

ISSUED FOR HPC REVIEW

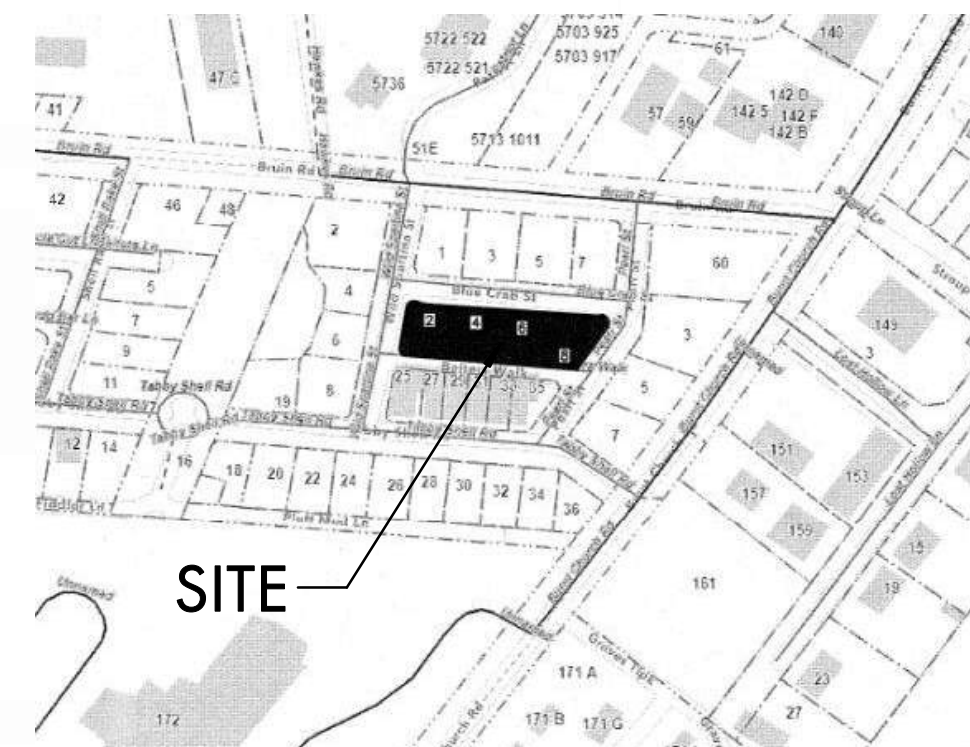
LOT 52 - BLUE CRAB PRIVATE RESIDENCE

2 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

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VICINITY MAP - N.T.S.



PROJECT INFORMATION:

NAME OF PROJECT: LOT 52 - BLUE CRAB PRIVATE RESIDENCE
ADDRESS: 2 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

PROPOSED USE: SINGLE FAMILY RESIDENCE
OWNER / CONTACT PERSON: PATRICK MASON
CODE ENFORCEMENT JURISDICTION: TOWN OF BLUFFTON

INTERNATIONAL RESIDENTIAL CODE (IRC): 2021
INTERNATIONAL ENERGY CONSERVATION CODE: 2009

DESIGNER OF RECORD:

DESIGNER	NAME	LICENSE NO.	TELEPHONE NO.
Architectural	COURT ATKINS ARCHITECTS	#100019	(843) 815-2557
Electrical			
Plumbing			
Mechanical			
Structural			
Civil			
Landscape	MARIA GHYS DESIGNS LLC	#1663	843-816-2565

GENERAL NOTES:

NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNER'S REPRESENTATION AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENT ENGINEERING DOCUMENTS.

- THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.
- SEE STRUCTURAL ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.
- SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
- SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
- SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER / OWNER'S REPRESENTATIVES.
- BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.
- THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
- THE ARCHITECT HAS NOT BEEN CONTRACTED TO PERFORM CONSTRUCTION ADMINISTRATION/ ON-SITE OBSERVATION FOR THIS PROJECT.
- FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD-ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL AS-BUILT INFORMATION TO THE ARCHITECT IN CLEAR AND LEGIBLE FORMAT.
- SIGNS SHALL BE LIMITED TO THE PROJECT IDENTIFICATION SIGN. THE IDENTIFICATION SIGN SHALL IDENTIFY THE PROJECT, THE ARCHITECT AND THE CONTRACTOR.
- INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.
- WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

BUILDING AREA:

MAIN HOUSE TOTAL SF

Floor	Heated and Cooled:	sq. ft.
First Floor	Heated and Cooled:	1,480
	Covered and Enclosed:	488
Second Floor	Heated and Cooled:	1,371
	Covered and Enclosed:	500
Total Gross Area:		3,839

CARRIAGE HOUSE TOTAL SF

Bonus -Heated and Cooled:	340	sq.ft.
Garage-Covered and Enclosed:	540	sq.ft.
Total Gross Area:	880	sq.ft.

BUILDING DATA:

OCCUPANCY CLASSIFICATION: RESIDENTIAL GROUP R-3
MIXED OCCUPANCY: Yes No Separation Hr.

CONSTRUCTION TYPE: I-A I-B II-A II-B
III-A III-B IV V-A V-B

MIXED CONSTRUCTION: Yes No Type
SPRINKLERED: Yes No
FIRE DISTRICT: Yes No
BUILDING HEIGHT: ± 33'-1" A.F.F. Number of Stories: 2
MEZZANINE: Yes No
HIGH RISE: Yes No



N.T.S.

LOT 52 - BLUE CRAB PRIVATE RESIDENCE
2 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

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PROJECT INFO

Date: 02.04.2026

Project No.: 25-072

ISSUE

NO. REV. DATE DESCRIPTION

CONSTRUCTION ADMIN.:

THIS WRITTEN NOTICE REQUIRED BY SOUTH CAROLINA REGULATIONS TO THE PERMITTING AUTHORITY AND BUILDING OWNER THAT THE ARCHITECTS WILLIAM COURT AND JAMES ATKINS HAVE NOT BEEN HIRED TO PROVIDE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES ON THE FOLLOWING PROJECT.

REGULATION 11-12.B.4 AND 5 STATE:

(4) ON A PROJECT WHERE A BUILDING PERMIT HAS BEEN ISSUED AND THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM AT LEAST MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SUBSECTION (5) BELOW, THE SEALING ARCHITECT AND FIRM MUST REPORT TO THE PERMITTING AUTHORITY AND THE BUILDING OWNER THAT HE AND THE FIRM HAVE NOT BEEN SO ENGAGED.

(5) THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES EXPECTED OF THE SEALING ARCHITECT AND FIRM DEEMED NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC SHALL BE PERIODIC SITE OBSERVATIONS OF THE CONSTRUCTION PROGRESS AND QUALITY, REVIEW OF CONTRACTOR SUBMITTAL DATA AND DRAWINGS, AND REPORTING TO THE BUILDING OFFICIAL AND OWNER ANY VIOLATIONS OF CODES OR SUBSTANTIAL DEVIATIONS FROM THE CONTRACT DOCUMENTS WHICH THE ARCHITECT OBSERVED.

SHEET TITLE

COVER

A0.0



**COURT
ATKINS
GROUP**

POST OFFICE BOX 3978
BLUFFTON, SC 29910
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FX: 843.815.2547

WWW.COURTATKINS.COM

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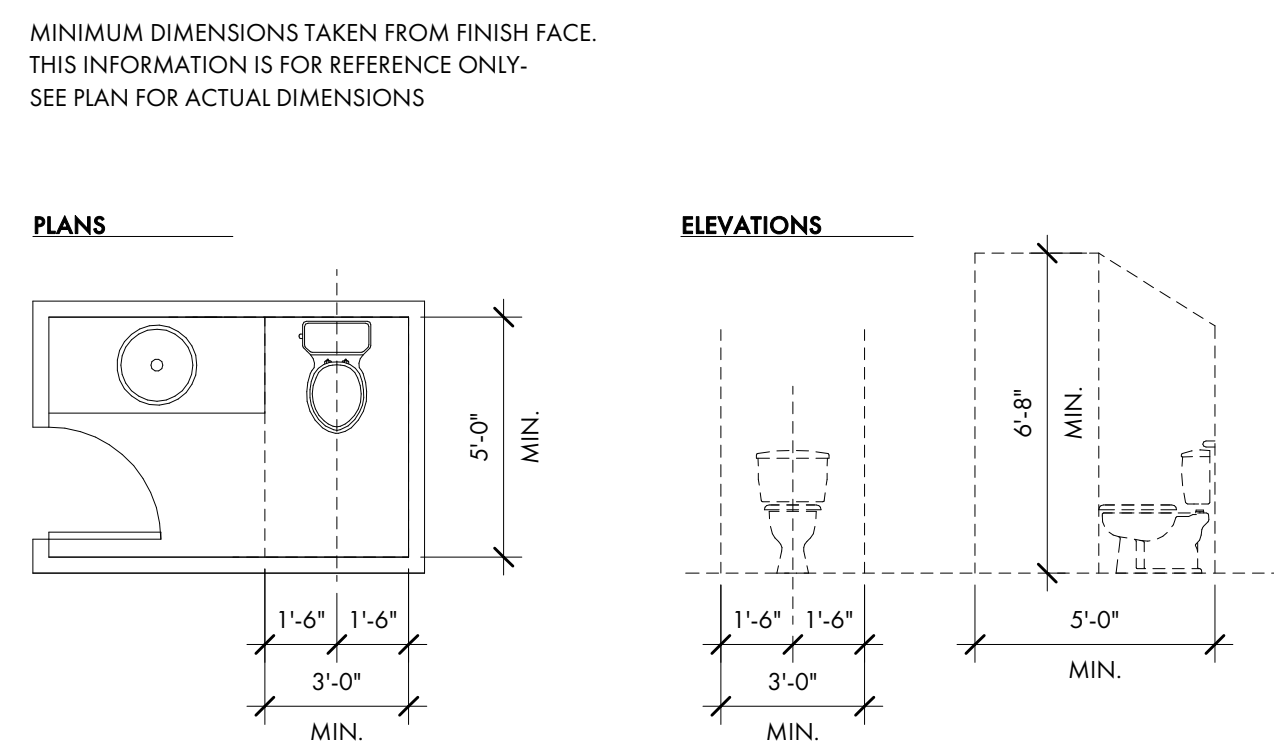
GENERAL NOTES AND
AREA PLANS

A0.1

ABBREVIATIONS

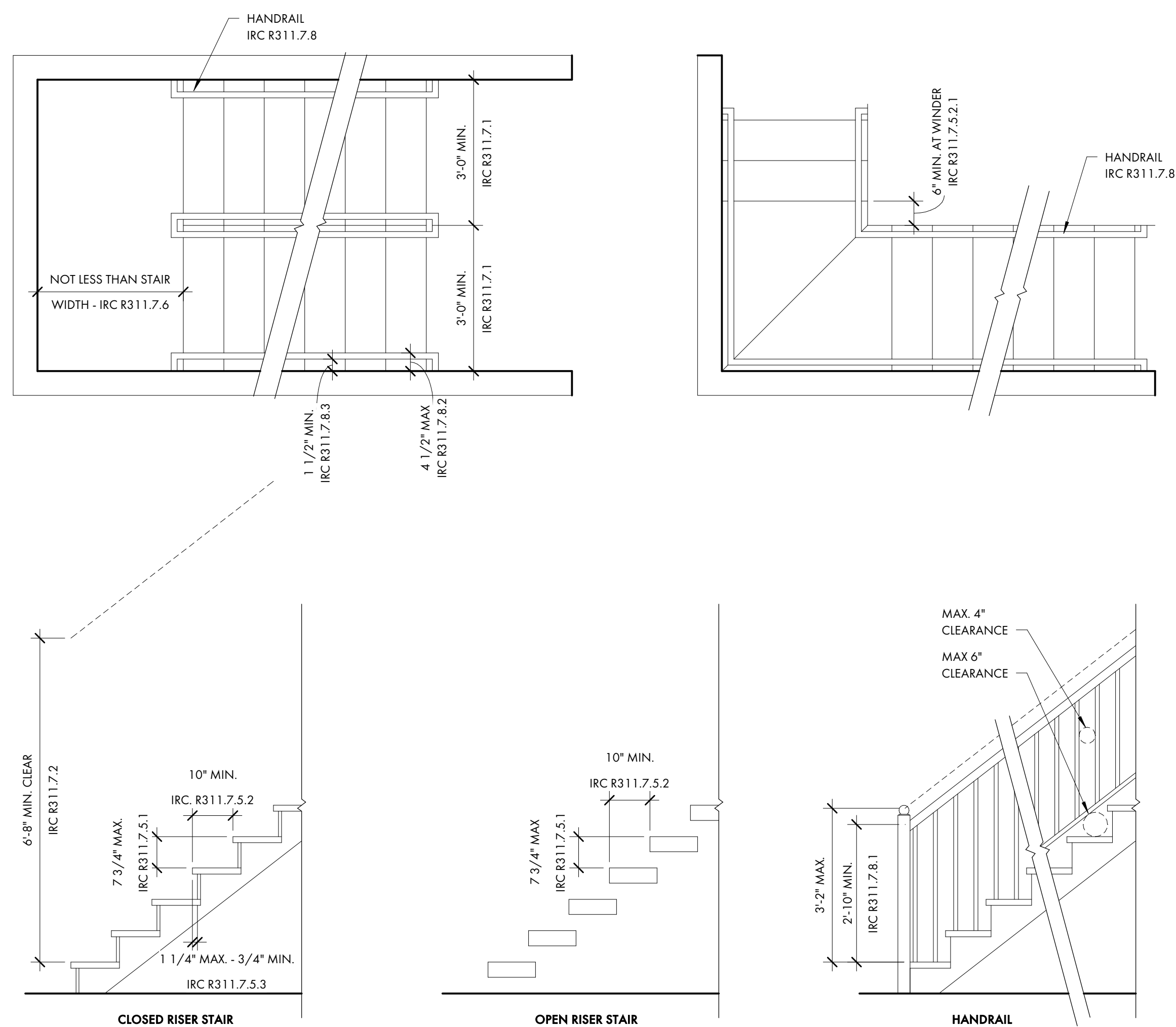
AB ANCHOR BOLT	JNT JOINT	KS KNEE SPACE
ABV ABOVE	LAM LAMINATE	LL LIVE LOAD
AFF ABOVE FINISH FLOOR	LT LIGHT	LIN LINEN
ASF ABOVE SUBFLOOR	MA MASONRY	MASONITE MASONRY
A/C AIR CONDITIONER	MED MECHANICAL	MED MEDIUM
AHU AIR HANDLING UNIT	MFR MANUFACTURER	MID MIDDLE
ALUM ALUMINUM	MIN MINIMUM	MISC MISCELLANEOUS
AMSL ABOVE MEAN SEA LEVEL	MISC MISCELLANEOUS	MULLION MULLION
APPROX APPROXIMATE	N/A NOT APPLICABLE	NOT IN CONTRACT NOT IN CONTRACT
A/V AUDIO/VISUAL	N.I.C. NOT TO SCALE	ON CENTER ON CENTER
BD BOARD	OC OVERHANG	OPNG OPENING
BF BI-FOLD	OSB ORIENTED STRAND BOARD	OSB ORIENTED STRAND BOARD
BLKG BLOCKING	PEMB PRE-ENGINEERED METAL BLDG	PL PLATE
BIDG BUILDING	PNL PANEL	PNT PAINT
B.O. BOTTOM OF	PR PAIR	PT PRESSURE TREATED
BOD BASIS OF DESIGN	PVC POLYVINYLCHLORIDE	PVMT PAVEMENT
BRG BEARING	PLY PLYWOOD	PWDR POWDER ROOM
BTW BETWEEN	R RISER	R & S ROD & SHELF
CAB CABINET	RAG RETURN AIR GRILL	REF REFRIGERATOR
CANT CANTILEVER	REQ'D REQUIRED	RM ROOM
CEN CENTER	R.O. ROUGH OPENING	RV RIDGE VENT
CJ CEILING JOIST	SCHED SCHEDULE	SECT SECTION
CL CENTERLINE	SF SQUARE FEET	SH SHELF
CLG CEILING	SIM SIMILAR	SPEC SPECIFICATION
CO CASED OPENING	SQ SQUARE FEET	STD STANDARD
COL COLUMN	STL STEEL	STOR STORAGE
CONC CONCRETE	SYS SYSTEM	T TREAD
CT CERAMIC TILE	T.B.D. TO BE DETERMINED	TR TREAD
DBL DOUBLE	T & G TONGUE & GROOVE	TEL TELEPHONE
DEMO DEMOLISH	TEMP TEMPORARY/TEMPERATURE	THK THICK
DH DOUBLE HUNG	T.O. TOP OF	TV TELEVISION
DIA DIAMETER	TYP TYPICAL	UC UNDERCOUNTER
DIM DIMENSION	UC UNFINISHED	UNFIN UNFINISHED
DIST DISTANCE	UN.F. UNLESS NOTED OTHERWISE	UNLESS NOTED OTHERWISE
DN DOWN	U.O.N. UNLESS OTHERWISE NOTED	UNLESS OTHERWISE NOTED
DP DESIGN PRESSURE	VB VAPOR BARRIER	VER VERIFY
DR DOOR	V.F. VERIFY IN FIELD	VERT VERTICAL
DW DISHWASHER	W/D WASHER-DRYER	WH WATER HEATER
DWG DRAWING	WWF WELDED WIRE FABRIC	
EA EACH		
ELEV ELEVATION		
ELEC ELECTRICAL		
EQ EQUAL		
EQUIP EQUIPMENT		
ETR EXISTING TO REMAIN		
EXST EXISTING		
EXT EXTERIOR		
FD FLOOR DRAIN		
FDTN FOUNDATION		
FF FIRST FLOOR		
FFE FINISH FLOOR ELEVATION		
FIN FINISH		
FIX FIXTURE		
FLUX FLUORESCENT		
FLR FLOOR		
FRZ FREEZER		
FRMG FRAMING		
FT FEET		
FTG FOOTING		
GA GAUGE		
GALV GALVANIZE		
G.C. GENERAL CONTRACTOR		
GFI GROUND FAULT INTERRUPTER		
GL GLASS		
GYP GYPSUM		
HB HOSE BIBB		
HDR HEADER		
HORIZ HORIZONTAL		
HT HEIGHT		
HVAC HEATING, VENTILATION & AIR CONDITIONING		
IN INCH		
INCL INCLUDE		
INSUL INSULATION		
INT INTERIOR		
IRC INTERNATIONAL RESIDENTIAL CODE		
JST JOIST		

TYP. RESTROOM CLEARANCES

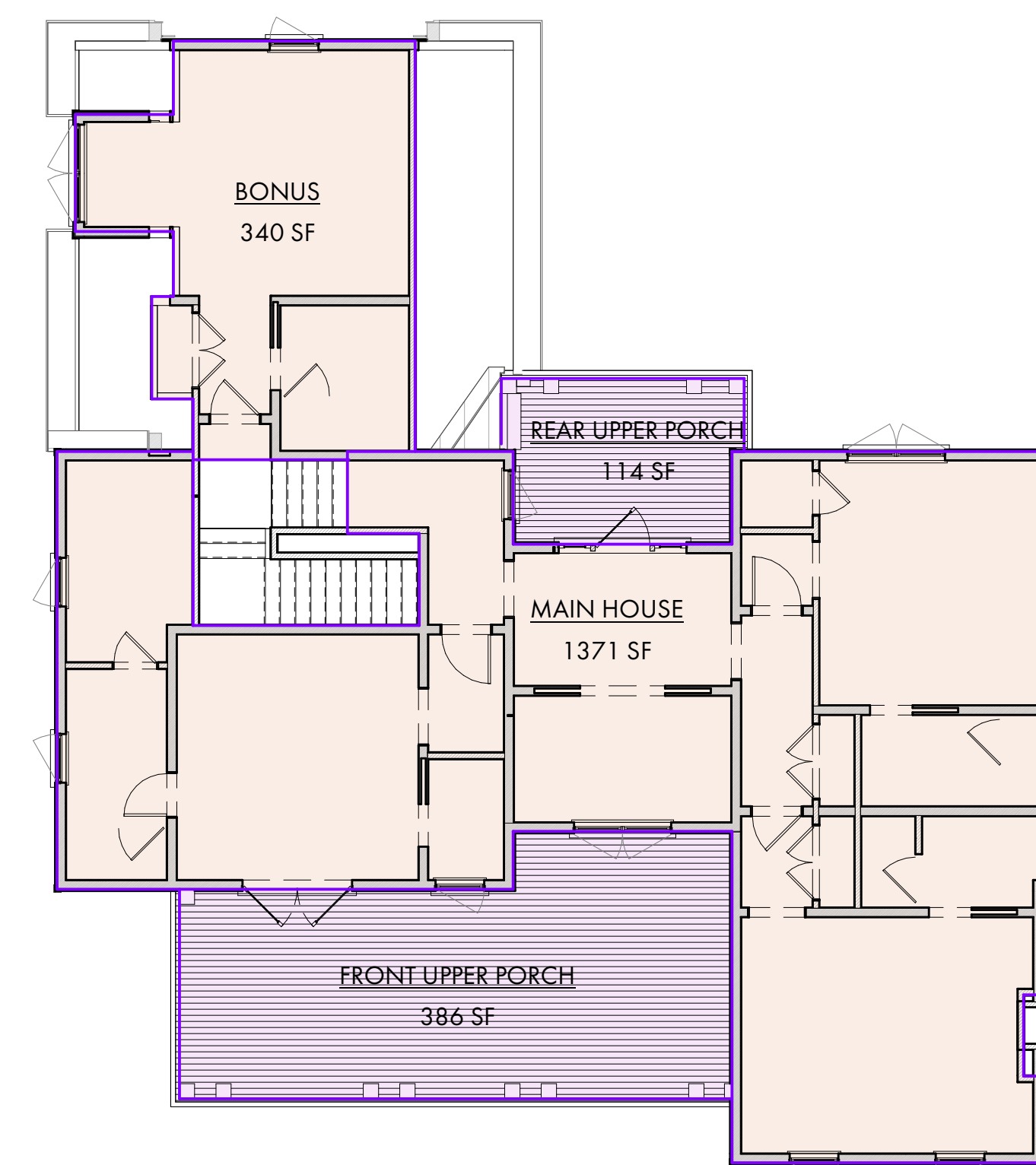
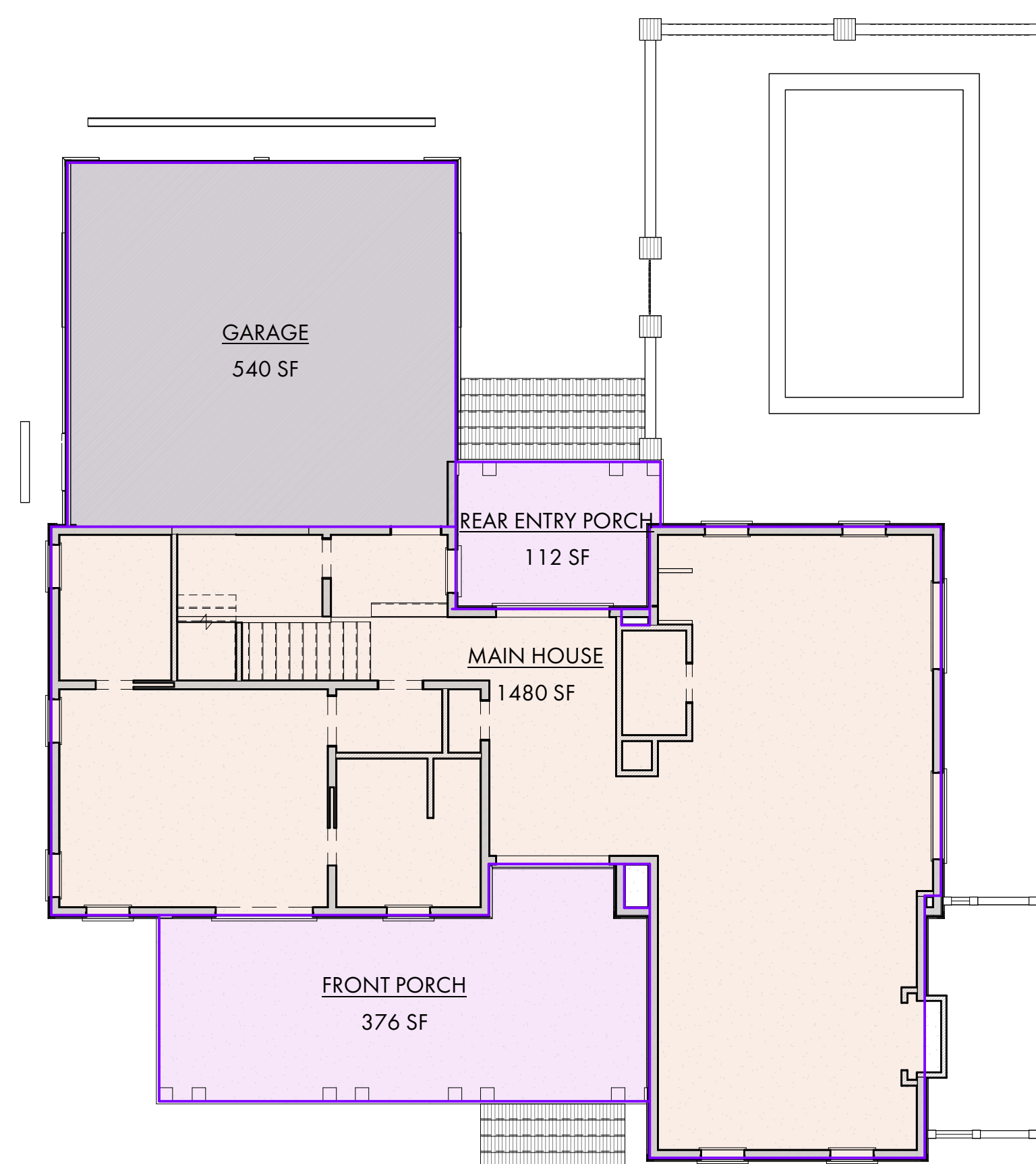
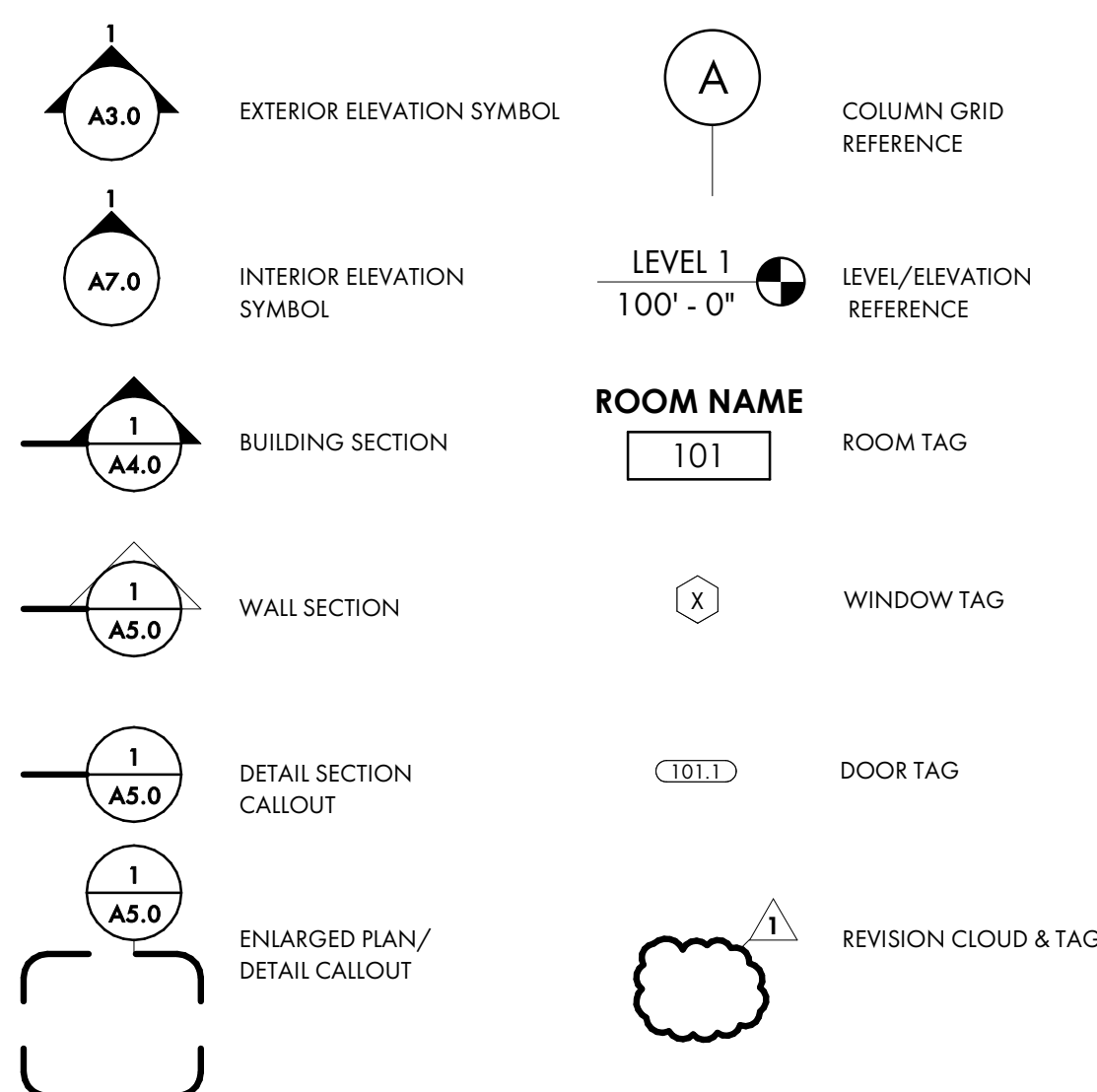


STAIR CRITERIA

MINIMUM CRITERIA FOR INTERIOR STAIRS
THIS INFORMATION IS FOR REFERENCE PURPOSES



REFERENCE SYMBOLS





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PROJECT INFO

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Project No.	25-072

ISSUE

NO.	REV.	DATE	DESCRIPTION

SHEET TITLE

SITE PLAN CALCS:

TOTAL LOT AREA	5,519 SQ. FT.
BUILDING FOUNDATION FOOTPRINT	2,508 SQ. FT.
WALKS & DRIVES (50% IMPERVIOUS)	413 SQ. FT.
BRICK WALK & LANDING (IMPERVIOUS)	171 SQ. FT.
POOL & TERRACE (IMPERVIOUS)	721 SQ. FT.
IMPERVIOUS COVER (LOT AREA)	3,813 SQ. FT.
IMPERVIOUS TO LOT RATIO	69%

SITE PLAN NOTES:

OWNER TO PROVIDE TREE AND TOPOGRAPHIC SURVEY W/ FLOOD PLAIN INFORMATION UNDER SEPARATE COVER.
GENERAL CONTRACTOR NOTE: ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.
GRADING INFORMATION IS INCLUDED FOR SCHEMATIC REFERENCE ONLY. LANDSCAPE ARCHITECT TO PROVIDE GRADING AND DRAINAGE PLANS IN ACCORDANCE WITH NEIGHBORHOOD GUIDELINES.

SITE PLAN LOCATION AND DIMENSIONS ARE APPROXIMATE. G.C. TO COORDINATE ACTUAL BUILDING LOCATION WITH FOUNDATION AND FRAMING PLANS.

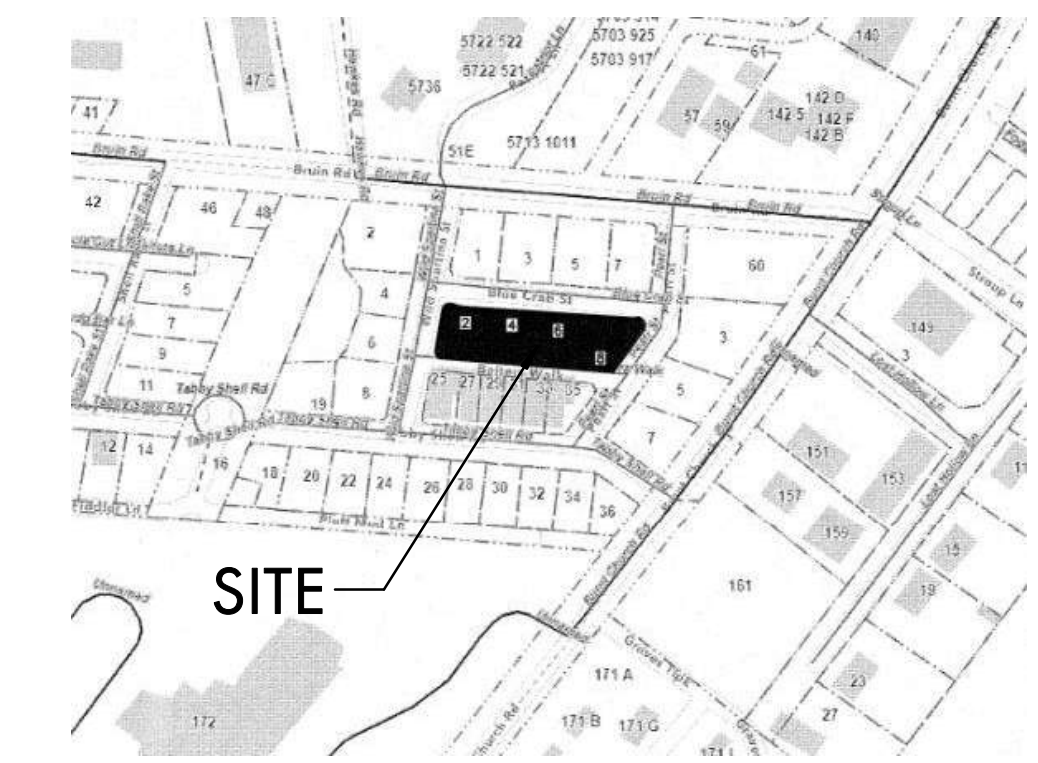
SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

TREE BARRICADE PROCEDURES:
ALL TREES TO BE PROTECTED WITH A 5'-0" HIGH FENCE FRAMED WITH 2x4'S AND ORANGE PROTECTION MATERIAL (ALL TREES WHERE BARRICADING IS INDICATED).

SEE LANDSCAPE PLANS FOR FINAL:
SITE MOBILIZATION & TREE PROTECTION
GRADING
TREE REMOVAL
DRIVE, WALK & TERRACE LAYOUTS
HARDSCAPE DETAILS

TREE LEGEND

- WHIOK - WHITE OAK
- LAOK - LAUREL OAK
- LOK - LIVE OAK
- WOK - WATER OAK
- ROK - RED OAK
- PCAN - PECAN
- MAG - MAGNOLIA
- HIC - HICKORY
- MPL - MAPLE
- PLM - PALMETTO
- CHY - CHERRY
- HLY - HOLLY
- CDR - CEDAR
- RDB - RED BUD
- SAS - SASSAFRAS
- DOG - DOGWOOD
- SB - SUGARBERRY
- P - PINE
- G - GUM
- B - BAY

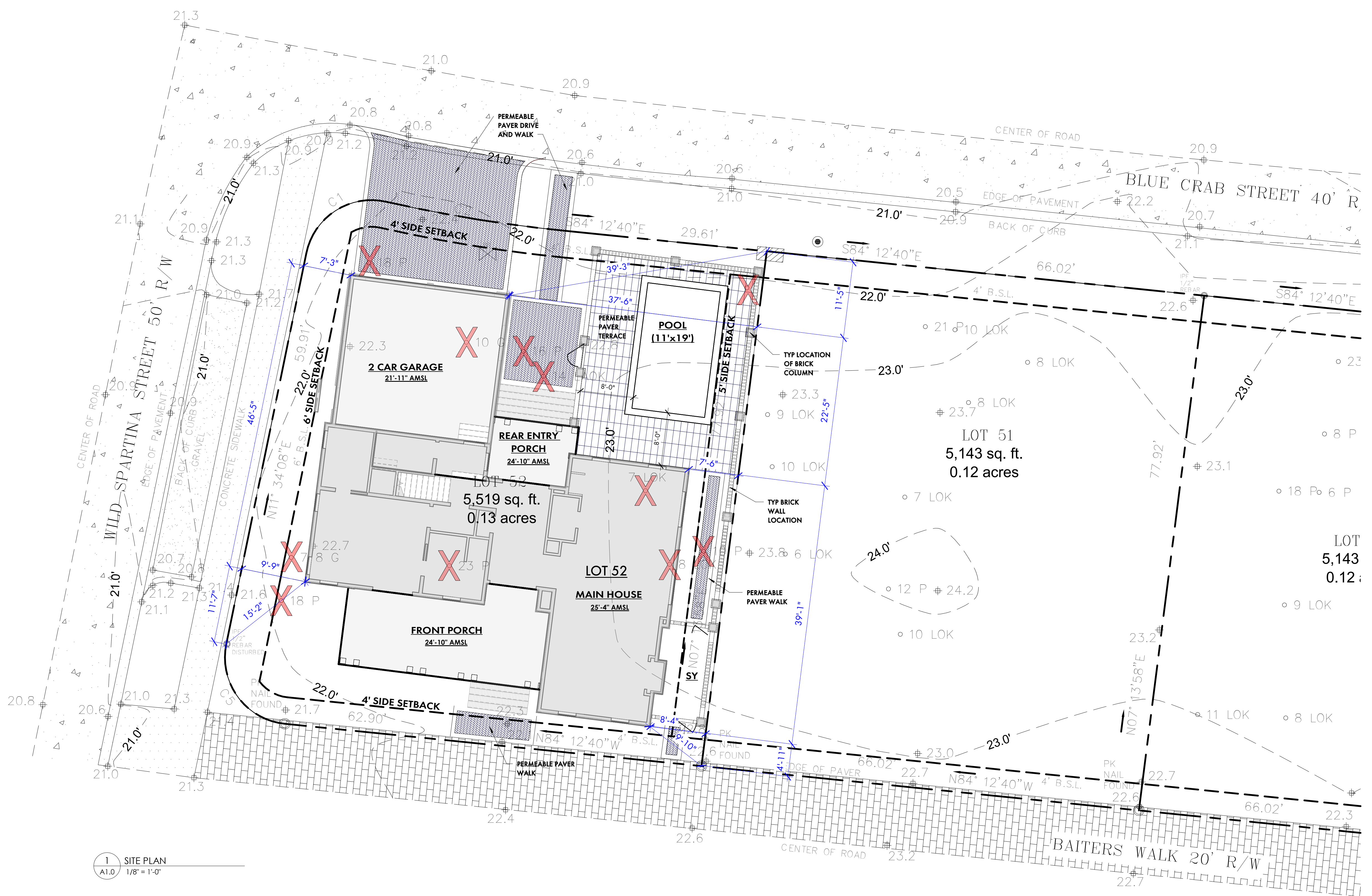


Notes:
1. According To FEMA Flood Insurance Rate Map # 45013C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A Ft. NAVD88
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

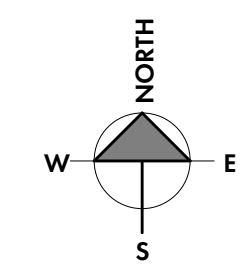
Reference Plat(s):
PLAT BOOK 142 AT PAGE 119

LEGEND

- CMS - CONCRETE MONUMENT SET
- CMF - CONCRETE MONUMENT FOUND
- IPS - IRON PIN SET
- IPF - IRON PIN FOUND
- # - INDICATES STREET ADDRESS
- TBM - TEMPORARY BENCH MARK
- BSL - BUILDING SETBACK LINE
- - TELEPHONE PEDESTAL/ COMMUNICATOR
- S - SEWER LATERAL
- SM - SANITARY SEWER MANHOLE
- E - ELECTRIC BOX
- S - SPOT ELEVATION SHOTS
- C - CONTOUR LINES
- X - XFMR - TRANSFORMER
- W - WATER LATERAL
- M - WATER METER
- I - IRRIGATION CONTROL VALVE
- F - FIRE HYDRANT
- GI - GRATE INLET
- PP - POWER POLE
- O.H.P.L. - OVER HEAD POWER LINE
- G - GUY LINE
- L - LIGHT POLE
- SD - STORM DRAIN MANHOLE
- FM - FIBEROPTICS MANHOLE
- PT - PROPANE TANK



1 SITE PLAN
A1.0 1/8" = 1'-0"





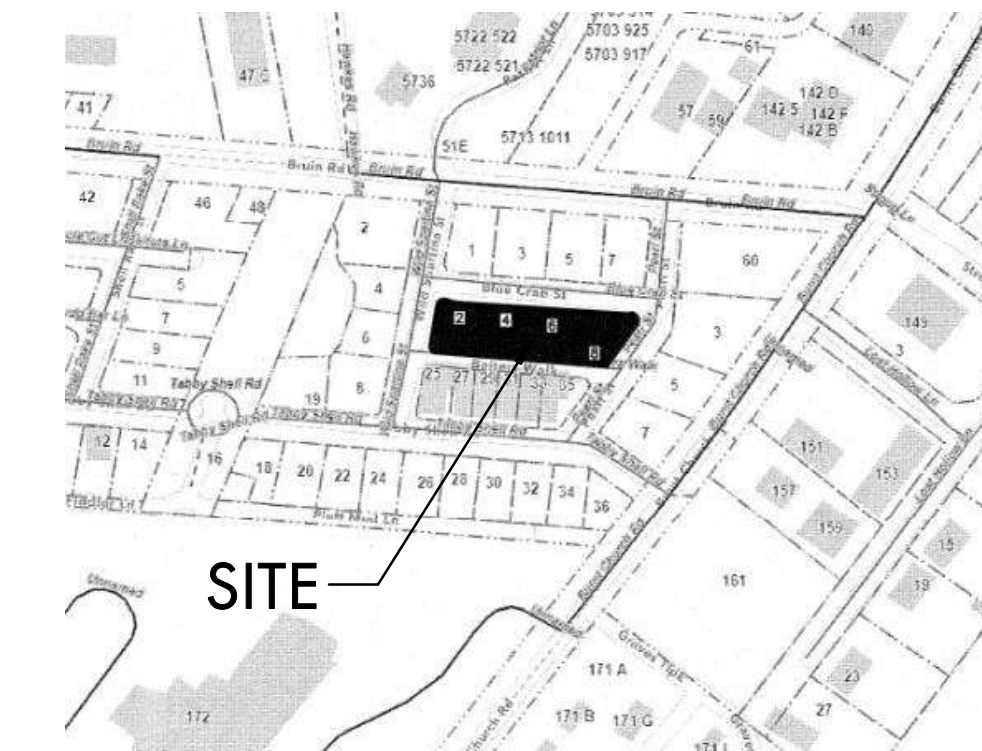
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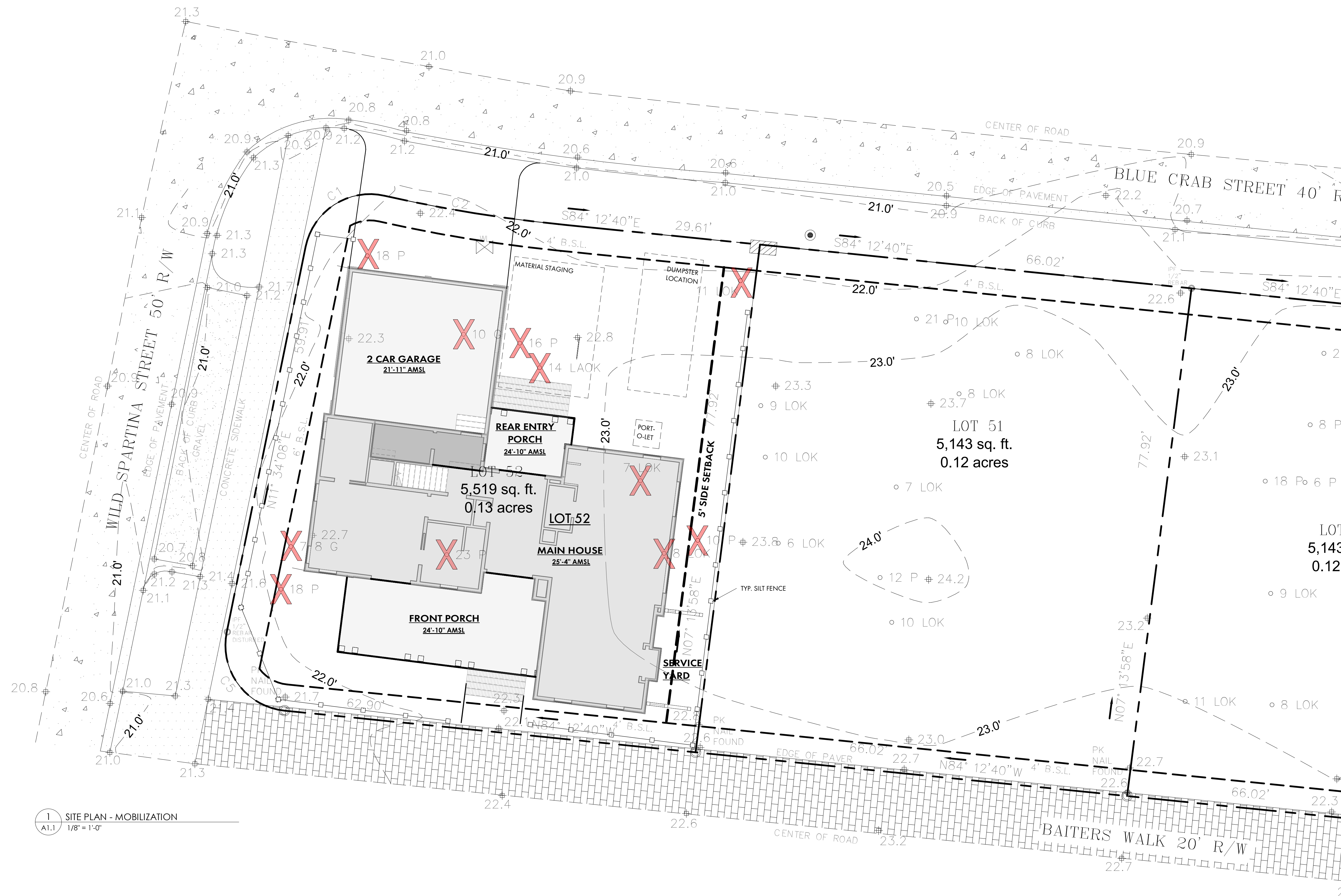
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Reference Plat(s):
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1 SITE PLAN - MOBILIZATION
A1.1 1/8" = 1'-0"

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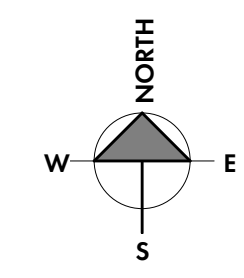
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SITE PLAN - MOBILIZATION

A1.1





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FOUNDATION PLAN

A2.0

FOUNDATION PLAN NOTES:

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

G.C. / OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:
ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS. DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

FOUNDATION NOTES:
STRUCTURAL ENGINEERING DOCUMENTS SUPERCEDE ARCH. DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS, FOUNDATION IS TO BE AS FOLLOWS:

AT ALL RETAINING/FOUNDATION WALL LOCATIONS WITH FILL WALLS TO BE CMU WITH BITUMINOUS COATING AND VERTICAL DRAINAGE MAT (ENKADRAIN) ON THE DIRT SIDE, GRAVEL BASE, AND DRAINAGE PIPE WITH SLEEVE DISCHARGE TO EXTERIOR. SLOPE ALL WATER/DRAINAGE TO EXTERIOR OF RETAINING WALL.


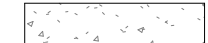
TYPICAL THICKENED SLAB:
SEE STRUCTURAL ENGINEERING DOCUMENTS.

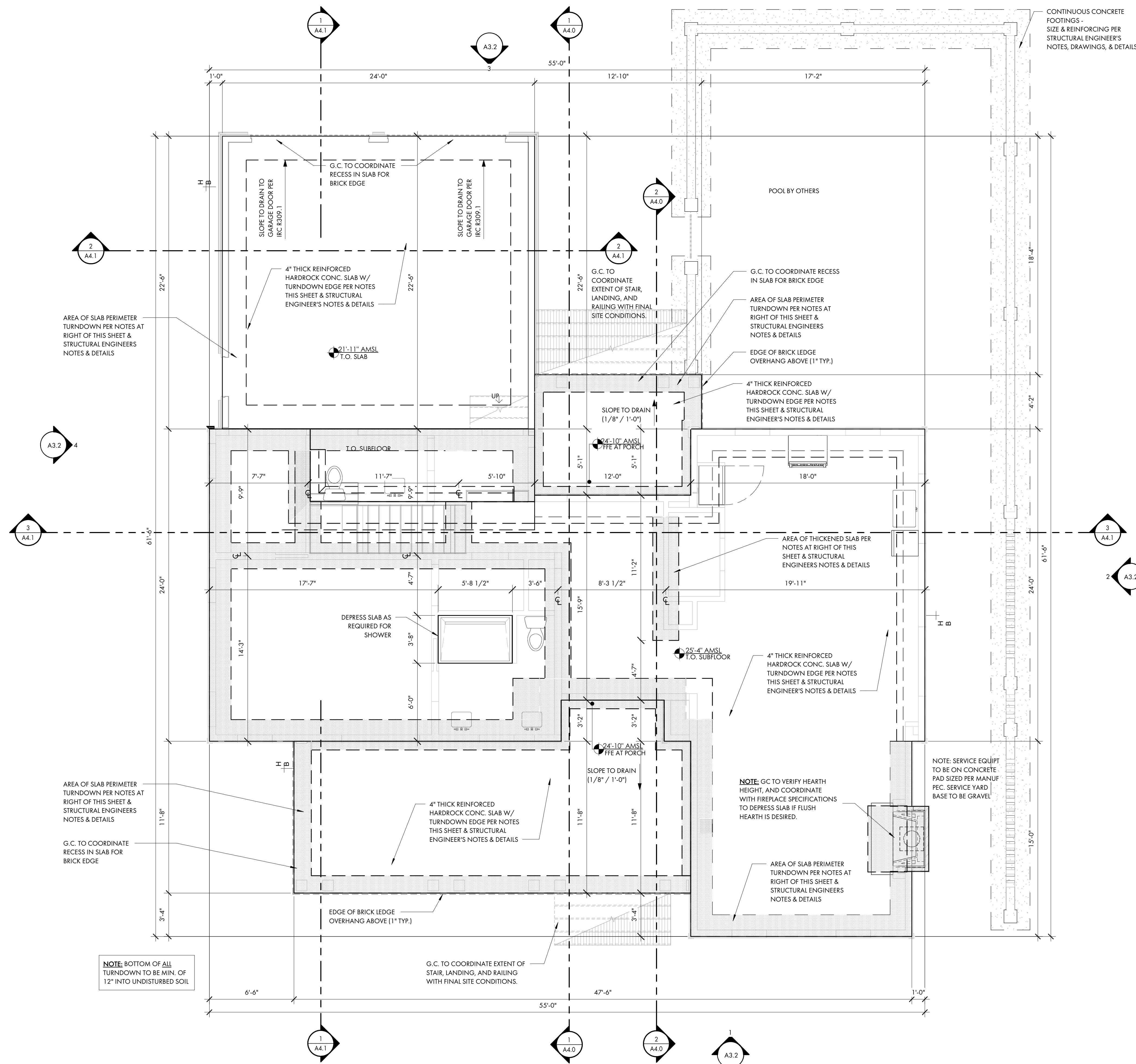
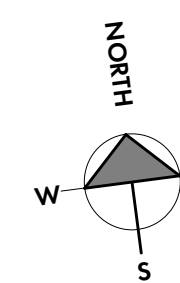
TYPICAL SLAB ON GRADE:
4" CONCRETE SLAB WITH TURNDOWN EDGE AND RECESSED BRICK BORDER IN SOME LOCATIONS. SEE STRUCTURAL ENGINEERING DOCUMENTS

TYPICAL PIERCED BRICK LANDSCAPE WALL:
FOOTINGS AT PIERCED BRICK LANDSCAPE WALL ARE TO BE 12" DEEP x 32" WIDE (MAINTAIN 12" CLEAR FROM OUTSIDE EDGE OF BLOCK TO OUTSIDE EDGE OF FOOTING ON BOTH SIDES). SUPPORT REINFORCING DURING CONCRETE PLACEMENT PER IRC R506.2.4

NOTE: ALL TOP OF WALL NOTES ARE TO THE TOP OF BLOCK WALLS, U.N.O. (SEE DETAILS FOR FINISHES)

FOUNDATION PLAN - SYMBOL KEY

-  CONCRETE TURN-DOWN EDGE / THICKENED SLAB / CMU FOOTING
-  CONCRETE SLAB



NOTE: BOTTOM OF ALL TURNDOWN TO BE MIN. OF 12" INTO UNDISTURBED SOIL

1 FOUNDATION PLAN
A2.0 1/4" = 1'-0"



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**LOT 52 - BLUE CRAB PRIVATE
RESIDENCE**
2 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

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PROJECT INFO

Date: 02.04.2026
Project No: 25-072

ISSUE

NO.	REV.	DATE	DESCRIPTION

SHEET TITLE

FIRST FLOOR PLAN

A2.1

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

GENERAL CONTRACTOR NOTE:
ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR CHANGES IN STRUCTURAL MEMBER SIZES OR EXISTING SITE CONDITIONS.

G.C./OWNER TO COORDINATE ALL IN-SLAB ELECTRICAL AND PLUMBING REQUIREMENTS WITH APPROPRIATE SUBCONTRACTOR TRADES PRIOR TO PLACING SLAB.

DIMENSION NOTES:
DIMENSIONS ARE TO THE EDGE OF FOUNDATION AND FRAMING, U.O.N.
DO NOT SCALE DRAWINGS. CONTACT ARCHITECT WITH ANY DISCREPANCIES.

CABINET & EQUIPMENT NOTES:
CABINET LAYOUTS ARE PROVIDED FOR DESIGN CONFIGURATION ONLY. EXACT LAYOUT AND PLACEMENT OF FIXTURES, APPLIANCES, CABINETS, AND COUNTERTOPS ARE TO BE DETERMINED IN COORDINATION WITH OWNER AND GENERAL CONTRACTOR.

FINISH NOTES:
FLOOR, WALL, CEILING, FINISHES AND INTERIOR TRIM ARE TO BE DETERMINED BY THE GENERAL CONTRACTOR AND OWNER. 1/2" MOULD- AND MOISTURE-RESISTANT GYPSUM BOARD TO BE INSTALLED ON ALL INTERIOR SURFACES OF BATHROOMS WHERE GYPSUM BOARD IS DESIRED. GENERAL CONTRACTOR TO ADJUST SLAB, WALLS, AND CEILING TO ACCOMMODATE OWNER SPECIFIC FINISHES AND TRIM.

PLUMBING NOTES:
G.C. / OWNER TO COORDINATE LOCATION OF EXTERIOR HOSE BIBBS.

FRAMING NOTES:
STRUCTURAL ENGINEERING DOCUMENTS SUPERSEDE ARCHITECTURAL DOCUMENTS AND SCHEDULES WITH REGARD TO SIZE OF STRUCTURAL MEMBERS, PLACEMENT, AND CONNECTION DETAILS.

DOOR OPENINGS SET 6" OFF INTERSECTING WALL, UNLESS OTHERWISE DIMENSIONED.

UNLESS OTHERWISE NOTED BY TYPICAL WALL SECTIONS, STRUCTURAL ENGINEER, OR STRUCTURAL DRAWINGS.

FRAMING IS TO BE AS FOLLOWS:

WALLS:
EXTERIOR: PLYWOOD SHEATHING PER STRUCTURAL ENG. DOCS. (EXTERIOR SIDE) ON 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN.

INTERIOR: 2x4'S AND 2x6'S AT 16" O.C. WITH BLOCKING AT MIDSPAN. SEE STRUCTURAL ENG. DOCS. FOR SHEAR WALL LOCATIONS AND REQUIREMENTS.

FIRST FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH 3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x4 SLEEPER SYSTEM OVER IMPERVIOUS MOISTURE BARRIER WHERE TILE IS NOT USED, THICK SET TILE IN OTHER LOCATIONS.

SECOND FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" OPEN WEB WOOD TRUSS SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS REQUIRED BY IRC R302.12. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

PORCH FLOOR SYSTEM:
CONCRETE SLAB FLOOR WITH TABBY STUCCO FINISH AND BRICK EDGING. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS.

BONUS ROOM FLOOR SYSTEM:
3/4" T&G PLYWOOD, GLUED AND NAILED ON 16" TRUSS JOIST SYSTEM (LAYOUT AND SPACING BY STRUCTURAL ENG). SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ATTIC FLOOR SYSTEM: (ONLY EXTENT TO BE DETERMINED BY G.C.)

3/4" T&G PLYWOOD, GLUED AND NAILED ON 2x12'S AT 16" O.C. G.C. TO COORD. LOCATION OF DRAFTSTOPPING AS REQUIRED BY IRC R302.12. SEE TYPICAL WALL SECTIONS AND DETAILS FOR VARIOUS CONNECTION DETAILS. NOTE: IF TRUSS JOISTS (OR SIM.) ARE USED IN LIEU OF SPECIFIED MATERIALS, TRUSS MANUFACTURER IS TO PROVIDE SHOP DRAWINGS, SUPPORT AND CONNECTION DETAILS, AND BEAM SIZES FOR ARCHITECT/ENGINEER APPROVAL.

ATTIC CEILING JOISTS / PORCH CEILING:

2x8'S AT 16" O.C. (2x10'S FOR CERTAIN SPANS)

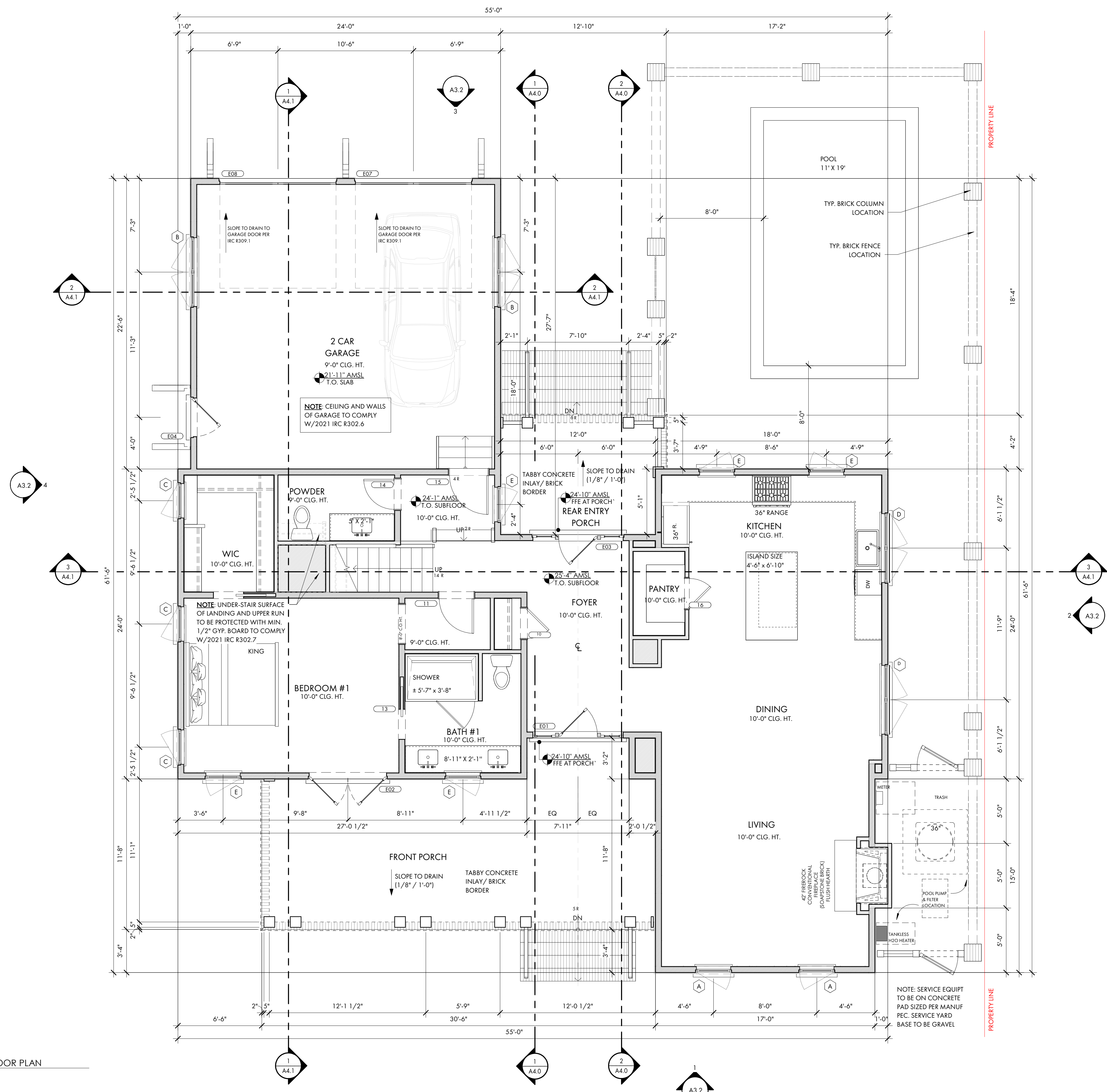
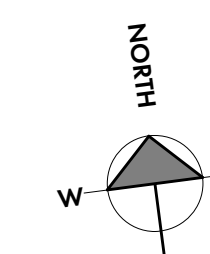
ROOF RAFTERS:

NOTE: SEE STRUCTURAL ENGINEERING DOCUMENTS FOR SIZE, LOCATION AND PLACEMENT OF ALL WORK DESCRIBED.

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING AND ARE INDEPENDENT FROM ALL BRICK LEDGES U.O.N. G.C. TO COORDINATE SIZE AND LOCATIONS OF ADDITIONAL BRICK LEDGES WITH PLANS, ELEVATIONS, AND DETAILS.

FLOOR PLAN - SYMBOL KEY

- 2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD
- 2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD



1 FIRST FLOOR PLAN
A2.1 1/4" = 1'-0"

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.

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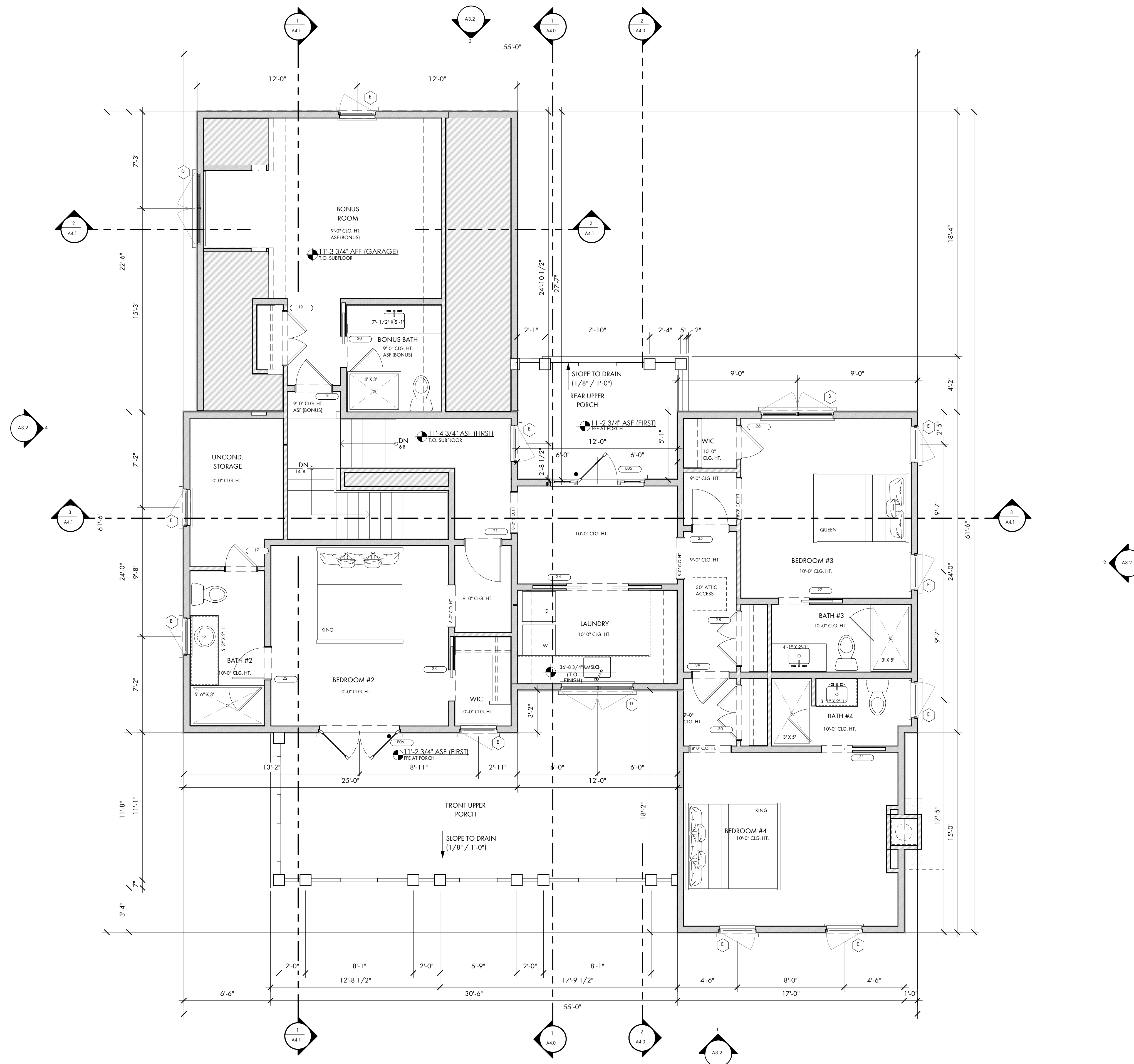
ATTIC CEILING JOISTS / PORCH CEILING:
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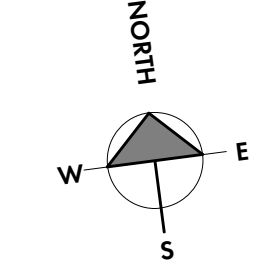
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FLOOR PLAN - SYMBOL KEY

- 2 x 4 WALL WITH 1/2" GYPSUM WALLBOARD
- 2 x 6 WALL WITH 1/2" GYPSUM WALLBOARD



1 SECOND FLOOR PLAN
A2.2 1/4" = 1'-0"



LOT 52 - BLUE CRAB PRIVATE RESIDENCE
 2 BLUE CRAB STREET - TABBY ROADS, BLUFFTON, SC 29910

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PROJECT INFO

Date: 02.04.2026
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SHEET TITLE

SECOND FLOOR PLAN

A2.2



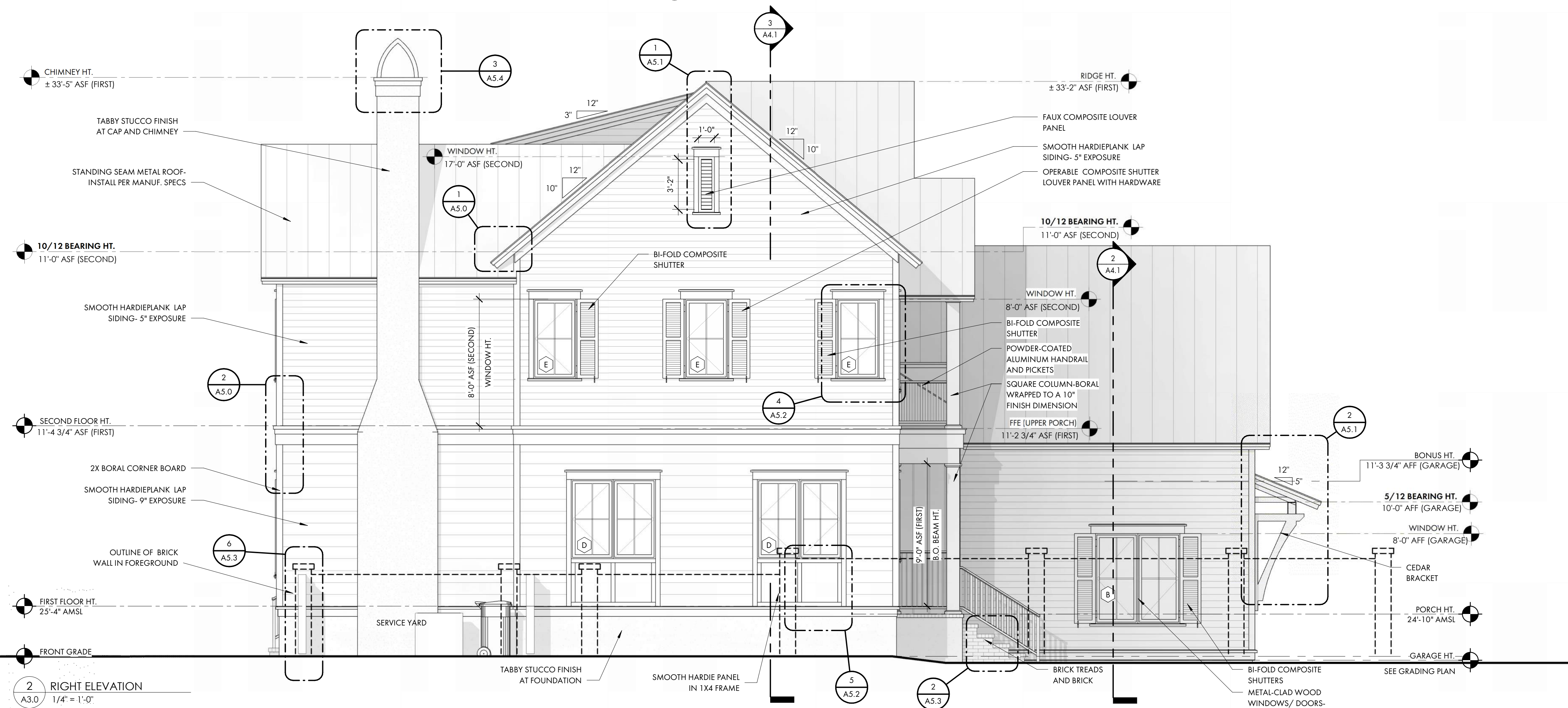
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SHEET TITLE

BUILDING ELEVATIONS

A3.0



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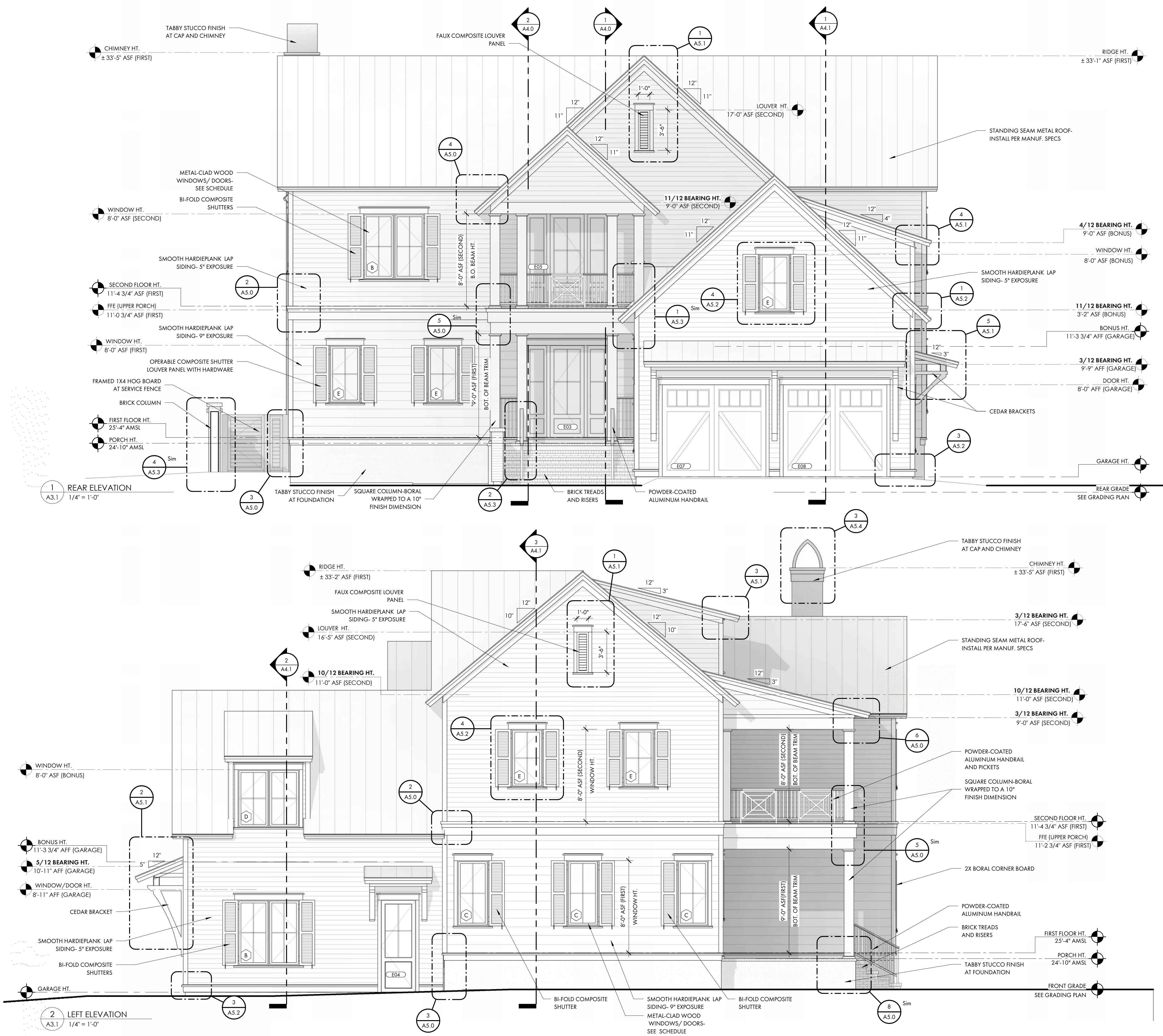
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SHEET TITLE

BUILDING ELEVATIONS

A3.1



1 REAR ELEVATION
1/4" = 1'-0"

2 LEFT ELEVATION
1/4" = 1'-0"



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25-072

ISSUE

NO.	REV.	DATE	DESCRIPTION

SHEET TITLE

BUILDING ELEVATIONS
WITH BRICK FENCE

A3.2



1 FRONT ELEVATION
A3.2 3/16" = 1'-0"



2 RIGHT ELEVATION
A3.2 3/16" = 1'-0"



3 REAR ELEVATION
A3.2 3/16" = 1'-0"



4 LEFT ELEVATION
A3.2 3/16" = 1'-0"



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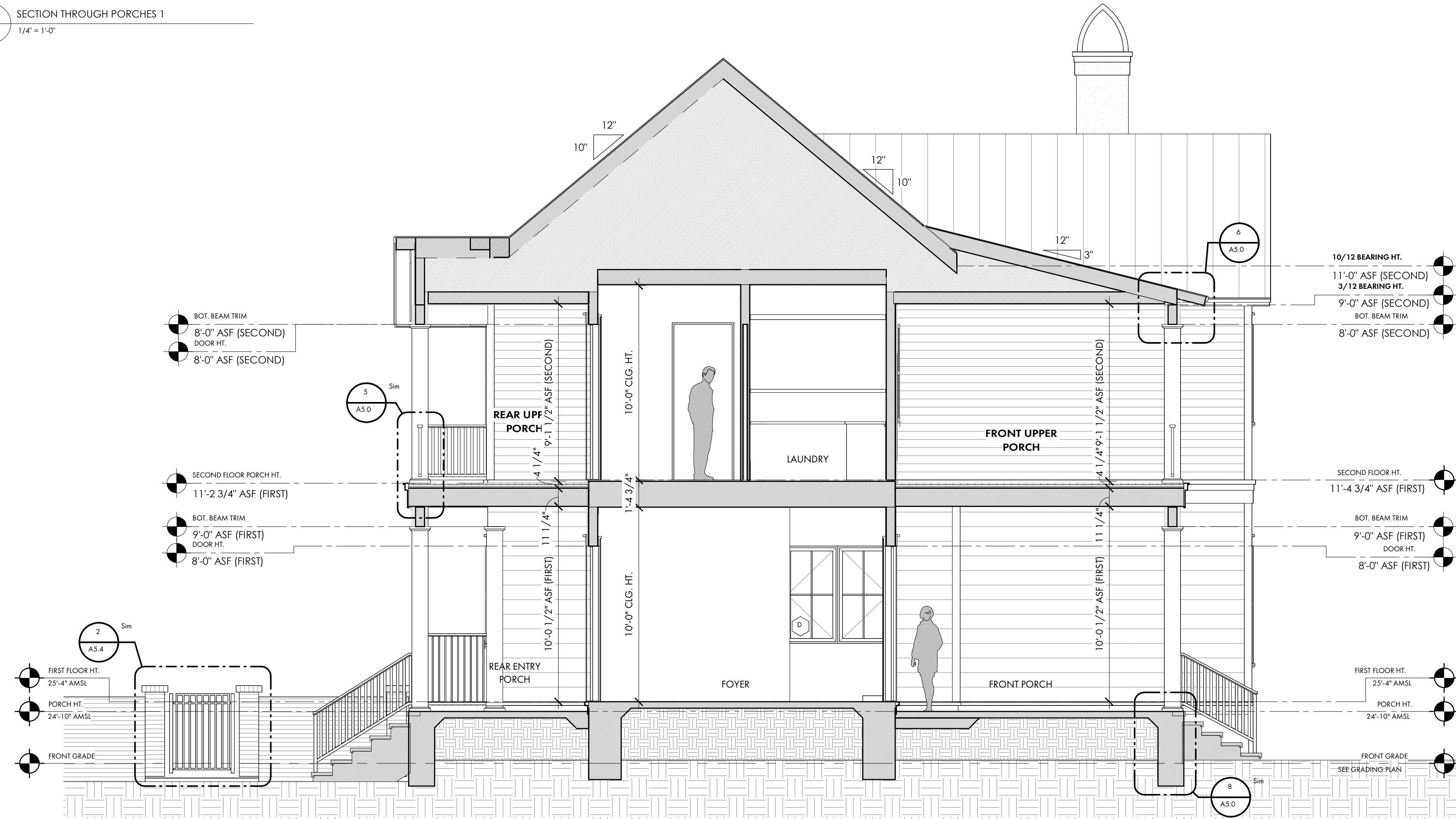
SHEET TITLE

BUILDING 3D VIEWS

A3.3



1 SECTION THROUGH PORCHES 1
A4.0 1/4" = 1'-0"



2 SECTION THROUGH PORCHES 2
A4.0 1/4" = 1'-0"

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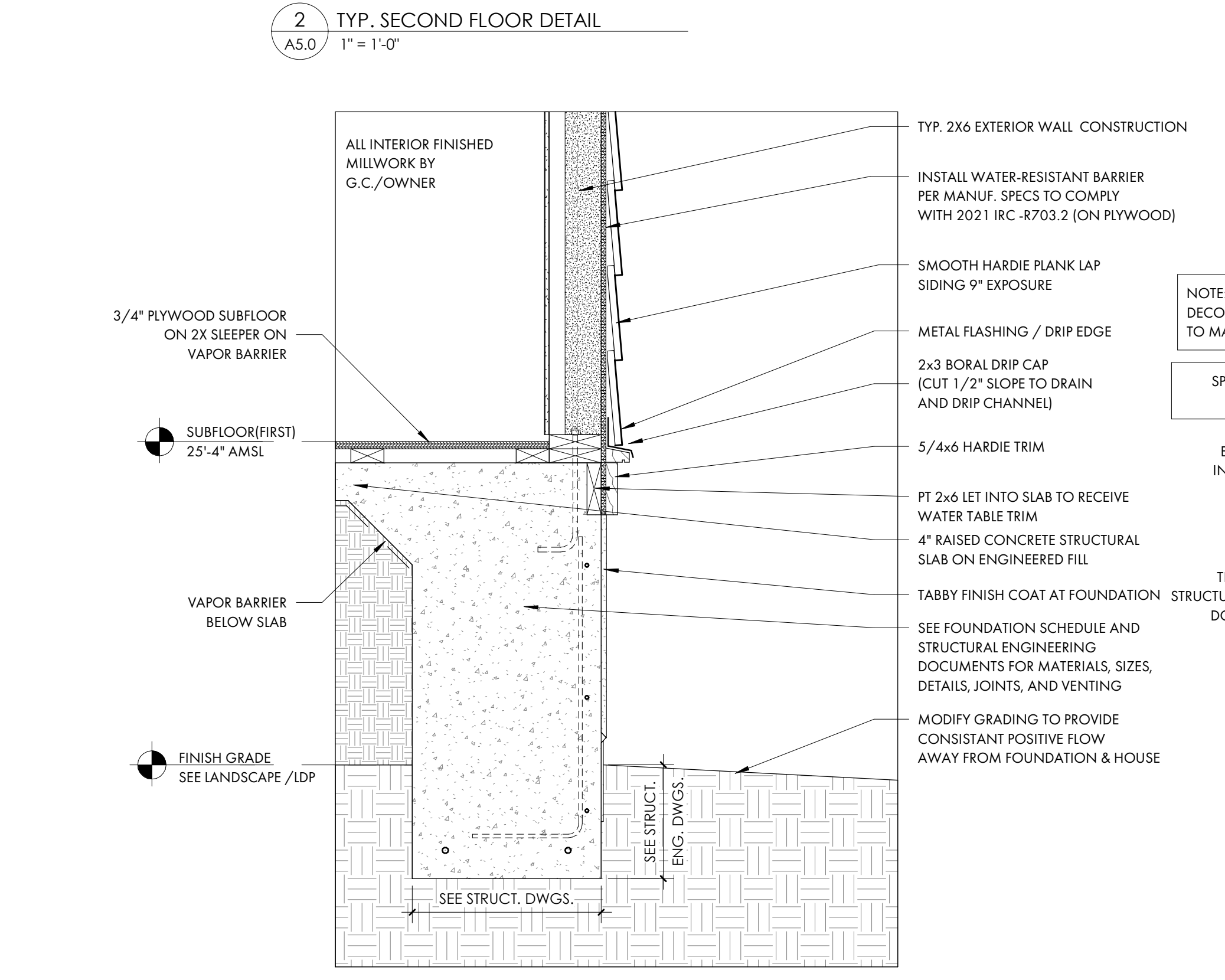
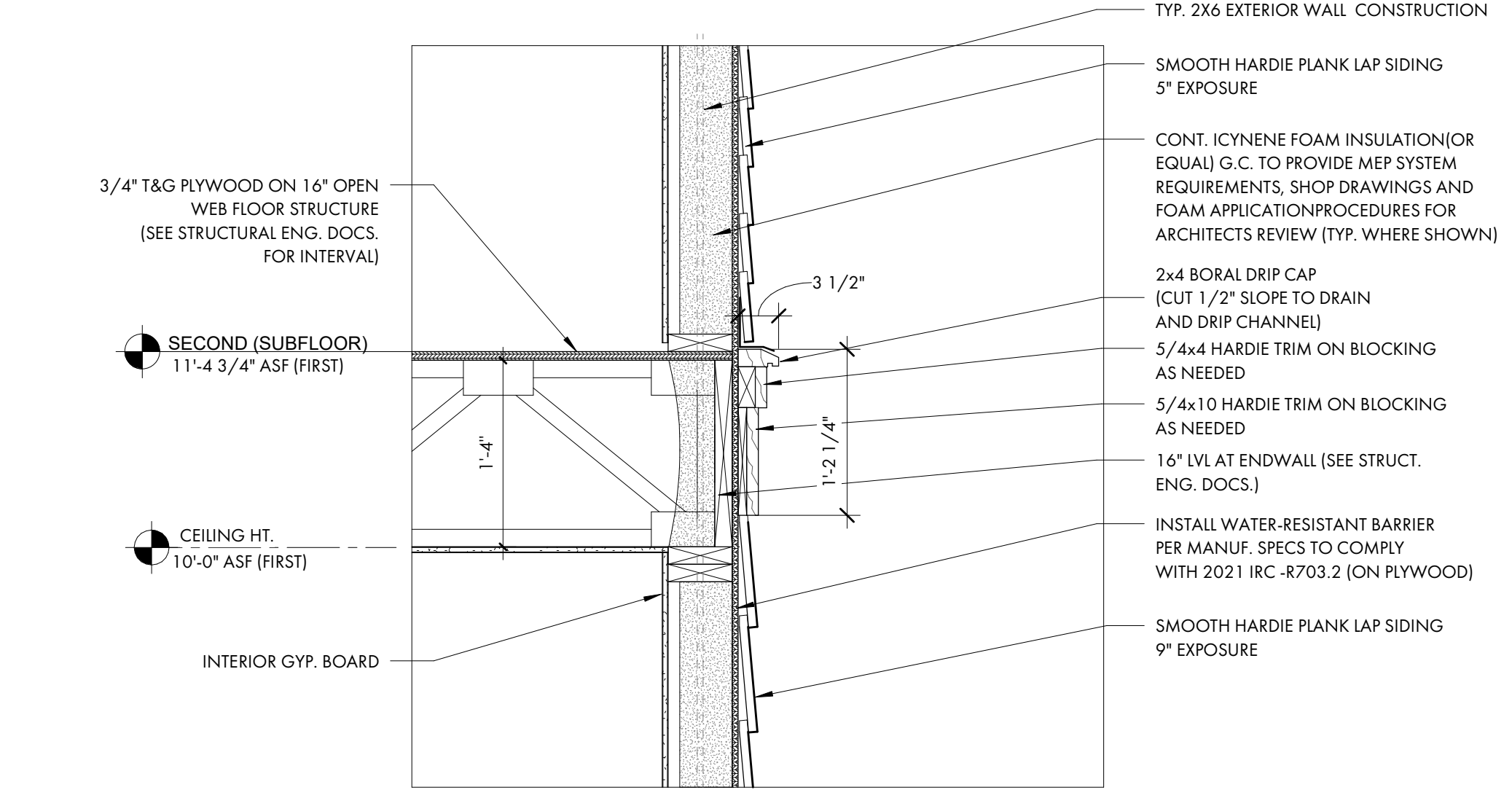
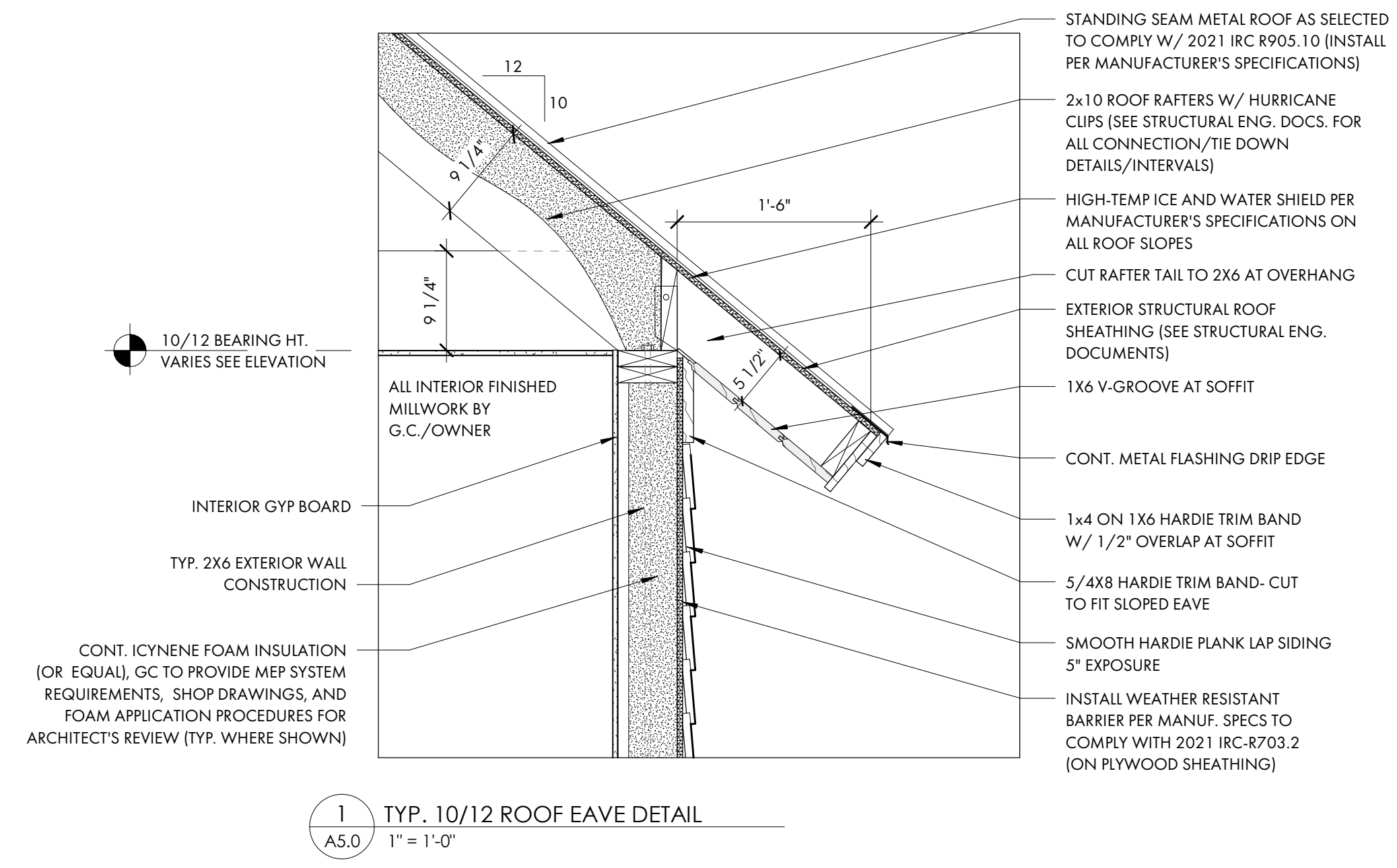
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SHEET TITLE

BUILDING SECTIONS

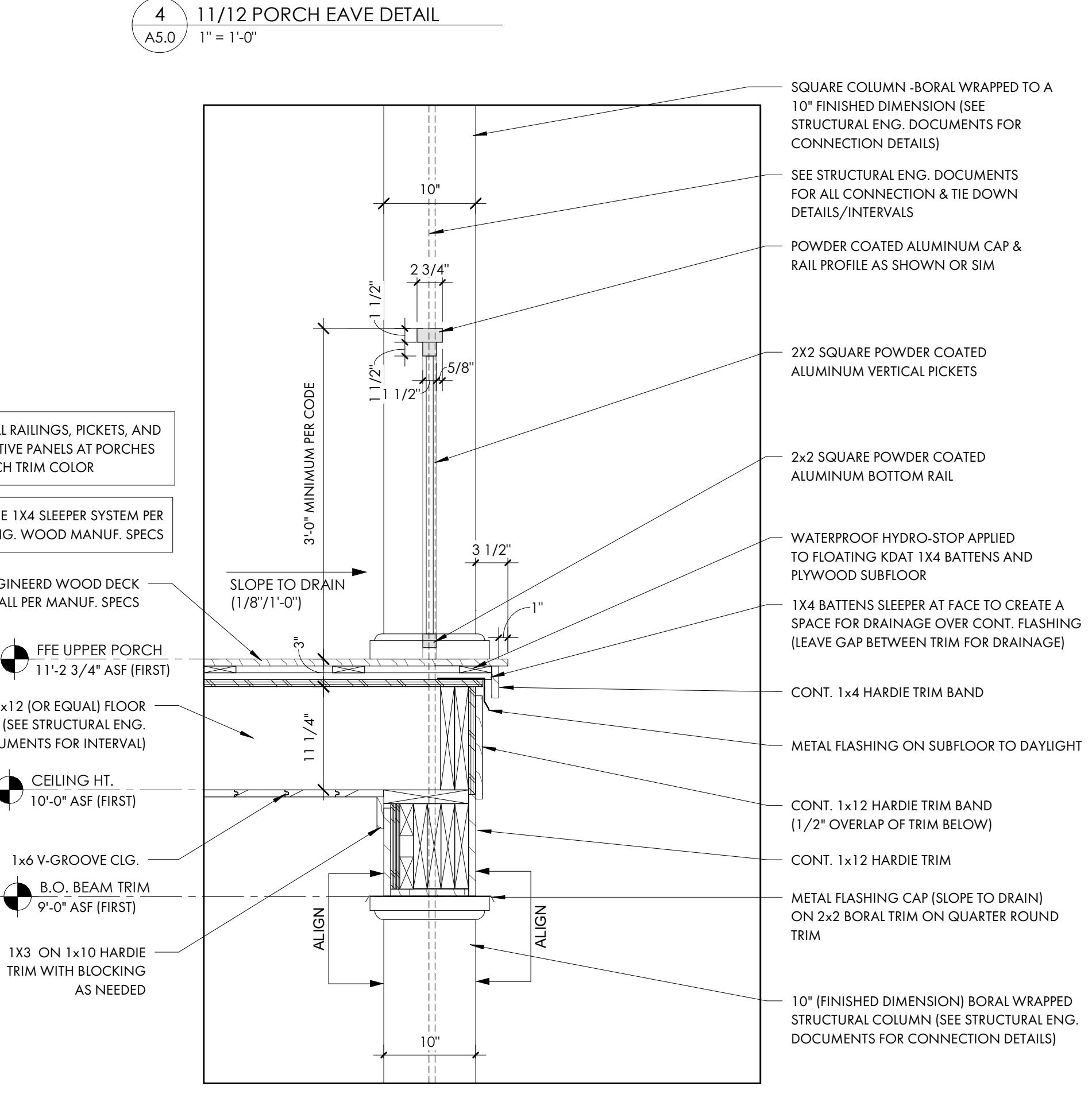
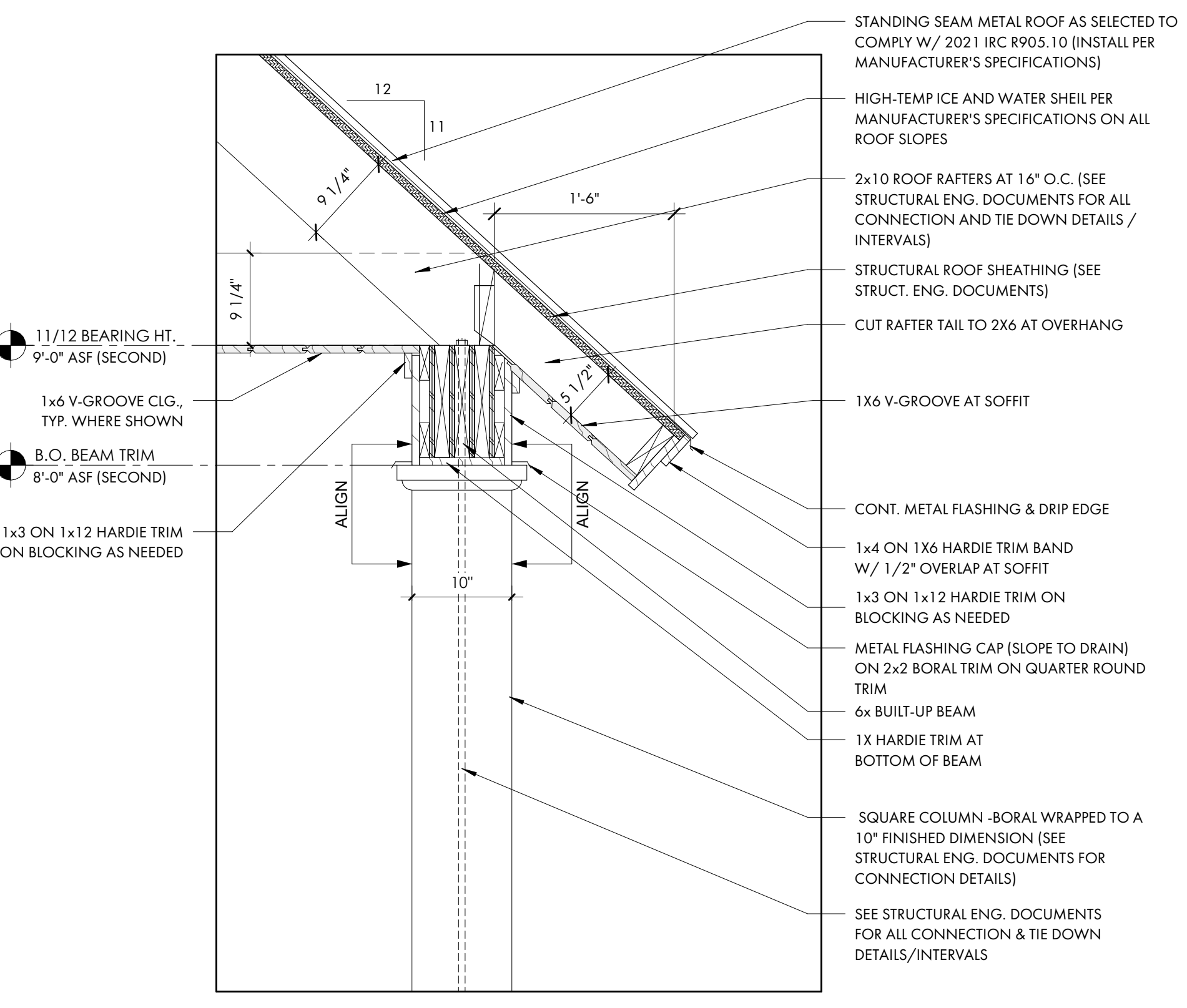
A4.0



1 TYP. 10/12 ROOF EAVE DETAIL
1" = 1'-0"

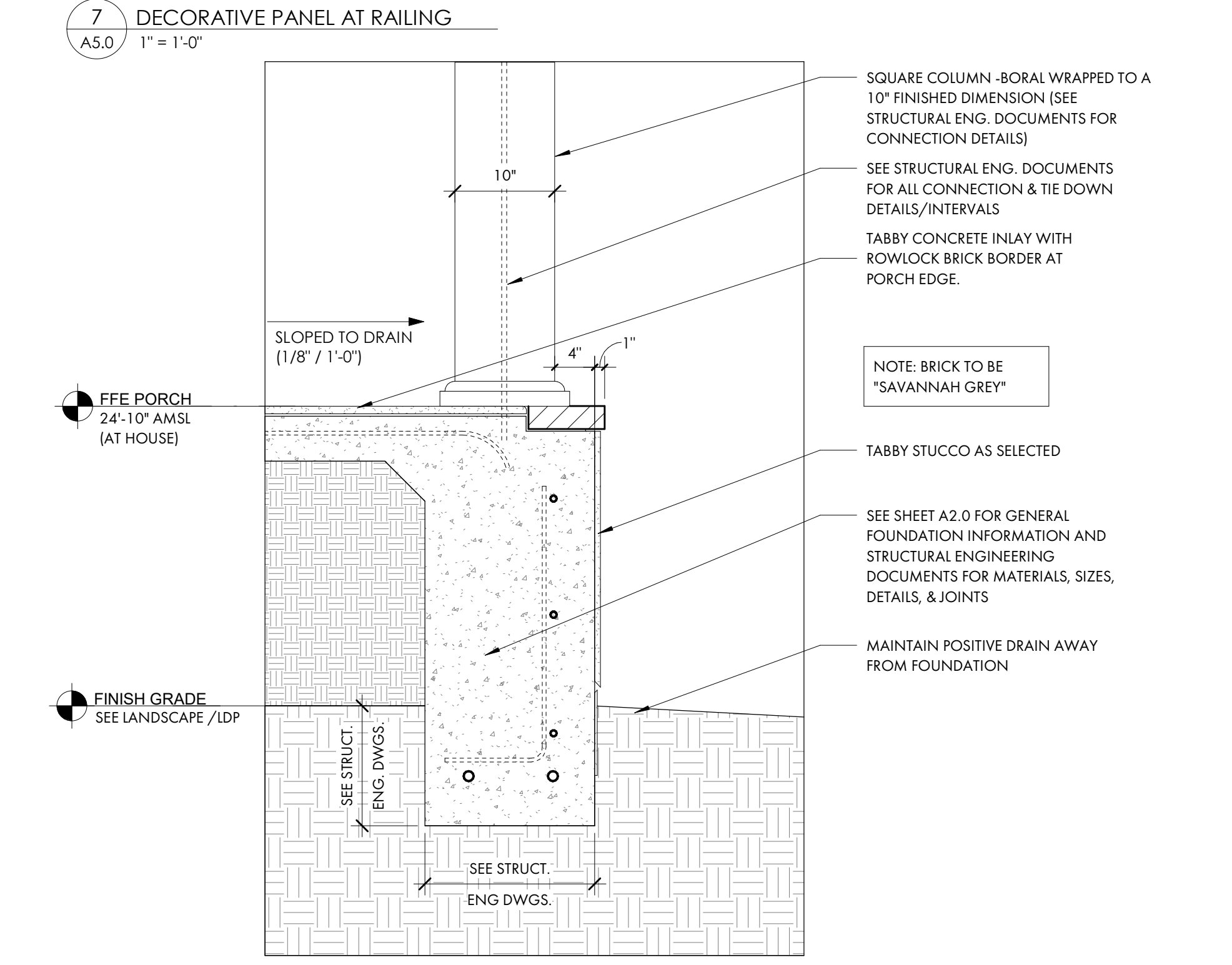
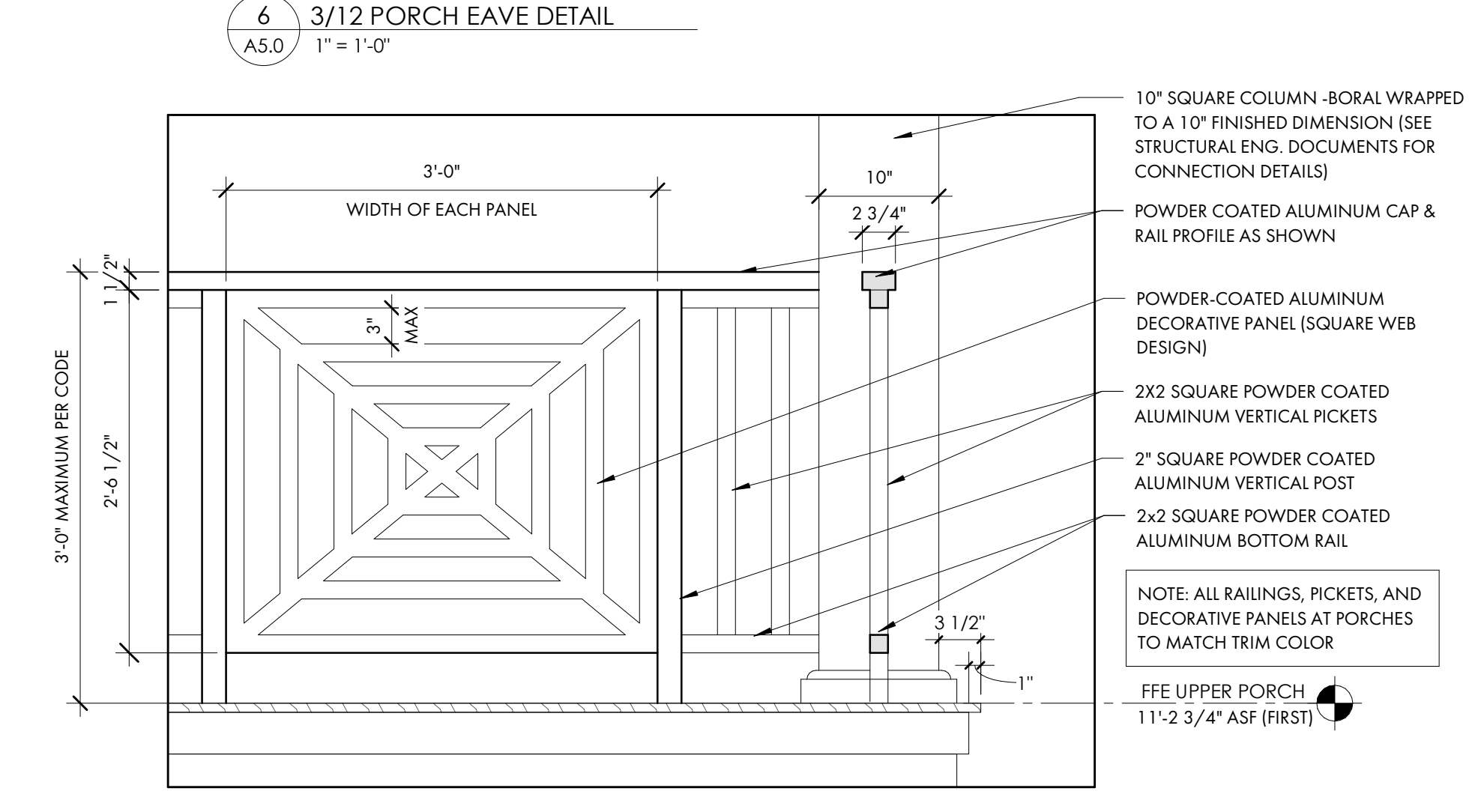
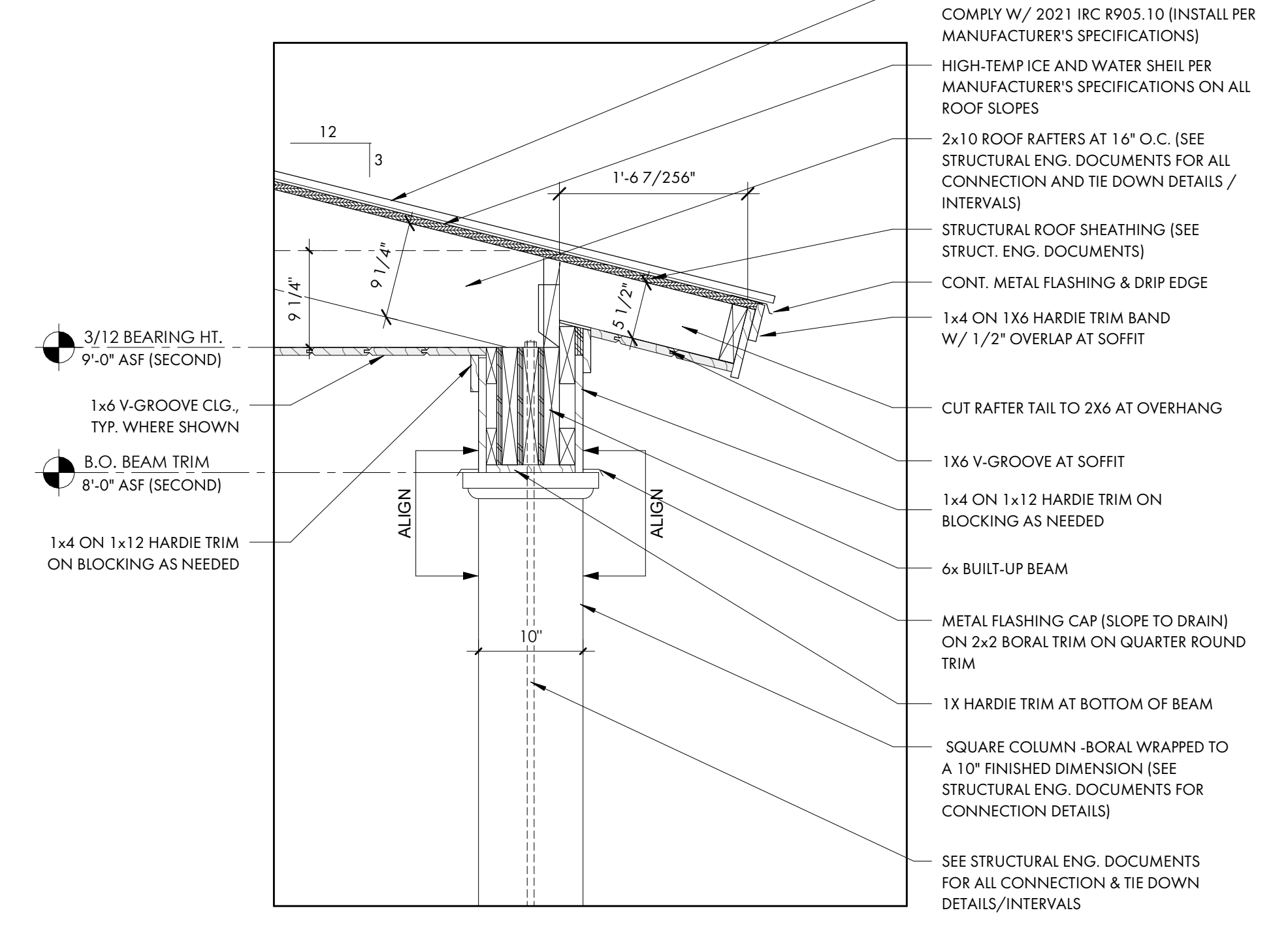
2 TYP. SECOND FLOOR DETAIL
1" = 1'-0"

3 TYP. FOUNDATION AT MAIN HOUSE
1" = 1'-0"



4 11/12 PORCH EAVE DETAIL
1" = 1'-0"

5 TYP. UPPER PORCH AND RAILING DETAIL
1" = 1'-0"



6 3/12 PORCH EAVE DETAIL
1" = 1'-0"

7 DECORATIVE PANEL AT RAILING
1" = 1'-0"

8 TYP. FOUNDATION AT PORCH
1" = 1'-0"

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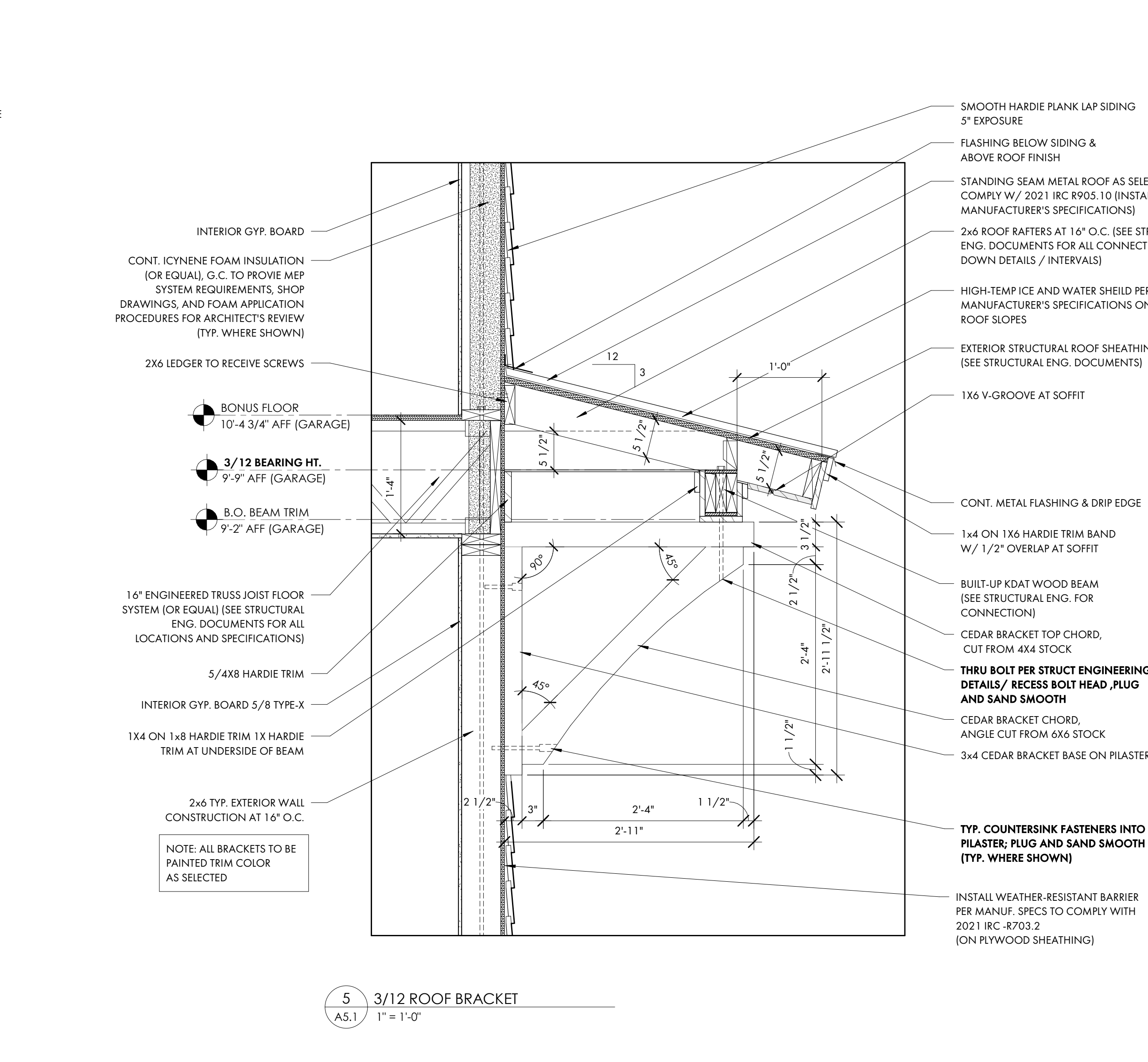
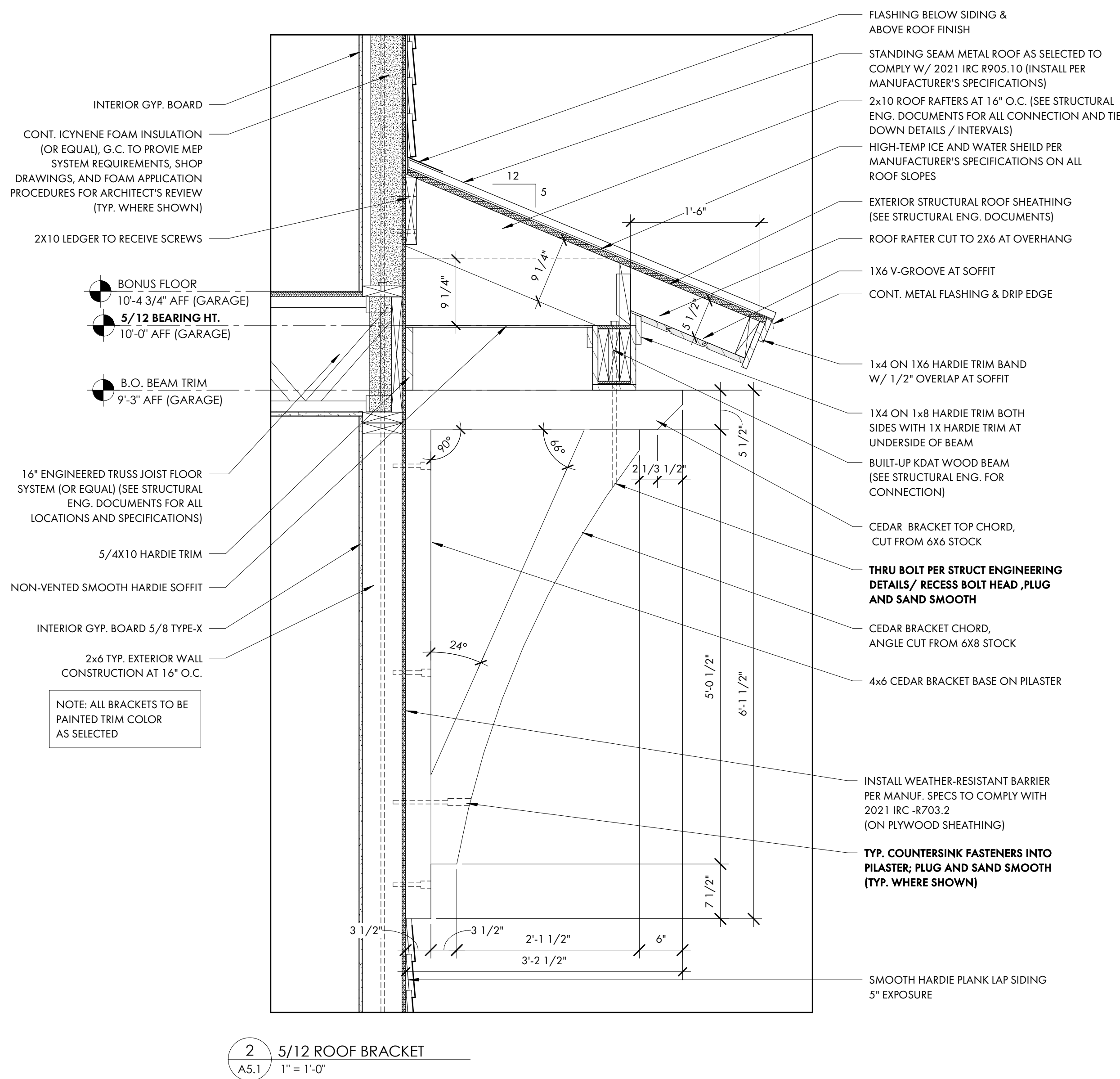
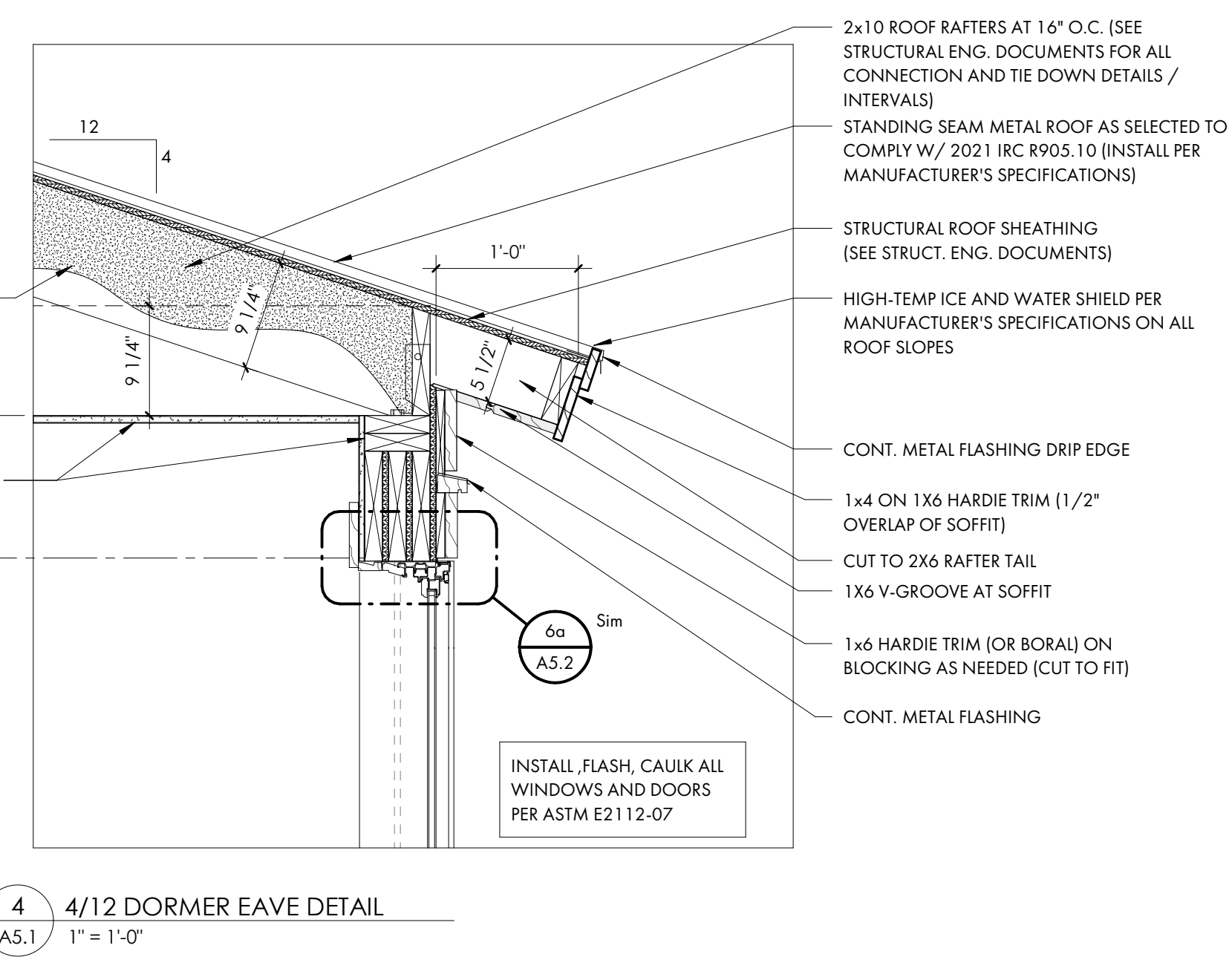
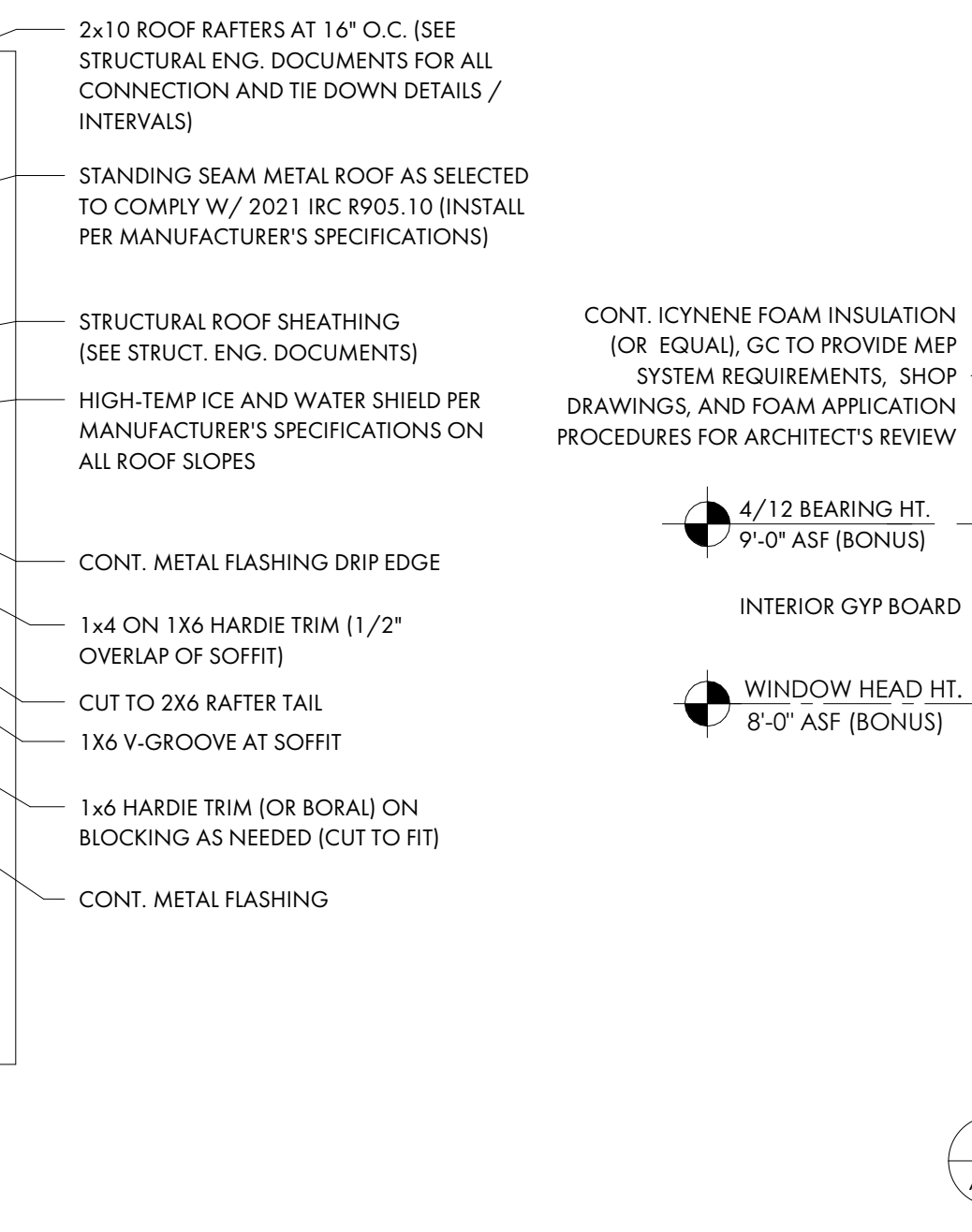
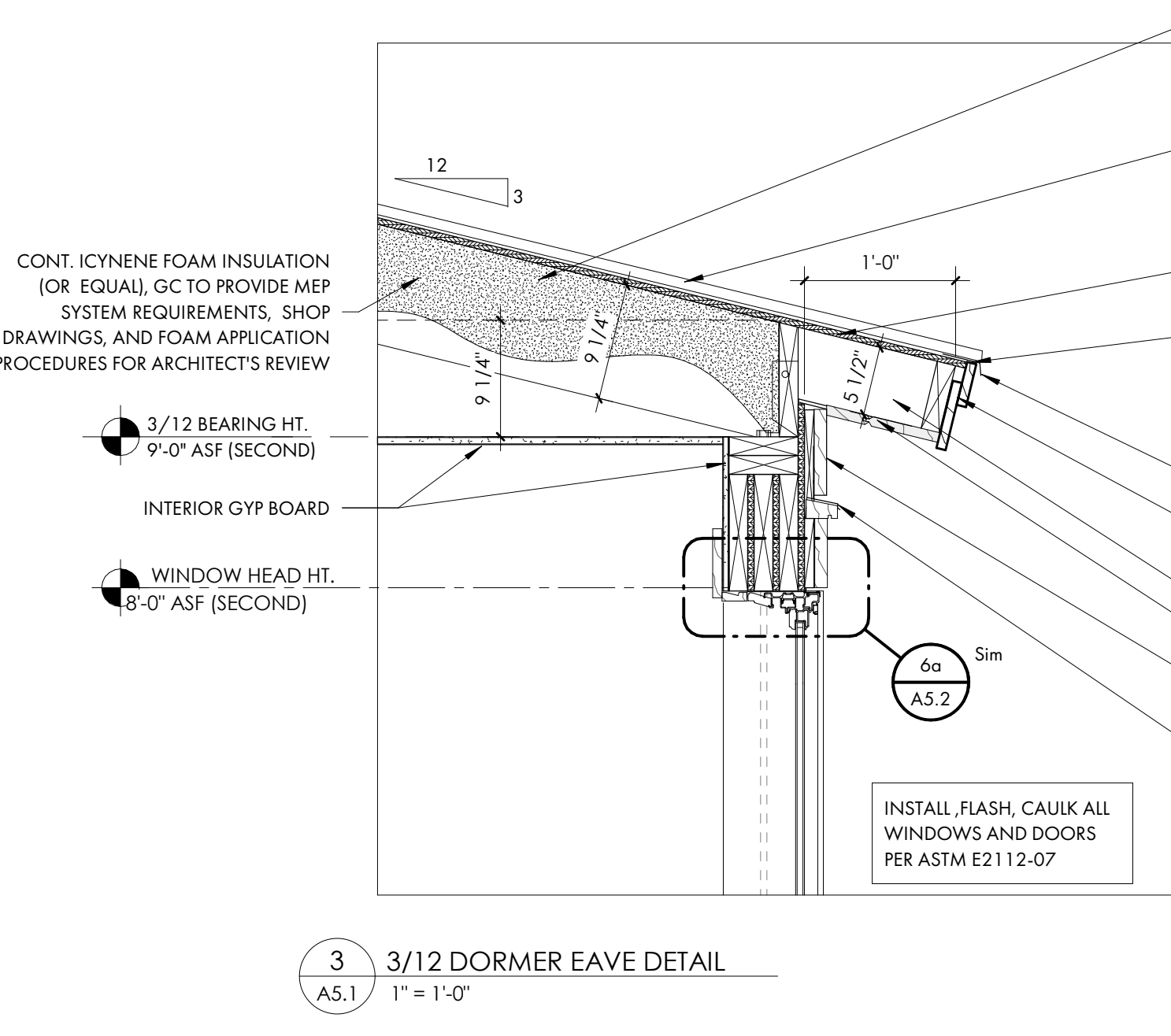
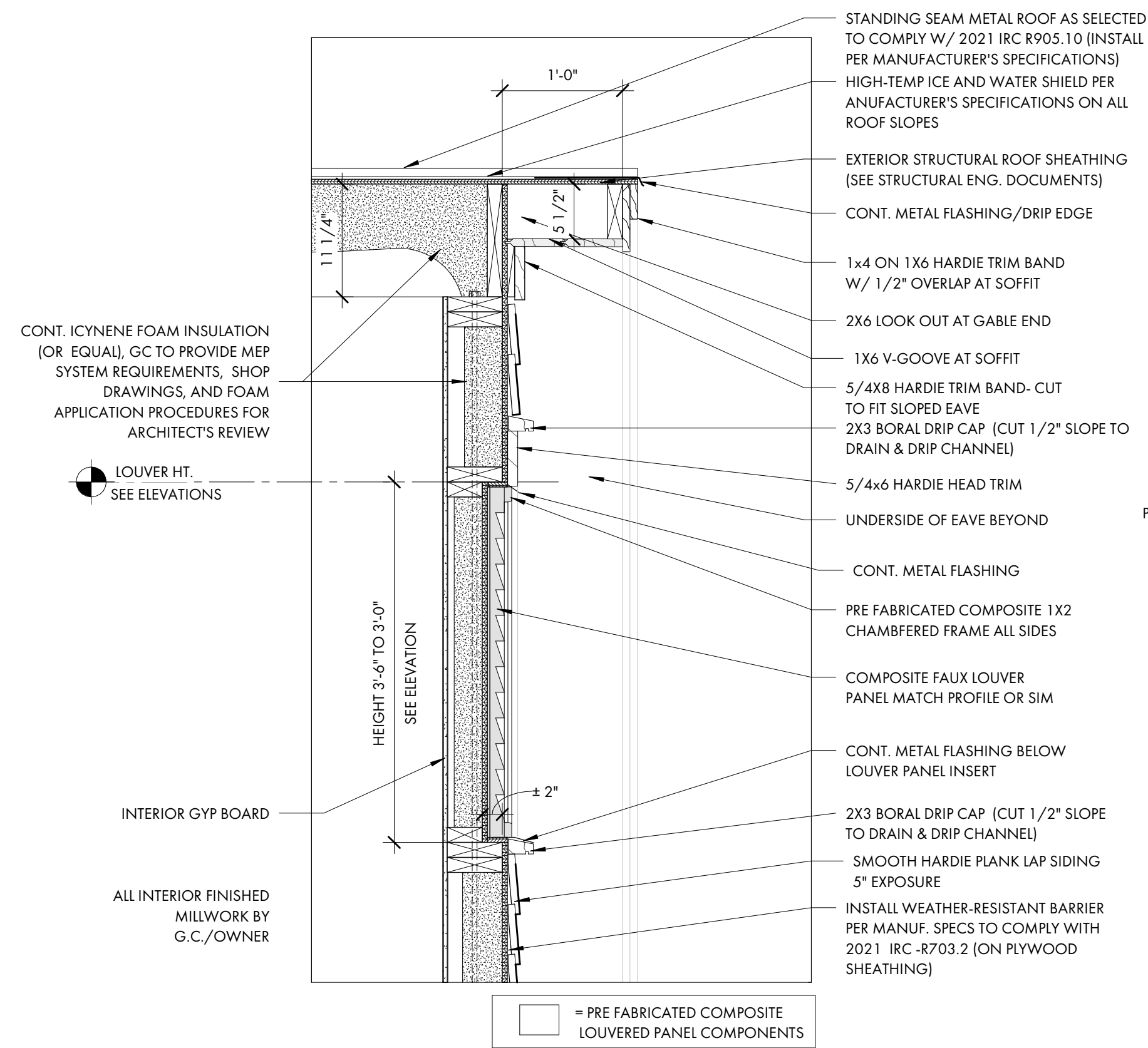
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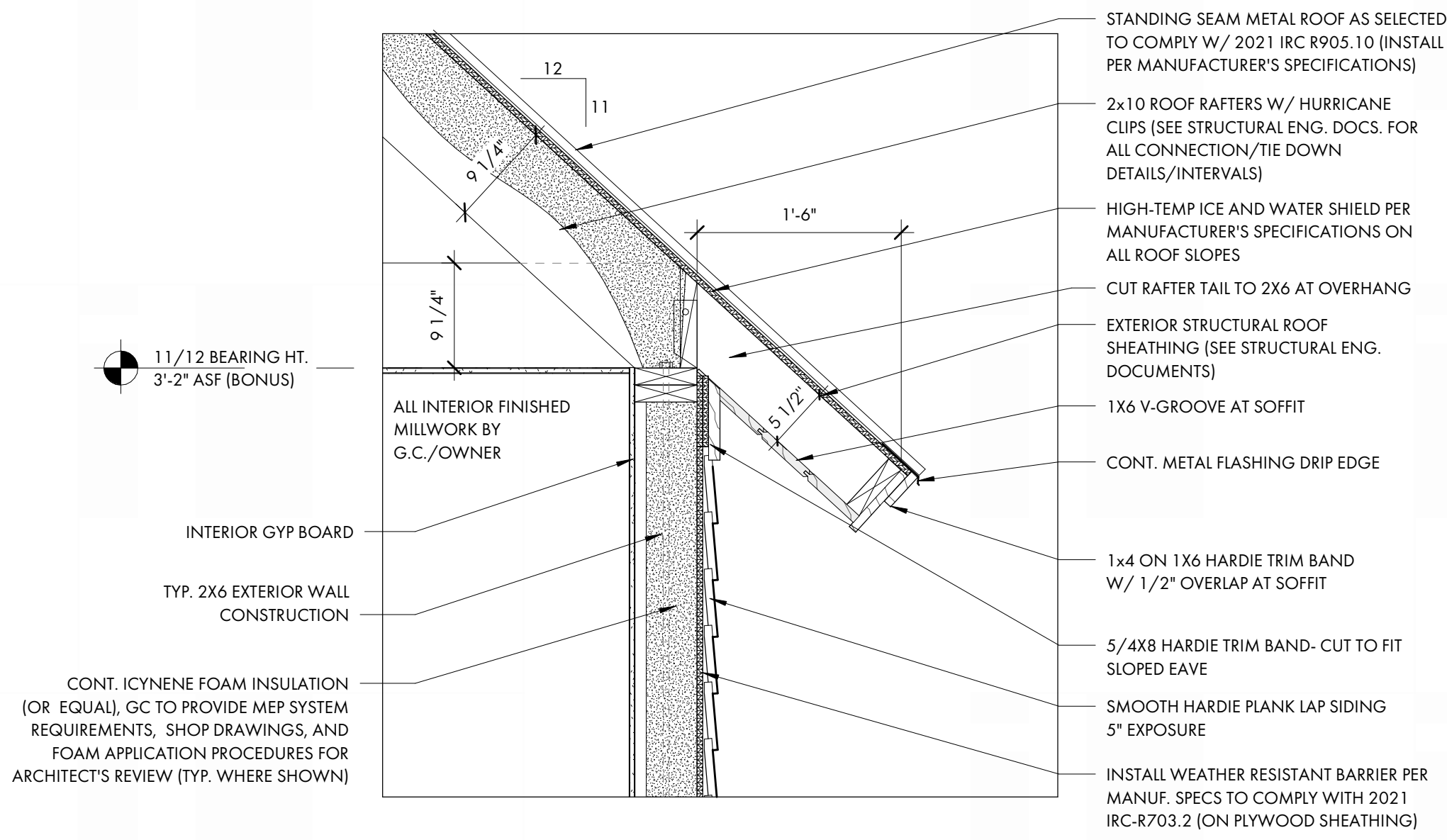
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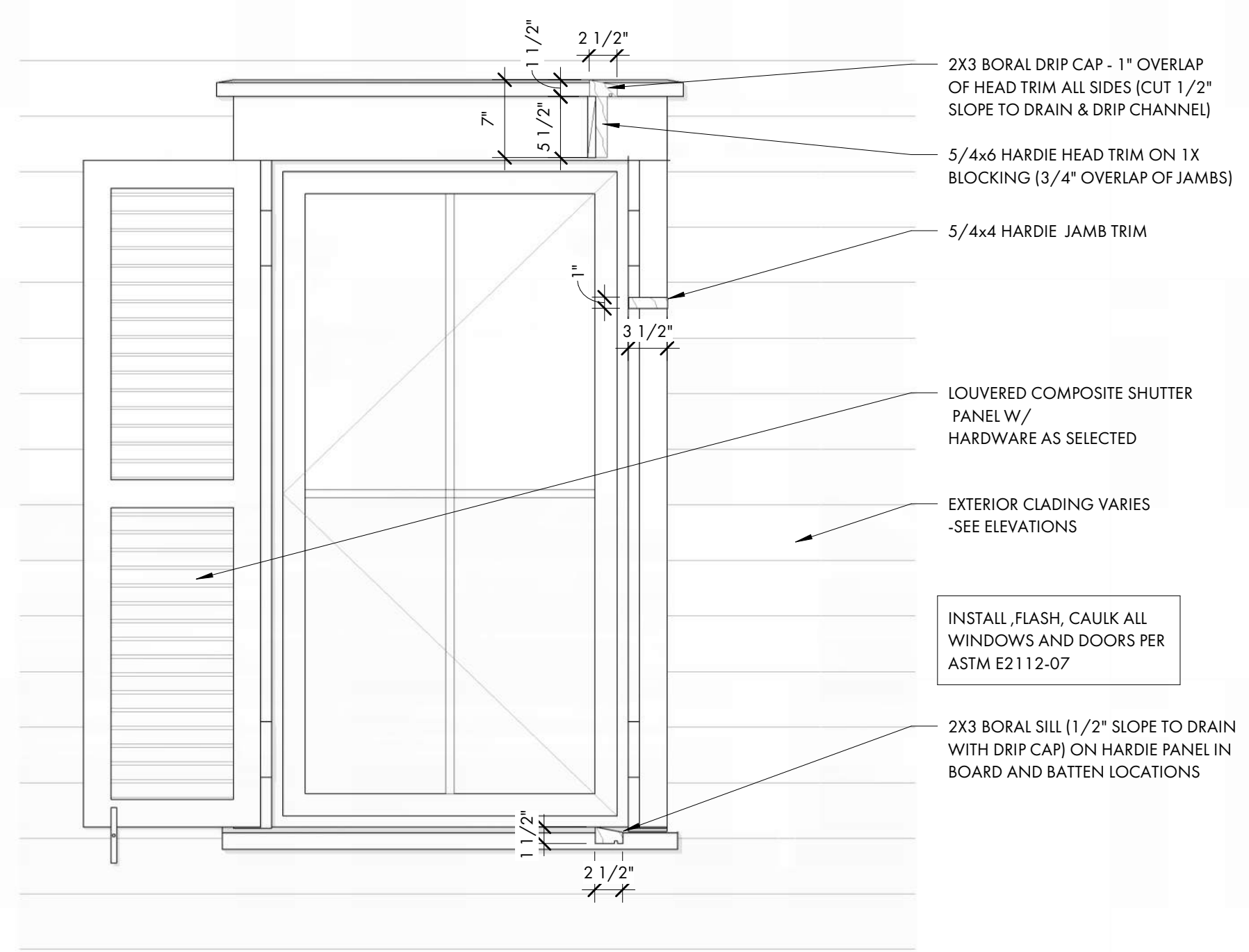
DETAILS

A5.1

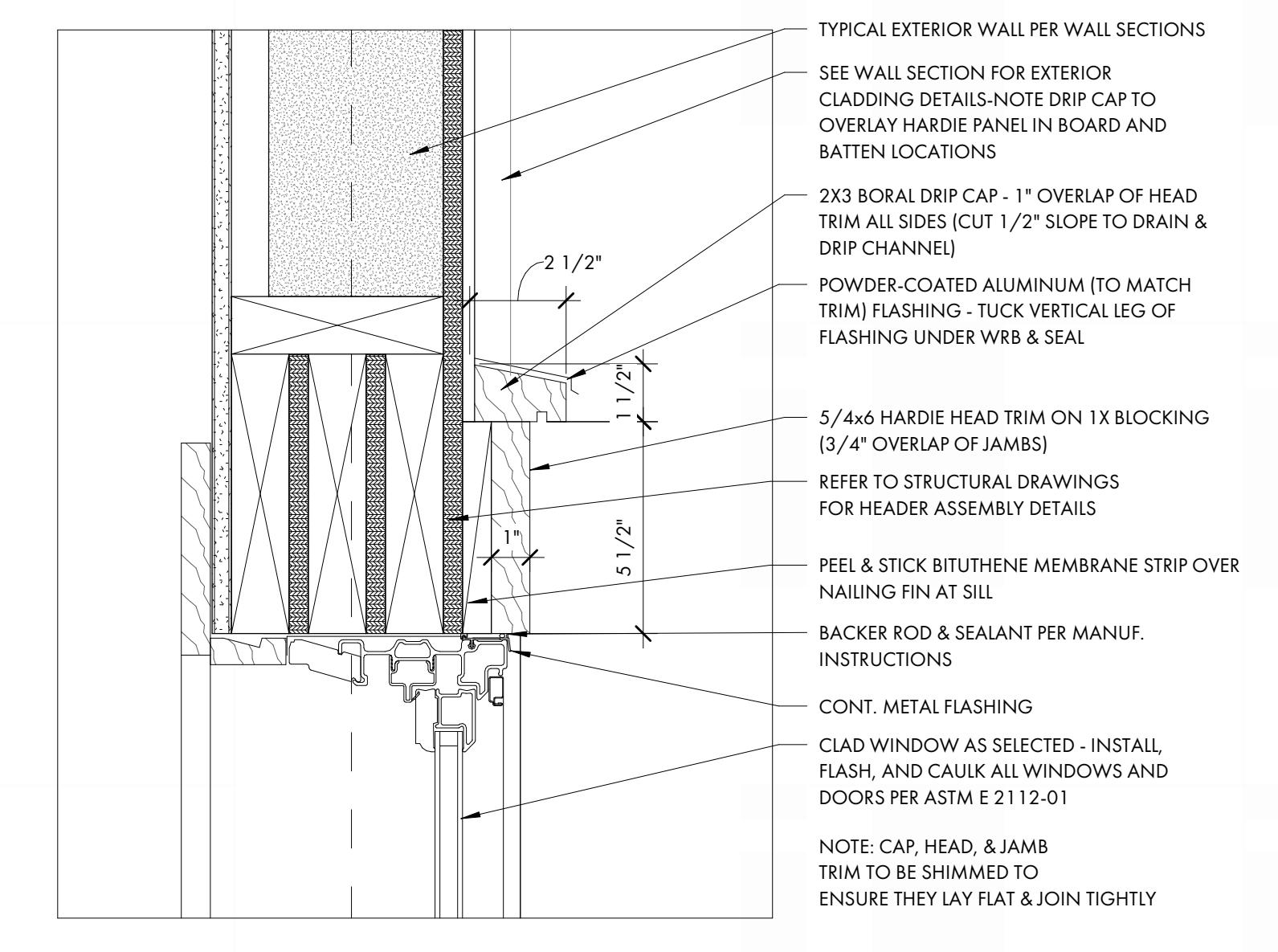




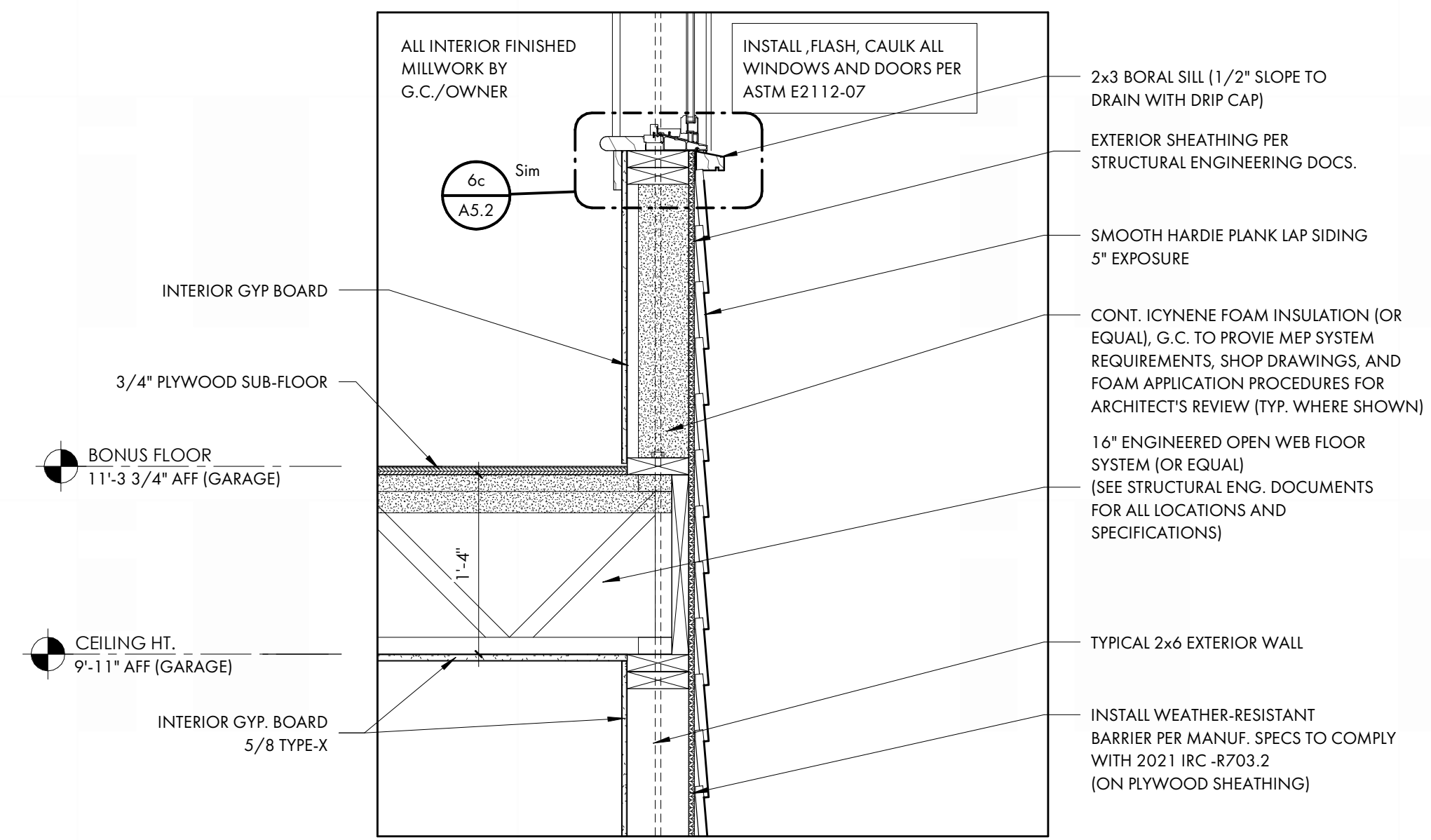
1 TYP. 11/12 ROOF EAVE DETAIL
A5.2 1" = 1'-0"



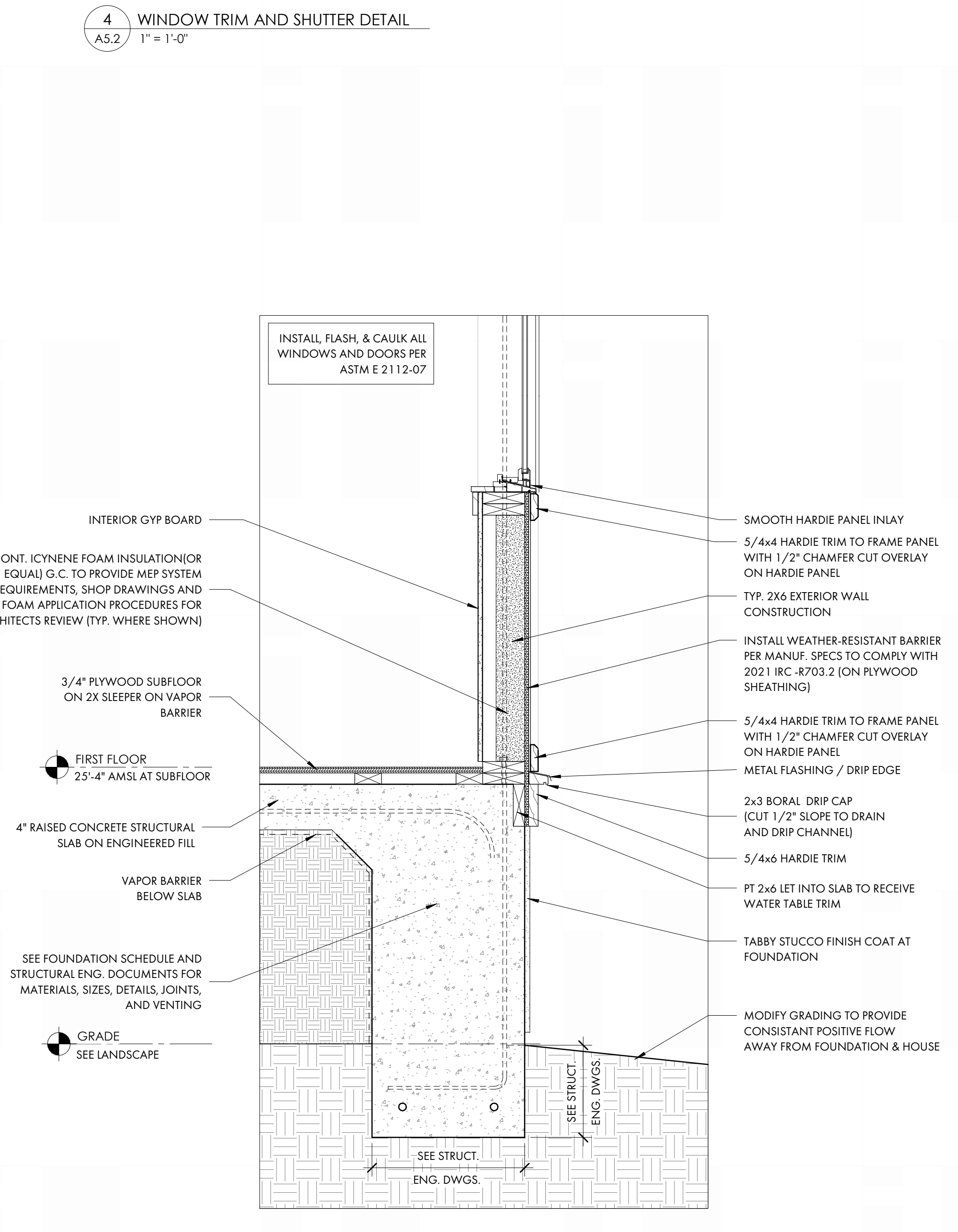
4 WINDOW TRIM AND SHUTTER DETAIL
A5.2 1" = 1'-0"



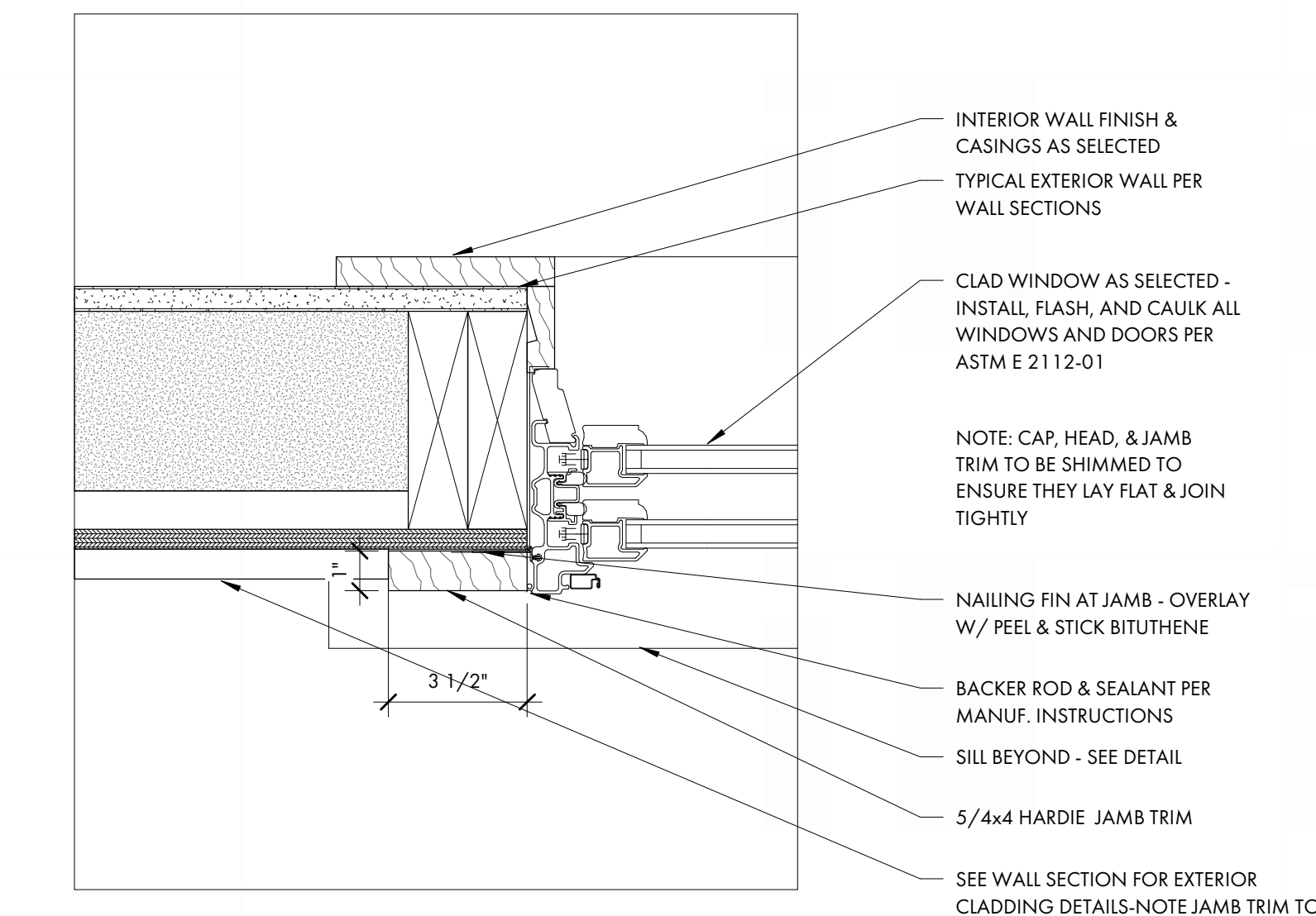
6a WINDOW HEAD DETAIL
A5.2 3\"/>



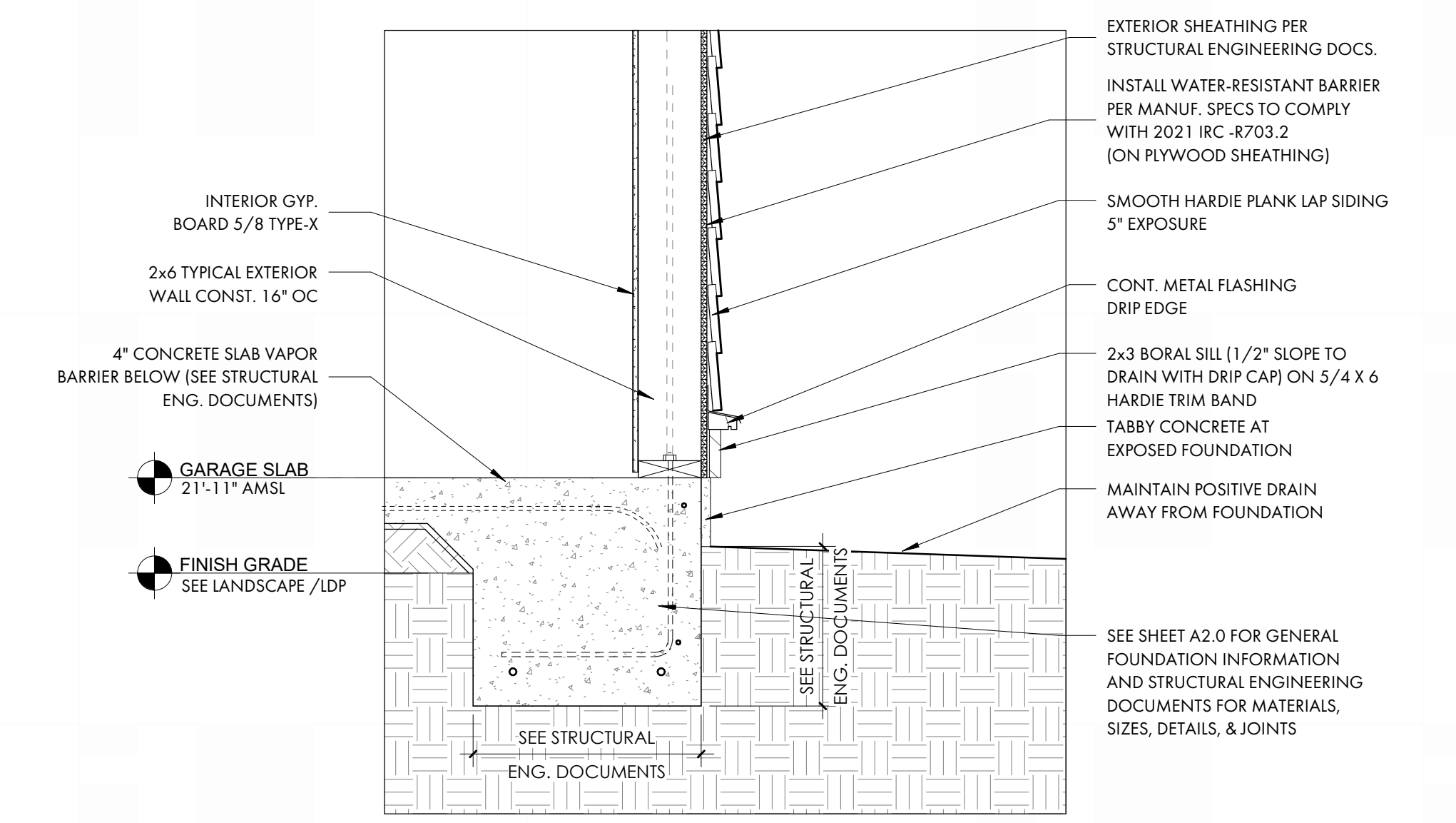
2 TYP. BONUS FLOOR DETAIL
A5.2 1" = 1'-0"



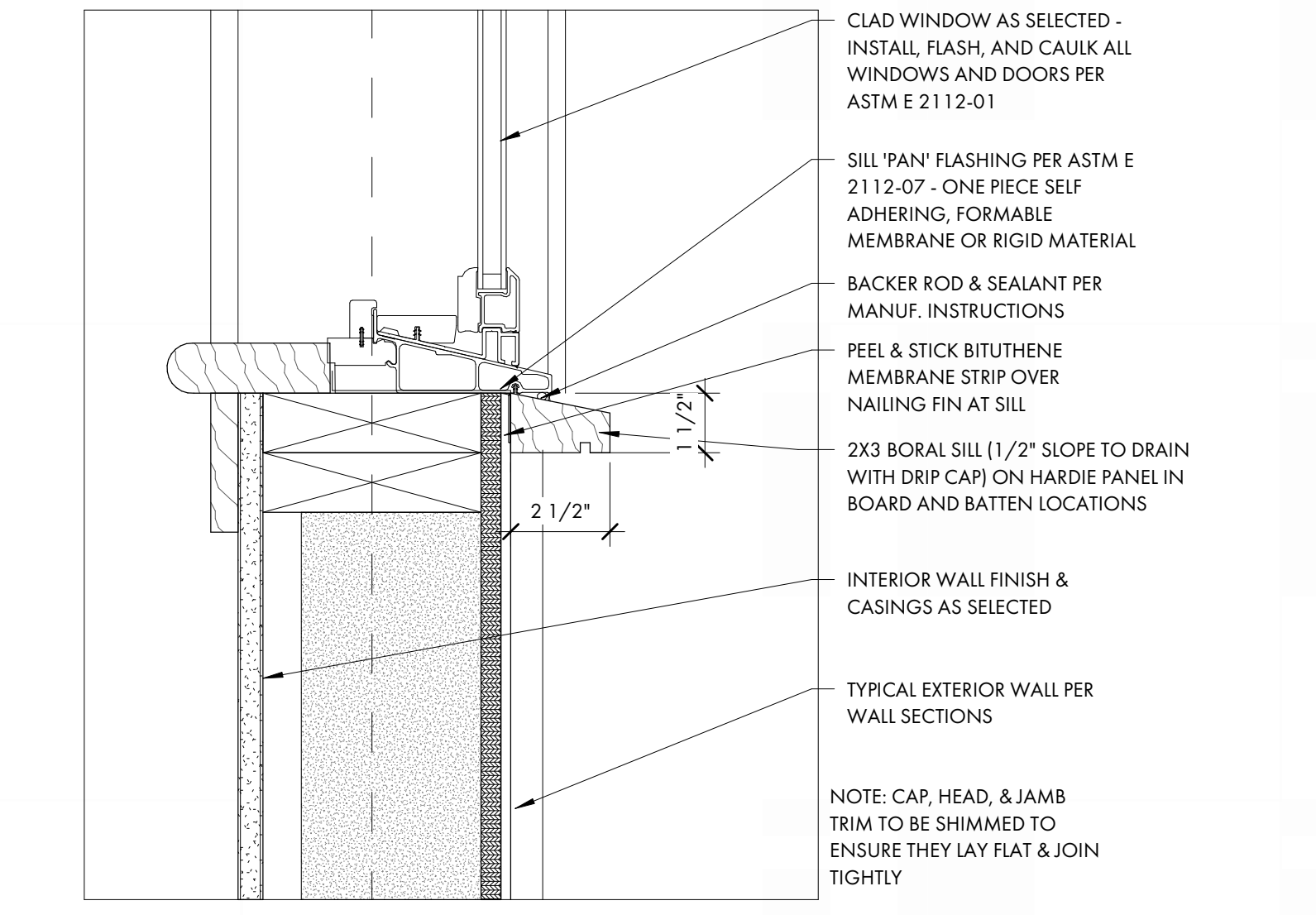
5 TYP. PANEL BELOW WINDOW
A5.2 1" = 1'-0"



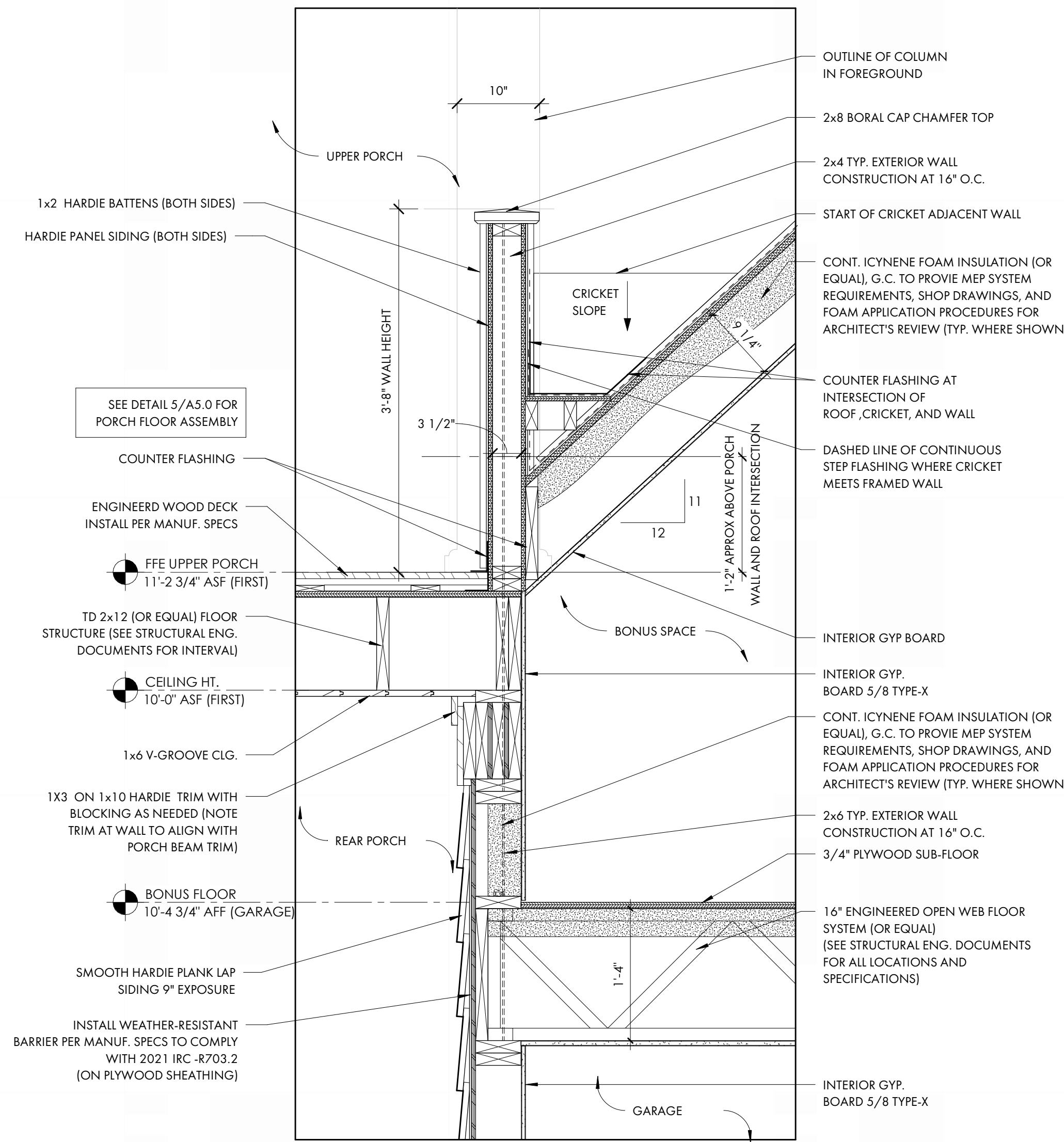
6b WINDOW JAMB DETAIL
A5.2 3\"/>



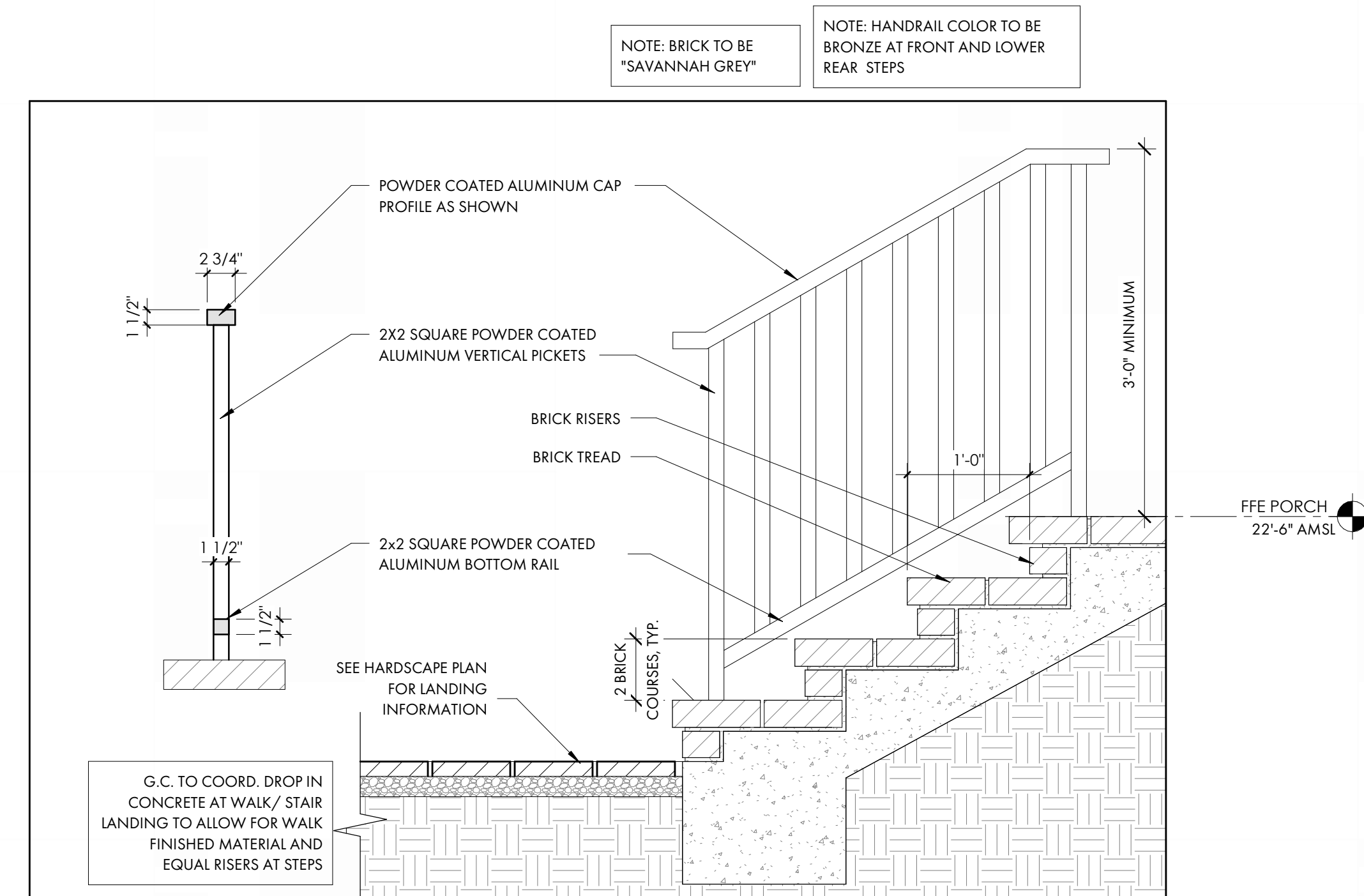
3 TYP. FOUNDATION AT GARAGE
A5.2 1" = 1'-0"



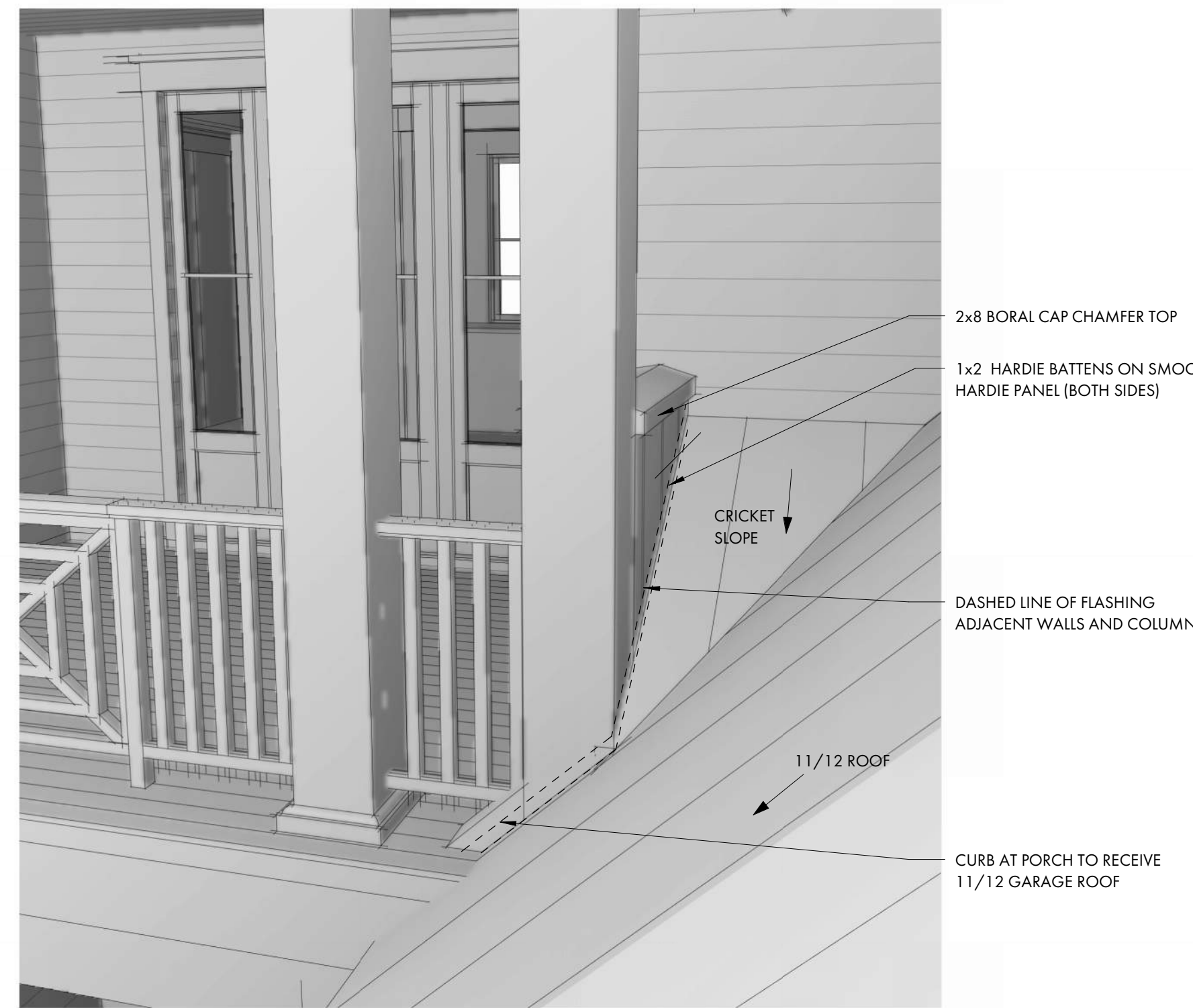
6c WINDOW SILL DETAIL
A5.2 3\"/>



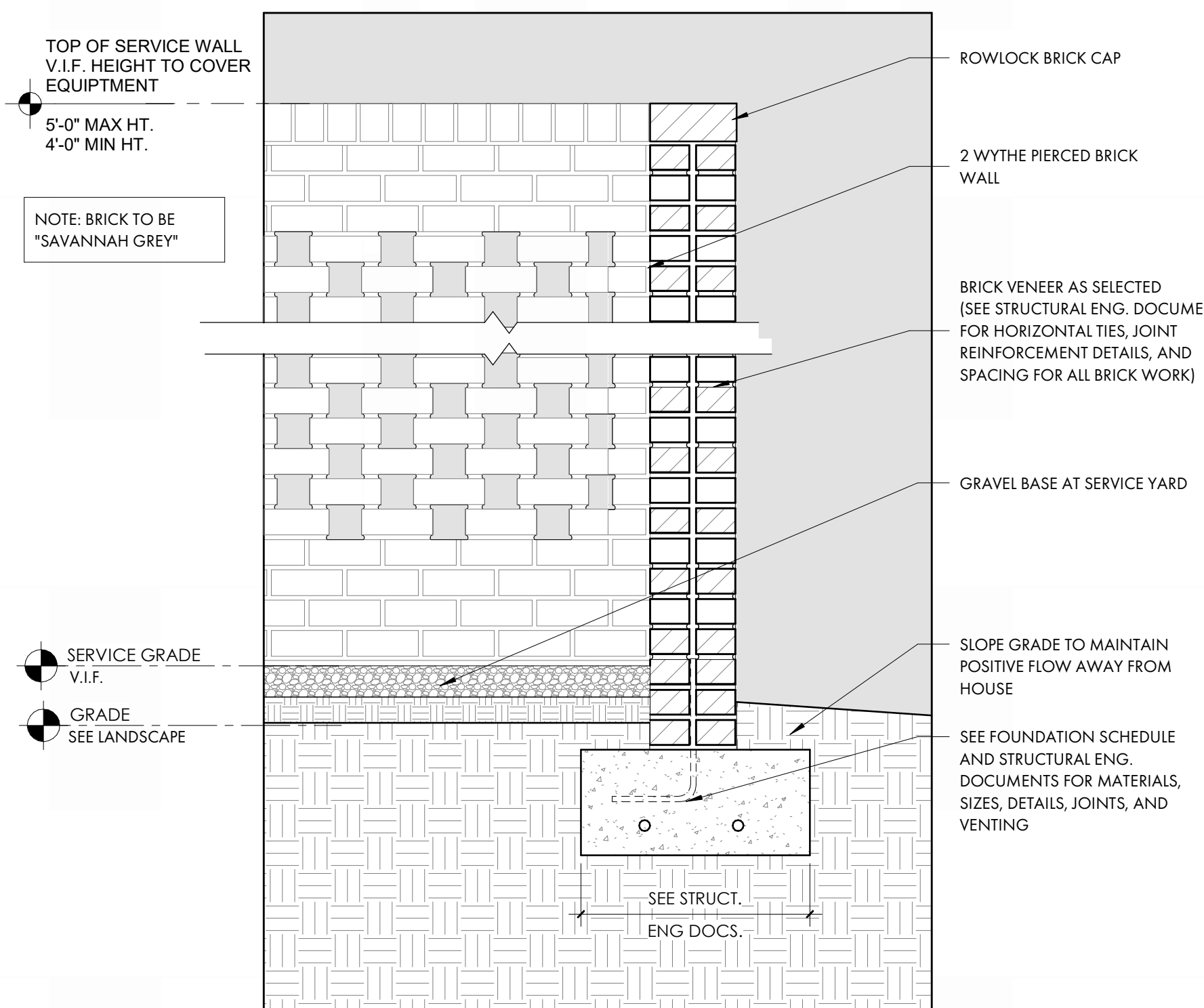
1 KNEE WALL AT UPPER PORCH DETAIL
A5.3 1" = 1'-0"



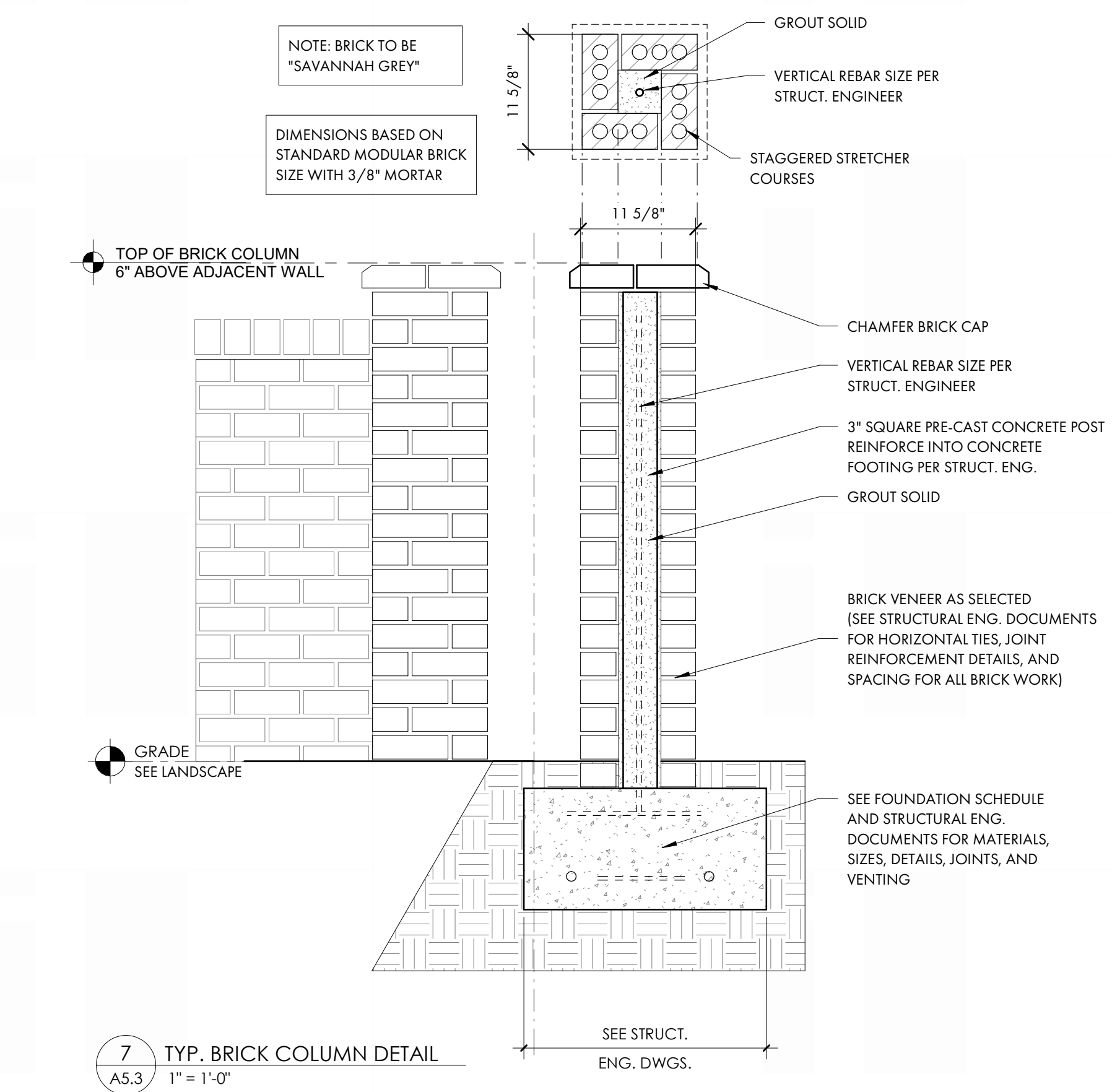
2 TYP. EXTERIOR STAIR DETAIL
A5.3 1" = 1'-0"



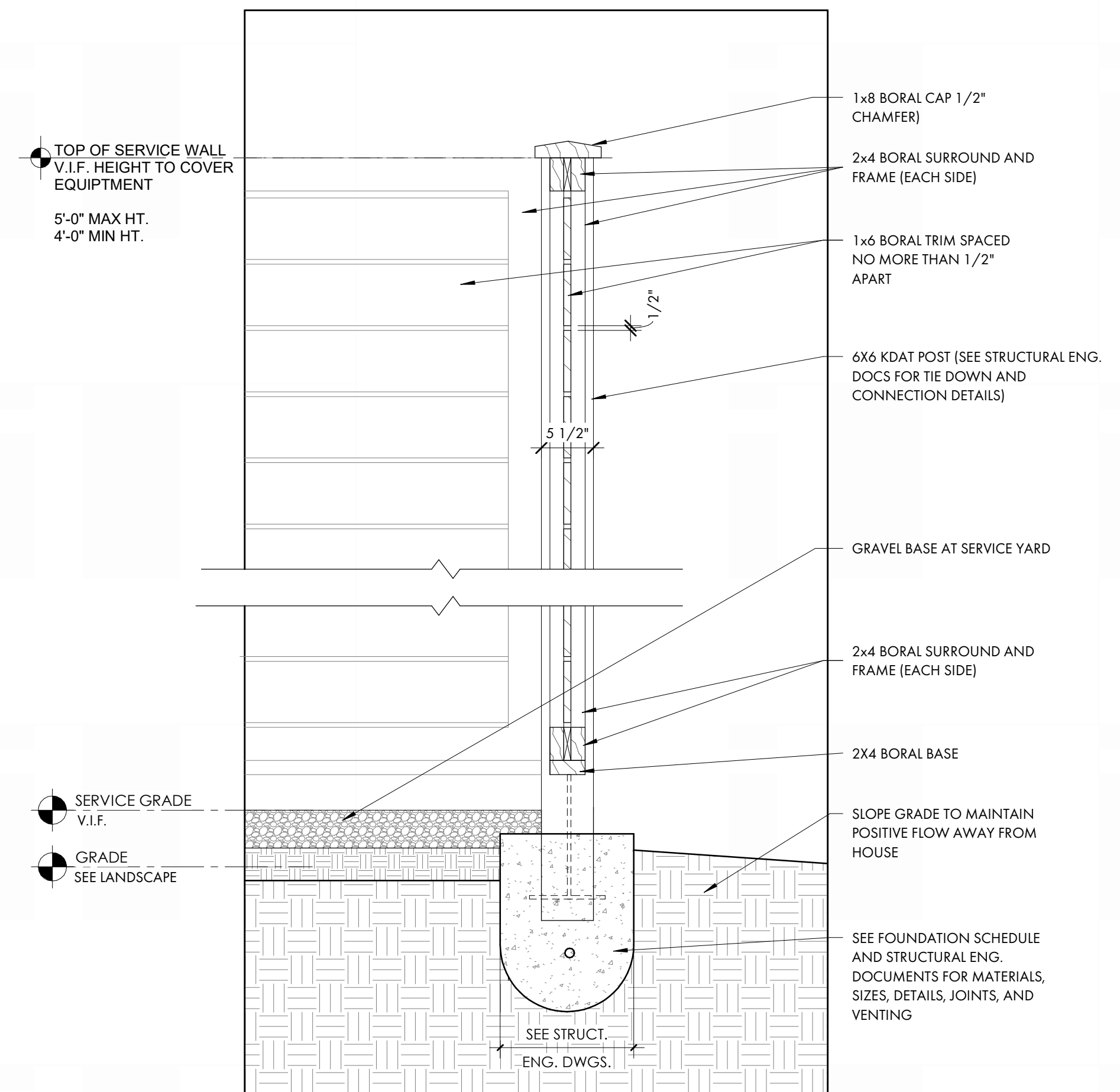
NOTE: ALL RAILINGS, PICKETS, AND DECORATIVE PANELS AT PORCHES TO MATCH TRIM COLOR



4 PIERCED BRICK WALL AT SERVICE YARD
A5.3 1" = 1'-0"



7 TYP. BRICK COLUMN DETAIL
A5.3 1" = 1'-0"



6 HOG FENCE AT SERVICE YARD
A5.3 1" = 1'-0"

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PROJECT INFO

Date: 02.04.2026
Project No.: 25-072

ISSUE

NO. REV. DATE DESCRIPTION

SHEET TITLE

DETAILS



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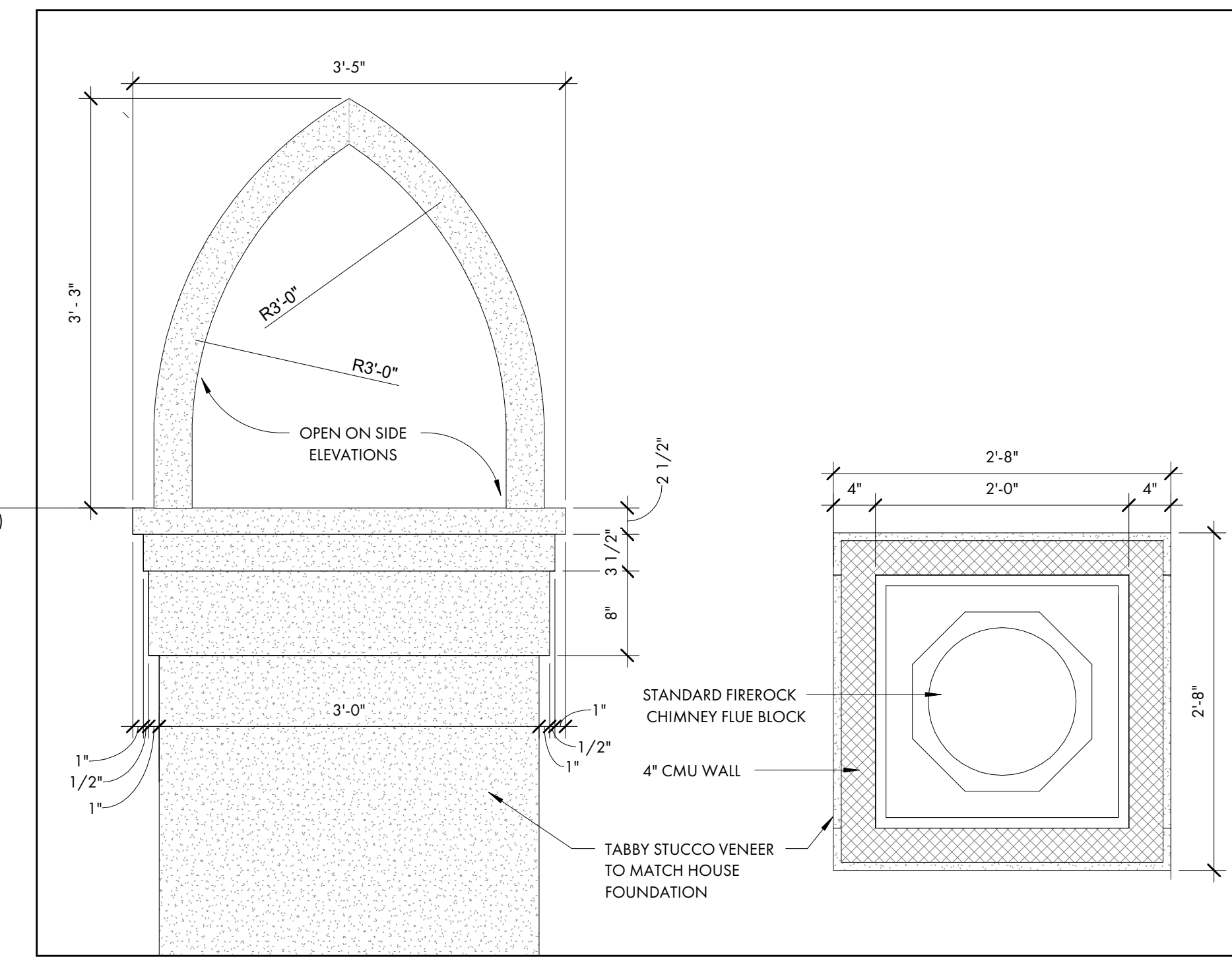
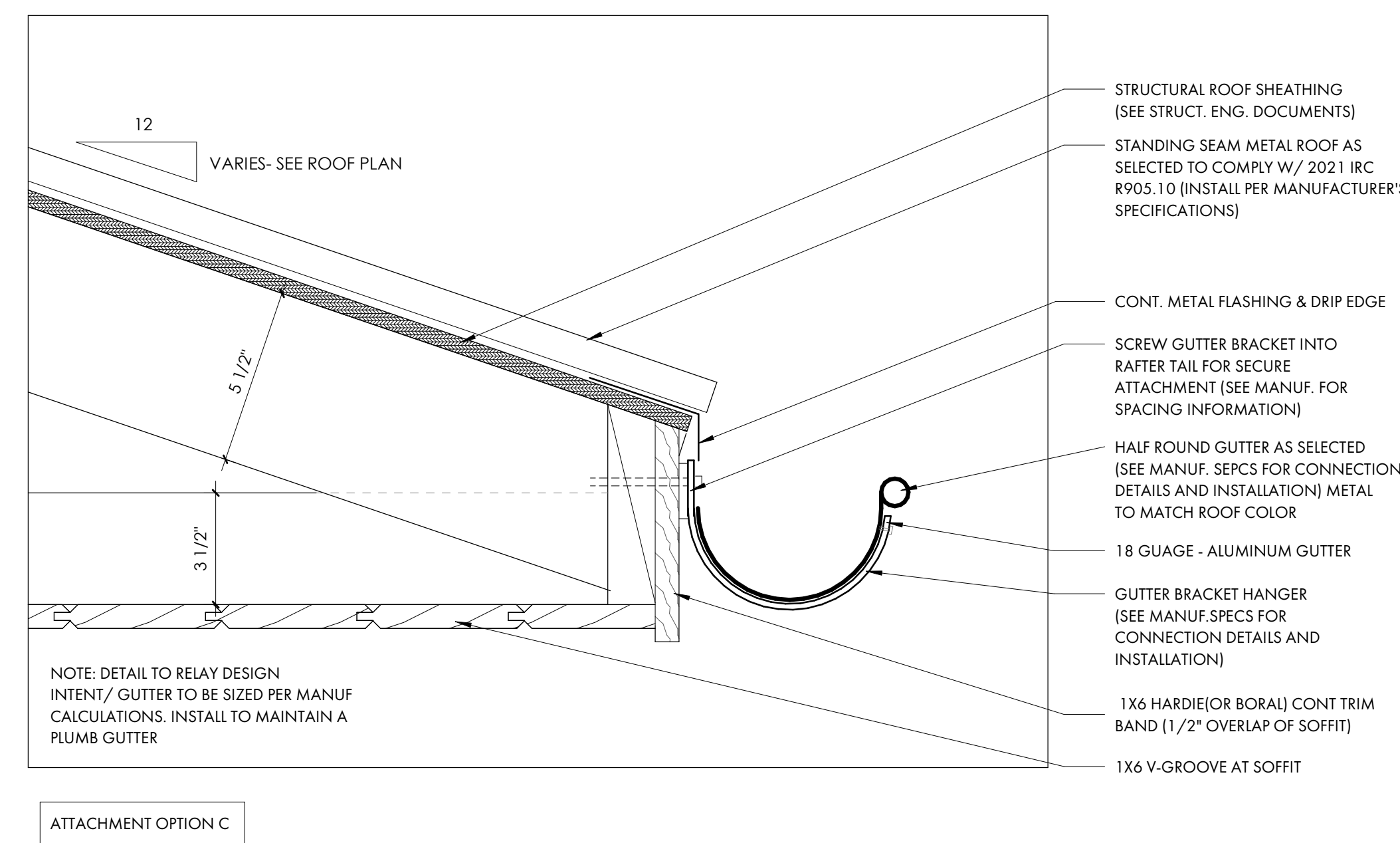
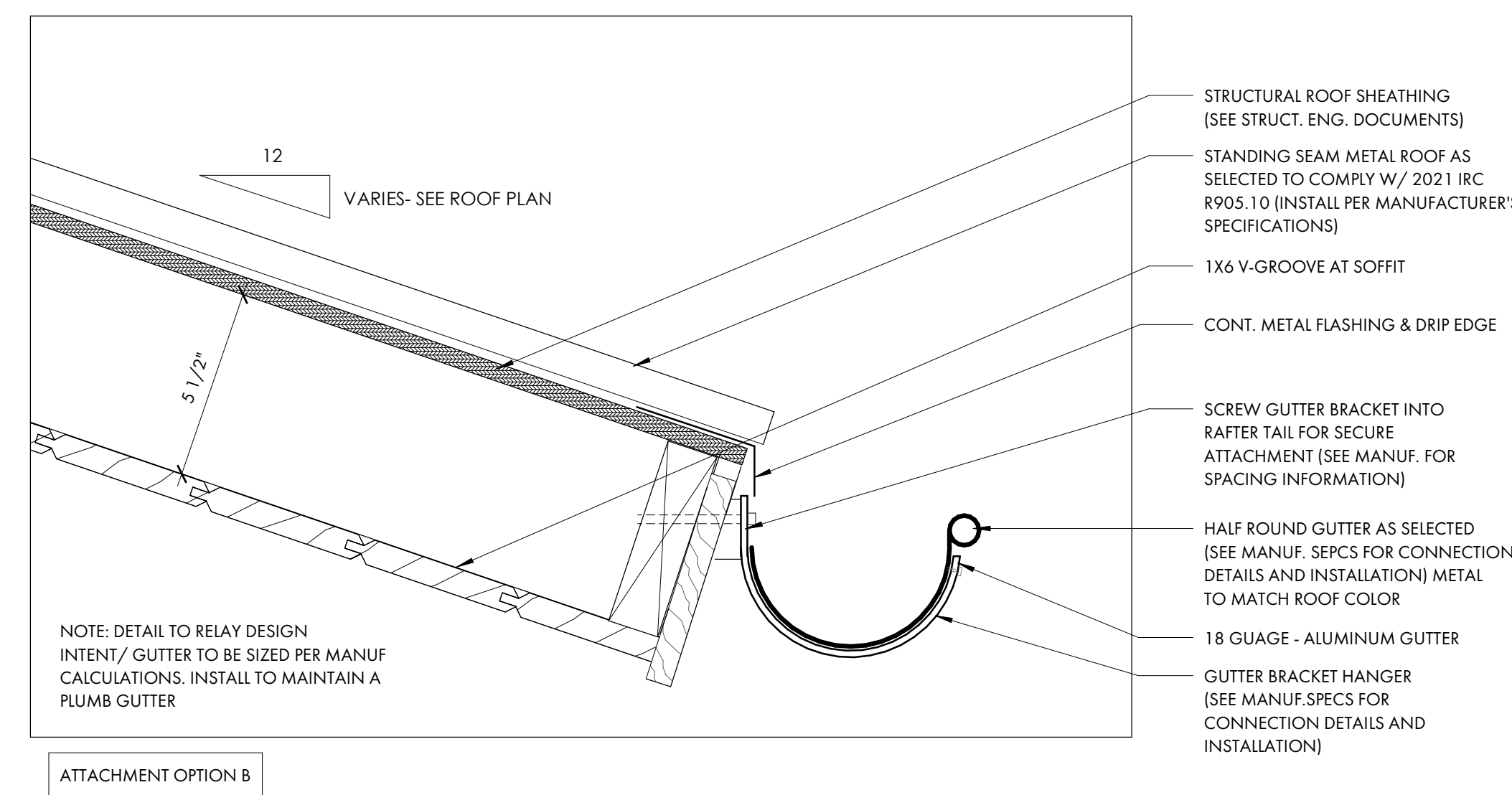
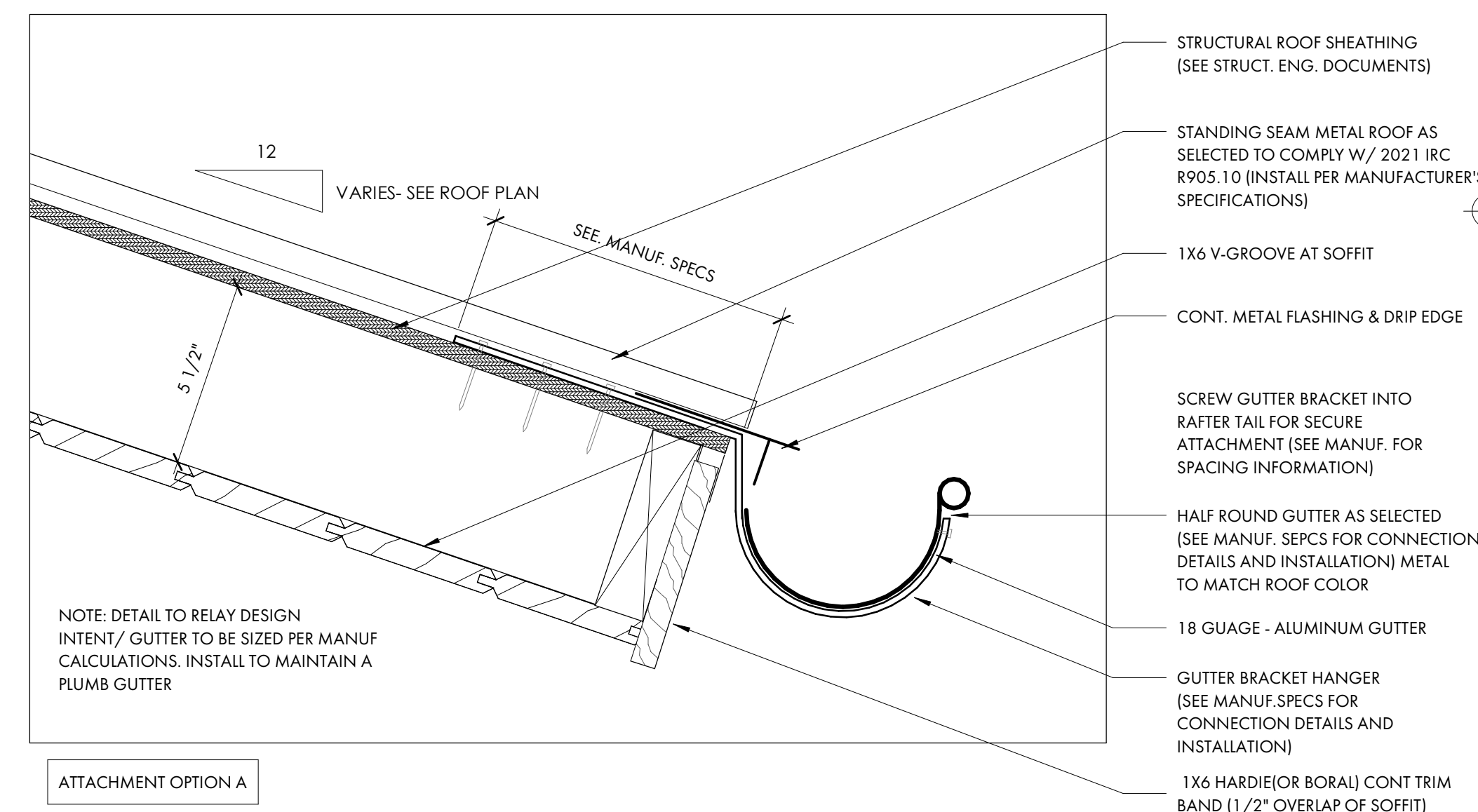
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NO.	REV.	DATE	DESCRIPTION

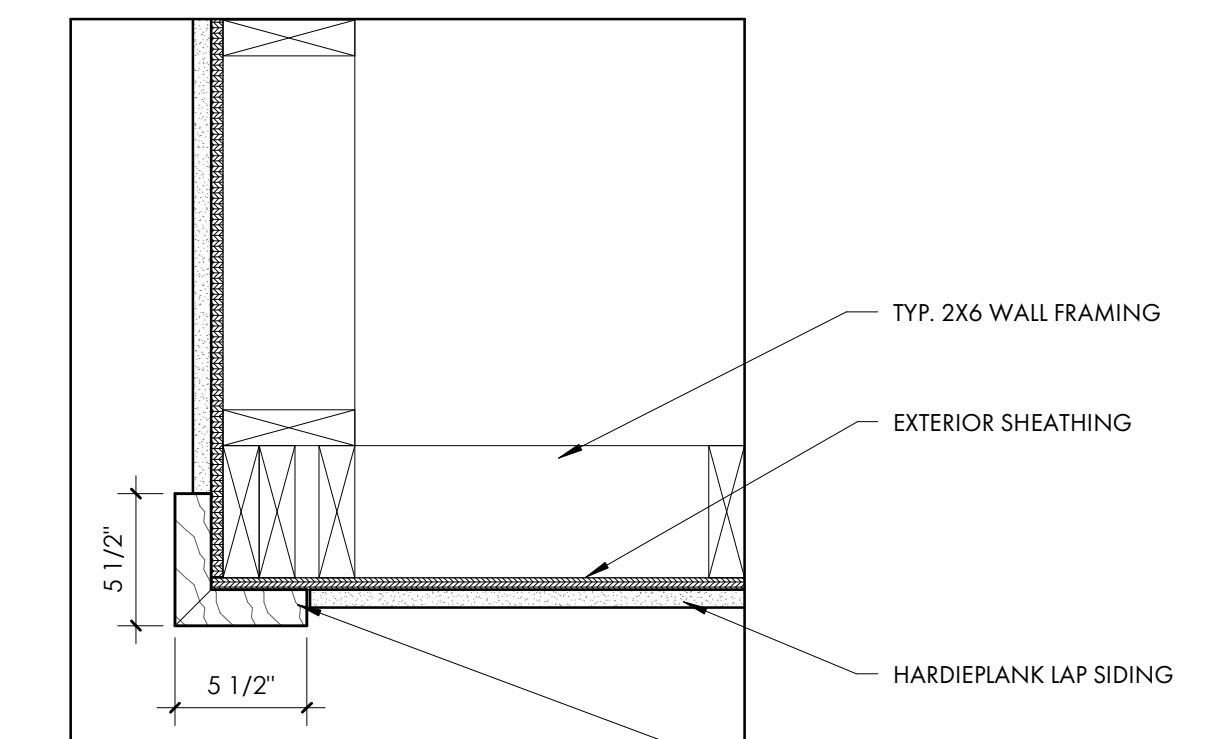
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DETAILS

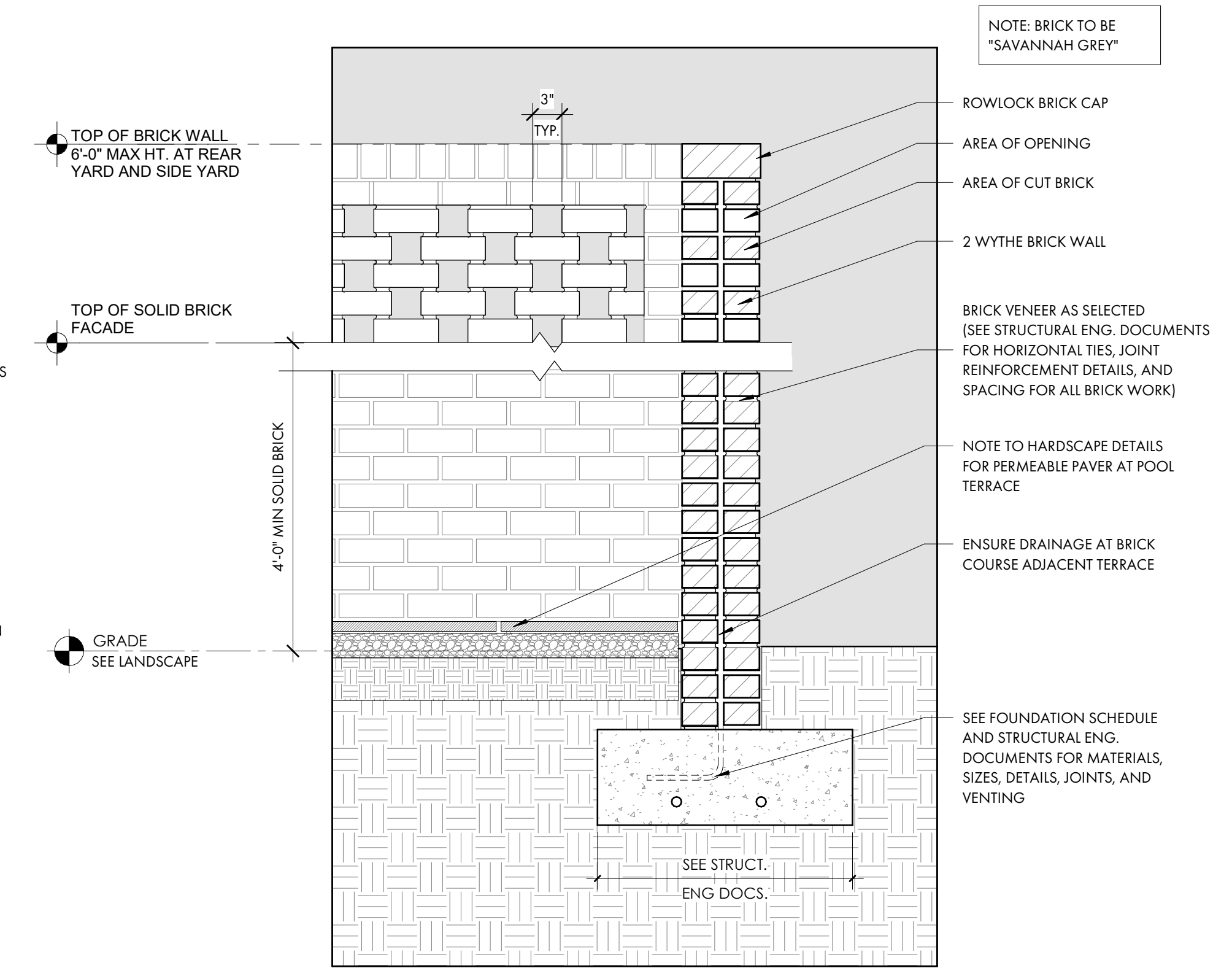
A5.4



3 STUCCO CHIMNEY CAP
A5.4 1" = 1'-0"



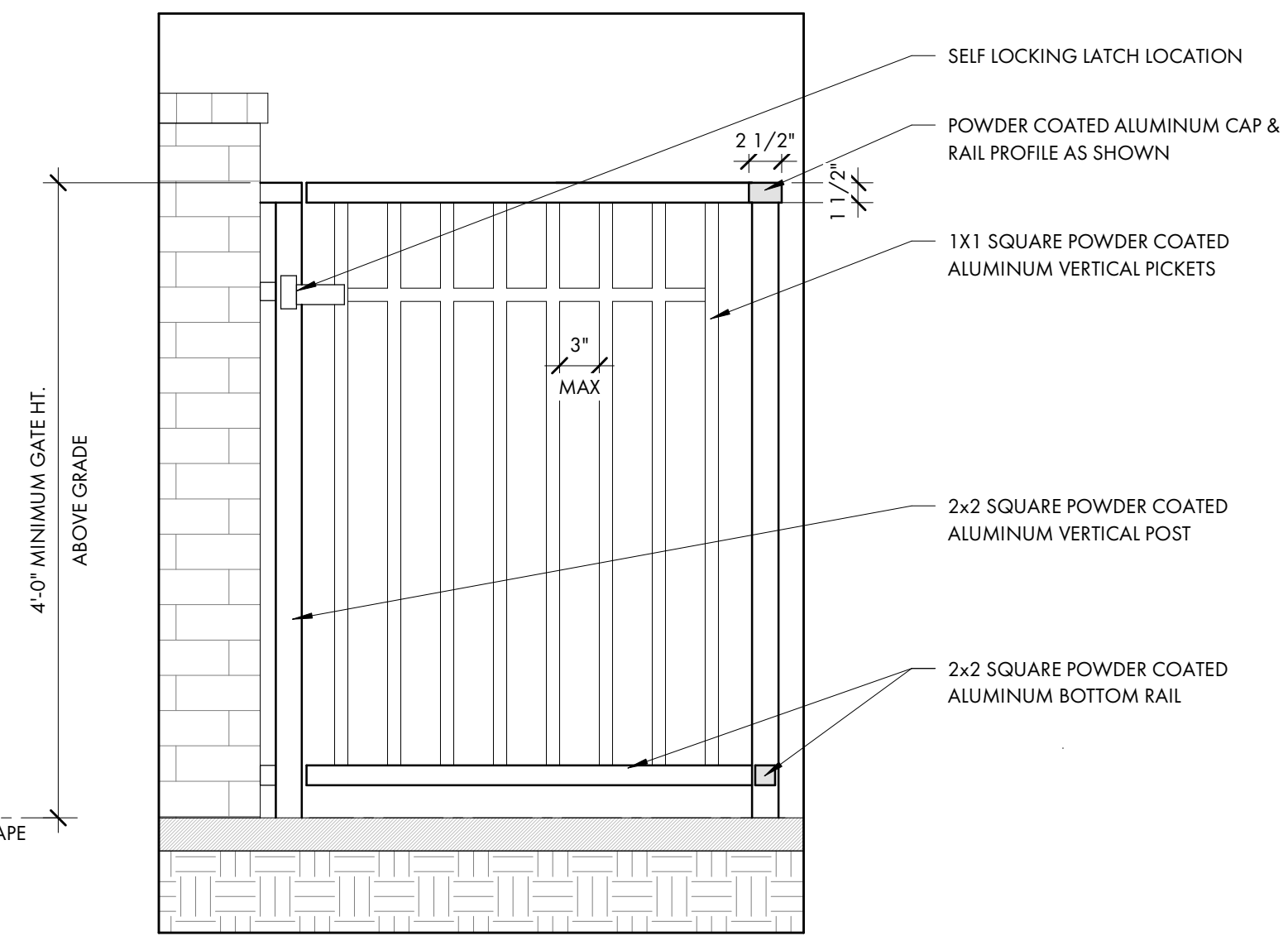
5 TYP. CORNER BOARD DETAIL
A5.4 1 1/2" = 1'-0"



4 PIERCED BRICK PRIVACY WALL AT POOL TERRACE
A5.4 1" = 1'-0"

NOTE: BRICK TO BE "SAVANNAH GREY"

NOTE: FENCE GATE COLOR TO BE BRONZE



2 GATE AT POOL ENCLOSURE
A5.4 1" = 1'-0"

1 TYP. GUTTER DETAIL
A5.4 3" = 1'-0"



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LOT 52 - BLUE CRAB PRIVATE
RESIDENCE

2 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

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Project No.
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SHEET TITLE

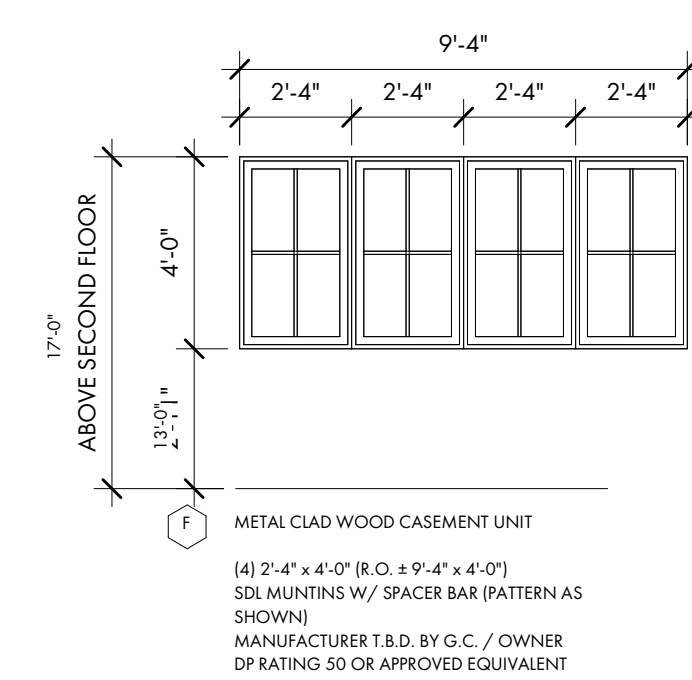
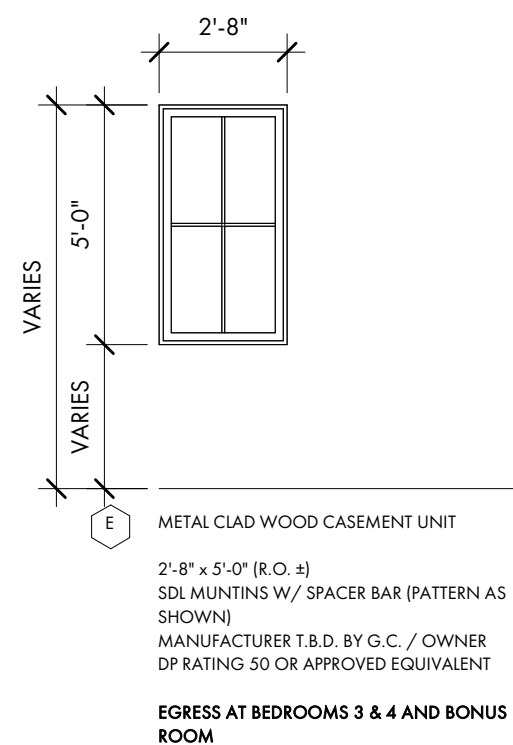
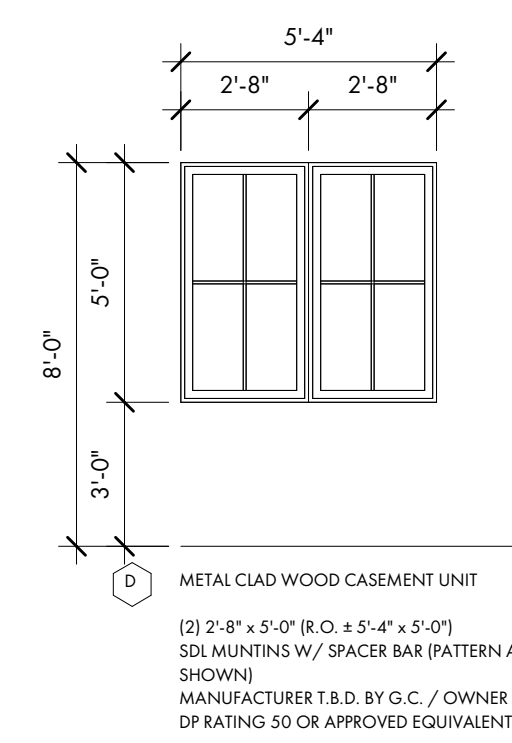
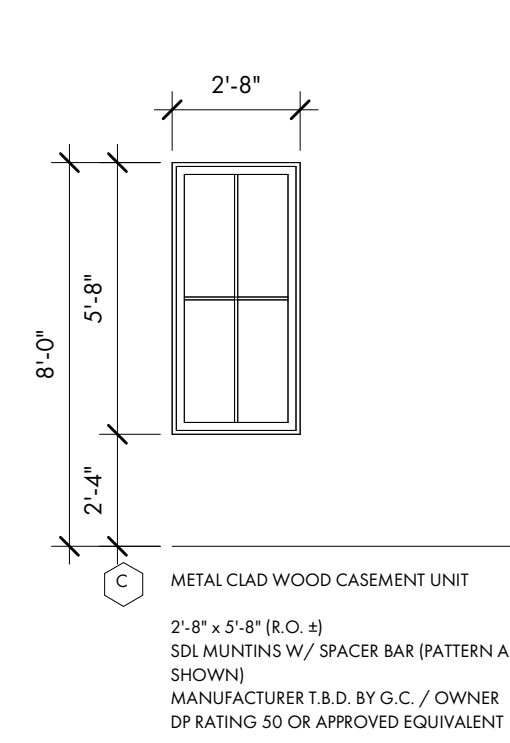
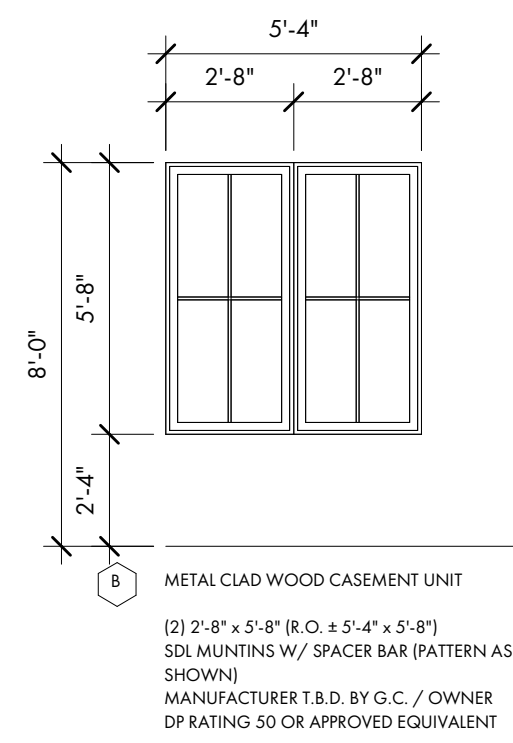
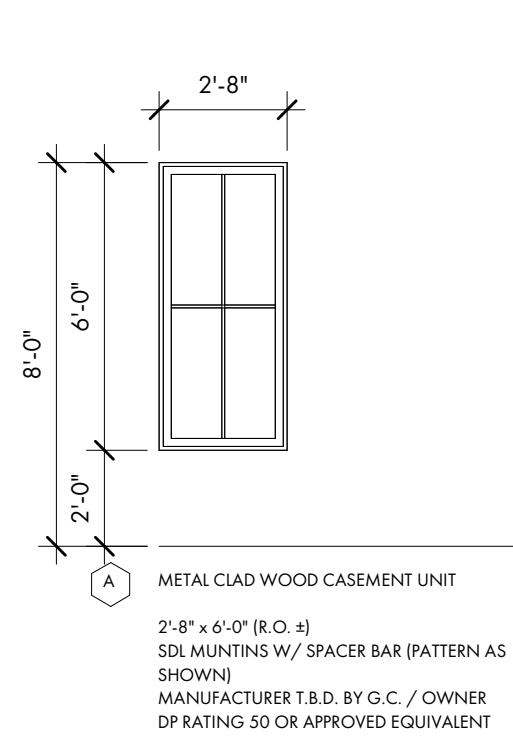
DOOR AND WINDOW
SCHEDULE

A6.0

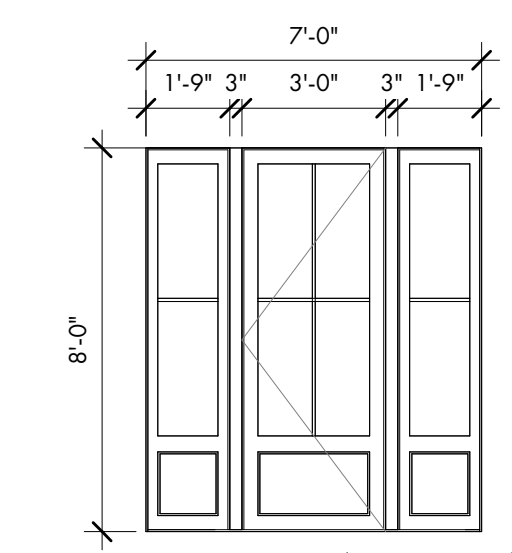
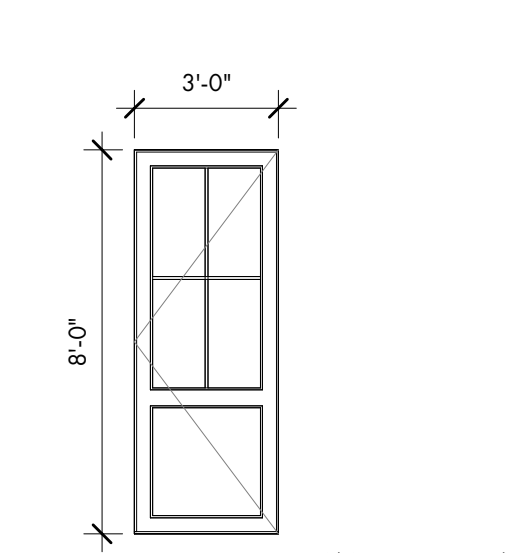
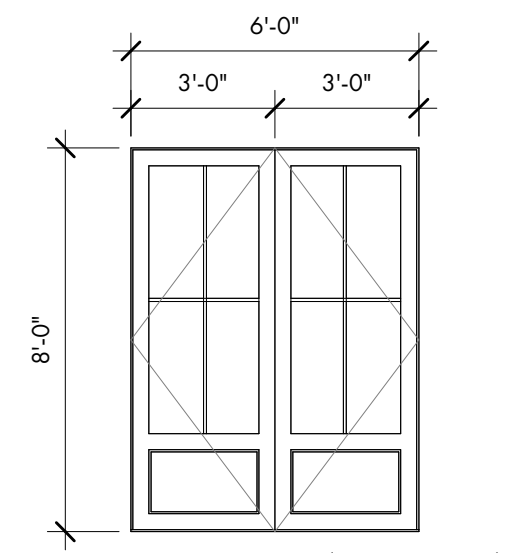
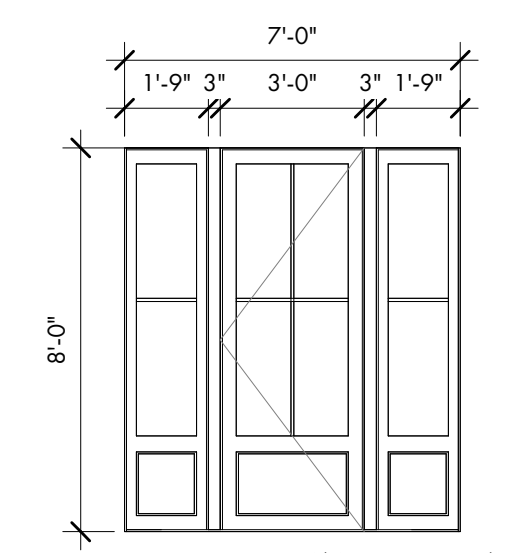
CAG - WINDOW SCHEDULE						
U-VALUE AND SOLAR HEAT GAIN FACTOR TO COMPLY W/ ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS OR APPROVED EQUIVALENT OR AS SPECIFIED BY ENGINEER. ASSUME MINIMUM U-VALUE OF 0.30 AND MINIMUM SHGC OF 0.30						
DP 50 RATING OR EQUIVALENT BY G.C. / STRUCTURAL ENGINEER AND TO COMPLY WITH ALL APPLICABLE BUILDING CODES AND REGULATORY REQUIREMENTS.						
Type Mark	Window Type	Description	Frame Opening		Head Height	Comments
			Frame Width	Frame Height		
A	METAL CLAD WOOD CASEMENT UNIT	2'-8" x 6'-0"	2'-8"	6'-0"	8'-0"	TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
B	METAL CLAD WOOD CASEMENT UNIT	(2) 2'-8" x 5'-8"	5'-4"	5'-8"	8'-0"	TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
C	METAL CLAD WOOD CASEMENT UNIT	2'-8" x 5'-8"	2'-8"	5'-8"	8'-0"	TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
D	METAL CLAD WOOD CASEMENT UNIT	(2) 2'-8" x 5'-0"	5'-4"	5'-0"	8'-0"	TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
E	METAL CLAD WOOD CASEMENT UNIT	2'-8" x 5'-0"	2'-8"	5'-0"	8'-0"	TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
F	METAL CLAD WOOD CASEMENT UNIT	(4) 2'-4" x 4'-0"	9'-4"	4'-0"	17'-0"	TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.

PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION R301.2.1.2 OF THE 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER W/ A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-22.



CAG - DOOR SCHEDULE - EXT.									
Mark	Door Type	Description	R.O.		Head Height	Thickness	Design Pressure	Energy Code	Type Comments
			Rough Width	Rough Height					
E01	EXTERIOR METAL CLAD WOOD DOOR	3'-0" x 8'-0"	7'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
E02	EXTERIOR METAL CLAD WOOD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-0"	8'-0"	2"			TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
E03	EXTERIOR METAL CLAD WOOD DOOR	3'-0" x 8'-0"	7'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
E04	EXTERIOR METAL CLAD WOOD DOOR	3'-0" x 8'-0"	3'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
E05	EXTERIOR METAL CLAD WOOD DOOR	3'-0" x 8'-0"	7'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
E06	EXTERIOR METAL CLAD WOOD DOOR	(2) 3'-0" x 8'-0"	6'-0"	8'-0"	8'-0"	2"			TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
E07	EXTERIOR GARAGE DOOR	9'-0" x 8'-0"	9'-0"	8'-0"	8'-0"	Tbd			TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.
E08	EXTERIOR GARAGE DOOR	9'-0" x 8'-0"	9'-0"	8'-0"	8'-0"	Tbd			TYPE & FINISH BY G.C. / OWNER. SEE ELEVATION.

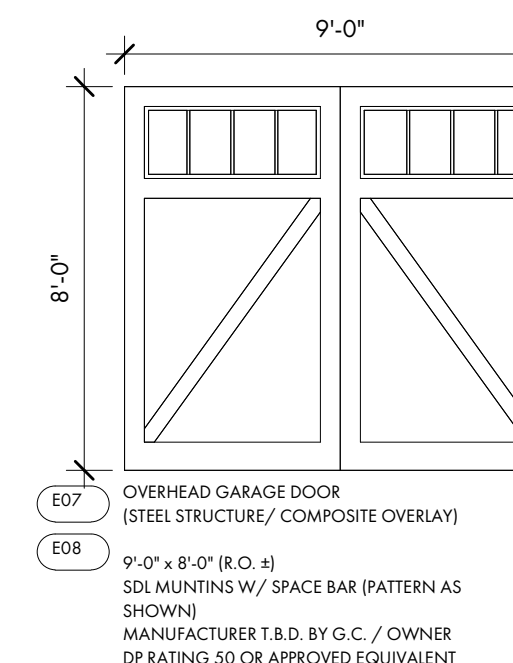


10	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER.
11	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER.
12	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER.
13	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER.
14	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	6'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER.
15	INTERIOR DOOR	3'-0" x 8'-0"	3'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER. 20-MIN. FIRE-RATED DOOR
16	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER.
17	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER.
18	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER.
19	INTERIOR DOUBLE DOOR	(2) 2'-0" x 8'-0"	4'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER.
20	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER.
21	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER.
22	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER.
23	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER.
24	INTERIOR DOUBLE POCKET DOOR	(2) 2'-4" x 8'-0"	4'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER.
25	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER.
26	INTERIOR DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER.
27	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER.
28	INTERIOR DOUBLE DOOR	(2) 2'-0" x 8'-0"	4'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER.
29	INTERIOR DOOR	2'-8" x 8'-0"	2'-8"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER.
30	INTERIOR DOUBLE DOOR	(2) 2'-0" x 8'-0"	4'-0"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER.
31	INTERIOR POCKET DOOR	2'-4" x 8'-0"	2'-4"	8'-0"	8'-0"	1 3/4"			TYPE & FINISH BY G.C. / OWNER.

PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANCE GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION R301.2.1.2 OF THE 2021 INTERNATIONAL RESIDENTIAL BUILDING CODE. FASTENING SHALL BE BY MEANS OF CORROSION RESISTANT MACHINE SCREWS FASTENED TO PERMANENTLY INSTALLED THREADED RECEIVERS LAG BOLTED INTO THE FRAMING. EACH VIBRATION RESISTANT RECEIVER SHALL HAVE A MINIMUM WITHDRAWAL CAPACITY OF 490 POUNDS. SEAL AROUND EACH RECEIVER W/ A SUITABLE SEALANT. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.

G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS
G.C. TO PREPARE EXTERIOR OPENINGS PER ASTM E2112-22.

NOTE: ADJUST DOOR HEIGHT TO PROVIDE TRUE 8'-0" R.O. TO ALIGN WITH WINDOWS AND EXTERIOR DOORS.





PROJECT INFO

Date
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ISSUE

NO. REV. DATE DESCRIPTION

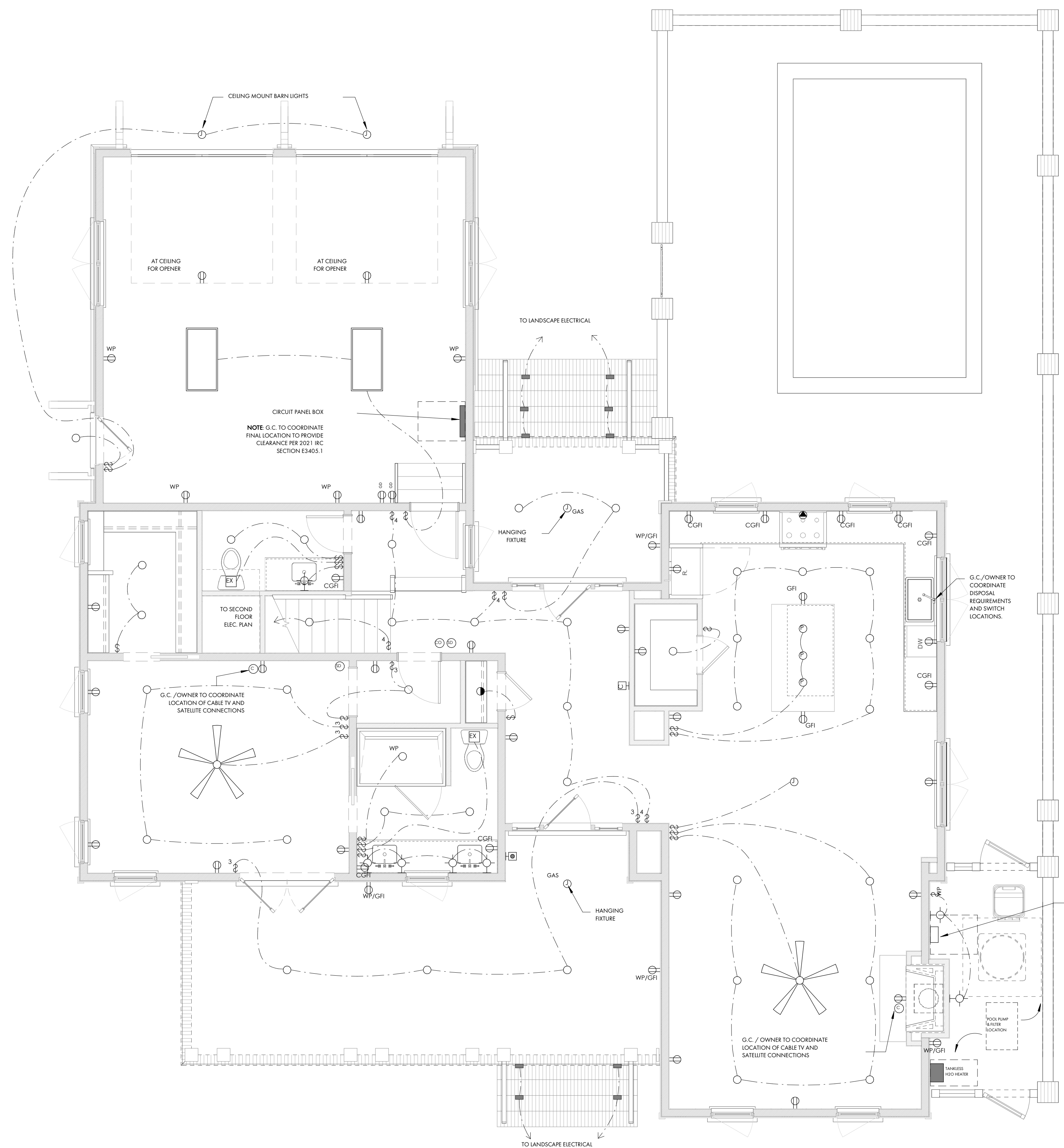
SHEET TITLE

FIRST FLOOR ELEC.
PLAN

E2.1

ELECTRICAL PLAN - SYMBOL KEY

	DUPLEX RECEPTACLE	1. COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER
	GFI RECEPTACLE	2. VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD.
	COUNTERTOP LEVEL GFI RECEPTACLE	3. ALL SWITCHES TO BE 42" A.F.F. UNLESS OTHERWISE NOTED.
	GFI IN WATERPROOF BOX	4. GENERAL CONTRACTOR TO VERIFY SIZES OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD.
	UNDER-COUNTER RECEPTACLE	5. ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL.
	SWITCH DUPLEX RECEPTACLE	6. ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED.
	220V RECEPTACLE	7. ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS AND BASEBOARDS WHERE POSSIBLE.
	FLOOR RECEPTACLE	8. SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C.
	GARAGE DOOR OPENER	9. OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS.
	SWITCH	10. OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATION OR PROVIDE FOR REMOTE THERMOSTAT SENSORS.
	3-WAY SWITCH	11. OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, ARC FAULT INTERRUPTERS AND SURGE PROTECTION TO BE PROVIDED AT REMOTE POINTS OR PRIMARY LOCATIONS.
	4-WAY SWITCH	12. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE. SERVICE MAY INCLUDE A COMBINATION OF RENEWABLE INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/ CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.
	WATERPROOF SWITCH	13. OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOME TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS, PC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND "DIAL-IN" TECHNOLOGY.
	DIMMER SWITCH	14. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN-GROUND PROPANE TANK SERVICE. NATURAL GAS SERVICE IF OR APPLICABLE.
	CABLE	15. OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING.
	SMOKE DETECTOR	16. OWNER/G.C. TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS.
	CARBON MONOXIDE DETECTOR	17. KITCHEN CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. OWNER/G.C. TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL, POWER, AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES.
	RECESSED CAN LIGHT	18. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX.
	FLUSH MOUNT HEADER LIGHT	19. ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E3902.16.
	DIRECTIONAL CAN LIGHT	20. OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2021 IRC SECTION M1305.1.3.
	WATERPROOF CAN LIGHT	21. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R314.
	JUNCTION BOX	22. ALL GROUNDING POINTS AVAILABLE TO CONFORM TO 2021 IRC SECTIONS 3607-3611.
	PENDANT LIGHT	23. AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2021 IRC SECTION N1104.1.
	WALL SCONCE	
	UNDERCABINET LIGHT	
	PIN LIGHT	
	STEP LIGHT	
	EXHAUST FAN	
	DOOR BELL	
	DOOR BELL CHIME	
	2' X 2' FLUORESCENT	
	2' X 4' FLUORESCENT	
	CEILING FAN	
	ELECTRIC METER NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2021 IRC SECTION E3405.1	
	CIRCUIT PANEL BOX NOTE: G.C. TO COORDINATE FINAL LOCATION TO PROVIDE CLEARANCE PER 2021 IRC SECTION E3405.1	





**COURT
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LOT 52 - BLUE CRAB PRIVATE
RESIDENCE

2 BLUE CRAB STREET - TABBY
ROADS, BLUFFTON, SC
29910

NOT FOR CONSTRUCTION

NOT FOR CONSTRUCTION

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PROJECT INFO

Date
02.04.2026

Project No.
25-072

ISSUE

NO. REV. DATE DESCRIPTION

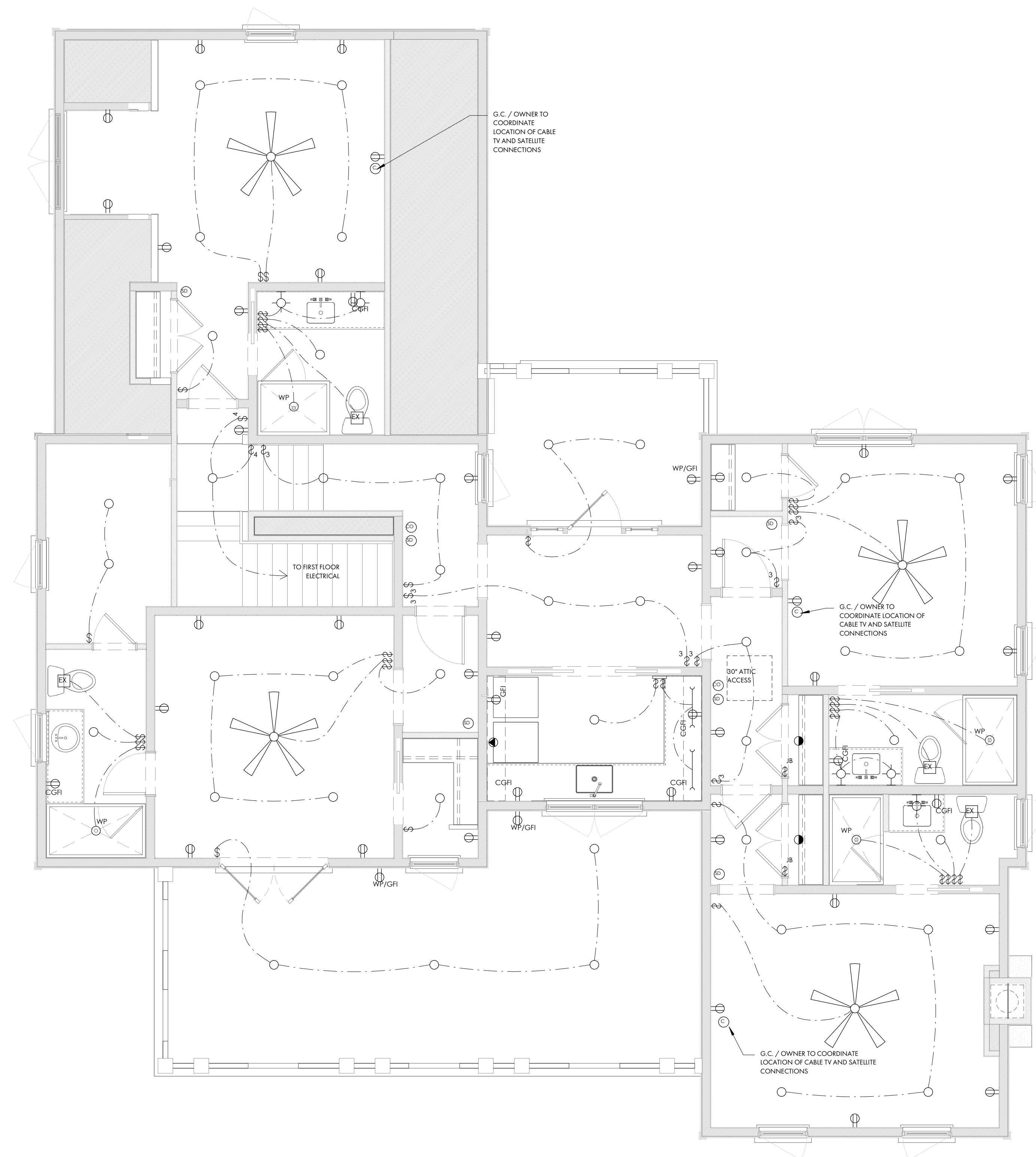
SHEET TITLE

SECOND FLOOR ELEC.
PLAN

E2.2

ELECTRICAL PLAN - SYMBOL KEY

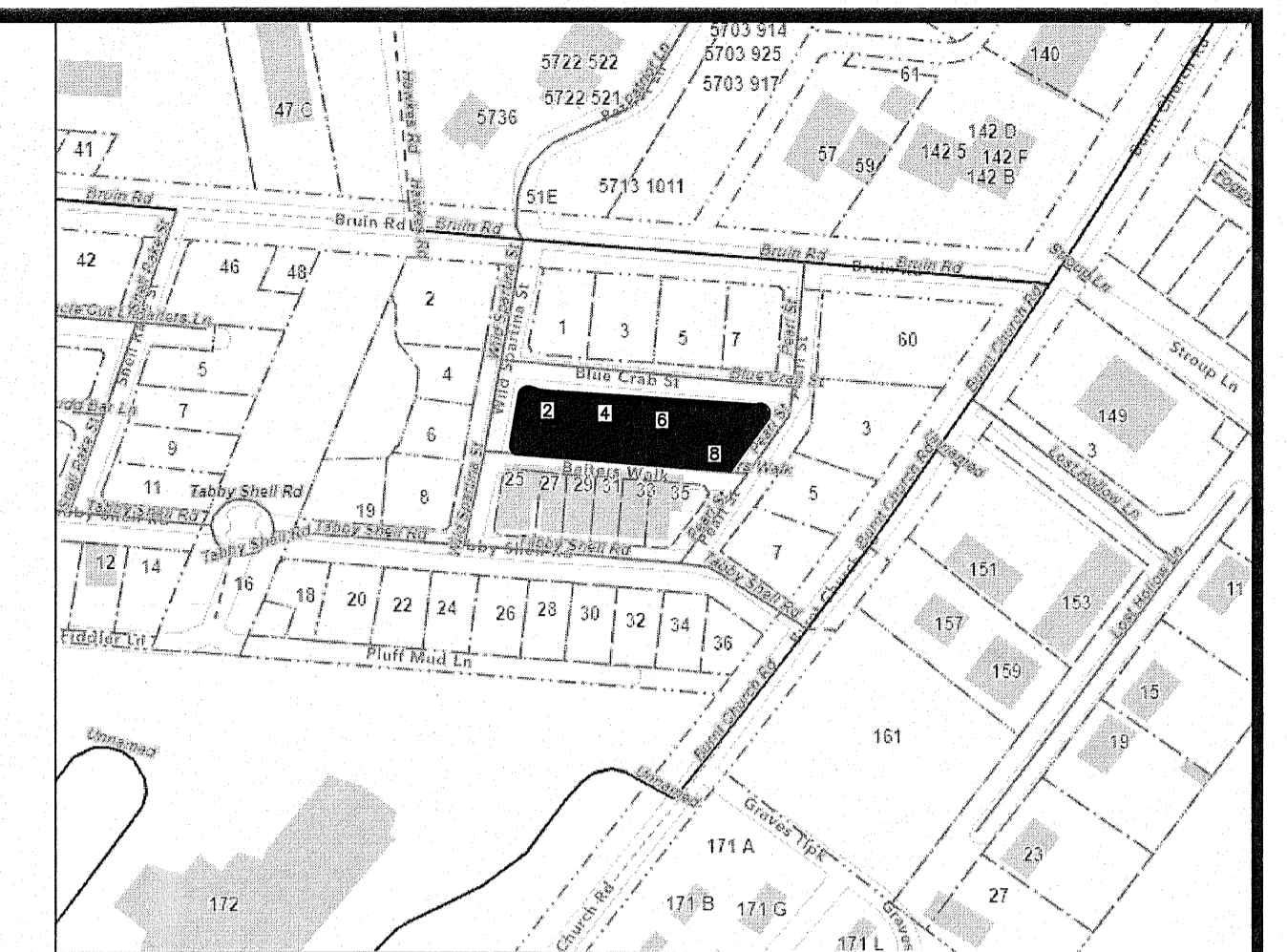
	DUPEX RECEPTACLE	1. COORDINATE TELEPHONE, COMMUNICATIONS AND SPEAKER OUTLET LOCATIONS WITH GC/OWNER
	GFI RECEPTACLE	2. VERIFY ALL SWITCH AND POWER LOCATIONS IN FIELD.
	COUNTERTOP LEVEL GFI RECEPTACLE	3. ALL SWITCHES TO BE 42" A.F.F. UNLESS OTHERWISE NOTED.
	GFI IN WATERPROOF BOX	4. GENERAL CONTRACTOR TO VERIFY SIZING OF SERVICE TO ACCOMMODATE ALL FIXTURES. ALL PANELS SHOULD BE LOCATED WITH GC/OWNER IN FIELD.
	UNDER-COUNTER RECEPTACLE	5. ALL OUTLETS AND FIXTURES TO BE LOCATED ABOVE FLOOD LEVEL.
	SWITCH DUPEX RECEPTACLE	6. ASSUME STANDARD TOGGLE SWITCHES AND PLATES UNLESS OTHERWISE NOTED.
	220V RECEPTACLE	7. ALL OUTLETS TO BE HORIZONTALLY INSTALLED, CENTERED ON WINDOWS AND BASEBOARDS WHERE POSSIBLE.
	FLOOR RECEPTACLE	8. SEE LIGHTING SCHEDULE FOR FIXTURE TYPES. ALL FIXTURES BY OWNER/G.C.
	GARAGE DOOR OPENER	9. OWNER/G.C. TO DETERMINE FINAL HVAC ZONING REQUIREMENTS.
	SWITCH	10. OWNER/G.C. TO DETERMINE OPTIMAL THERMOSTAT LOCATION OR PROVIDE FOR REMOTE THERMOSTAT SENSORS.
	3-WAY SWITCH	11. OWNER/G.C. TO DETERMINE AND COORDINATE GROUND FAULT INTERRUPTERS, AFC FAULT INTERRUPTERS, AND SURGE PROTECTION TO BE PROVIDED AT REMOTE POINTS OR PRIMARY LOCATIONS.
	4-WAY SWITCH	12. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL EXTENT OF WATER SERVICE. SERVICE MAY INCLUDE A COMBINATION OF RENNAI INSTANT HOT WATER SYSTEMS, REMOTE TEMPERATURE CONTROLS, AND BACK-UP WATER STORAGE TANKS. SERVICE MAY ALSO INCLUDE A WATER FILTRATION/CONDITIONING SYSTEM AND/OR A REVERSE OSMOSIS SYSTEM.
	WATERPROOF SWITCH	13. OWNER/G.C. TO DETERMINE AND COORDINATE ANY EXTENT OF SMART HOME TECHNOLOGY, INCLUDING RADIO RA OR CRESTRON SYSTEMS, PC INTEGRATION, A/V REQUIREMENTS, HVAC INTEGRATION, SECURITY AND LIGHTING INTEGRATION, AND "QUALITY" TECHNOLOGY.
	DIMMER SWITCH	14. OWNER/G.C. TO DETERMINE AND COORDINATE FINAL LOCATION OF IN GROUND PROPANE TANK SERVICE NATURAL GAS SERVICE IF OR APPLICABLE.
	CABLE	15. OWNER/G.C. TO DETERMINE AND COORDINATE LANDSCAPE LIGHTING.
	SMOKE DETECTOR	16. OWNER/G.C. TO COORDINATE EXTENT OF DIMMER SWITCH LOCATIONS.
	CARBON MONOXIDE DETECTOR	17. KITCHEN CABINET AND APPLIANCE LOCATIONS ARE APPROXIMATE. OWNER/G.C. TO DETERMINE FINAL LOCATION AND PLACEMENT AND COORDINATE ALL ELECTRICAL POWER AND LIGHTING REQUIREMENTS WITH SHOP DRAWINGS AND EQUIPMENT SPECIFICATIONS AS NEEDED. POWER REQUIREMENTS TO MEET ALL APPLICABLE CODES.
	RECESSED CAN LIGHT	18. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATION AND FIXTURE FOR WALL MOUNTED JUNCTION BOX.
	FLUSH MOUNT HEADER LIGHT	19. ALL RECEPTACLES LOCATED IN THE SLEEPING ROOMS SHALL BE ARC FAULT PROTECTED PER IRC SECTION E3902.16.
	DIRECTIONAL CAN LIGHT	20. OWNER/G.C. TO COORDINATE LIGHTING FOR ALL HVAC APPLIANCES LOCATED IN THE ATTIC PER 2021 IRC SECTION M1305.1.3.
	WATERPROOF CAN LIGHT	21. OWNER/G.C. TO DETERMINE AND COORDINATE LOCATIONS FOR SMOKE DETECTORS INSIDE AND OUTSIDE OF EACH SLEEPING ROOM AS REQUIRED PER IRC SECTION R314.
	JUNCTION BOX	22. ALL GROUNDING POINTS AVAILABLE TO CONFORM TO 2021 IRC SECTIONS 3607-3611.
	PENDANT LIGHT	23. AT LEAST 75% OF THE LAMPS INSTALLED IN PERMANENT LIGHT FIXTURES TO BE HIGH EFFICIENCY LAMPS PER 2021 IRC SECTION N1104.1.
	WALL SCONCE	
	UNDERCABINET LIGHT	
	PIN LIGHT	
	STEP LIGHT	
	EXHAUST FAN	
	DOOR BELL	
	DOOR BELL CHIME	
	2' X 2' FLUORESCENT	
	2' X 4' FLUORESCENT	
	CEILING FAN	
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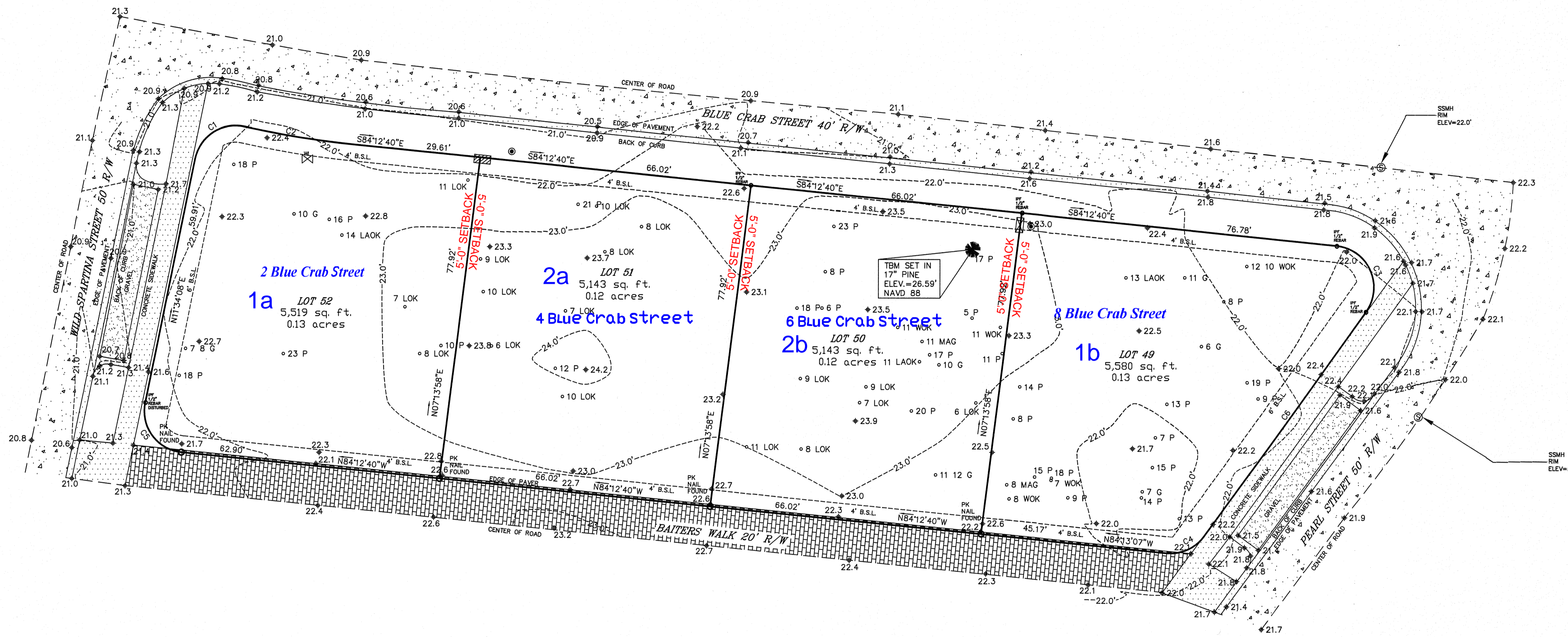
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA ANGLE
C1	15.92	10.00	14.29	S57°10'44"W	91°12'16"
C2	28.07	220.00	28.05	S80°52'00"E	7°18'38"
C3	30.90	10.00	17.30	N24°19'20"W	118°43'55"
C4	10.39	10.00	9.93	N66°00'43"E	59°32'13"
C5	16.72	10.00	14.84	S36°19'16"E	93°48'15"
C6	67.04	5735.60	67.04	N35°54'05"E	0°40'11"

TREE LEGEND

- WHIOK - WHITE OAK
- LAOK - LAUREL OAK
- LOK - LIVE OAK
- WOK - WATER OAK
- ROK - RED OAK
- PCAN - PECAN
- MAG - MAGNOLIA
- HIC - HICKORY
- MPL - MAPLE
- PLM - PALMETTO
- CHY - CHERRY
- HLV - HOLLY
- CDR - CEDAR
- RDB - RED BUD
- SAS - SASSAFRAS
- DOG - DOGWOOD
- SB - SUGARBERRY
- P - PINE
- G - GUM
- B - BAY



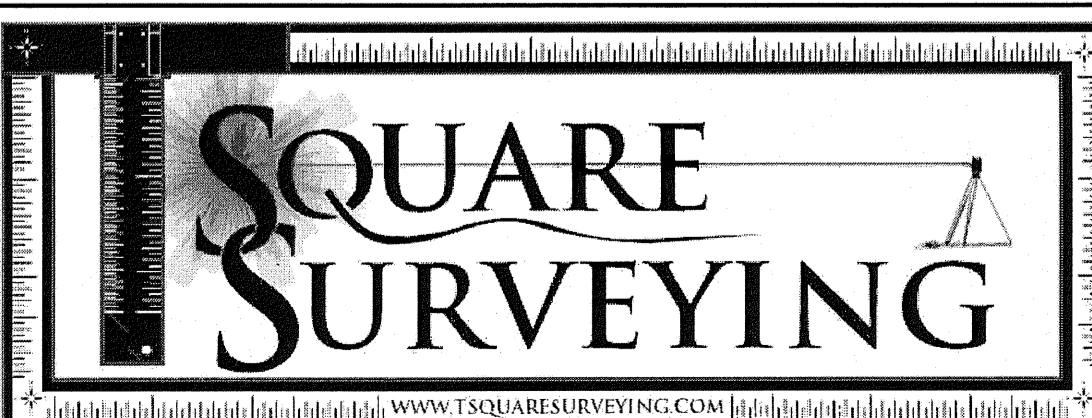
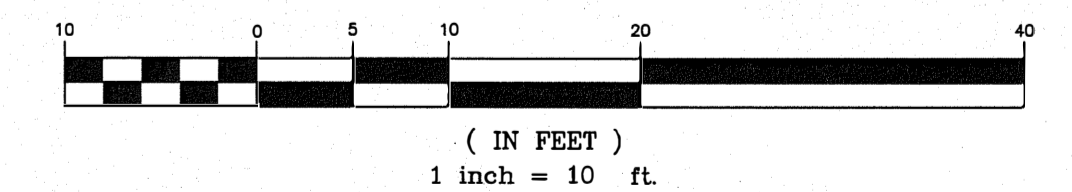
LOCATION MAP NOT TO SCALE



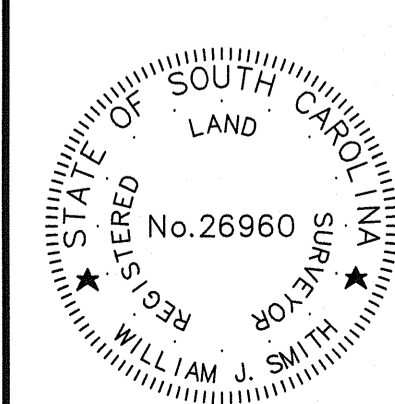
LEGEND

- CMS - CONCRETE MONUMENT SET
- CMF - CONCRETE MONUMENT FOUND
- IPS - IRON PIN SET
- IPF - IRON PIN FOUND
- # - INDICATES STREET ADDRESS
- TBM - TEMPORARY BENCH MARK
- BSL - BUILDING SETBACK LINE
- ⊙ - TELEPHONE PEDESTAL/ COMMUNICATOR
- ⊙ - SEWER LATERAL
- ⊙ - SANITARY SEWER MANHOLE
- ⊙ - ELECTRIC BOX
- ⊙ - SPOT ELEVATION SHOTS
- ⊙ - CONTOUR LINES
- ⊙ - XFMR - TRANSFORMER
- ⊙ - WATER LATERAL
- ⊙ - WATER METER
- ⊙ - IRRIGATION CONTROL VALVE
- ⊙ - FIRE HYDRANT
- ⊙ - GRATE INLET
- ⊙ - POWER POLE
- O.H.P.L. - OVER HEAD POWER LINE
- ⊙ - GUY LINE
- ⊙ - LIGHT POLE
- ⊙ - STORM DRAIN MANHOLE
- ⊙ - FIBEROPTICS MANHOLE
- ⊙ - PROPANE TANK

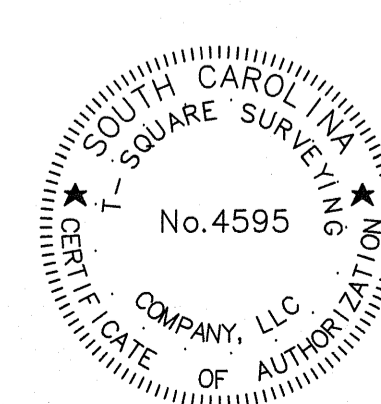
GRAPHIC SCALE



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 tsquare@charleston.com
 Phone 843-757-2650 Fax 843-757-5758
 JOB No. 22-435TR



I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.
 WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF
ED WHITE
 A TREE & TOPOGRAPHIC SURVEY OF LOT 49 BLUE CRAB STREET, A PORTION OF REEVES BROTHERS SUBDIVISION, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.
 DIST. 610, MAP 39, PARCELS 1229, 1230, 1231 & 1232

NOTES:
 1. According To FEMA Flood Insurance Rate Map # 45013C04266 This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A Ft. NAVD88
 2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search
 3. This Survey Was Performed Without The Benefit Of A Wetland Delineation
 4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.
 Reference Plat(s):
 PLAT BOOK 142 AT PAGE 119

DRAWN BY: B.M.S
 APPROVED BY: W.J.S
 PARTY CHIEF: W.J.S
 DATE: JULY 21, 2023