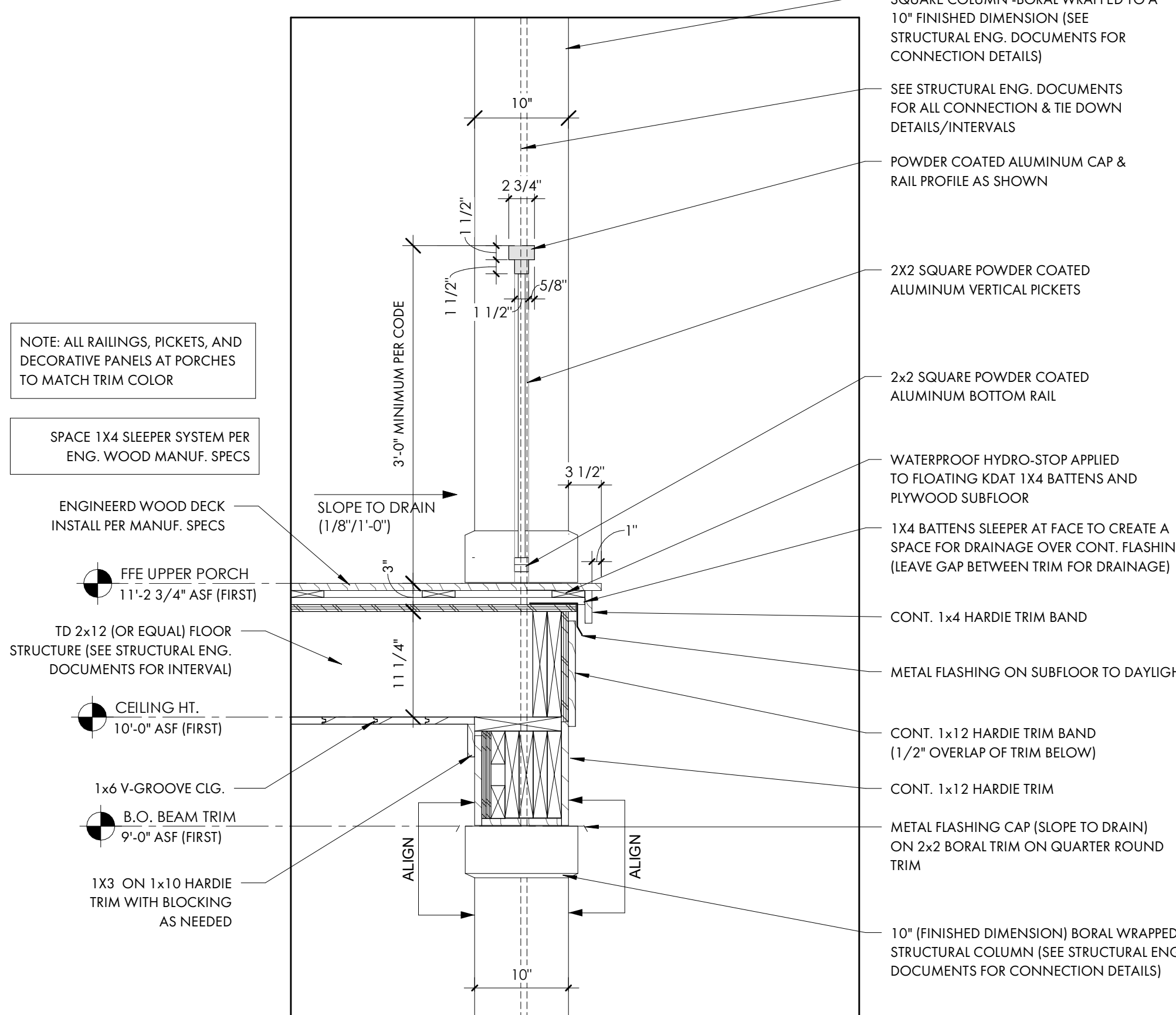
6 DECORATIVE PANEL AT RAILING  
A5.0 1" = 1'-0"



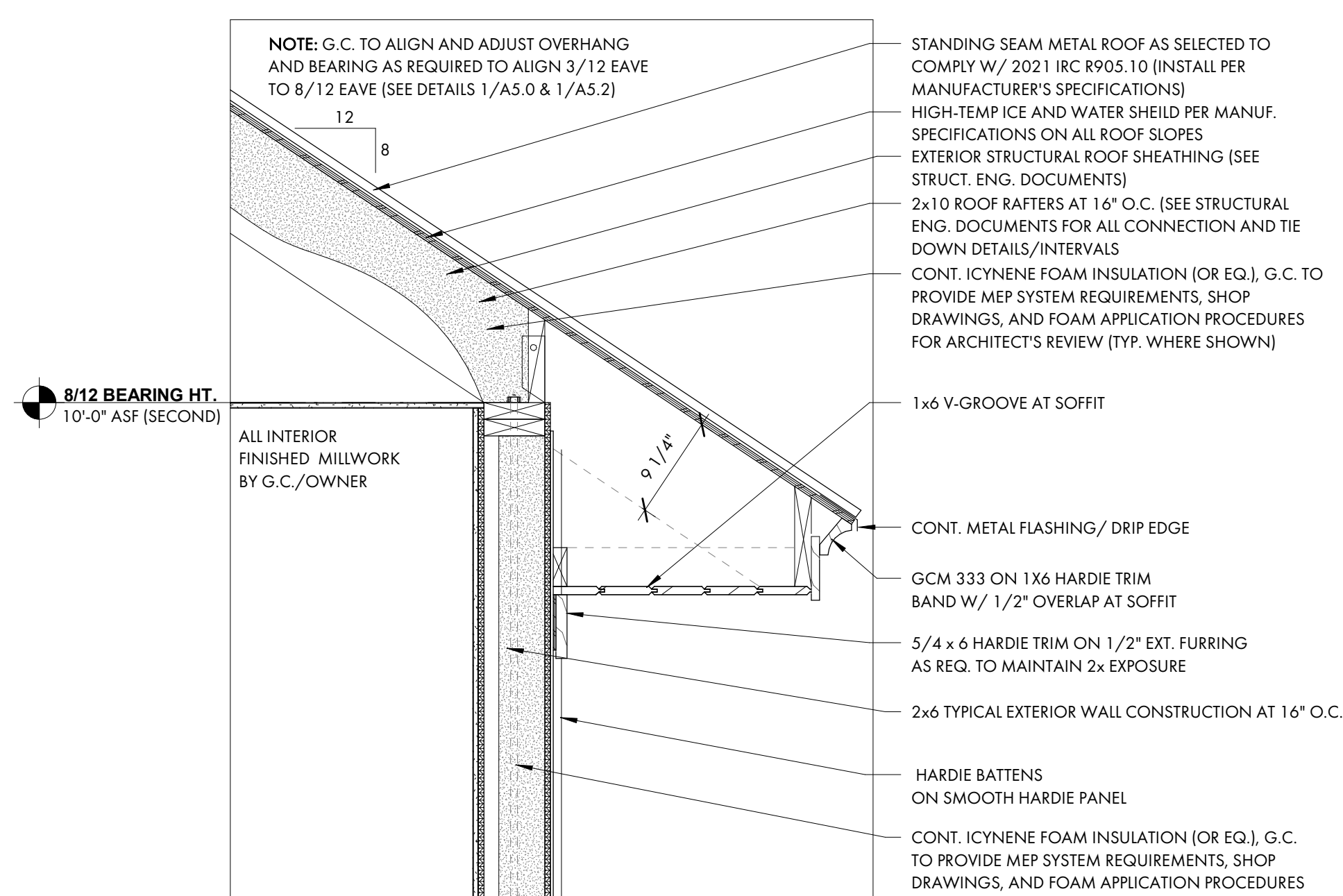
7 TYP. FOUNDATION AT PORCH  
A5.0 1" = 1'-0"



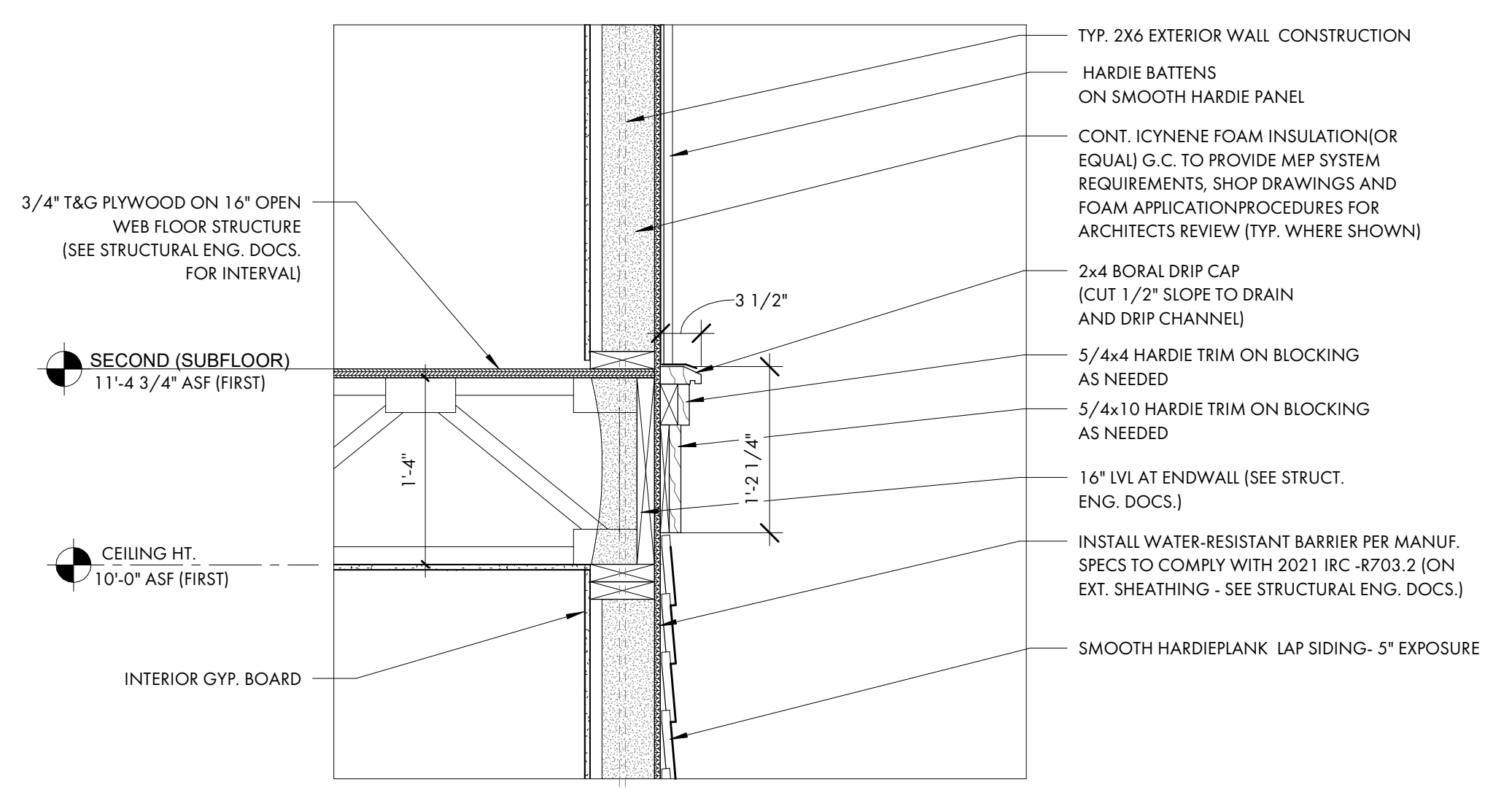
4 3/12 FRONT UPPER PORCH EAVE DETAIL  
A5.0 1" = 1'-0"



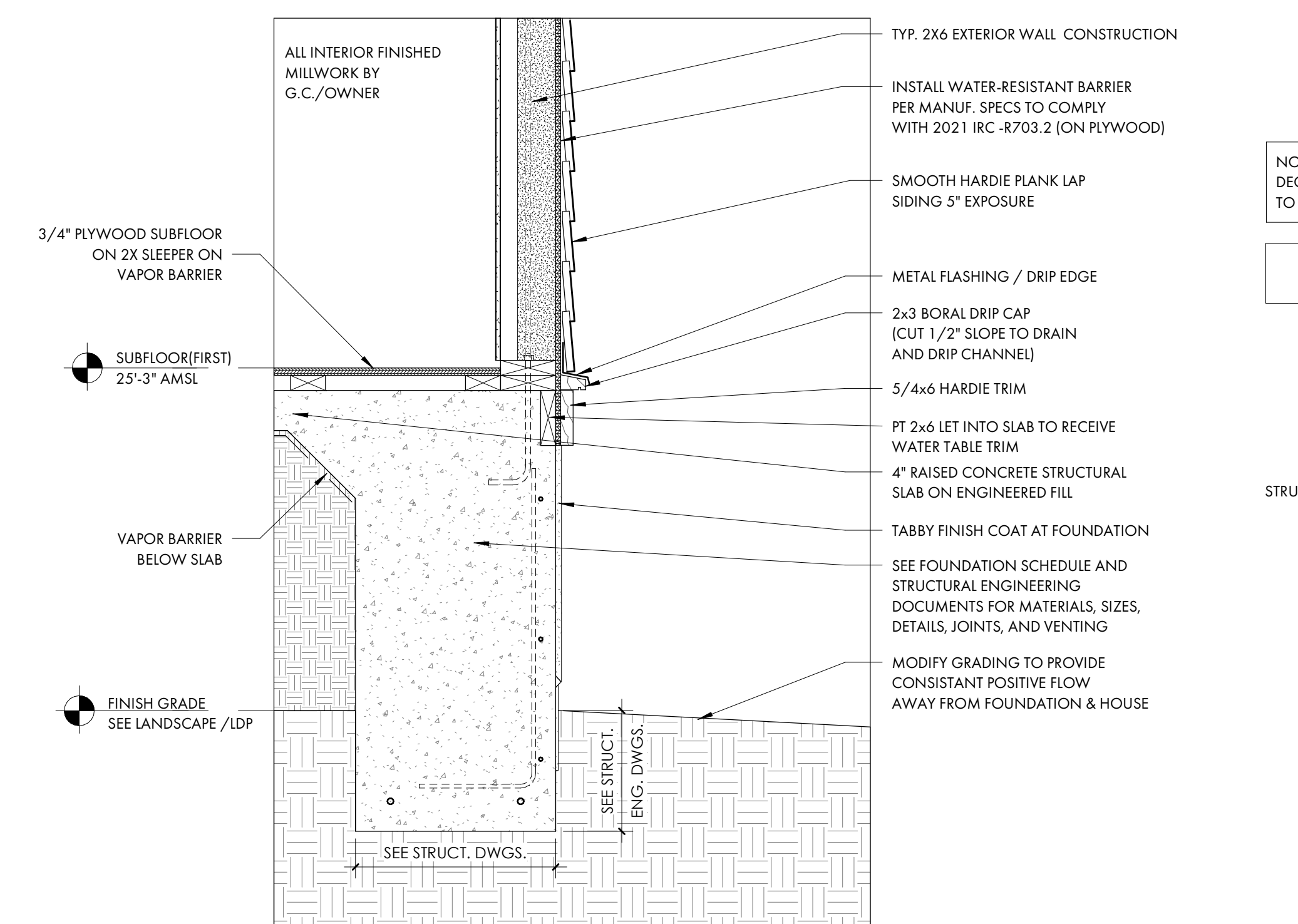
5 TYP. UPPER PORCH AND RAILING DETAIL  
A5.0 1" = 1'-0"



1 TYP 8/12 ROOF EAVE DETAIL  
A5.0 1" = 1'-0"

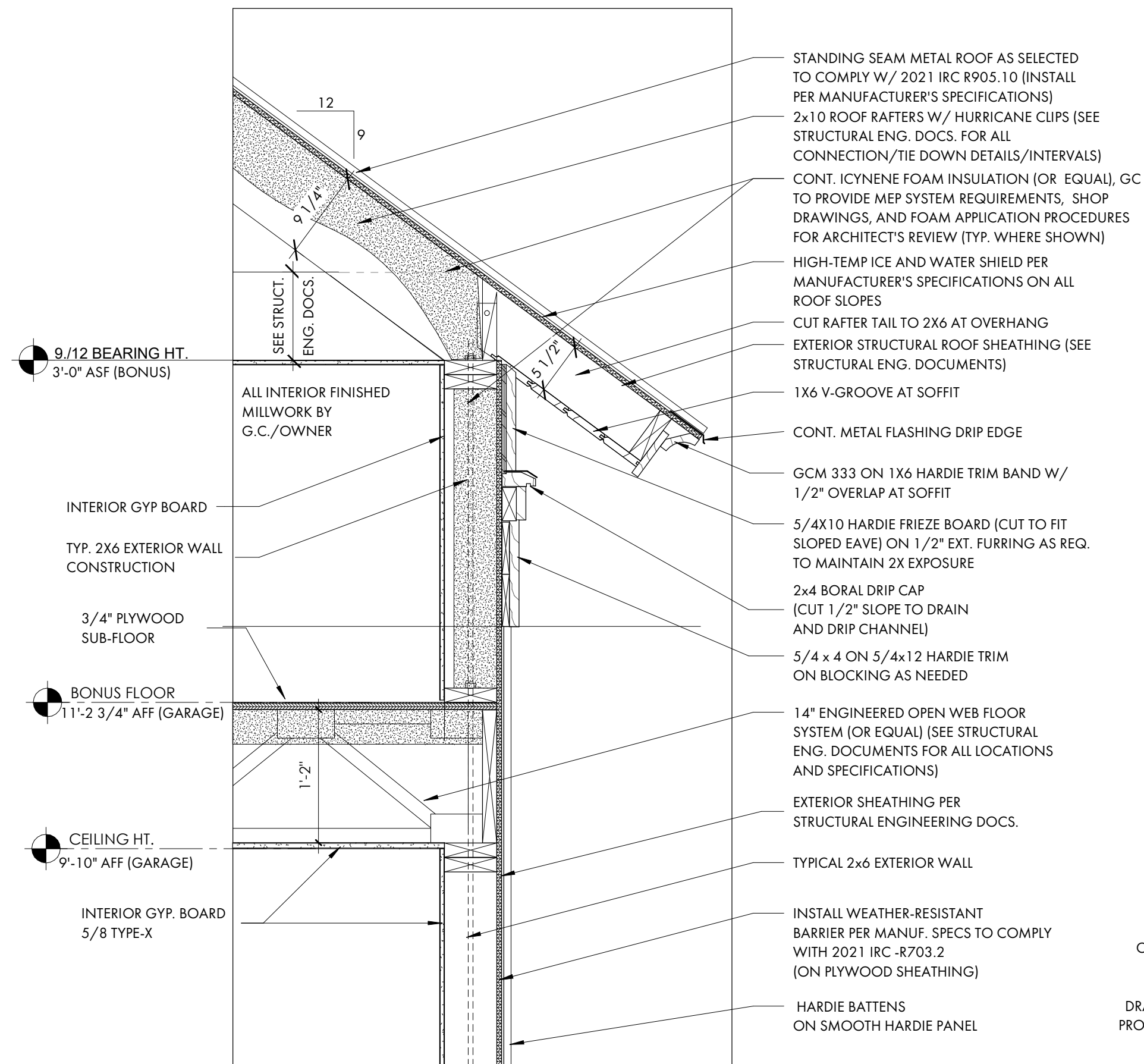


2 TYP. SECOND FLOOR DETAIL  
A5.0 1" = 1'-0"

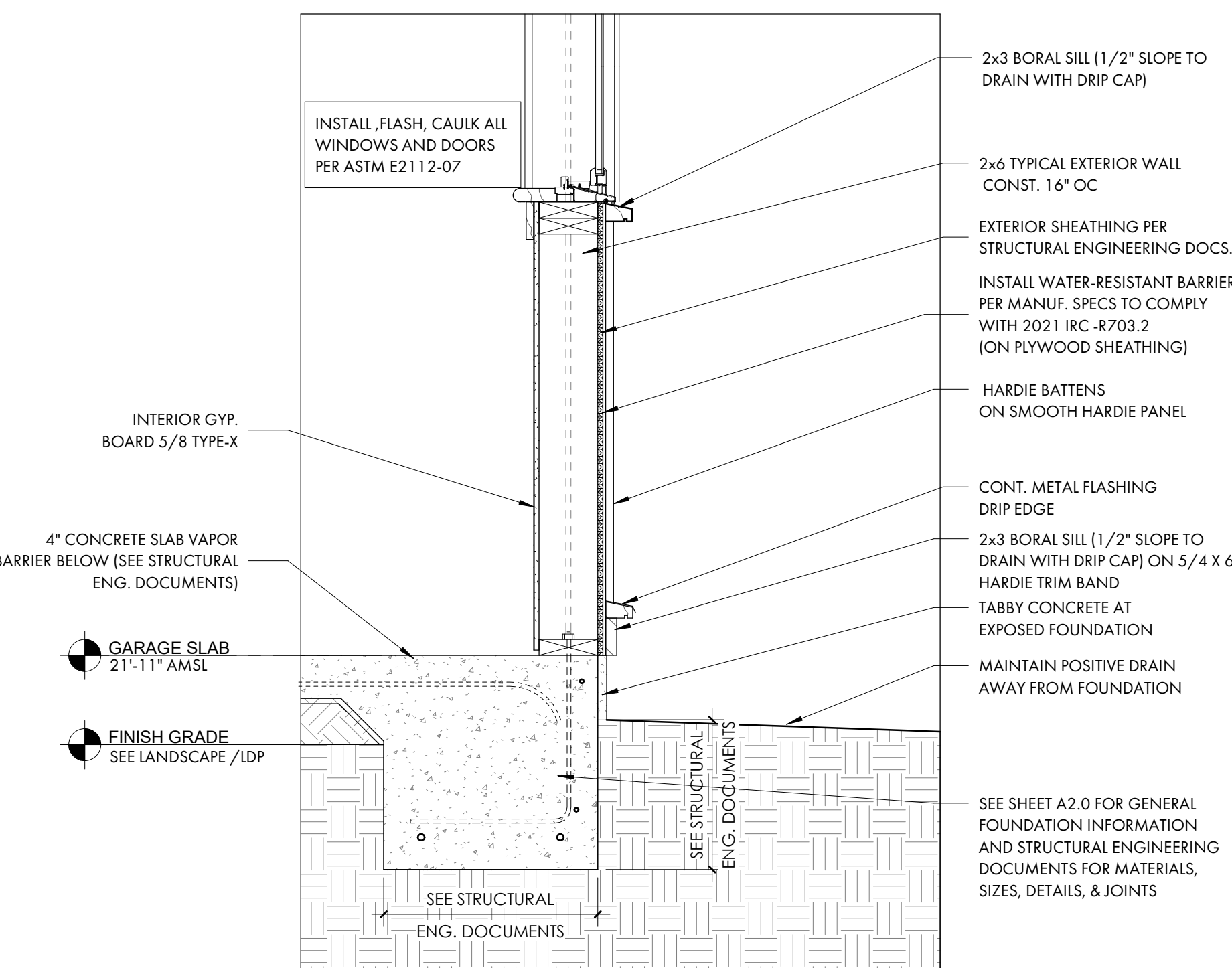


3 TYP. FOUNDATION AT MAIN HOUSE  
A5.0 1" = 1'-0"

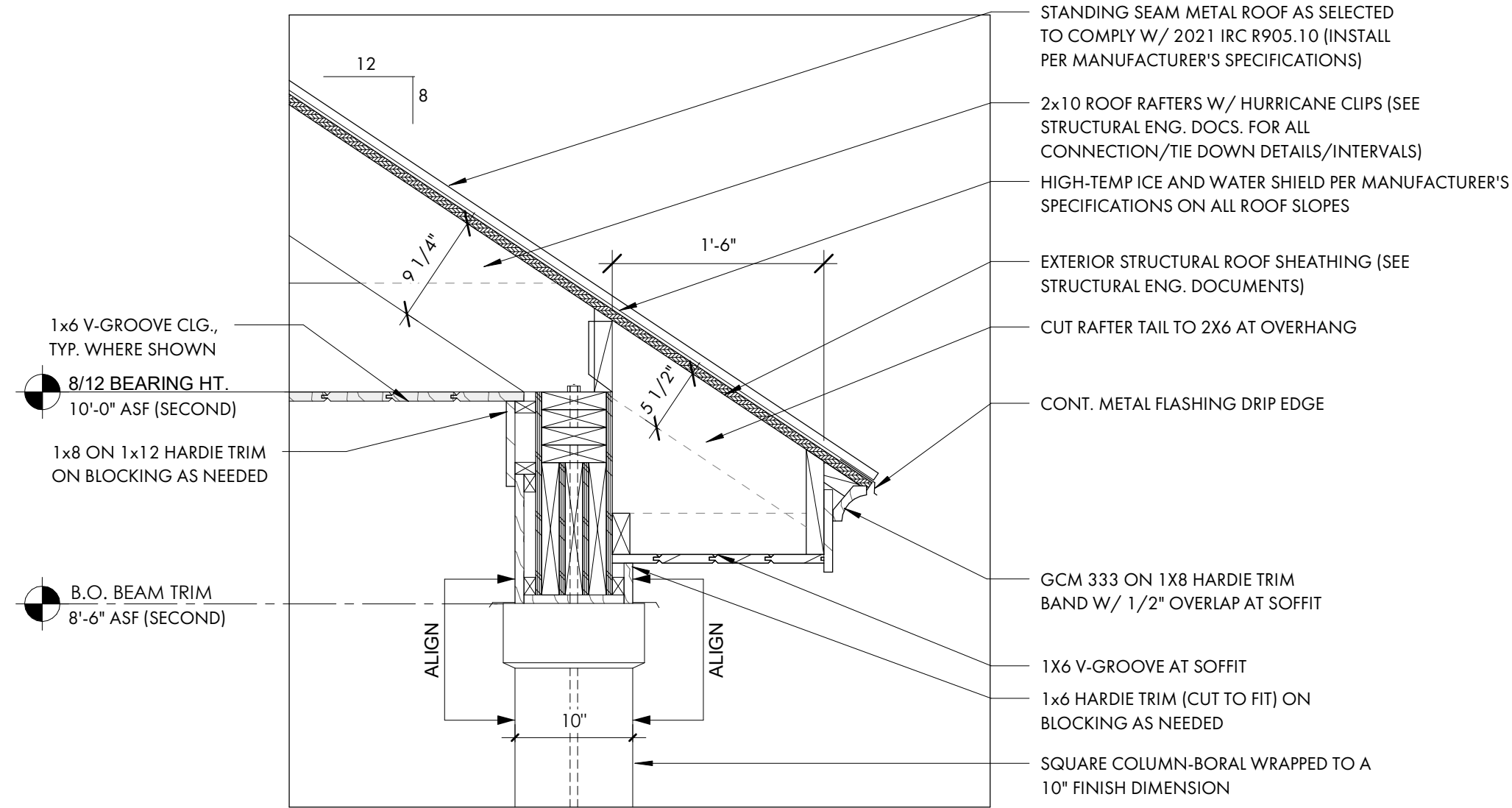
DETAILS  
A5.0



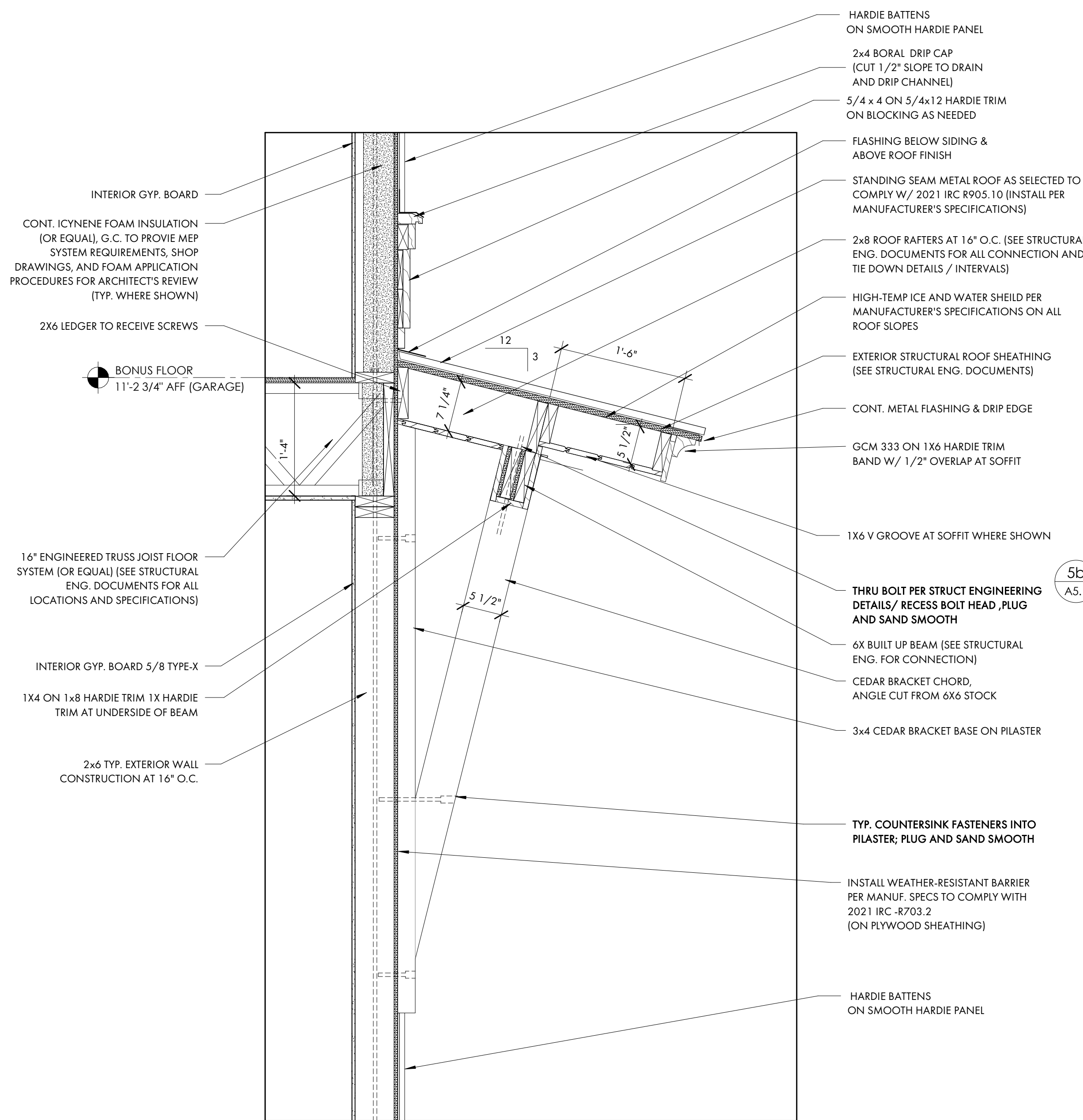
1 TYP. 9/12 ROOF EAVE AND BONUS FLOOR DETAIL  
A5.1 1" = 1'-0"



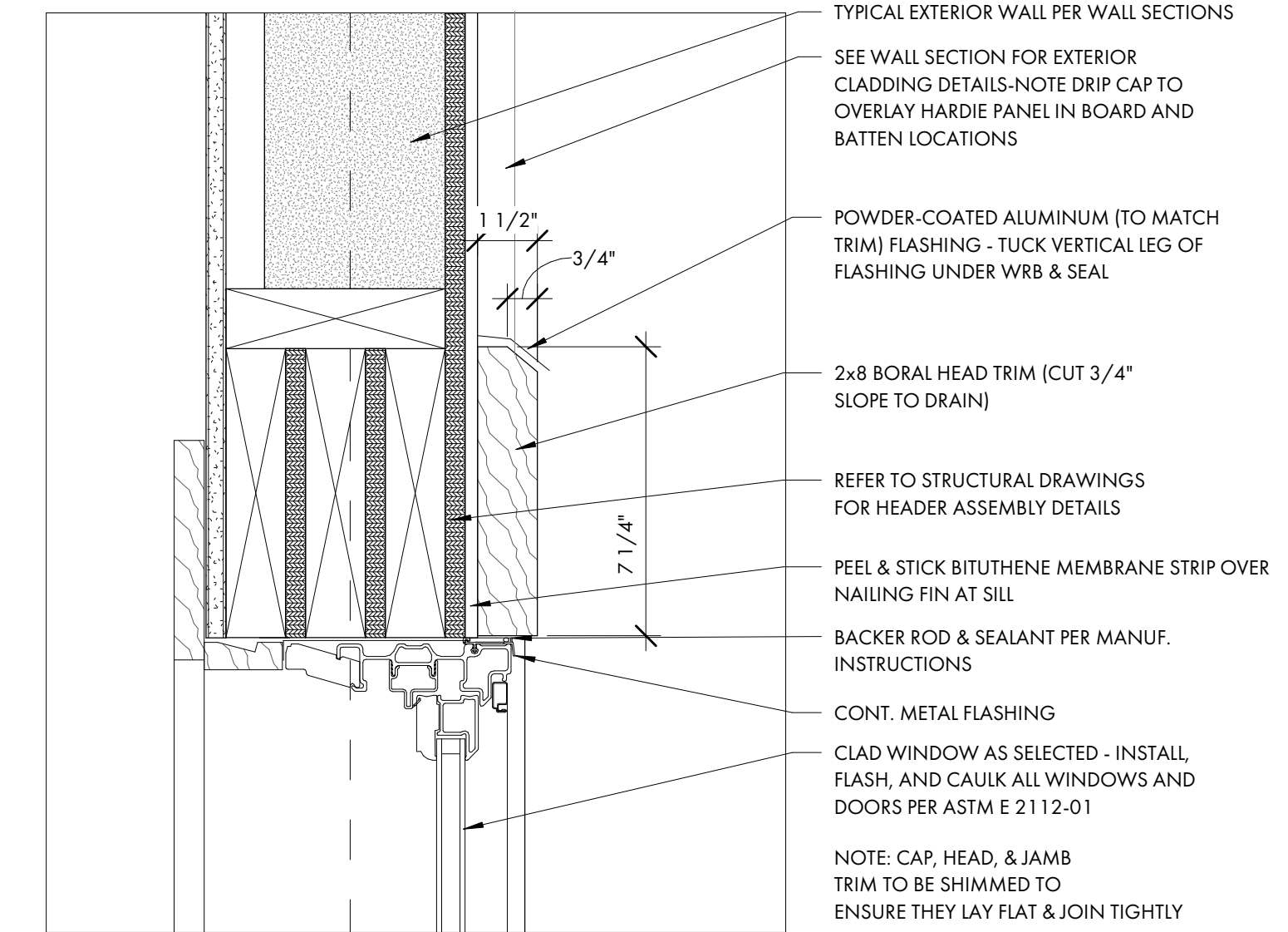
2 TYP. FOUNDATION AT GARAGE  
A5.1 1" = 1'-0"



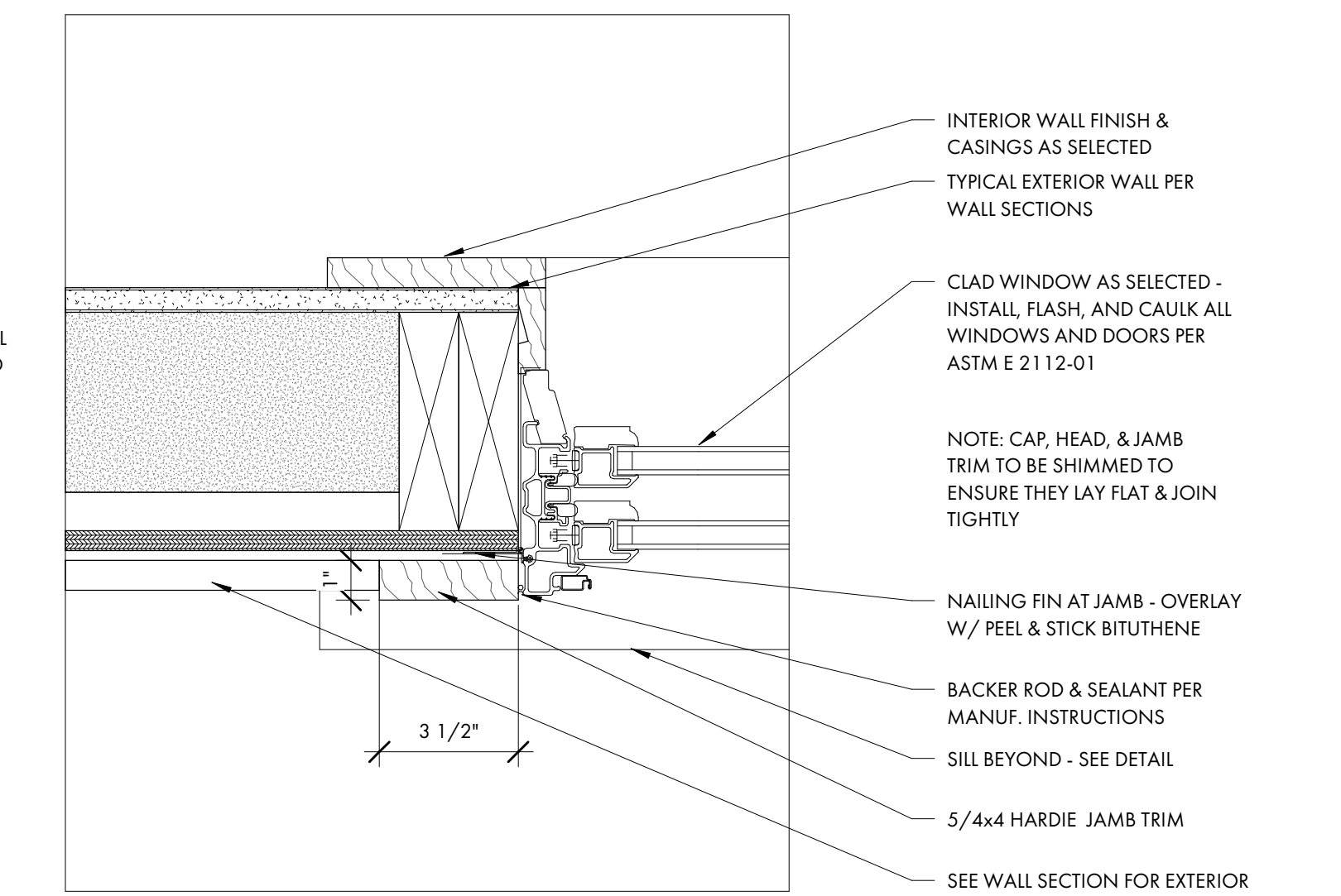
3 TYP. 8/12 REAR UPPER PORCH EAVE DETAIL  
A5.1 1" = 1'-0"



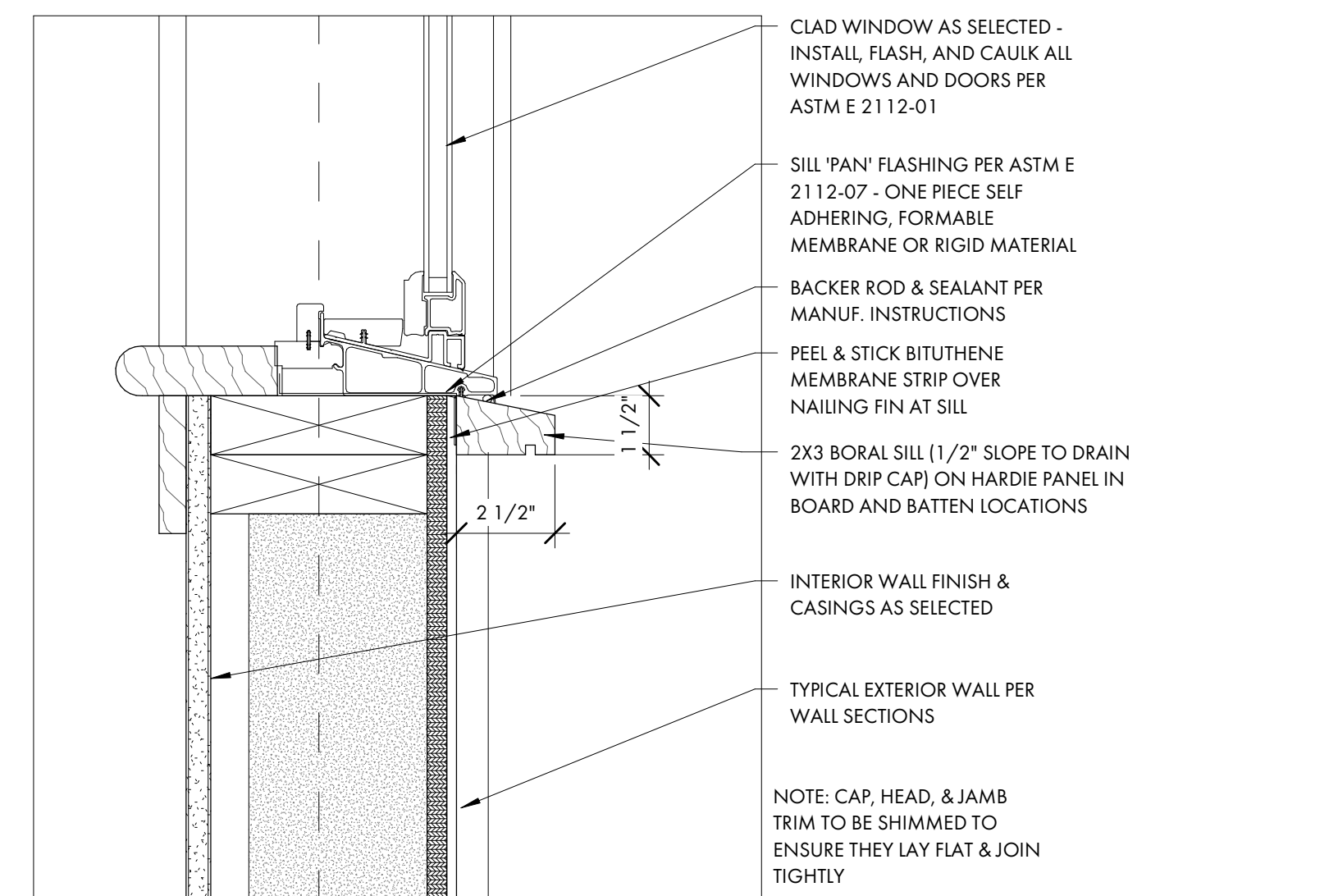
4 3/12 ROOF BRACKET  
A5.1 1" = 1'-0"



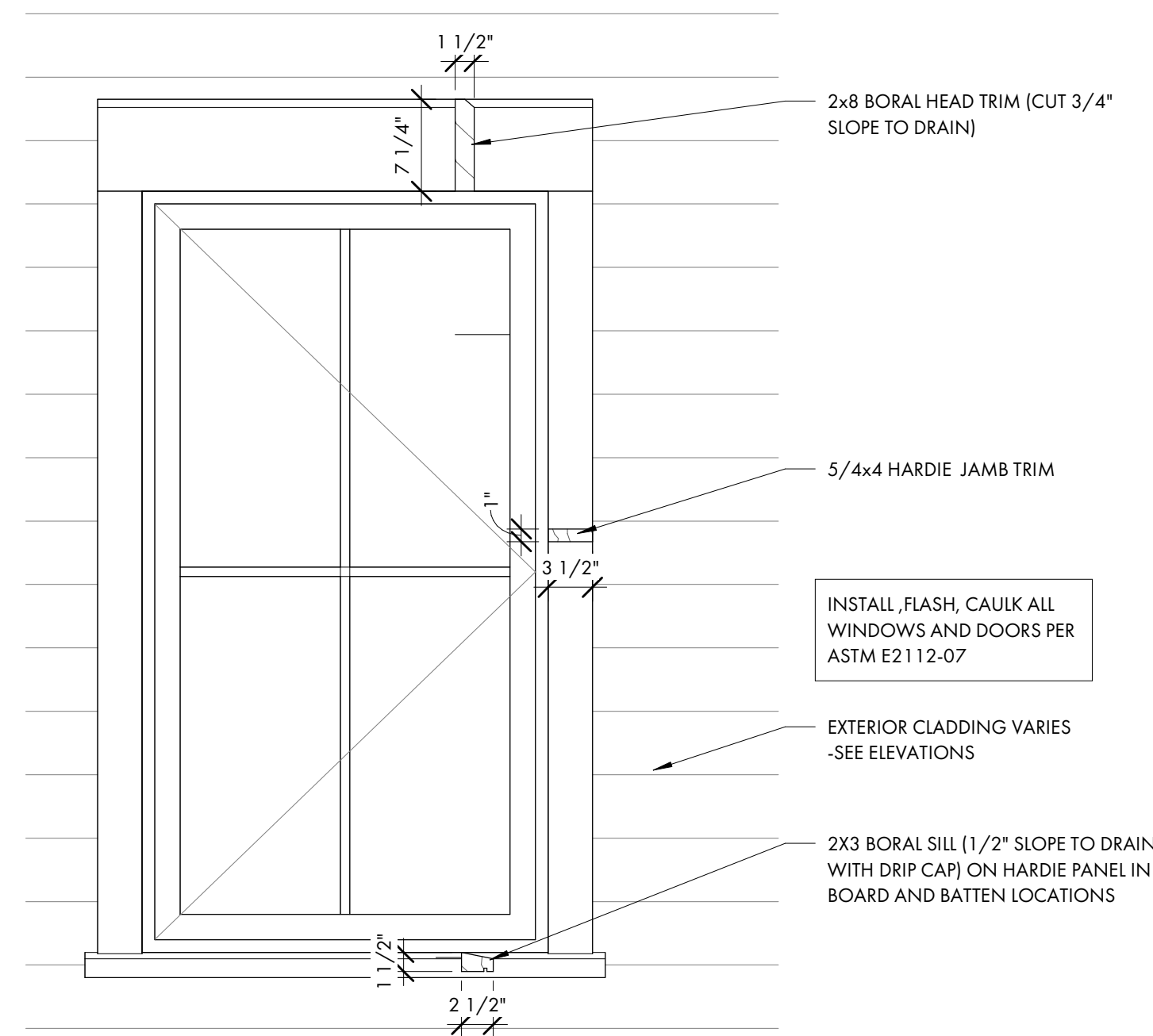
5a WINDOW HEAD DETAIL  
A5.1 3" = 1'-0"



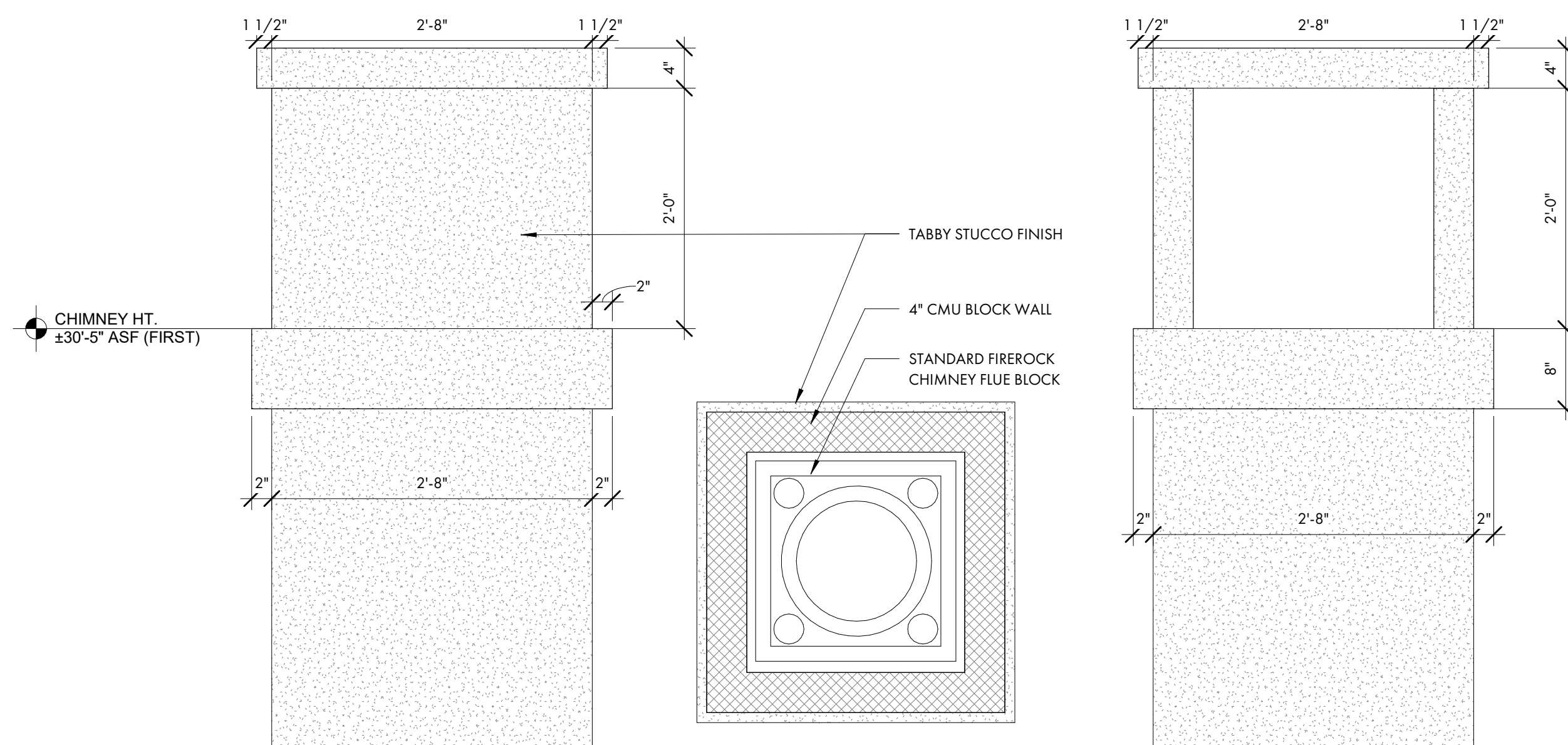
5b WINDOW JAMB DETAIL  
A5.1 3" = 1'-0"



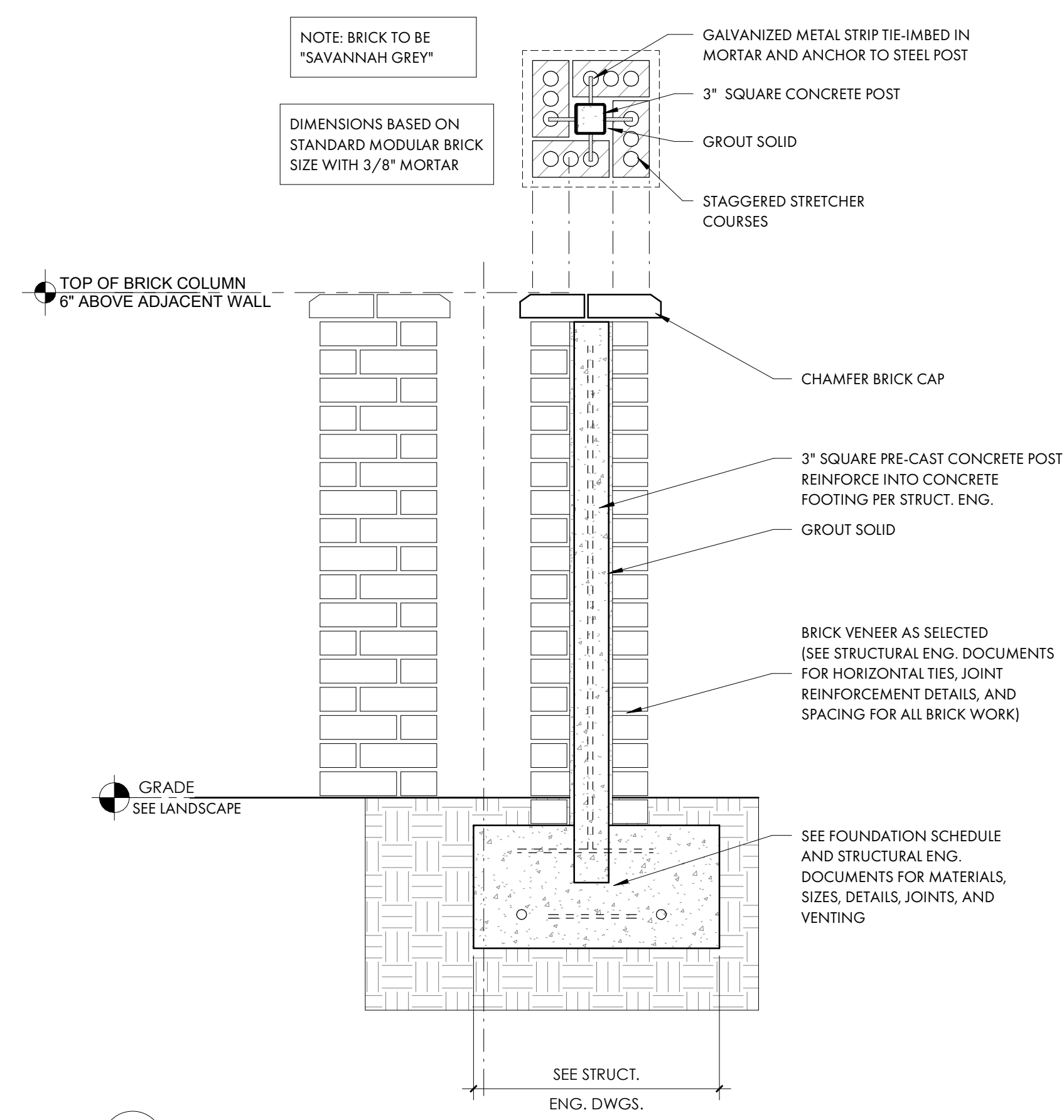
5c WINDOW SILL DETAIL  
A5.1 3" = 1'-0"



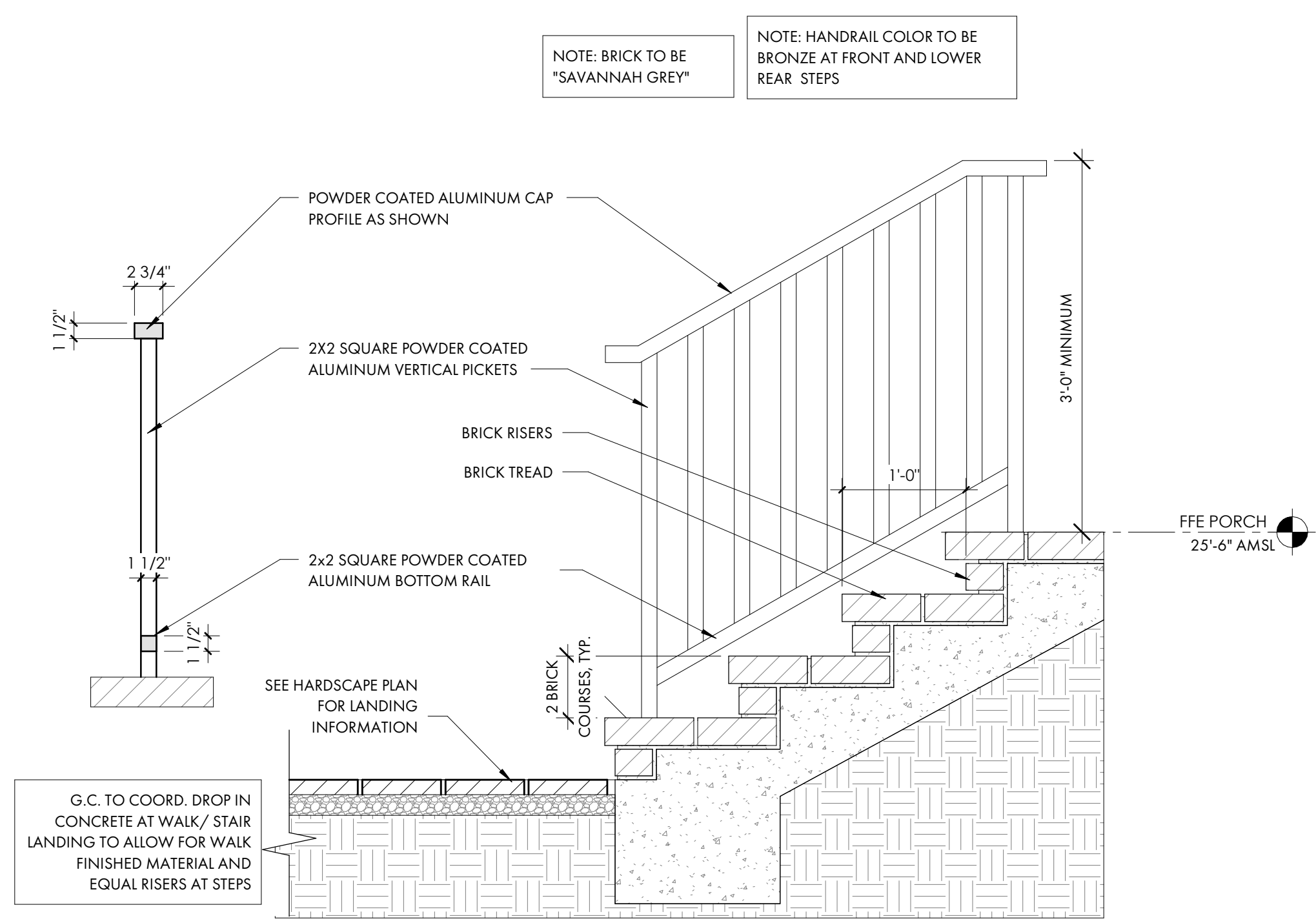
1 WINDOW TRIM DETAIL  
A5.2 1" = 1'-0"



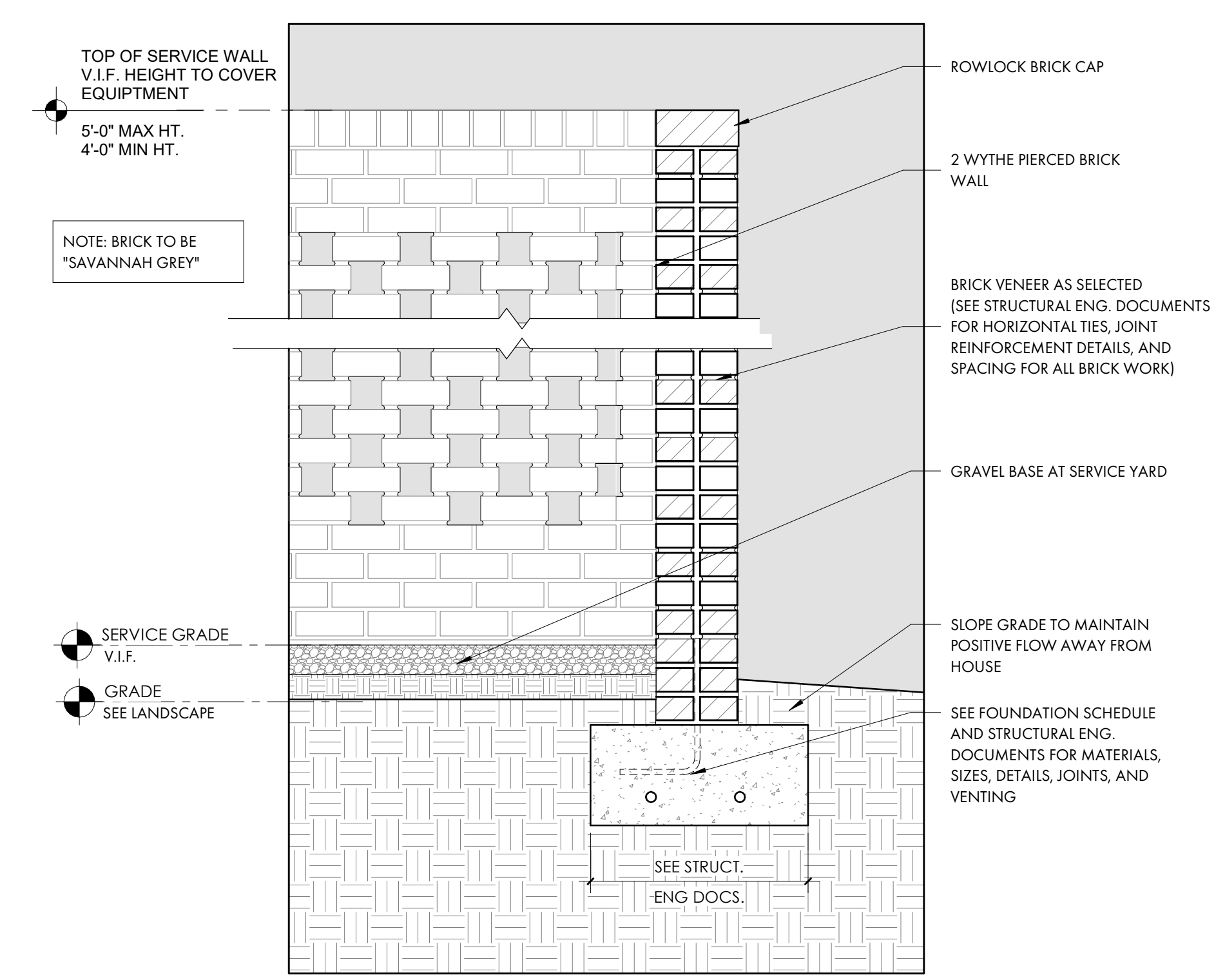
3 TYP. CHIMNEY CAP DETAIL  
A5.2 1" = 1'-0"



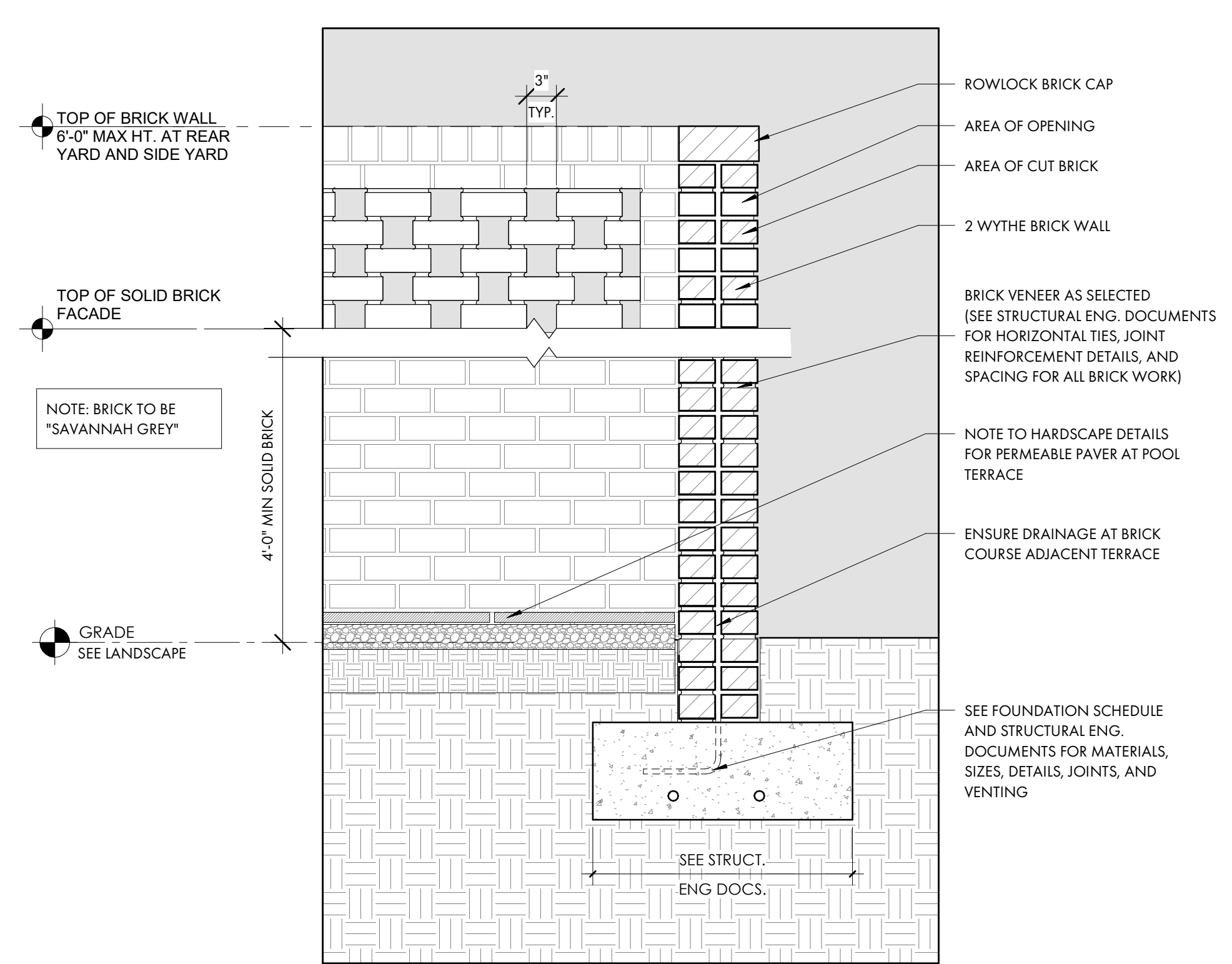
5 TYP. BRICK COLUMN DETAIL  
A5.2 1" = 1'-0"



2 TYP. EXTERIOR STAIR DETAIL  
A5.2 1" = 1'-0"



4 PIERCED BRICK WALL AT SERVICE YARD  
A5.2 1" = 1'-0"



6 PIERCED BRICK PRIVACY WALL AT POOL TERRACE  
A5.2 1" = 1'-0"

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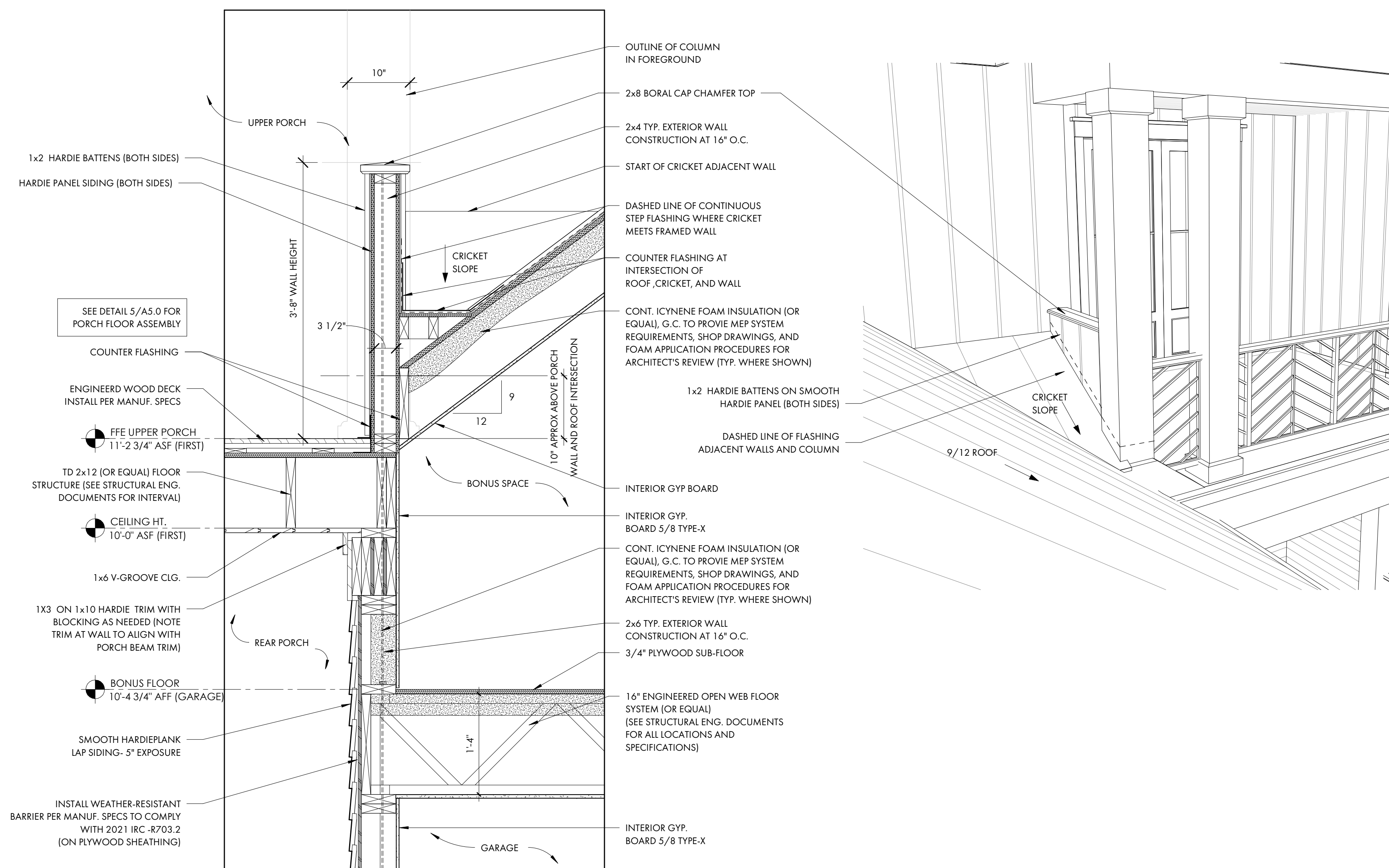
Date: 02.04.2026

Project No.: 25-072

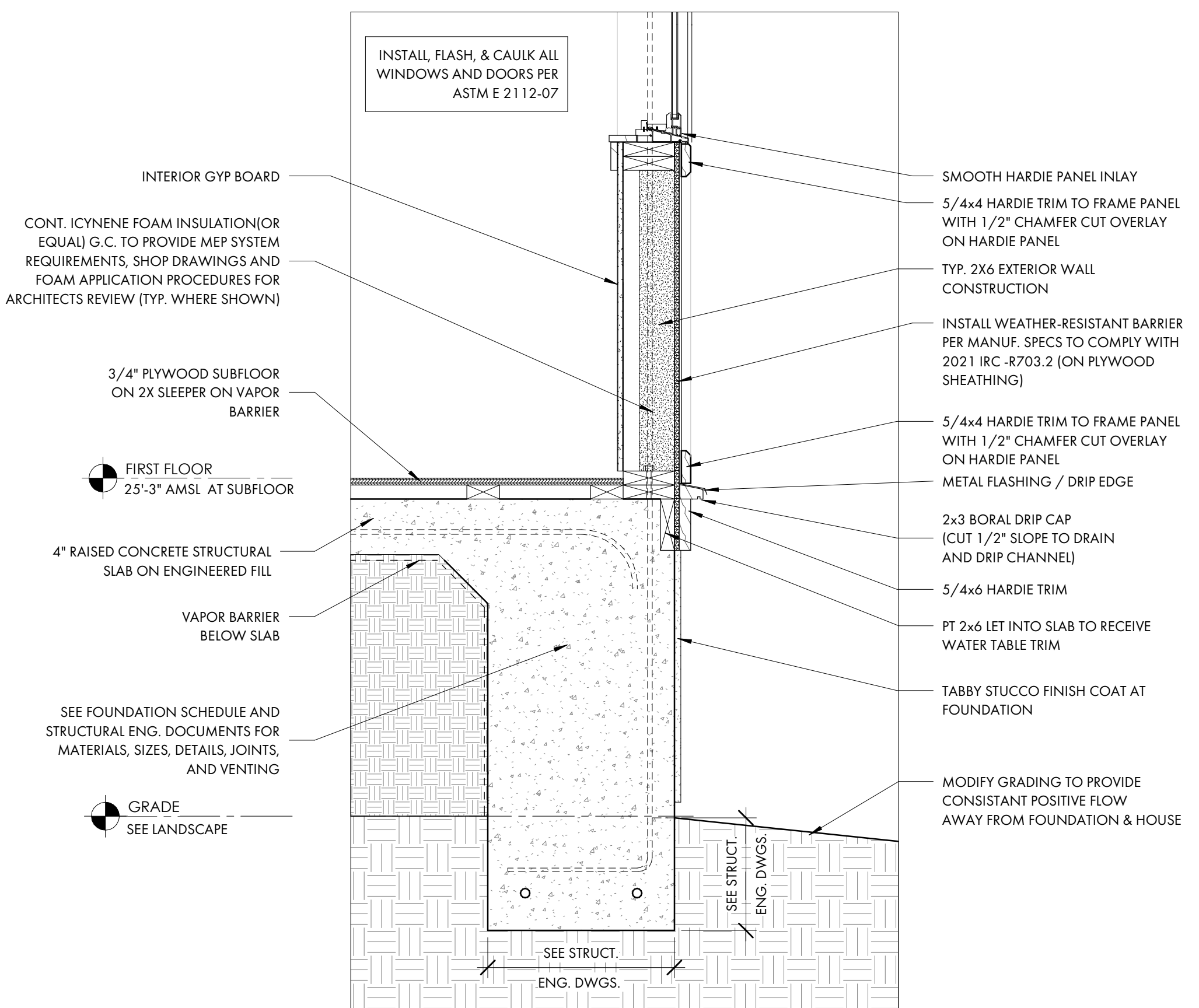
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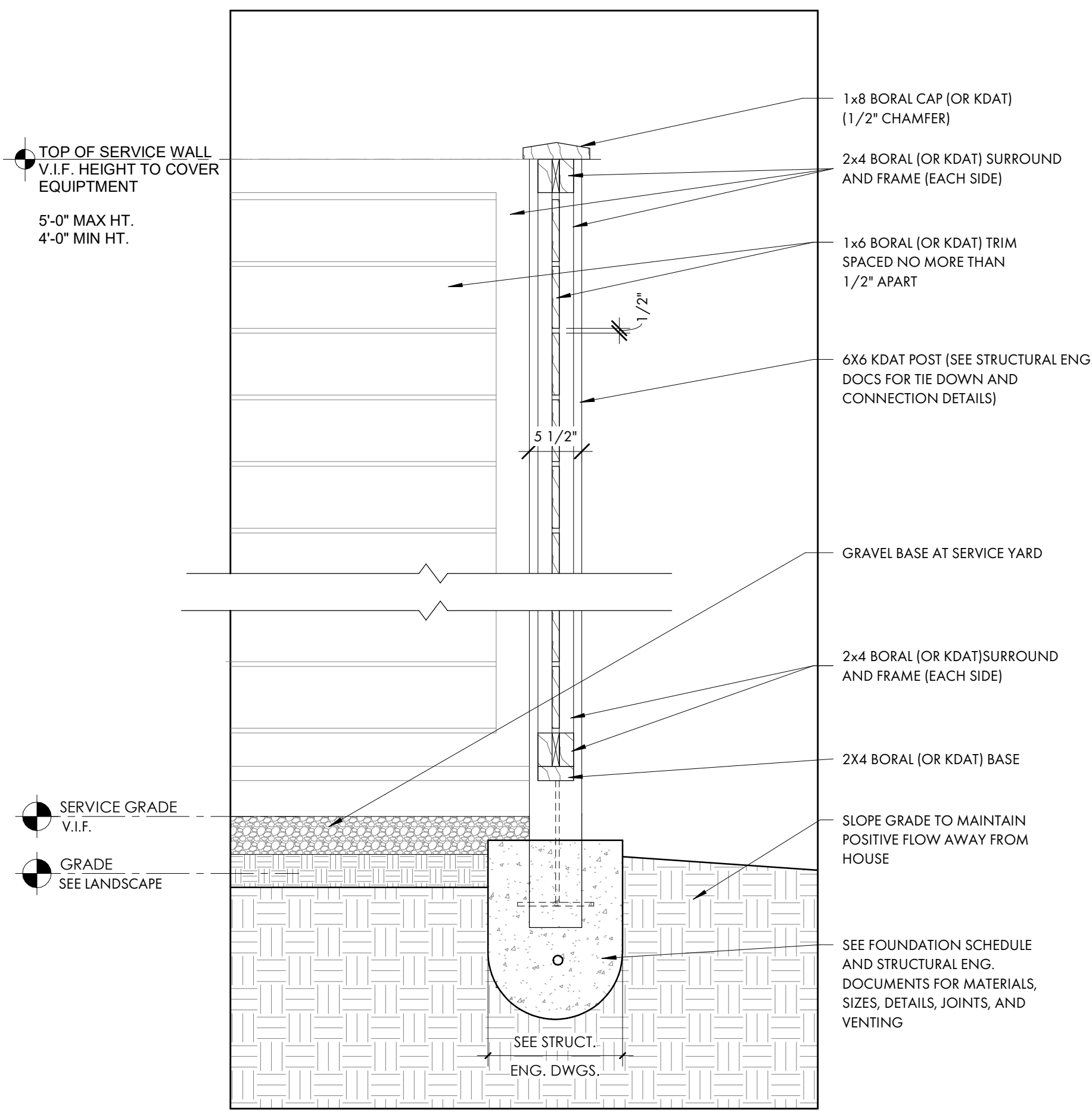
SHEET TITLE



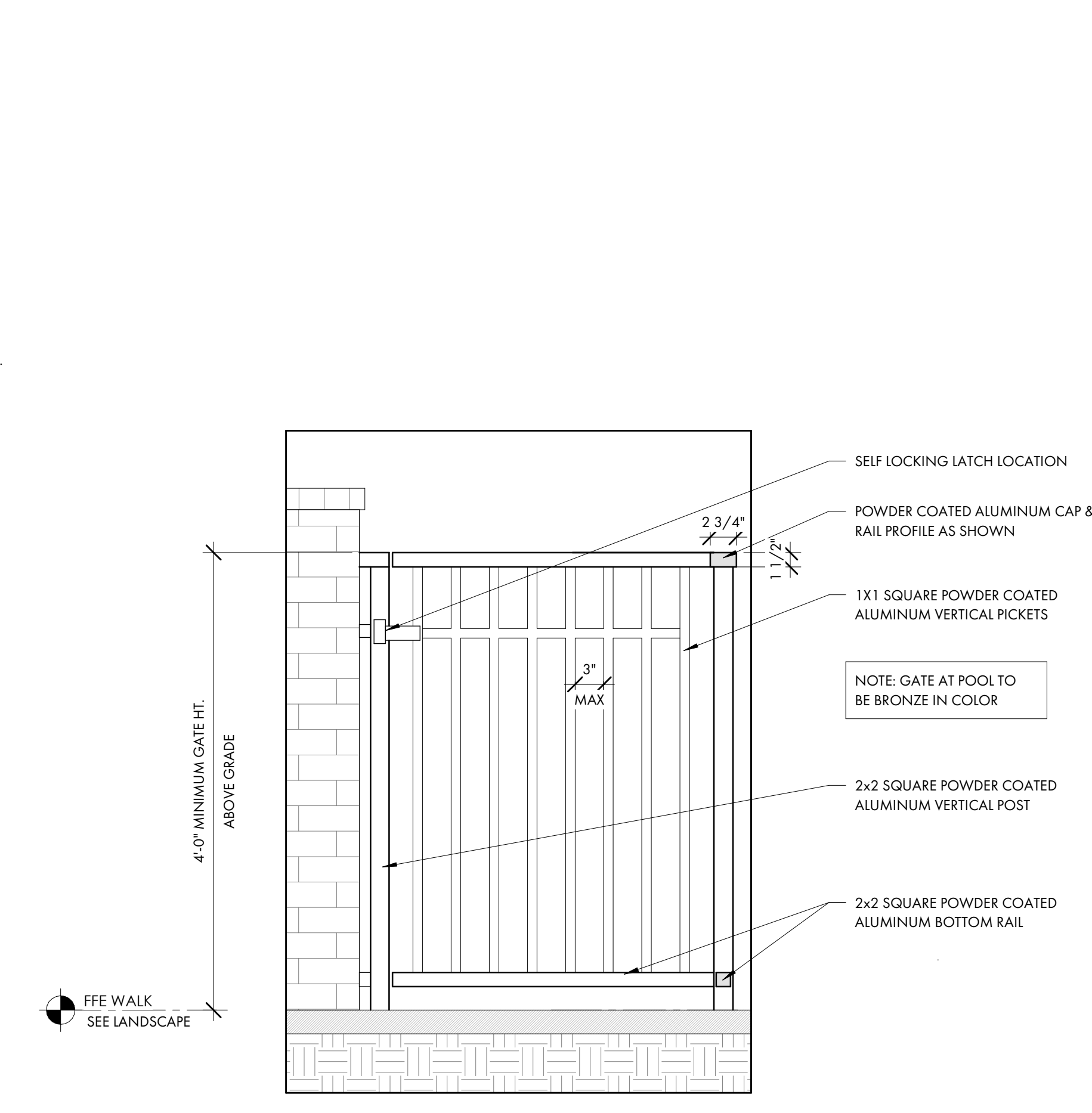
**1** KNEE WALL AT UPPER PORCH DETAIL  
A5.3 1" = 1'-0"



**2** TYP. PANEL BELOW WINDOW  
A5.3 1" = 1'-0"



**3** HOG FENCE AT SERVICE YARD  
A5.3 1" = 1'-0"



**4** GATE AT POOL ENCLOSURE  
A5.3 1" = 1'-0"

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25-072

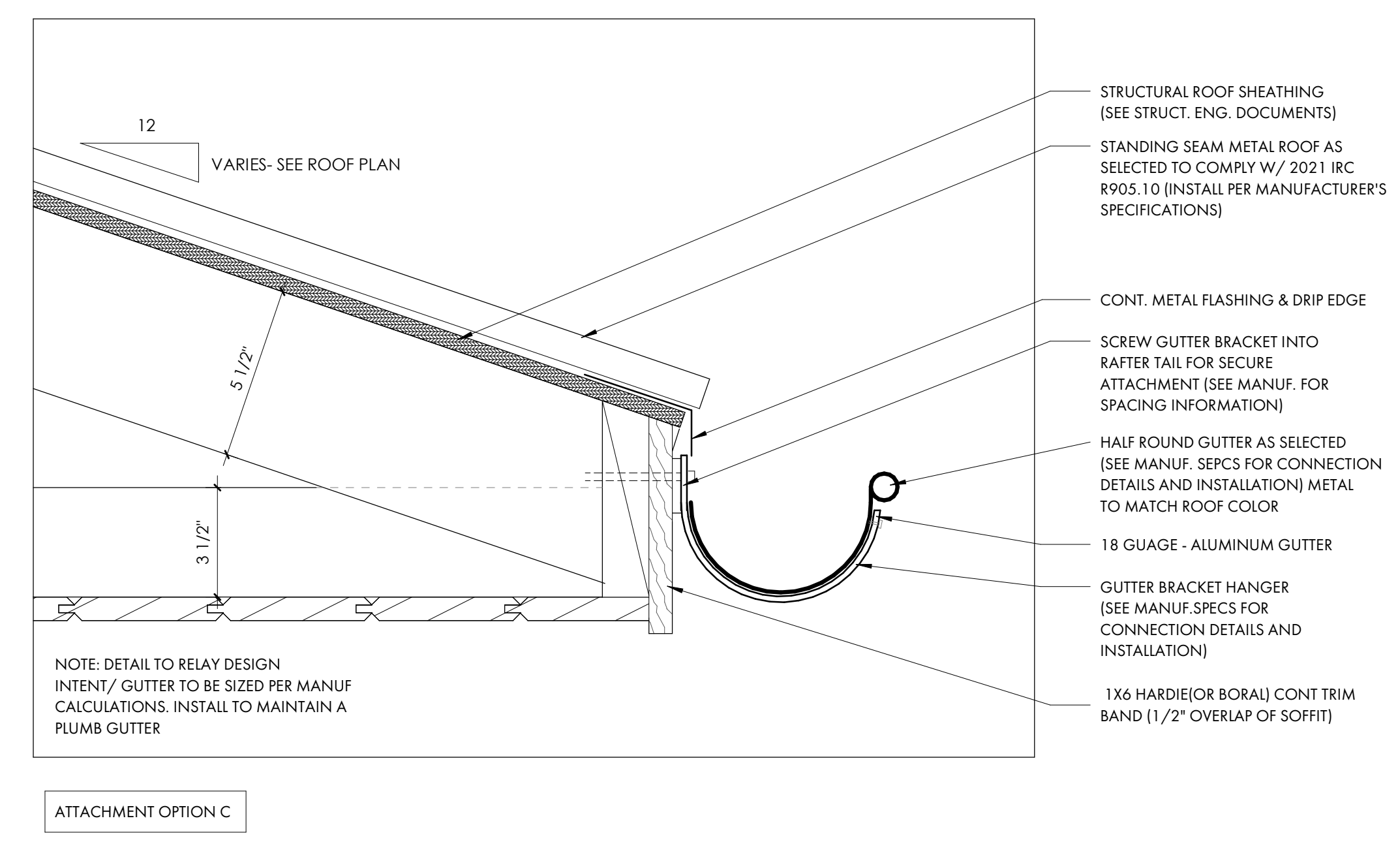
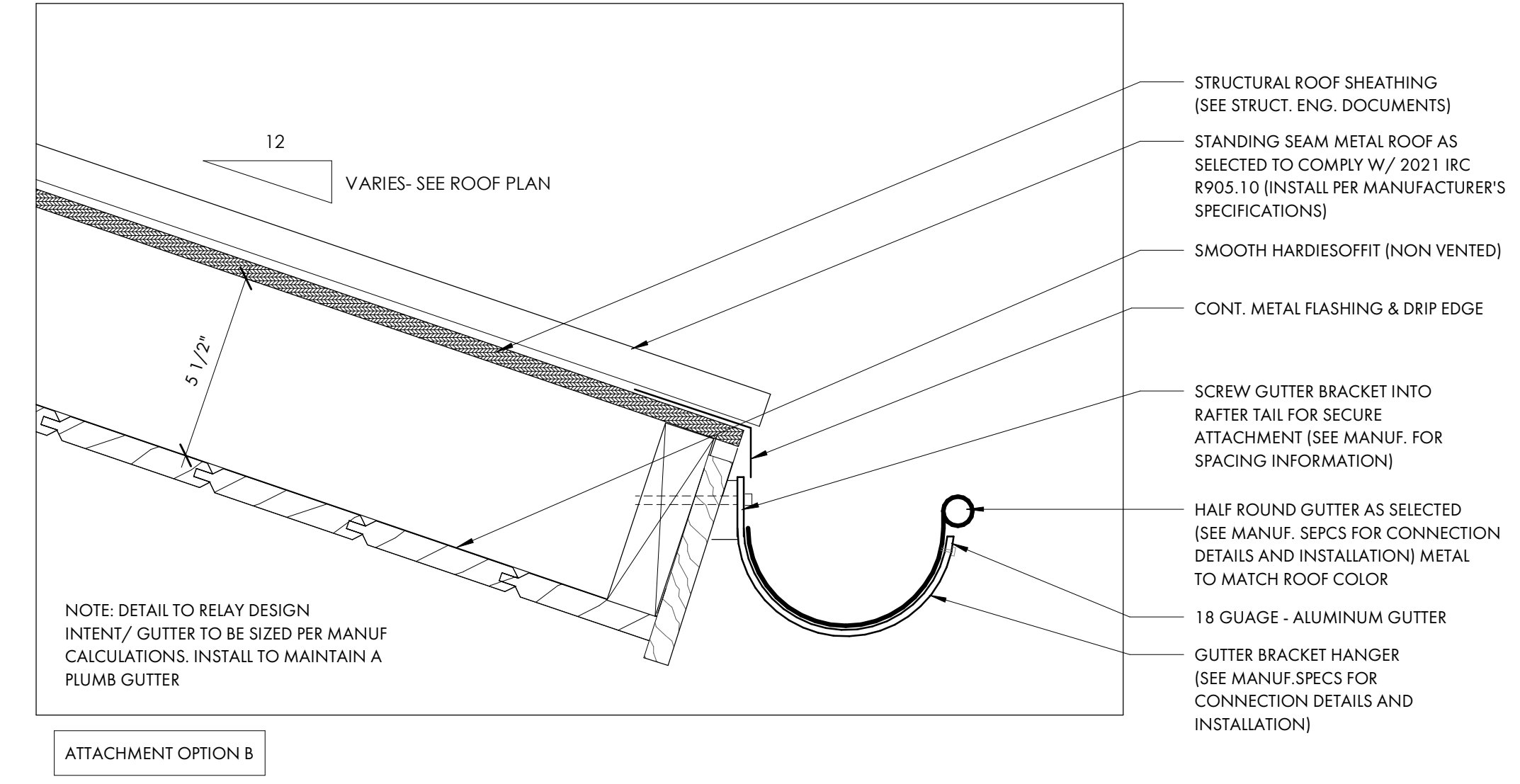
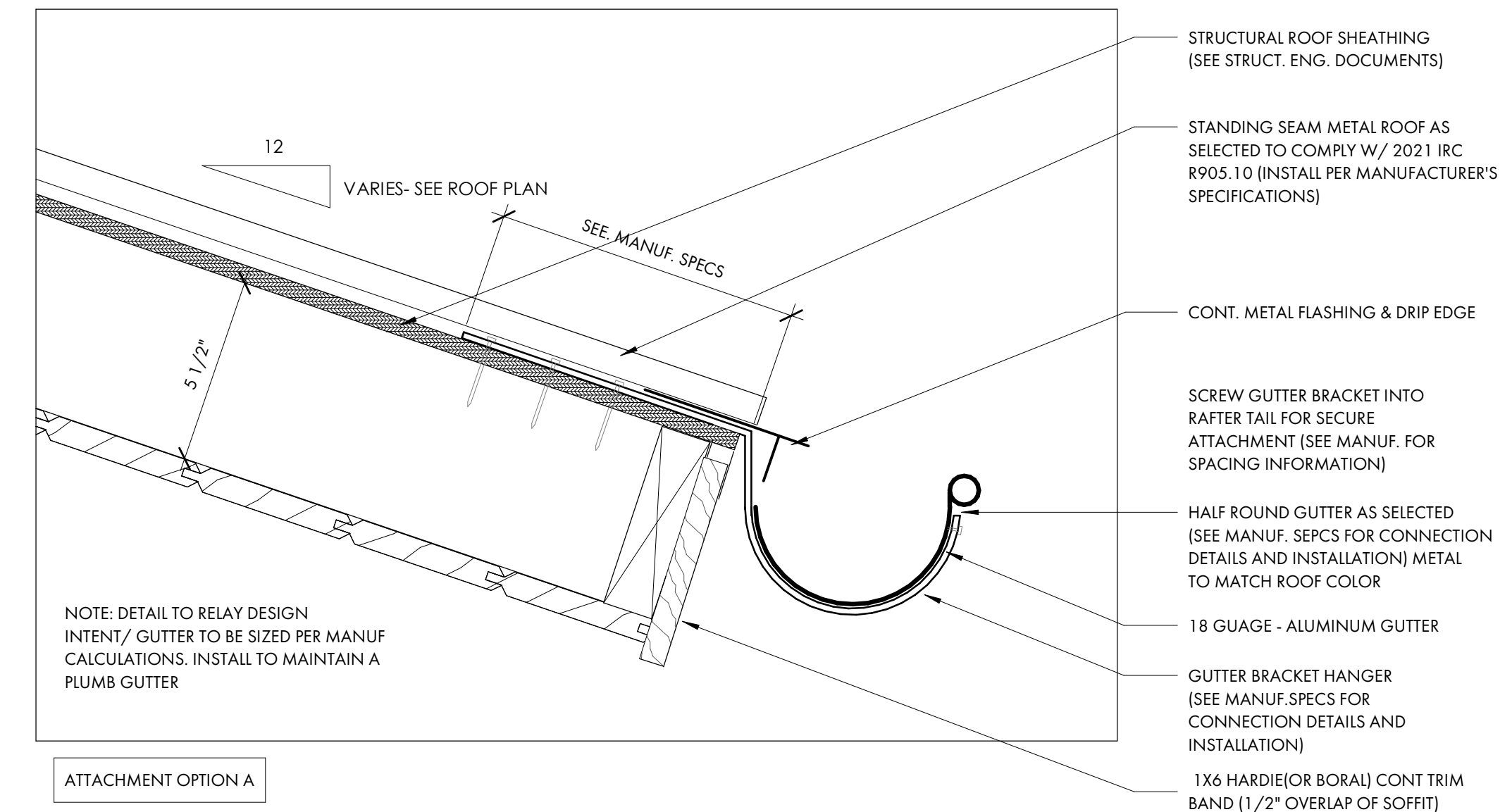
**ISSUE**

NO. REV. DATE DESCRIPTION

**SHEET TITLE**

DETAILS

**A5.4**



1 TYP. GUTTER DETAIL  
A5.4 3" = 1'-0"



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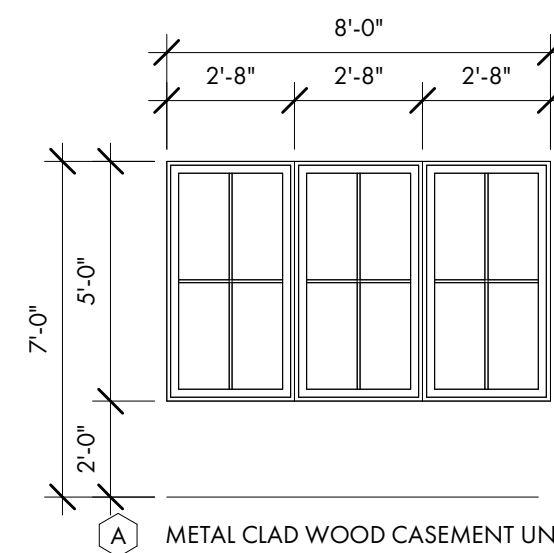
DOOR AND WINDOW  
SCHEDULE

A6.0

CAG - WINDOW SCHEDULE						
U-VALUE AND SOLAR HEAT GAIN FACTOR TO COMPLY W/ ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS OR APPROVED EQUIVALENT OR AS SPECIFIED BY ENGINEER. ASSUME MINIMUM U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30						
DP 50 RATING OR EQUIVALENT BY G.C./ STRUCTURAL ENGINEER AND TO COMPLY WITH ALL APPLICABLE BUILDING CODES AND REGULATORY REQUIREMENTS.						
Type Mark	Window Type	Description	Frame Opening		Head Height	Comments
			Frame Width	Frame Height		
A	METAL CLAD WOOD CASEMENT UNITS	(3) 2'-8" x 5'-0"	8'-0"	5'-0"	7'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
B	METAL CLAD WOOD CASEMENT UNITS	(2) 2'-8" x 5'-8"	5'-4"	5'-8"	8'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
C	METAL CLAD WOOD CASEMENT UNITS	(2) 2'-8" x 5'-0"	5'-4"	5'-0"	8'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E	METAL CLAD WOOD CASEMENT UNITS	2'-8" x 6'-0"	2'-8"	6'-0"	8'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
F	METAL CLAD WOOD CASEMENT UNITS	2'-8" x 5'-8"	2'-8"	5'-8"	8'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
G	METAL CLAD WOOD CASEMENT UNITS	2'-8" x 5'-0"	2'-8"	5'-0"	8'-0"	TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.

PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION R301.2.1.2 OF THE 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER W/ A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

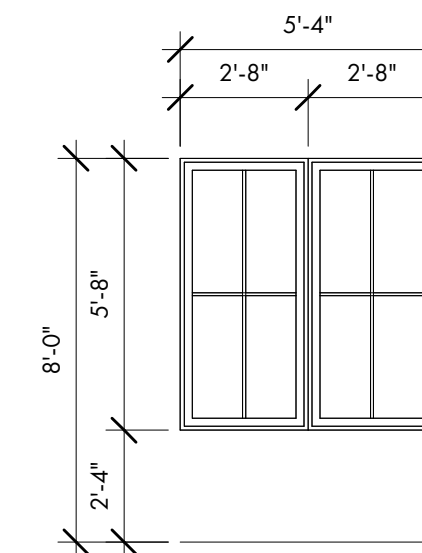
G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS  
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-23.



(A) METAL CLAD WOOD CASEMENT UNITS

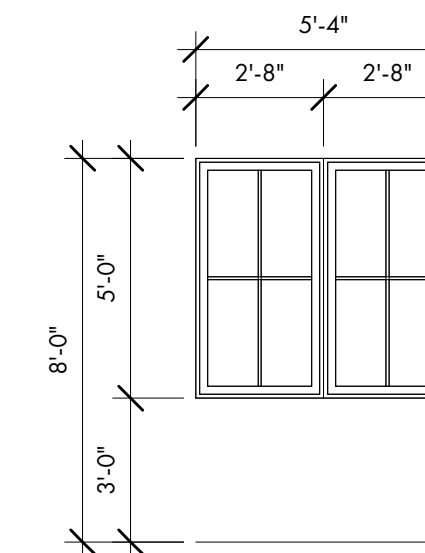
(3) 2'-8" x 5'-0" (R.O. ± 8'-0" x 5'-0")  
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)  
MANUFACTURER T.B.D. BY G.C./ OWNER  
DP RATING 50 OR APPROVED EQUIVALENT

EGRESS AT BONUS ROOM



(B) METAL CLAD WOOD CASEMENT UNITS

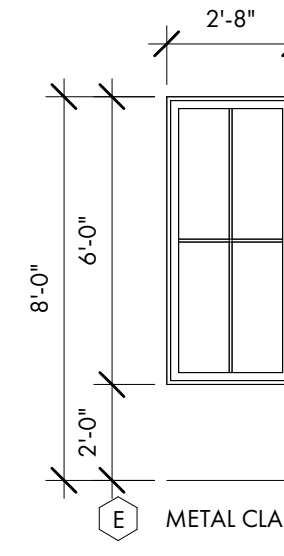
(2) 2'-8" x 5'-8" (R.O. ± 5'-4" x 5'-8")  
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)  
MANUFACTURER T.B.D. BY G.C./ OWNER  
DP RATING 50 OR APPROVED EQUIVALENT



(C) METAL CLAD WOOD CASEMENT UNIT

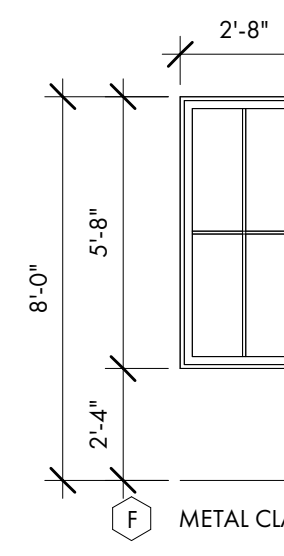
(2) 2'-8" x 5'-0" (R.O. ± 5'-4" x 5'-0")  
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)  
MANUFACTURER T.B.D. BY G.C./ OWNER  
DP RATING 50 OR APPROVED EQUIVALENT

(D) NOT USED



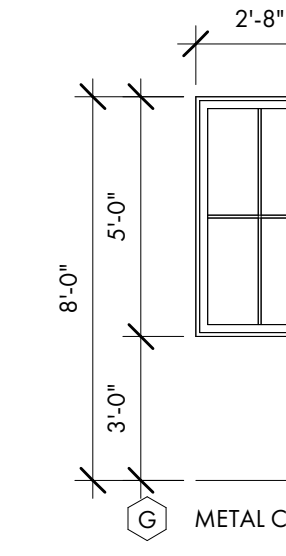
(E) METAL CLAD WOOD CASEMENT UNIT

2'-8" x 6'-0" (R.O. ±)  
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)  
MANUFACTURER T.B.D. BY G.C./ OWNER  
DP RATING 50 OR APPROVED EQUIVALENT



(F) METAL CLAD WOOD CASEMENT UNITS

2'-8" x 5'-8" (R.O. ±)  
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)  
MANUFACTURER T.B.D. BY G.C./ OWNER  
DP RATING 50 OR APPROVED EQUIVALENT



(G) METAL CLAD WOOD CASEMENT UNIT

2'-8" x 5'-0" (R.O. ±)  
SDL MUNTINS W/ SPACER BAR (PATTERN AS SHOWN)  
MANUFACTURER T.B.D. BY G.C./ OWNER  
DP RATING 50 OR APPROVED EQUIVALENT

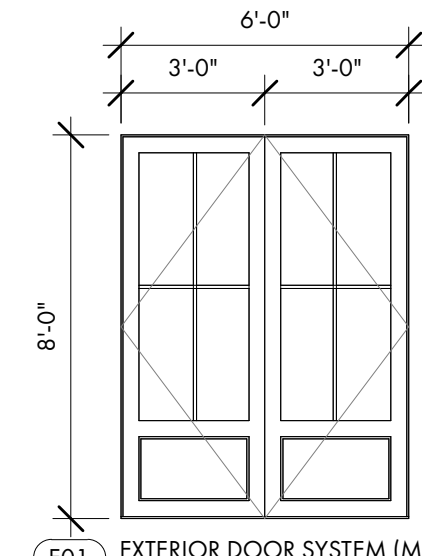
EGRESS AT BEDROOMS #3 AND #4

CAG - DOOR SCHEDULE - EXT.									
Mark	Door Type	Description	R.O.		Head Height	Thickness	Design Pressure	Energy Code	Type Comments
			Rough Width	Rough Height					
E01	EXTERIOR METAL CLAD WOOD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E02	EXTERIOR METAL CLAD WOOD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E03	EXTERIOR METAL CLAD WOOD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E04	EXTERIOR METAL CLAD WOOD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E05	EXTERIOR METAL CLAD WOOD DOOR	3'-0" x 8'-0"	3'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E06	EXTERIOR METAL CLAD WOOD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E07	EXTERIOR METAL CLAD WOOD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E08	EXTERIOR METAL CLAD WOOD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E09	EXTERIOR GARAGE DOOR	9'-0" x 8'-0"	9'-0"	8'-0"	8'-0"	TBD			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
E10	EXTERIOR GARAGE DOOR	9'-0" x 8'-0"	9'-0"	8'-0"	8'-0"	TBD			TYPE & FINISH BY G.C./ OWNER. SEE ELEVATION.
11	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
12	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
13	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
14	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
15	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
17	INTERIOR DOOR	3'-0" x 8'-0"	3'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER. 20-MIN. FIRE-RATED DOOR
18	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
19	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
20	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
21	INTERIOR DOUBLE DOOR	(2) 2'-0" x 7'-0"	4'-0"	7'-0"	7'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
22	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
23	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
24	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
25	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
26	INTERIOR DOUBLE POCKET DOOR	(2) 2'-4" x 8'-0"	4'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
27	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
28	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
29	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
30	INTERIOR DOUBLE DOOR	(2) 2'-0" x 8'-0"	4'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
31	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
32	INTERIOR DOUBLE DOOR	(2) 2'-0" x 8'-0"	4'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.
33	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C./ OWNER.

PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION R301.2.1.2 OF THE 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER W/ A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS  
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-23.

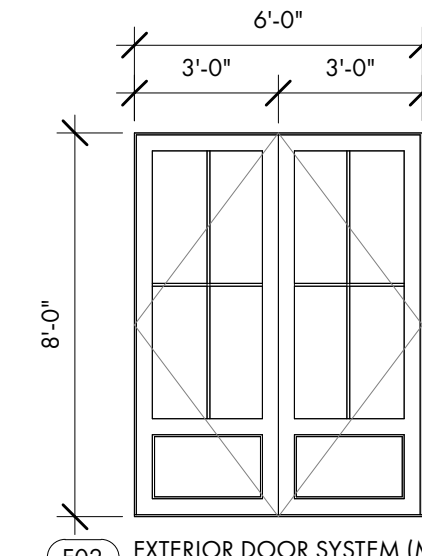
NOTE: ADJUST DOOR HEIGHT TO PROVIDE TRUE 8'-0" R.O. TO ALIGN WITH WINDOWS AND EXTERIOR DOORS.



(E01) EXTERIOR DOOR SYSTEM (METAL CLAD WOOD) INSWING DOOR

(E03) 3'-0" x 8'-0" (R.O. ± 7'-0" x 8'-0")  
SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)  
MANUFACTURER T.B.D. BY G.C./ OWNER  
DP RATING 50 OR APPROVED EQUIVALENT

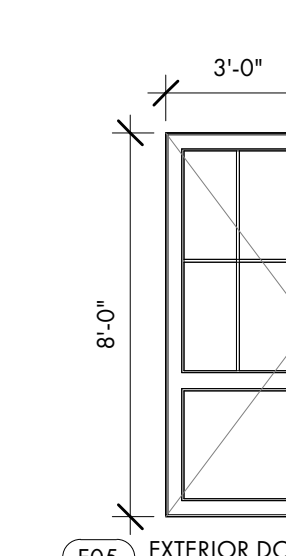
ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0" ROUGH OPENINGS - TOP OF DOOR TO ALIGN W/ TOP OF ADJACENT WINDOWS



(E02) EXTERIOR DOOR SYSTEM (METAL CLAD WOOD) OUTSWING DOOR

(E04) (2) 3'-0" x 8'-0" (R.O. ± 6'-0" x 8'-0")  
(E07) SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)  
(E08) MANUFACTURER T.B.D. BY G.C./ OWNER  
(E06) DP RATING 50 OR APPROVED EQUIVALENT

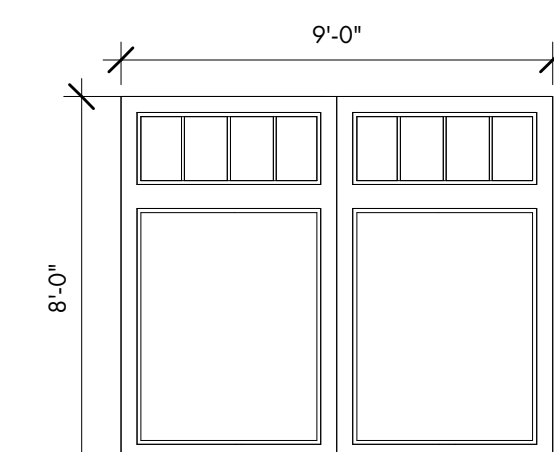
ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0" ROUGH OPENINGS - TOP OF DOOR TO ALIGN W/ TOP OF ADJACENT WINDOWS



(E05) EXTERIOR DOOR SYSTEM (METAL CLAD WOOD) OUTSWING DOOR

(E05) 3'-0" x 8'-0" (R.O. ±)  
SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)  
MANUFACTURER T.B.D. BY G.C./ OWNER  
DP RATING 50 OR APPROVED EQUIVALENT

ADJUST DOOR HEIGHT TO ENSURE TRUE 8'-0" ROUGH OPENINGS - TOP OF DOOR TO ALIGN W/ TOP OF ADJACENT WINDOWS



(E09) EXTERIOR DOOR SYSTEM (STEEL STRUCTURE/ COMPOSITE OVERLAY) GARAGE DOOR

(E10) 9'-0" x 8'-0" (R.O. ±)  
SDL MUNTINS W/ SPACE BAR (PATTERN AS SHOWN)  
MANUFACTURER T.B.D. BY G.C./ OWNER  
DP RATING 50 OR APPROVED EQUIVALENT





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PROJECT INFO

Date  
02.04.2026

Project No.  
25-072

ISSUE

NO. REV. DATE DESCRIPTION

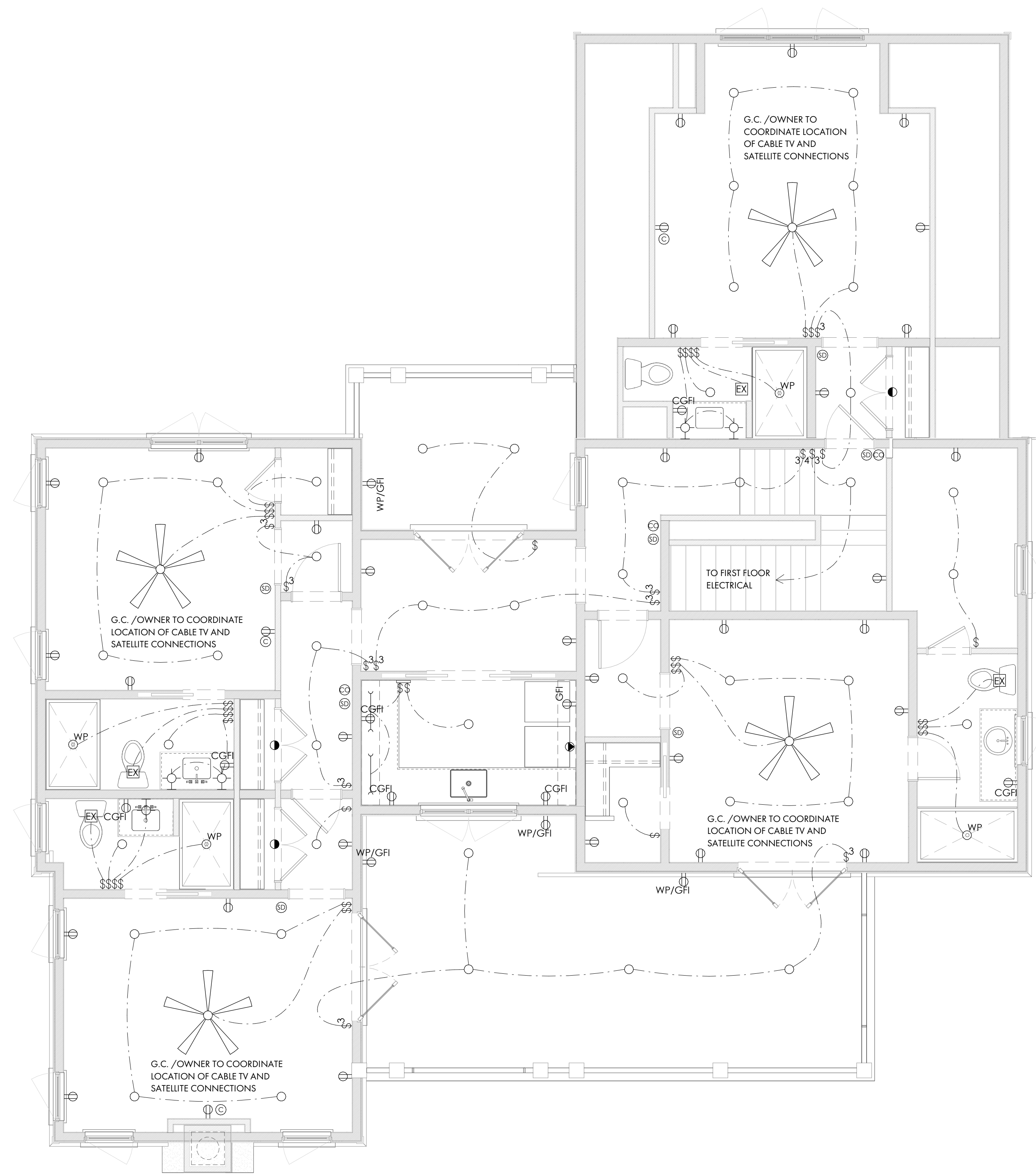
SHEET TITLE

SECOND FLOOR ELEC.  
PLAN

E2.2

ELECTRICAL PLAN - SYMBOL KEY

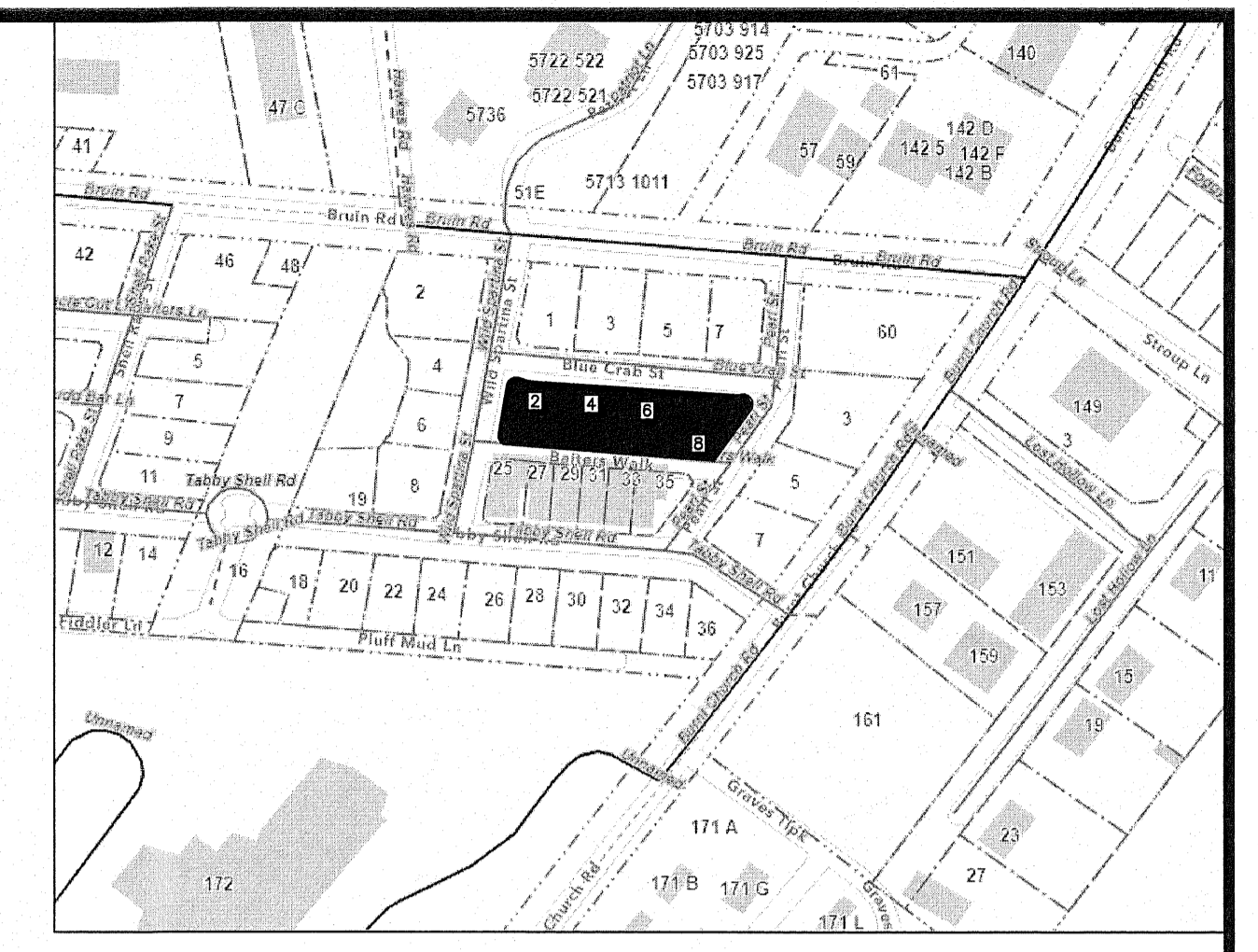
	DUPLEX RECEPTACLE	1. COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER
	GFI RECEPTACLE	2. VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD.
	COUNTERTOP LEVEL GFI RECEPTACLE	3. ALL SWITCHES TO BE 42" A.F.F. UNLESS OTHER-WISE NOTED.
	GFI IN WATERPROOF BOX	4. GENERAL CONTRACTOR TO VERIFY SIZING OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD.
	UNDER-COUNTER RECEPTACLE	5. ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL.
	SWITCH DUPLEX RECEPTACLE	6. ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED.
	220V RECEPTACLE	7. ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS, AND BASEBOARDS WHERE POSSIBLE.
	FLOOR RECEPTACLE	8. SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C.
	GARAGE DOOR OPENER	9. OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS.
	SWITCH	10. OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATION OR PROVIDE FOR REMOTE THERMOSTAT SENSORS.
	3-WAY SWITCH	11. OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS, AND SURGE PROTECTION TO BE PROVIDED AT REMOTE POINTS OR PRIMARY LOCATIONS.
	4-WAY SWITCH	12. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE. SERVICE MAY INCLUDE A COMBINATION OF RENNAI INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/ CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.
	WATERPROOF SWITCH	13. OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOUSE TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS, PC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND "DIAL-IN" TECHNOLOGY.
	DIMMER SWITCH	14. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN GROUND PROPANE TANK SERVICE NATURAL GAS SERVICE IF OR APPLICABLE.
	CABLE	15. OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING.
	SMOKE DETECTOR	16. OWNER/G.C. TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS.
	CARBON MONOXIDE DETECTOR	17. KITCHEN CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. OWNER/G.C. TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES.
	RECESSED CAN LIGHT	18. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX.
	HEADER MOUNTED FLUSH LIGHT	19. ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E3902.1.6.
	DIRECTIONAL CAN LIGHT	20. OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2021 IRC SECTION M1305.1.3.
	WATERPROOF CAN LIGHT	21. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R314.
	JUNCTION BOX	22. ALL GROUNDING POINTS AVAILABLE TO CONFORM TO 2021 IRC SECTIONS 3607-3611.
	PENDANT LIGHT	23. AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2021 IRC SECTION N1104.1.
	WALL SCONCE	
	UNDERCABINET LIGHT	
	PIN LIGHT	
	STEP LIGHT	
	EXHAUST FAN	
	DOOR BELL	
	DOOR BELL CHIME	
	2' X 2' FLUORESCENT	
	2' X 4' FLUORESCENT	
	CEILING FAN	
	ELECTRIC METER NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2021 IRC SECTION E3405.1	
	CIRCUIT PANEL BOX NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2021 IRC SECTION E3405.1	



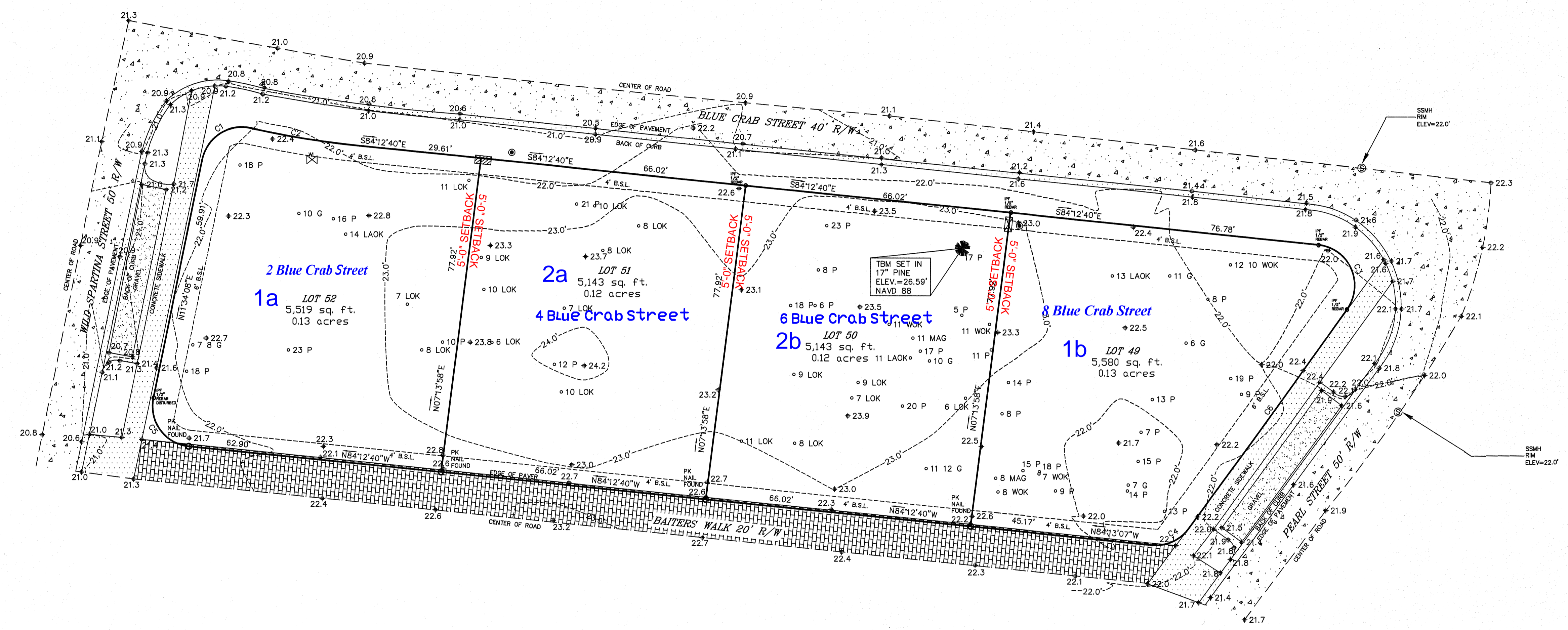


CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA ANGLE
C1	15.92	10.00	14.29	S57°10'44"W	91°12'16"
C2	28.07	220.00	28.05	S80°52'00"E	7°18'38"
C3	30.90	10.00	17.30	N24°19'20"W	118°43'55"
C4	10.39	10.00	9.93	N66°00'43"E	59°32'13"
C5	16.72	10.00	14.84	S36°19'16"E	95°48'15"
C6	67.04	5735.60	67.04	N35°54'05"E	0°40'11"

- TREE LEGEND
- WHIOK - WHITE OAK
  - LAOK - LAUREL OAK
  - LOK - LIVE OAK
  - WOK - WATER OAK
  - ROK - RED OAK
  - PCAN - PECAN
  - MAG - MAGNOLIA
  - HIC - HICKORY
  - MPL - MAPLE
  - PLM - PALMETTO
  - CHY - CHERRY
  - HLV - HOLLY
  - CDR - CEDAR
  - RDB - RED BUD
  - SAS - SASSAFRAS
  - DOG - DOGWOOD
  - SB - SUGARBERRY
  - P - PINE
  - G - GUM
  - B - BAY

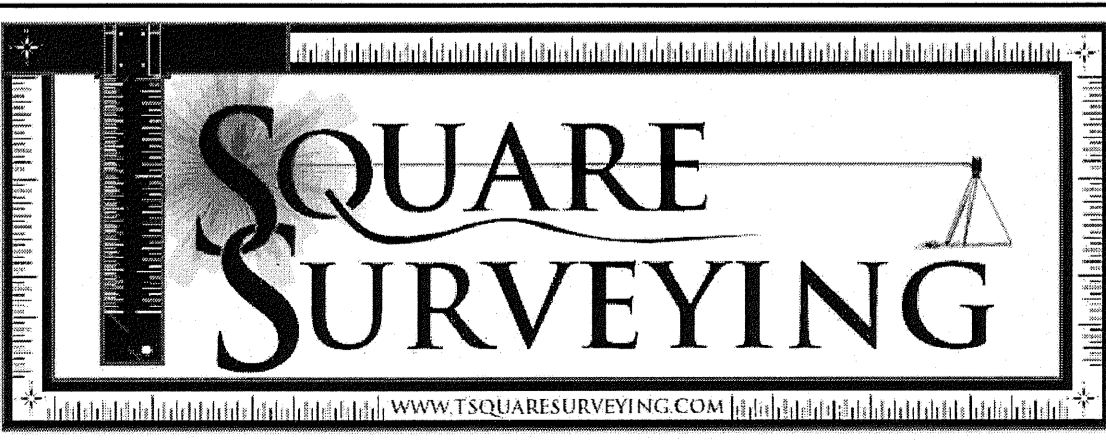
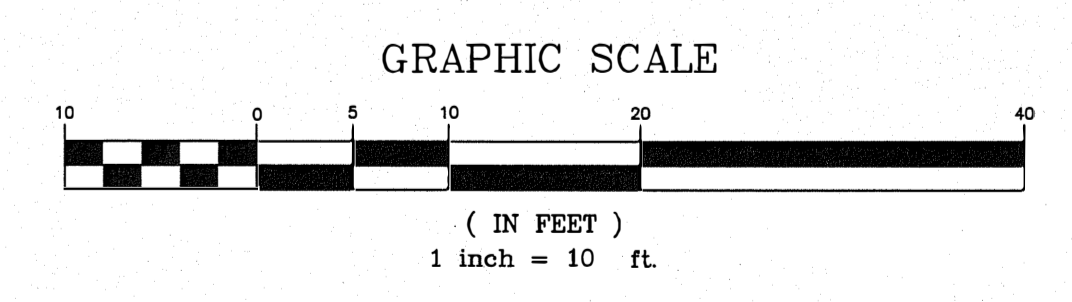


LOCATION MAP NOT TO SCALE

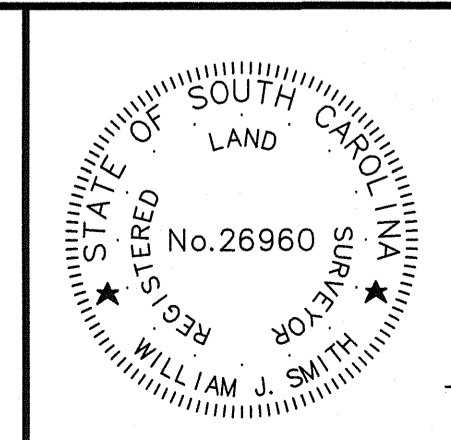


LEGEND

- CMS - CONCRETE MONUMENT SET
- CMF - CONCRETE MONUMENT FOUND
- IPS - IRON PIN SET
- IPF - IRON PIN FOUND
- # - INDICATES STREET ADDRESS
- TBM - TEMPORARY BENCH MARK
- BSL - BUILDING SETBACK LINE
- ⊙ - TELEPHONE PEDESTAL/ COMMUNICATOR
- ⊙ - SEWER LATERAL
- ⊙ - SANITARY SEWER MANHOLE
- ⊙ - ELECTRIC BOX
- ⊙ - SPOT ELEVATION SHOTS
- ⊙ - CONTOUR LINES
- ⊙ - XFMR - TRANSFORMER
- ⊙ - WATER LATERAL
- ⊙ - WATER METER
- ⊙ - IRRIGATION CONTROL VALVE
- ⊙ - FIRE HYDRANT
- ⊙ - GRATE INLET
- ⊙ - POWER POLE
- O.H.P.L. - OVER HEAD POWER LINE
- ⊙ - GUY LINE
- ⊙ - LIGHT POLE
- ⊙ - STORM DRAIN MANHOLE
- ⊙ - FIBEROPTICS MANHOLE
- ⊙ - PROPANE TANK

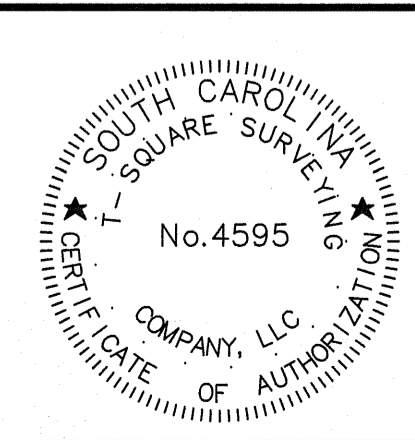


**T SQUARE SURVEYING**  
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 139 Burnt Church Road  
 Bluffton, S.C. 29910  
 tsquare@charleston.com  
 Phone 843-757-2650 Fax 843-757-5758



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

*William J. Smith*  
 WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

**ED WHITE**

A TREE & TOPOGRAPHIC SURVEY OF LOT 49 BLUE CRAB STREET, A PORTION OF REEVES BROTHERS SUBDIVISION, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.

DIST. 610, MAP 39, PARCELS 1229, 1230, 1231 & 1232

NOTES

1. According To FEMA Flood Insurance Rate Map # 45013C04266 This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A Ft. NAVD88
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

Reference Plat(s)  
 PLAT BOOK 142 AT PAGE 119

DRAWN BY: B.M.S

APPROVED BY: W.J.S

PARTY CHIEF: W.J.S

DATE: JULY 21, 2023