

GENERAL NOTES

THESE DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE OWNER WHO WILL BE WORKING CLOSELY WITH A BUILDER AND ARE LIMITED IN SCOPE.

THE OWNER AND BUILDER ARE RESPONSIBLE FOR ALL PORTIONS OF THE DESIGN SPECIFICALLY NOT CALLED FOR IN THESE DRAWINGS AND FOR OBSERVATION AND ADMINISTRATION OF THE CONSTRUCTION CONTRACT.

THE OWNER AND BUILDER ARE RESPONSIBLE FOR ANY COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET ANY OF THE REQUIRED GOVERNMENT AGENCIES HAVING ANY JURISDICTION OVER ANY PORTION OF THIS PROJECT.

THE WORK OF ANY DESIGN PROFESSIONALS AND OR SUB CONTRACTORS WHICH ARE OR SHOULD BE INVOLVED IN THIS PROJECT SHALL FOLLOW GOOD CONSTRUCTION PRACTICES.

GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK WITH ALL TRADES INVOLVED.

THESE DRAWINGS REPRESENT FIELD MEASUREMENTS AND DO NOT FULLY REFLECT EXISTING CONDITIONS. GENERAL CONTRACTOR SHALL VERIFY ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF EXISTING FEATURES BEFORE STARTING WORK OR ORDERING MATERIALS, NOTIFY DESIGN TEAM OF ANY DISCREPANCIES.

DRAWINGS INDICATE INTENDED AND INFERRED SCOPE OF WORK. CONTRACTOR SHALL PROVIDE ALL NECESSARY ROUGH PLUMBING, WIRING, CARPENTRY, ETC. INCLUDING MODIFICATION OF EXISTING CONDITIONS TO COMPLETE THE ENTIRE SCOPE OF WORK.

CONTRACTOR SHALL COMPLETE WORK IN ACCORDANCE WITH INDUSTRY AND MANUFACTURERS WRITTEN REQUIREMENTS. FINISH WORK TO BE COMPLETED IN A PROFESSIONAL QUALITY MANNER.

DRAWINGS, SECTIONS AND DETAILS REPRESENT TYPICAL CONDITIONS. THE CONTRACTOR IS TO REVIEW WITH THE DESIGN TEAM OF NON TYPICAL CONDITIONS THAT REQUIRE A MODIFICATION TO THE DESIGN.

REFERENCES TO SPECIFIC MANUFACTURERS' PRODUCTS ON THE DRAWINGS ESTABLISH A STANDARD OF QUALITY. PRODUCTS THAT ARE APPROVED AS EQUAL BY THE DESIGN TEAM ARE ACCEPTABLE.

CONTRACTOR SHALL SUBMIT TO OWNER AND DESIGN TEAM SAMPLES OF ALL FINISH MATERIALS FOR APPROVAL OF COLOR, STYLE, AND TEXTURE, PRIOR TO FABRICATION AND OR INSTALLATION.

CONTRACTOR SHALL REMOVE FROM SITE AND DISCARD ALL CONSTRUCTION DEBRIS AT APPROVED DISPOSAL SITE.

NO SMOKING IS TO BE ALLOWED ON THE CONSTRUCTION SITE AT ANY TIME.

CONTRACTOR SHALL LIMIT USE OF PREMISES TO THE WORK INDICATED OR INFERRED.

CONTRACTOR SHALL ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF CONSTRUCTION. PROVIDE TEMPORARY BARRICADES TO PROTECT THE GENERAL PUBLIC FROM INJURY DUE TO CONSTRUCTION WORK.

INTERIOR FINISHES IN EXIT ACCESS AREAS TO BE CLASS A, CLASS B IN OTHERS. CONTRACTOR TO VERIFY ALL EXITS MEET CURRENT BUILDING AND SAFETY CODES.

INSULATION SHALL HAVE A SMOKE DEVELOPED RATING OF 450 MAX. CONCEALED INSULATION SHALL HAVE A FLAME SPREAD RATING OF 75 MAX., AND EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF 25 MAX.

CONTRACTOR RESPONSIBLE AND SHALL MAINTAIN EXISTING AND NEW STRUCTURES WATER TIGHT INTEGRITY THROUGH USE OF TARPS AND OR PERMANENT MODIFICATIONS DURING CONSTRUCTION.

CONTRACTOR TO PARK IN DESIGNATED AREAS ONLY.

DUMPSTER LOCATION TO BE DETERMINED BY PROJECT TEAM.

ALL CONSTRUCTION ACTIVITIES OR MOVEMENT TO OCCUR ON OR LIMITED TO OWNERS' PROPERTY.

THESE DRAWINGS CAN NOT STAND ALONE AS CONSTRUCTION DOCUMENTS

DOOR OPENING ARE TO BE SET 6" AWAY FROM INTERSECTING WALLS UNLESS OTHERWISE SPECIFIED.

SEE STRUCTURAL ENGINEERING DRAWINGS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE. CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION AND TIE DOWN REQUIREMENTS.

SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS. CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE DESIGN TEAM'S BASIC LAYOUT AND SELECTIONS SUGGESTED.

SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE AND OTHER RELATED SITE WORK REQUIREMENTS.

SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNERS REPRESENTATIVE.

BY APPLYING FOR A BUILDING PERMIT AND OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN THE OWNER AGREES TO LIMIT THE LIABILITY OF THE DESIGN TEAM TO THE OWNER OF THE PROJECT FOR ALL CLAIMS, LOSSES, DAMAGES OR ANY NATURE, WHATSOEVER OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE DESIGN TEAM'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.

FOR DIMENSIONS NOT SHOWN OR IN QUESTION THE CONTRACTOR MUST REQUEST IN WRITING THE CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING.

CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM.

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE A COMPLETE AND ACCURATE REPRESENTATION OF SUCH CONDITIONS.

WHEN THE DESIGN TEAM'S DRAWINGS ARE IN CONFLICT WITH THE ENGINEERING AND CONSULTANTS' DRAWINGS THE GENERAL CONTRACTOR MUST REQUEST IN WRITING CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING WITH ANY CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR ALL COMPLIANCE OF ALL APPLICABLE BUILDING CODES ON THIS PROJECT. SAWYER DESIGN STUDIO, L.L.C. ASSUMES NO LIABILITY.

I.R.C. - 2018
BUILDING CODES ICC 600-2014

THE CONTRACT DOCUMENTS INDICATE THE INTENDED OCCUPANCY AND USE OF THE BUILDING AND SYSTEMS. THE PROJECT AS A WHOLE AND ITS ELEMENTS OF THE BUILDING AND SYSTEMS, THE PROJECT AS A WHOLE AND ITS ELEMENTS SHALL COMPLY WITH ALL REGULATIONS AS REQUIRED, INCLUDING ALL LOCAL, STATE, FEDERAL, AND OTHER APPLICABLE CODES, (MORE RECENT OR STRINGENT EDITIONS OR AMENDMENTS SHALL HAVE PRECEDENCE). CONTRACTOR SHALL NOTIFY DESIGN TEAM OF NON COMPLIANT DESIGN, OR QUESTIONS CONCERNING COMPLIANCE, PRIOR TO CONSTRUCTION.

CONTRACTOR IS RESPONSIBLE FOR ALL COMPLIANCE OF ALL APPLICABLE BUILDING CODES ON THIS PROJECT. SAWYER DESIGN STUDIO, L.L.C. ASSUMES NO LIABILITY.

SOIL CONDITIONS

REFER TO GEO-TECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED.

PROJECT AREA

FIRST FLOOR LIVING AREA: 1,220.41 Square feet
SECOND FLOOR LIVING AREA: 1,104.11 Square feet
BONUS FLOOR LIVING AREA: 550.00 Square feet

FRONT COVERED PORCH LOWER AREA: 188.83 Square feet
FRONT COVERED PORCH UPPER AREA: 188.83 Square feet
BACK COVERED PORCH AREA: 308.33 Square feet

GARAGE AREA: 550.00 Square feet
CART AREA: 135.77 Square feet

(FOR REFERENCE ONLY)
AREAS SUBJECT TO CHANGE WITHOUT NOTICE
ALL AREAS ARE SHEET ROCK TO SHEET ROCK

TOTAL COOLED LIVING AREA: 2,874.52 Square feet

TOTAL FRAMED AREA: 4,246.28 Square feet

(FOR REFERENCE ONLY)
AREAS SUBJECT TO CHANGE WITHOUT NOTICE
ALL AREAS ARE SHEET ROCK TO SHEET ROCK

SITE AREA:

SITE AREA (PER SURVEY): 0.11 ACRES
4,937 square feet

BUILDING FOOT PRINT: 2,618.63 square feet

LOT COVERAGE: 53%

DRAWING SYMBOLS

DESIGNATES - C.M.U. WALL

DESIGNATES - BRICK

DESIGNATES - 2x4 @ 16" O.C. STUD WALL 2 x 4

DESIGNATES - 2x6 @ 16" O.C. STUD WALL 2 x 6

DESIGNATES - 2x8 @ 16" O.C. STUD WALL 2 x 8

DESIGNATES - UNFINISHED CONCRETE

DETAIL DESIGNATION - WITH VIEW DIRECTION

WINDOW DESIGNATION

DOOR DESIGNATION

POINT ELEVATION

ELEVATION CHANGE

INTERIOR DETAIL VIEW DIRECTION

DETAIL DESIGNATION

ABBREVIATIONS

CONCRETE MASONRY UNIT C.M.U.
¢
¢
CASED OPENING CO
DOWN DN.
UP UP
DESIGN PRESSURE D.P.
EQU. EQ.
WELDED WIRE MESH W.W.M.
ON CENTER O.C.

FINISH SYMBOLS

CULTURED MARBLE (CM)
GRANITE (G)
MARBLE (M)
LAMINATED TOP (L)
TILE (T)
GLASS (GL)
SOLID SURFACE (SS)
CAST IRON (C.I)
FIBERGLASS (FG)
STONE (S)
DRYWALL (DW)

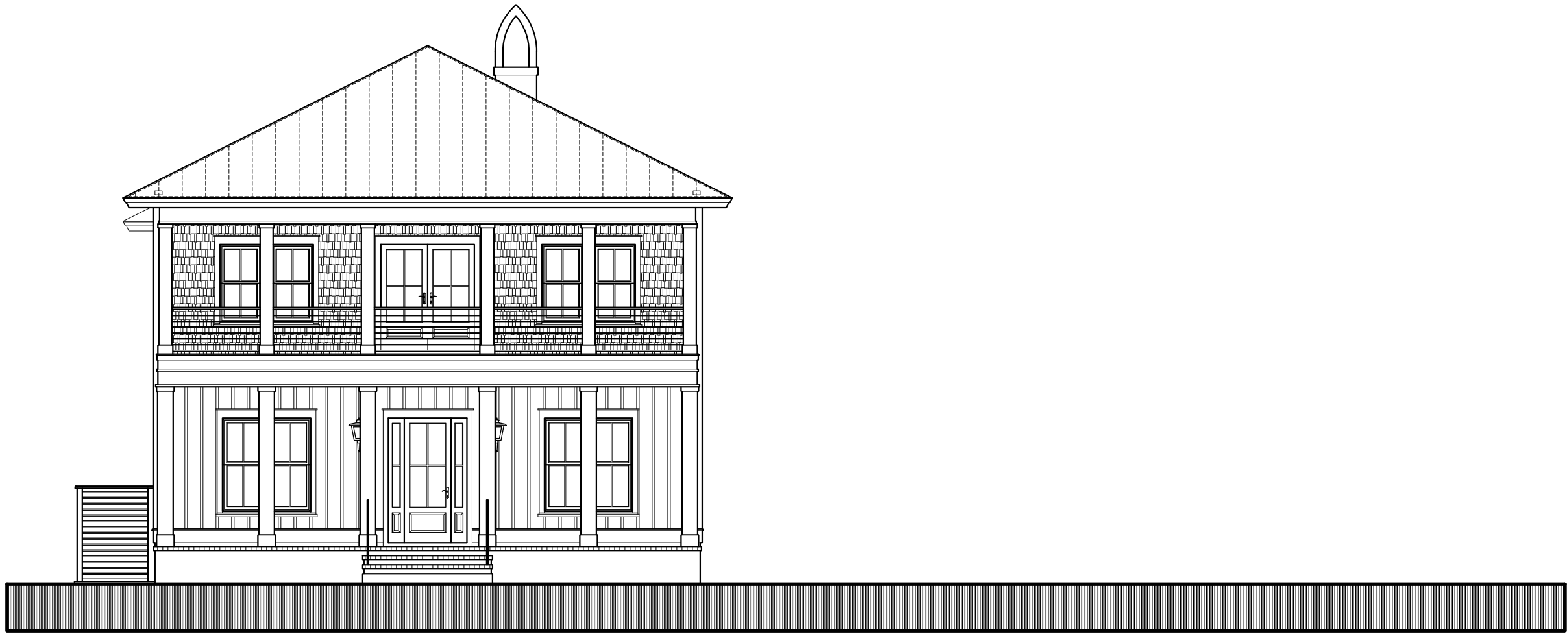
VERIFY ALL FINISH TYPES WITH INTERIOR SELECTION SHEETS

(FOR REFERENCE ONLY)

SEE THE MATERIAL SELECTION SHEET AND ALL INTERIOR DESIGN DRAWINGS FOR OVERALL FINISH NOTES UNLESS OTHERWISE NOTED

COVER
SCALE: N.T.S
C - 100 - 1

ATTACHMENT 4



FRONT EXTERIOR ELEVATION - REDUCED

SCALE: N.T.S
C - 100 - 2

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW
34 TABBY SHELL ROAD
BLUFFTON - SOUTH CAROLINA
CITY OF BLUFFTON
BEAUFORT COUNTY

NEW CONSTRUCTION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE. THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT.

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT.

THE BUILDER AND OWNER ARE RESPONSIBLE FOR RETAINING A STRUCTURAL ENGINEER AND THE COORDINATION OF THE DESIGN DRAWINGS AND THE STRUCTURAL DESIGN.

DESIGN TEAM

OWNER

WILLIAM GLOVER
34 TABBY SHELL

GENERAL CONTRACTOR

SEA ISLAND CONSTRUCTION GROUP
23 WHISPERING OAKS CIRCLE
OKATIE - SOUTH CAROLINA - 29909

SURVEY

T SQUARE SURVEYING
P.O. Drawer 330
139 BURNT CHURCH ROAD - BLUFFTON SOUTH CAROLINA 29910
843-757-2650
tsquare@hargray.com
JOB NUMBER: 21-014T

DESIGN TEAM

SAWYER DESIGN STUDIO, L.L.C.,
22 WEST BRYAN STREET - SUITE 321 - SAVANNAH - GEORGIA
912-232-7130
smboyles@sawyerdd.com

STRUCTURAL ENGINEER

S. MARK BOYLES P.E.
P.O. BOX 22324 - SAVANNAH - GEORGIA -31403
912-232-7130
smboyles@bellsouth.net

CIVIL ENGINEER

KEY ENGINEERING
P.O. BOX 2569 - BLUFFTON - SOUTH CAROLINA -29910
843-227-3031
keyengineering@hargray.com

LANDSCAPE

ROSE LANDSCAPING
25 PALMETTO BEACH DRIVE
BLUFFTON - SOUTH CAROLINA 29910
843-816-3518
b.rose@roselandscape.com

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED ICC 600-2018
V33 = 140 MPH I.R.C. - 2018
EXPOSURE CATEGORY "B" ZONE C

FLOOD ZONE PER SURVEY
MINIMUM F.F.F. PER SURVEY N/A Ft. NGVD29

DRAWING INDEX

- 1 C - 100 COVER
- 2 L - 100 SITE PLAN
- 3 A - 100 FIRST FLOOR PLAN
- 4 A - 101 SECOND FLOOR PLAN
- 5 A - 102 WINDOW AND DOOR NOTES
- 6 A - 200 EXTERIOR ELEVATIONS
- 7 A - 201 EXTERIOR ELEVATIONS
- 8 A - 300 BUILDING SECTIONS - ROOF PLAN
- 9 A - 400 WALL DETAILS
- 10 A - 401 WALL DETAILS
- 11 S - 100 FOUNDATION PLAN
- 12 S - 101 STRUCTURAL NOTES
- 13 E - 100 ELECTRICAL PLANS
- 14 E - 100 ELECTRICAL PLANS



GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION.

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FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING.

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM.

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK, AT THE CLOSE OF THE JOB. THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED ICC 600-2018
V33 = 140 MPH I.R.C. - 2018
EXPOSURE CATEGORY "B" ZONE C

FLOOD ZONE PER SURVEY
MINIMUM F.F.F. PER SURVEY N/A Ft. NGVD29

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

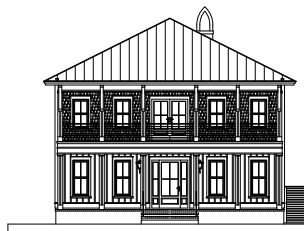


TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



COVER 24 x 36

A.R.B. REVIEW

THE ARCHITECTURAL WORKS DEPICTED HEREIN ARE THE SOLE PROPERTY OF SAWYER DESIGN STUDIO, L.L.C., AND MAY NOT BE CONSTRUCTED OR USED WITHOUT SAWYER DESIGN STUDIO, L.L.C., WRITTEN PERMISSION. NO PERMISSION TO MODIFY OR REPRODUCE ANY OF THESE ARCHITECTURAL WORKS, INCLUDING WITHOUT LIMITATION THE CONSTRUCTION OF ANY BUILDING, IS EXPRESSED OR SHOULD BE IMPLIED FROM DELIVERED OR PRELIMINARY DRAWINGS OR UNSEALED CONSTRUCTION DRAWINGS. PERMISSION TO CONSTRUCT THE BUILDING DEPICTED IN SEALED CONSTRUCTION DRAWINGS IS EXPRESSLY CONDITIONED ON THE FULL AND TIMELY PAYMENT OF ALL FEES OTHERWISE DUE TO SAWYER DESIGN STUDIO, L.L.C., AND, IN THE ABSENCE OF ANY WRITTEN AGREEMENT TO THE CONTRARY, IS LIMITED TO A ONE-TIME USE ON THE SITE INDICATED ON THESE PLANS. ANY REPRODUCTION, REUSE, OR MODIFICATION OF THESE PLANS OR THE ARCHITECTURAL WORK DEPICTED IS PROHIBITED.

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TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

22 - 018
12.09.2024

REV

C - 100

01 - 14 SINGLE USE ONLY

MINIMUM F.F.F. PER SURVEY

/A Ft. NGVD29

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

VERIFY ALL DRAWINGS WITH OFFICE

VERIFY BRICK TYPE AND SIZE PRIOR TO SETTING FINAL HEIGHT OF PORCHES
PORTICOS PATIOS AND DRIVEWAYS



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(IN FEET)
1 inch = 8 ft.

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD	BEARING	DELTA ANGLE
C1	8.47'	25.00	8.43	N74°30'02"W	19°25'17"

1. According To FEMA Flood Insurance Rate Map # 45013C04266 This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A Ft. NAVD88
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit If A Wetland Delineation
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.

Reference Plat(s):

PLAT BOOK 112 AT PAGE 133

DATE: APRIL 10, 2022

DIST 614., MAP 37, PARCEL 358

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

WILLIAM J. SMITH. PLS # 26960

























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JOB No. 14-243TR

REVIEW

SINGLE USE ONLY

LEGEND

	CMS - CONCRETE MONUMENT SET
	CMF - CONCRETE MONUMENT FOUND
	IPS - IRON PIN SET
	IPF - IRON PIN FOUND
	# - INDICATES STREET ADDRESS.
	TBM - TEMPORARY BENCH MARK
	BBL - BUILDING SETBACK LINE
	⊙ - TELEPHONE PEDESTAL/ COMMUNICATOR
	⊙ - SEWER LATERAL
	⊙ - SANITARY SEWER MANHOLE
	⊞ - ELECTRIC BOX
	⊕ - SPOT ELEVATION SHOTS
	— 12' — — CONTOUR LINES
	▨ - XFMR - TRANSFORMER
	⊙ _{WL} - WATER LATERAL
	⊙ _{WM} - WATER METER
	⊙ _{IV} - IRRIGATION CONTROL VALVE
	⊙ _F - FIRE HYDRANT
	⊙ _G - GRATE INLET
	⊙ _O - POWER POLE
	O.H.P.L. - OVER HEAD POWER LINE
	● - GUY LINE
	⊙ - LIGHT POLE
	⊙ - STORM DRAIN MANHOLE
	⊙ - FIBEROPTICS MANHOLE

WHIOK — WHITE OAK
LACK — LAUREL OAK
LOK — LIVE OAK
WOK — WATER OAK
ROK — RED OAK
PCAN — PECAN
MAG — MAGNOLIA
HIC — HICKORY
MPL — MAPLE
PLM — PALMETTO
CHY — CHERRY
HLY — HOLLY
CDR — CEDAR
RDB — RED BUD
SAS — SASSAFRAS
DOG — DOGWOOD
SB — SUGARBERRY
P — PINE
G — GUM
B — BAY

[illegible]

SITE PLAN
SCALE: 1" = 10'-0"
L - 100 - 1

0 1' 4' 8' 16

SERVICE YARD

VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION

FLOOR OUTLETS

OWNER AND GENERAL CONTRACTOR TO VERIFY ALL OF THE FINAL LOCATIONS OF THE FLOOR OUTLETS PRIOR TO THE CONCRETE SLAB POUR

FOUNDATION HEIGHT

FINAL C.M.U. HEIGHT FROM FOOTING IS SHOWN AS REFERENCE ONLY G.C. TO VERIFY WITH SITE ELEVATION POINTS

COLUMNS

G.C. TO VERIFY WITH FLOOR PLANS EXTERIOR ELEVATIONS AND WALL DETAILS THE FINAL LOCATION OF THE COLUMN BASES FOR ALIGNMENT AND OR OFFSETS

WINDOW LOCATION

ALL WINDOW LOCATIONS IN THE KITCHEN TO BE VERIFIED AND ALIGNED WITH THE CABINETRY SHOP DRAWINGS PRIOR TO ROUGH FRAMING

FIREPLACE

THE GENERAL CONTRACTOR IS TO VERIFY TYPE AND SIZE OF FIRE PLACE ALL FIREPLACES SHOWN IN PLAN SET ARE SHOWN FOR REFERENCE ONLY

ATTIC ACCESS

THE GENERAL CONTRACTOR IS TO LOCATE WITH OWNER ALL ATTIC AND EVE ACCESS DURING FINAL FRAMING WALK-THROUGH

EXTERIOR STEPS

FINAL NUMBER OF STEPS TO BE FIELD DETERMINED FINAL ELEVATIONS MAY VARY FROM DRAWINGS

SHOP DRAWINGS

KITCHEN PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

LAUNDRY ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

BATH ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

ATTACHMENT 4

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 140 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018
I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

EXTERIOR WALLS

ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

INTERIOR WALLS

ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

FRAMING

FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "J" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

STRUCTURAL HARDWARE

THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY. EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS, ETC.)

TREATED WOOD FASTENERS

ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CBA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-B3) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY

FOOTINGS

3,000 PSI TYPE CONCRETE FOOTING WITH (3)#5 CONTINUOUS BARS & #5 TIES @48" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU WALLS

8" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU PIERS

12" x 12" CMU: PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS
16" x 16" CMU: PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS
UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

BRICK VENER

BRICK VENER ATTACH PER MANUFACTURERS A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE LINTELS

8" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE SLABS

4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMIT TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CEILING HEIGHTS

ALL FIRST FLOOR CEILING HEIGHTS ARE:

11'-5 1/2"
9'-1"

SECOND FLOOR CEILING HEIGHTS ARE:

11'-5 1/2"
9'-1"

FIRST FLOOR CASED OPENINGS

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED - SEE FLOOR PLANS FOR ALL DROP BEAM HEIGHTS

WINDOW - HEAD HEIGHTS

ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE:

8'-0"
6'-8"

SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

8'-0"
6'-8"

INTERIOR DOORS - HEAD HEIGHTS

ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:

8'-0"
6'-8"

SECOND FLOOR DOOR HEADER HEIGHTS ARE:

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

HVAC

ALL HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IECC SECTION 403.2 ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

FRAMING PLAN

FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA STRUCTURAL ENGINEER AND REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION

SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED

GEO TECHNICAL

SOIL TO BE TESTED BY A LICENSED GEORGIA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS

BRICK - STONE

ALL BRICK OR STONE FINISH IS TO BE ATTACHED PER MANUFACTURERS REQUIREMENTS SEE SPECIFICATION PRIOR TO ANY INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

WINDOWS AND DOORS
VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES

SEE THE INTERIOR DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS



GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET. ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED
V35 = 140 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

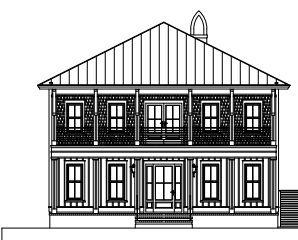
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



FLOOR PLAN

24 x 36

A.R.B. REVIEW

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TABBY HOUSE
SINGLE FAMILY RESIDENCE - NEW

22 - 018
12.09.2024

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

REV

A - 100

03 - 14 SINGLE USE ONLY

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
A - 100 - 1

0 1' 4' 8' 16'

SERVICE YARD

VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION

FLOOR OUTLETS

OWNER AND GENERAL CONTRACTOR TO VERIFY ALL OF THE FINAL LOCATIONS OF THE FLOOR OUTLETS PRIOR TO THE CONCRETE SLAB POUR

FOUNDATION HEIGHT

FINAL C.M.U. HEIGHT FROM FOOTING IS SHOWN AS REFERENCE ONLY G.C. TO VERIFY WITH SITE ELEVATION POINTS

COLUMNS

G.C. TO VERIFY WITH FLOOR PLANS EXTERIOR ELEVATIONS AND WALL DETAILS THE FINAL LOCATION OF THE COLUMN BASES FOR ALIGNMENT AND OR OFFSETS

WINDOW LOCATION

ALL WINDOW LOCATIONS IN THE KITCHEN TO BE VERIFIED AND ALIGNED WITH THE CABINETRY SHOP DRAWINGS PRIOR TO ROUGH FRAMING

FIREPLACE

THE GENERAL CONTRACTOR IS TO VERIFY TYPE AND SIZE OF FIRE PLACE ALL FIREPLACES SHOWN IN PLAN SET ARE SHOWN FOR REFERENCE ONLY

ATTIC ACCESS

THE GENERAL CONTRACTOR IS TO LOCATE WITH OWNER ALL ATTIC AND EVE ACCESS DURING FINAL FRAMING WALK-THROUGH

EXTERIOR STEPS

FINAL NUMBER OF STEPS TO BE FIELD DETERMINED FINAL ELEVATIONS MAY VARY FROM DRAWINGS

SHOP DRAWINGS

KITCHEN PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

LAUNDRY ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

BATH ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

ATTACHMENT 4

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 140 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018
I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

EXTERIOR WALLS

ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

INTERIOR WALLS

ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

FRAMING

FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "J" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

STRUCTURAL HARDWARE

THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY. EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS, ETC.)

TREATED WOOD FASTENERS

ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CBA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-B3) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY

FOOTINGS

3500 PSI TYPE CONCRETE FOOTING WITH (3)#5 CONTINUOUS BARS & #5 TIES @48" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU WALLS

8" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU PIERS

12" x 12" CMU. PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS 16" x 16" CMU. PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

BRICK VENEER

BRICK VENEER ATTACH PER MANUFACTURERS A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE LINTELS

8" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE SLABS

4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMITES TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CEILING HEIGHTS

ALL FIRST FLOOR CEILING HEIGHTS ARE:

11'-5 1/2"

SECOND FLOOR CEILING HEIGHTS ARE:

9'-1"

FIRST FLOOR CASED OPENINGS

ALL FIRST FLOOR CASED OPENINGS ARE:

9'-0"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED - SEE FLOOR PLANS FOR ALL DROP BEAM HEIGHTS

WINDOW - HEAD HEIGHTS

ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

6'-8"

ALL TRANSOM WINDOWS WILL BE SET ABOVE. VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

INTERIOR DOORS - HEAD HEIGHTS

ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR DOOR HEADER HEIGHTS ARE:

6'-8"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

HVAC

ALL HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IECC SECTION 403.2 ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

FRAMING PLAN

FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA STRUCTURAL ENGINEER AND REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION

SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED

GEO TECHNICAL

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ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS

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NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

WINDOWS AND DOORS
VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES

SEE THE INTERIOR DESIGN DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

TABBY HOUSE

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

22 - 018
12.09.2024

REVISIONS
REV



GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

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STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED
V35 = 140 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

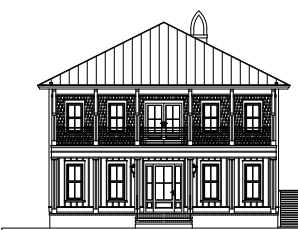
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



SECOND FLOOR PLAN

24 x 36

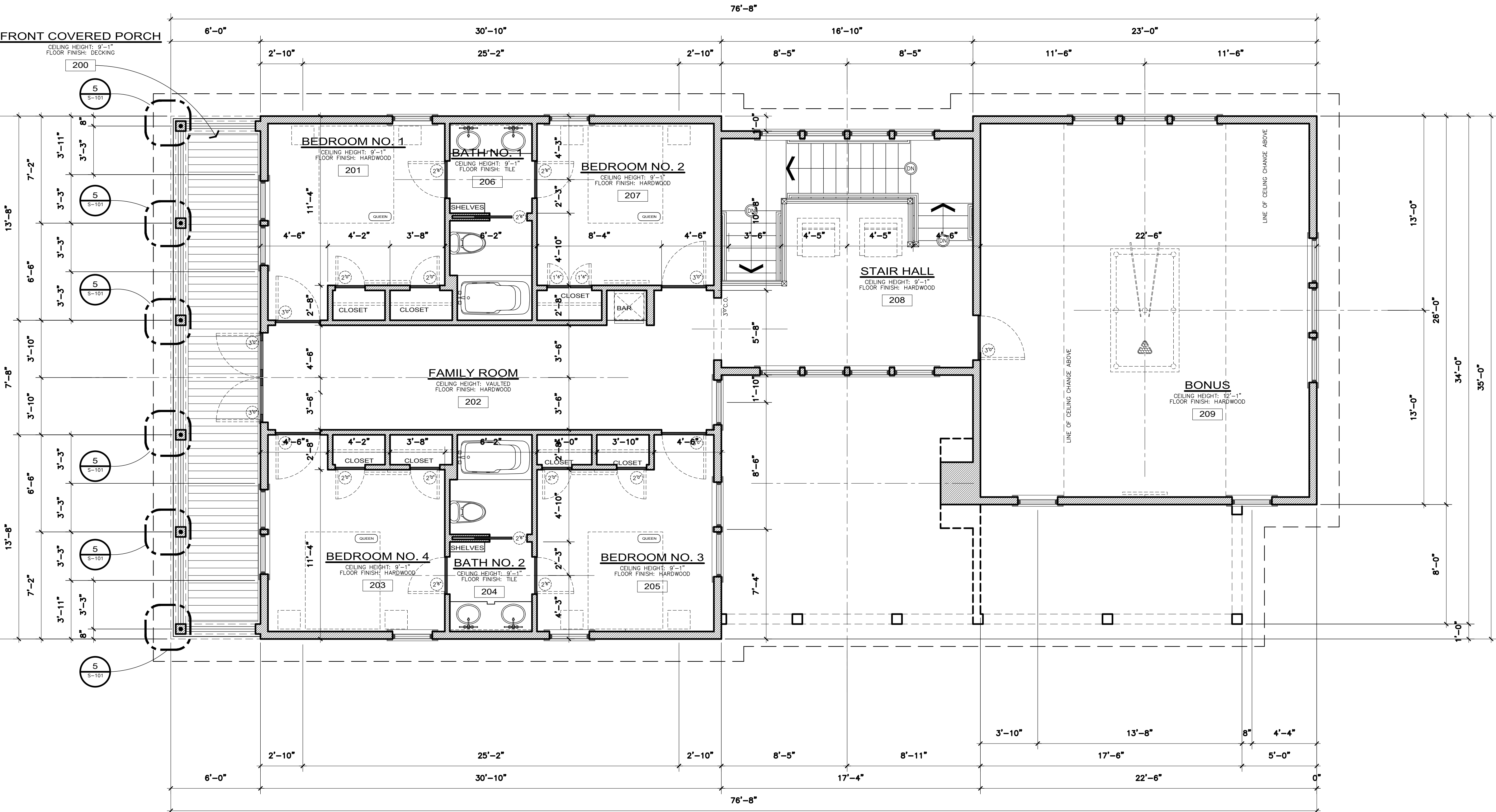
A.R.B. REVIEW

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A - 101

04 - 14 SINGLE USE ONLY



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

A - 101 - 1

0 1' 4' 8' 16'

WINDOWS AND DOORS VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

WINDOWS

ALL WINDOWS WITH TRANSOMS ARE TO ALIGN WITH THE PRIMARY WINDOW HEAD HEIGHT
ALL FINAL TRANSOM WINDOW HEIGHTS ARE NOTED AND ARE NOT TO EXCEED AS TO ALLOW FOR THE INTERIOR TRIM INSTALLATION

EGRESS

THE GENERAL CONTRACTOR IS TO VERIFY ANY AND ALL EGRESS WINDOW LOCATIONS AND FINAL SIZED REQUIREMENTS BASED OFF THE FINAL WINDOW MANUFACTURE SELECTION

MANUFACTURE

ALL WINDOWS AND DOORS ARE SHOWN TO TYPICAL SIZES THE GENERAL CONTRACTOR IS TO VERIFY ALL FINAL WINDOW AND DOOR SIZES WITH THE SELECTED WINDOW AND DOOR MANUFACTURE PRIOR TO ORDER AND OR INSTALLATION

SHOP DRAWINGS

ALL WINDOWS AND DOORS ARE TO HAVE SHOP DRAWINGS SIGNED OFF BY THE OWNERS - DESIGN TEAM - GENERAL CONTRACTOR

WINDOW DIMENSIONS

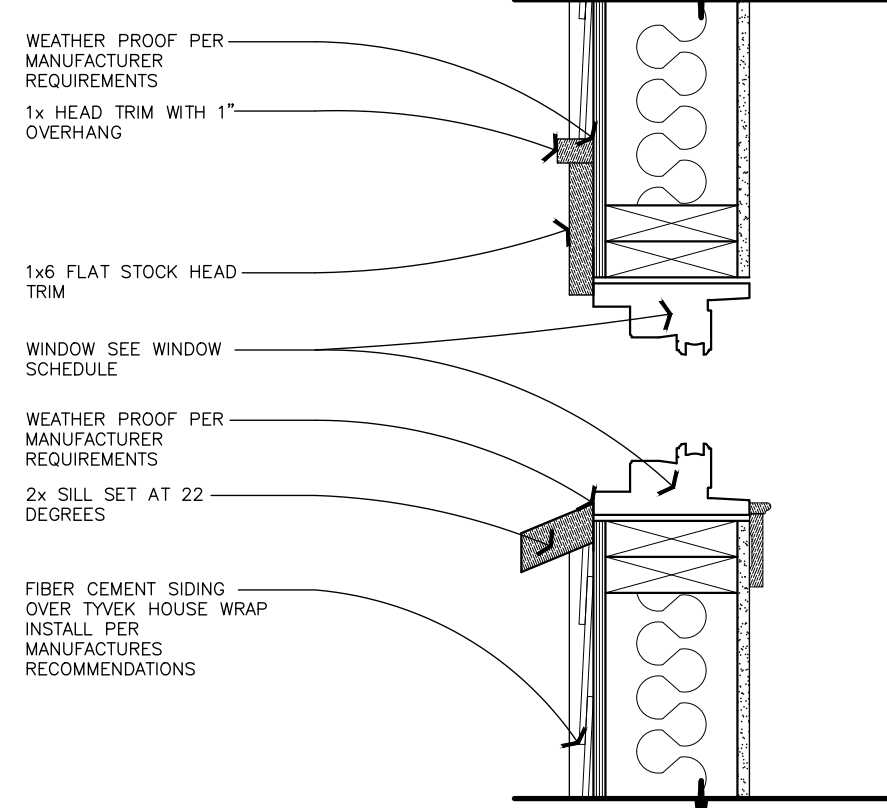
ALL WINDOW DIMENSIONS ARE FOR REFERENCE ONLY THE GENERAL CONTRACTOR IS TO VERIFY AND ALIGN ALL WINDOW WITH THE EXTERIOR ELEVATIONS AND BUILDING SECTIONS PRIOR TO ORDER AND INSTALLATION

NOTES

ALL WINDOW AND DOORS AS NOTED ARE SHOWING MAXIMUM PERIMETER SIZES
ALL WINDOWS AND DOOR SIZES AND EGRESS REQUIREMENTS TO BE VERIFIED BY THE BUILD TEAM

FINAL DOOR AND WINDOW ORDER TO BE VERIFIED BY BUILD TEAM AND THE DESIGN TEAM PRIOR TO ORDER

ALL NEW WINDOW AND DOOR UNITS TO MATCH THE EXISTING MAIN HOUSE DOOR AND WINDOW UNITS



WALL DETAIL - WINDOW AND DOOR TRIM

SCALE: 1/4" = 1'-0"

A - 102 - 5

0 3" 6" 1'

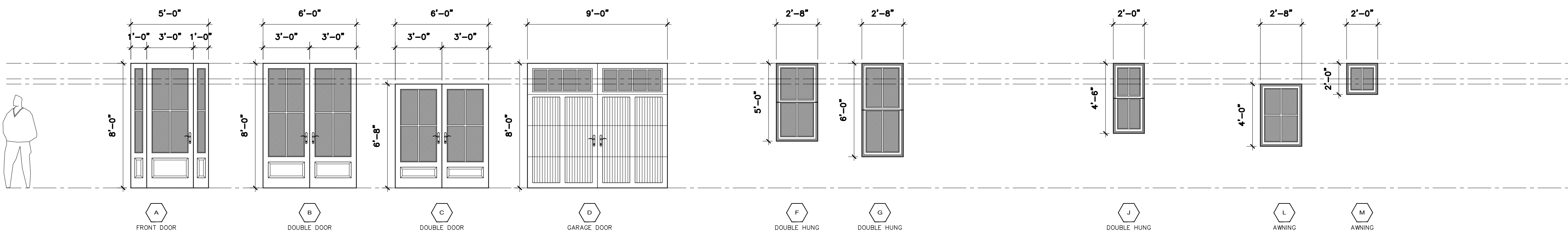
WINDOW AND DOOR TRIM

SCALE: 1/4" = 1'-0"

A - 102 - 4

0 1' 2' 3'

HEAD LOCATIONS ARE SHOWN FOR REFERENCE ONLY - VERIFY WITH EXTERIOR ELEVATIONS



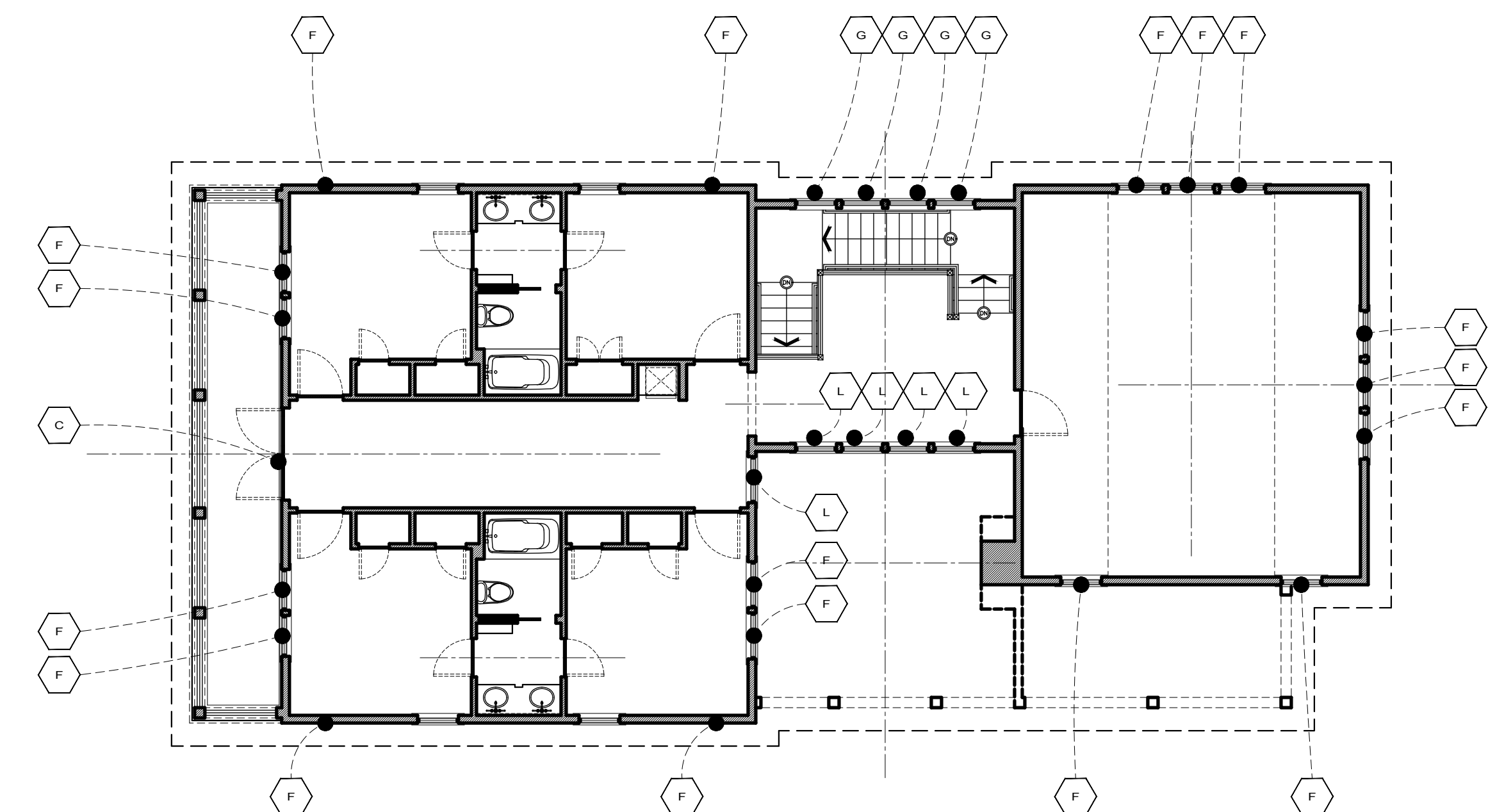
VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

WINDOW AND DOOR NOTES

SCALE: 1/4" = 1'-0"

A - 102 - 3

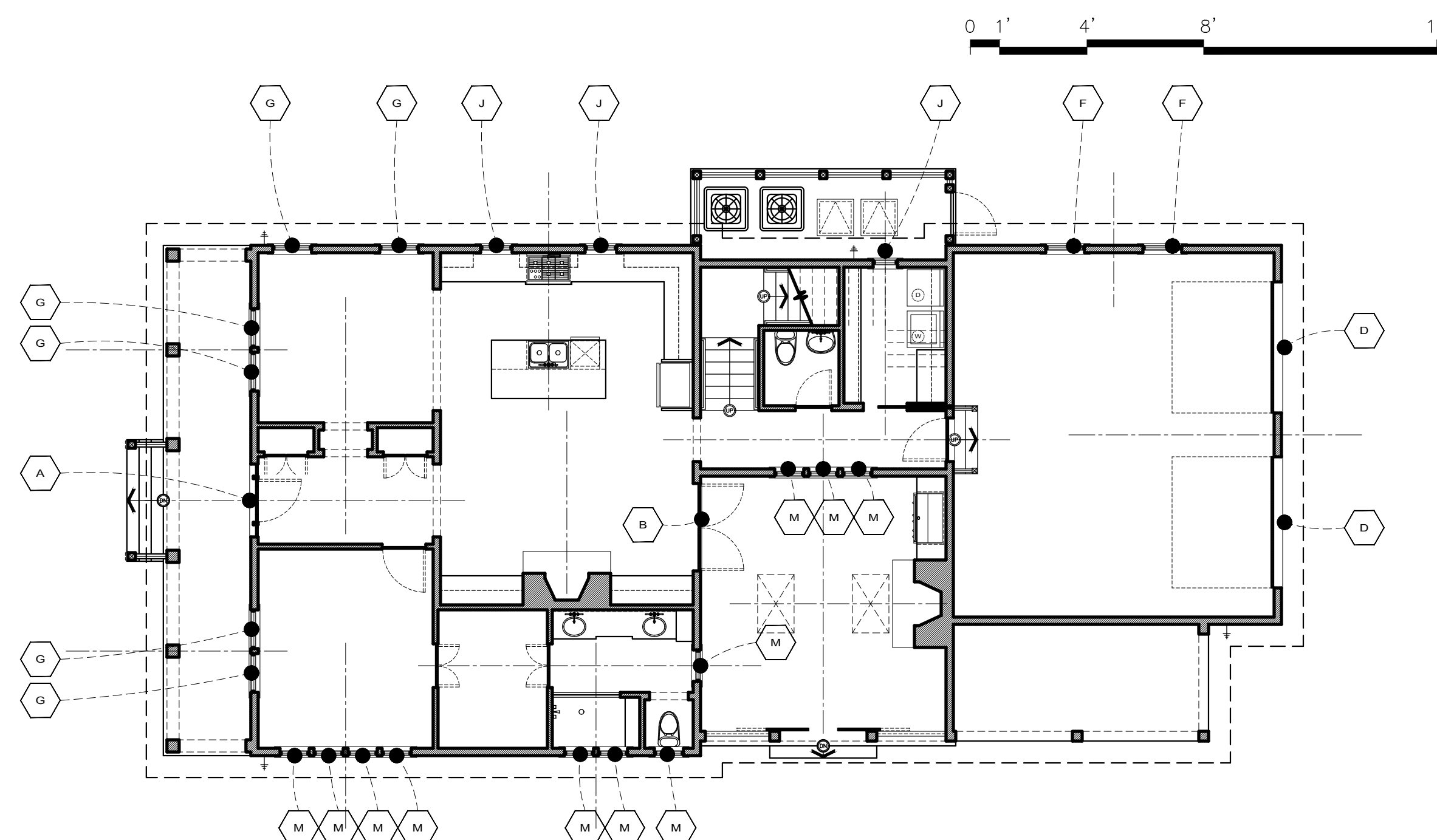


SECOND FLOOR - WINDOW AND DOOR NOTES

SCALE: 1/8" = 1'-0"

A - 102 - 2

0 1' 8' 16' 32'



FIRST FLOOR - WINDOW AND DOOR NOTES

SCALE: 1/8" = 1'-0"

A - 102 - 1

0 1' 8' 16' 32'

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V33 = 140 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

EXTERIOR WALLS

ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

INTERIOR WALLS

ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

FRAMING

FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "J" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

STRUCTURAL HARDWARE

THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS ETC.)

TREATED WOOD FASTENERS

ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-B3) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY

FOOTINGS

3000 PSI TYPE CONCRETE FOOTING WITH (3) #5 CONTINUOUS BARS & #5 TIES @48" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU WALLS

8" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU PIERS

12" x 12" CMU PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS 16" x 16" CMU PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

BRICK VENEER

BRICK VENEER ATTACH PER MANUFACTURERS A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE LINTELS

6" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE SLABS

4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMITE TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CEILING HEIGHTS

ALL FIRST FLOOR CEILING HEIGHTS ARE:

11'-5"

SECOND FLOOR CEILING HEIGHTS ARE:

9'-1"

FIRST FLOOR CASED OPENINGS

ALL FIRST FLOOR CASED OPENINGS ARE:

9'-0"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED - SEE FLOOR PLANS FOR ALL DROP BEAM HEIGHTS

WINDOW - HEAD HEIGHTS

ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

6'-8"

ALL TRANSOM WINDOWS WILL BE SET ABOVE. VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

INTERIOR DOORS - HEAD HEIGHTS

ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR DOOR HEADER HEIGHTS ARE:

6'-8"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

HVAC

ALL HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IECC SECTION 403.2 ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

FRAMING PLAN

FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA STRUCTURAL ENGINEER AND REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION

SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED.

GEO TECHNICAL

SOIL TO BE TESTED BY A LICENSED GEORGIA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS

BRICK - STONE

ALL BRICK OR STONE FINISH IS TO BE ATTACHED PER MANUFACTURERS REQUIREMENTS SEE SPECIFICATION PRIOR TO ANY INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

SEE FOUNDATION PLAN
FOR ADDITIONAL
STRUCTURAL INFORMATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

WINDOWS AND DOORS
VERIFY ALL SPECIFICATIONS AND
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ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES

SEE THE INTERIOR DESIGN DESIGN PACKAGE

MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

22 - 018

12.09.2024

REV

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GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

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STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED
V33 = 140 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD

LOT# 18

BLUFFTON - SOUTH CAROLINA

TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL

SECOND FLOOR PLAN

24 x 36

A.R.B. REVIEW

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22 - 018

12.09.2024

REV

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD

LOT# 18

BLUFFTON - SOUTH CAROLINA

TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL

22 - 018

12.09.2024

REV

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SINGLE FAMILY RESIDENCE - NEW

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TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL

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12.09.2024

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TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

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TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL

22 - 018

12.09.2024

REV

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD

LOT# 18

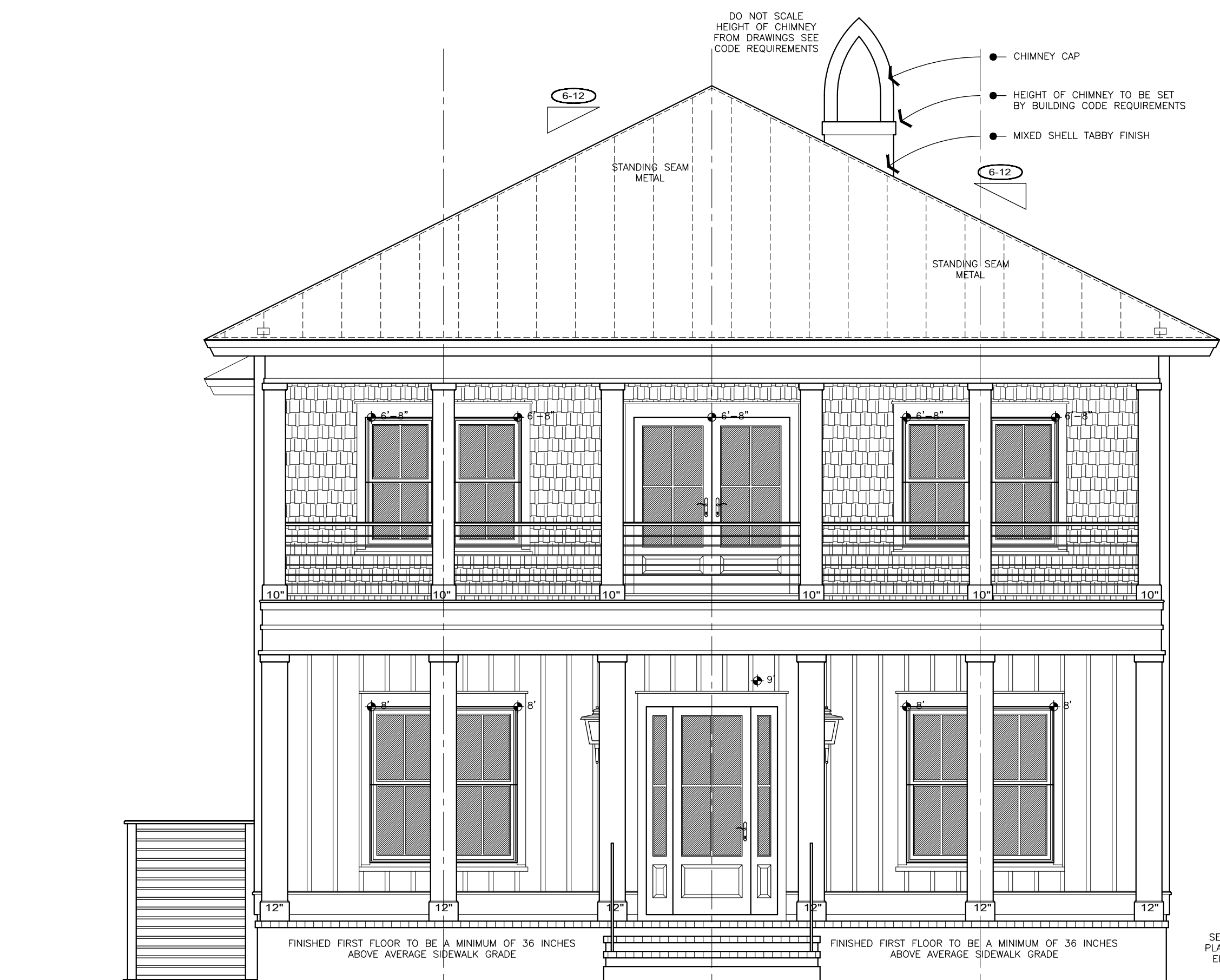
BLUFFTON - SOUTH CAROLINA

TOWN OF BLUFFTON

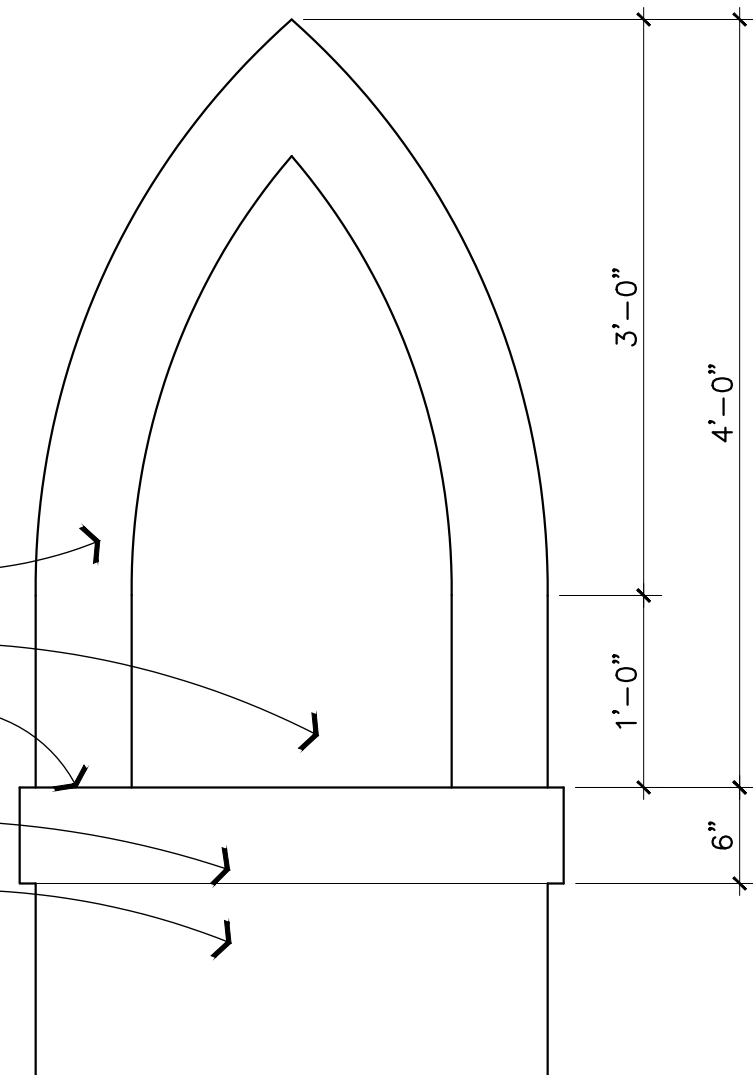
STRUCTURAL ENGINEER SEAL

22 - 018

12.09.2024



DETAIL - CHIMNEY
SCALE: 1" = 1'-0"
A - 200 - 3

**RIDGE HEIGHT**

GENERAL CONTRACTOR TO VERIFY FINAL RIDGE HEIGHT
NOT TO EXCEED CITY AND OR COUNTY REQUIREMENTS

APPROXIMATE MAIN RIDGE HEIGHT
32'-2" A.F.F.

GARAGE

BONUS FLOOR CEILING HEIGHT
12'-1" A.F.F.

MAIN HOUSE

SECOND FLOOR CEILING HEIGHT
9'-1" A.F.F.

SECOND FLOOR WINDOW HEAD HEIGHT
6'-8" A.F.F.

BONUS FLOOR WINDOW HEAD HEIGHT
6'-8" A.F.F.

BONUS FLOOR
GARAGE CEILING HEIGHT
13'-1" A.F.F.

GARAGE WINDOW HEAD HEIGHT
8'-0" A.F.F.

FINISHED FIRST FLOOR
VERIFY WITH SITE PLAN
30" STEP

FINISHED GARAGE FLOOR
VERIFY WITH SITE PLAN

SECOND FLOOR
FIRST FLOOR CEILING HEIGHT
11'-1" A.F.F.

FIRST FLOOR WINDOW HEAD HEIGHT
8'-0" A.F.F.

FINISHED FIRST FLOOR
VERIFY WITH SITE PLAN
30" STEP

FINISHED GARAGE FLOOR
VERIFY WITH SITE PLAN

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 140 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

ALL FIRST FLOOR CEILING HEIGHTS ARE:

11'-1"

AND SECOND FLOOR CEILING HEIGHTS ARE:

9'-1"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

ROOF PITCH

ALL PRIMARY ROOF PITCHES ARE:

6-12

UNLESS OTHERWISE SPECIFIED VERIFY WITH ROOF PLAN

ALL CABLE MODIFIED HPS ARE:

4-12

UNLESS OTHERWISE SPECIFIED VERIFY WITH ROOF PLAN

WINDOW PROTECTION

SEE SHEET S-101 FOR MINIMUM SPECIFICATIONS

WINDOW MUTTONS & MULLIONS

ALL MUTTONS AND MULLIONS ARE STANDARD TYPE VERIFY WITH SPECIFICATION FOR ANY CUSTOM APPLICATIONS

WINDOW SIZES

DO NOT SCALE WINDOW SIZES FROM DRAWINGS VERIFY SIZE WITH FLOOR PLAN ELEVATION

SITE GRADING

SEE CERTIFIED DRAINAGE PLAN FOR ALL FINAL GRADING AND SITE DRAINAGE LAYOUT

H.V.A.C. - SERVICE YARD

VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH HVAC CONTRACTOR PRIOR TO CONSTRUCTION

SHUTTERS

DECORATIVE WINDOW SHUTTERS ARE SHOWN FOR REFERENCE ONLY SEE ARB COLOR BOARD FOR FINAL COLOR AND STYLE PRIOR TO INSTALLATION

EXTERIOR DOORS AND WINDOWS

ALL NEW EXTERIOR WINDOWS REQUIREMENTS ARE NOTED ON STRUCTURAL ENGINEERING NOTES

EXTERIOR LOUVERS

ALL LOUVERS BELOW THE FEMA REQUIRED FLOOR ELEVATION TO BE COMPLIANT WITH IRC SECTION 324.2.2

ROOF SHINGLES

ALL ROOF SHINGLES SHALL MEET ASTM 31610 CLASS F PER IRC SECTION 905.2.4.1

WINDOWS AND DOORS
VERIFY ALL SPECIFICATIONS
AND SIZES PRIOR TO
ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

PRIMARY ROOF PITCH
6 - 12
SEE NOTES FOR CLARIFICATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

**STONE BRICK FINISH IS SHOWN
FOR LOCATION ONLY VERIFY
WITH SPECIFICATION
FOR TYPE AND FINISH**

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

**VERIFY ALL FINISHED
ELEVATION HEIGHTS
WITH FLOOR PLANS
AND ELEVATION PAGES**

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES
SEE THE INTERIOR DESIGN PACKAGE
AND MATERIAL SELECTIONS FOR ALL INTERIOR
TRIM AND DETAILS

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

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STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED

ICC 600-2018

I.R.C. - 2018

ZONE C

FLOOD ZONE PER SURVEY

N/A Ft. NGVD29

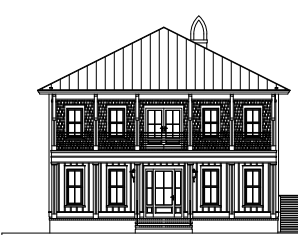
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



EXTERIOR ELEVATIONS

24 x 36

A.R.B. REVIEW

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A - 200

06 - 14 SINGLE USE ONLY

EXTERIOR ELEVATION - FRONT

SCALE: 1/4" = 1'-0"

A - 200 - 2

APPROXIMATE MAIN RIDGE HEIGHT
32'-2" A.F.F.

RIDGE HEIGHT

GENERAL CONTRACTOR TO VERIFY FINAL RIDGE HEIGHT
NOT TO EXCEED CITY AND OR COUNTY REQUIREMENTS

MAIN HOUSE

SECOND FLOOR CEILING HEIGHT
9'-1" A.F.F.

SECOND FLOOR WINDOW HEAD HEIGHT
6'-8" A.F.F.

SECOND FLOOR

FIRST FLOOR CEILING HEIGHT
11'-1" A.F.F.

FIRST FLOOR WINDOW HEAD HEIGHT
8'-0" A.F.F.

FINISHED FIRST FLOOR
VERIFY WITH SITE PLAN
24" STEP

FINISHED GARAGE FLOOR
VERIFY WITH SITE PLAN

SEE SITE DRAINAGE
PLAN FOR ALL FINAL
ELEVATION POINTS
AND GRADES

FINISHED FIRST FLOOR TO BE A MINIMUM OF 36 INCHES
ABOVE AVERAGE SIDEWALK GRADE

SEE SITE DRAINAGE
PLAN FOR ALL FINAL
ELEVATION POINTS
AND GRADES

EXTERIOR ELEVATION - RIGHT

SCALE: 1/4" = 1'-0"

A - 200 - 1

0 1' 4' 8' 16'

0 1' 4' 8' 16'

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

22 - 018

12.09.2024

REV

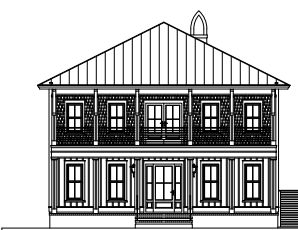
ALL ROOF SHINGLES SHALL MEET ASTM 3161D CLASS F PER IRC SECTION 905.2.4.1

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VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

INTERIOR FINISHES
SEE THE INTERIOR DESIGN DESIGN PACKAGE
AND MATERIAL SELECTIONS FOR ALL INTERIOR
TRIM AND DETAILS

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON



EXTERIOR ELEVATION:

24 x 36

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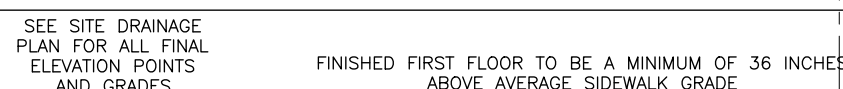
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34 TABBY SHELL ROAD
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BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

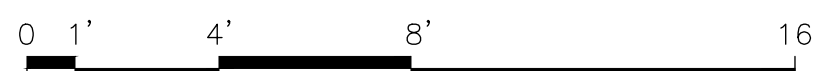
REV

A - 201

07 - 14 SINGLE USE ONLY



A - 201 - 1



DRAWING NOTES
ROOF PLAN - DETAILS

HIP OVERHANGS
ALL ROOF OVERHANGS AT HIPS ARE TO BE 1'-6" UNLESS OTHERWISE NOTED

GABLE OVERHANGS
ALL ROOF OVERHANGS AT GABLE ENDS ARE TO BE 1'-0" UNLESS OTHERWISE NOTED

ROOF PITCH
ALL GABLE END MODIFIED HIPS TO BE 4-12 PITCH UNLESS OTHERWISE NOTED

STRAPPING
ALL ROOF RAFTERS WILL BE 2x8 @16" O.C. WITH A 10'-0" MAXIMUM SPAN WITHOUT BRACING UNLESS OTHERWISE SPECIFIED

RAFTERS
SIMPSON TYPE HURRICANE STRAP AT EACH ROOF RAFTER SEE STRUCTURAL NOTES

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 135 MPH
EXPOSURE CATEGORY "B"

SHEATHING
PLYWOOD SHEATHING TO BE CONTINUOUS TO TOP PLATES

PRELIMINARY WATER PROOFING
ALL VALLEYS CRICKETS CHIMNEY TRANSITIONS FRAMED PROTRUSIONS AND EXPOSED DECK EXTENSIONS SHALL BE COVERED WITH GRADE ICE AND WATER SHIELD AND OR EQUAL VERIFY WITH SITE SUPERINTENDENTS FOR LOCATIONS AND SIZE REQUIREMENTS

STRUCTURAL HARDWARE
THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS ETC.)

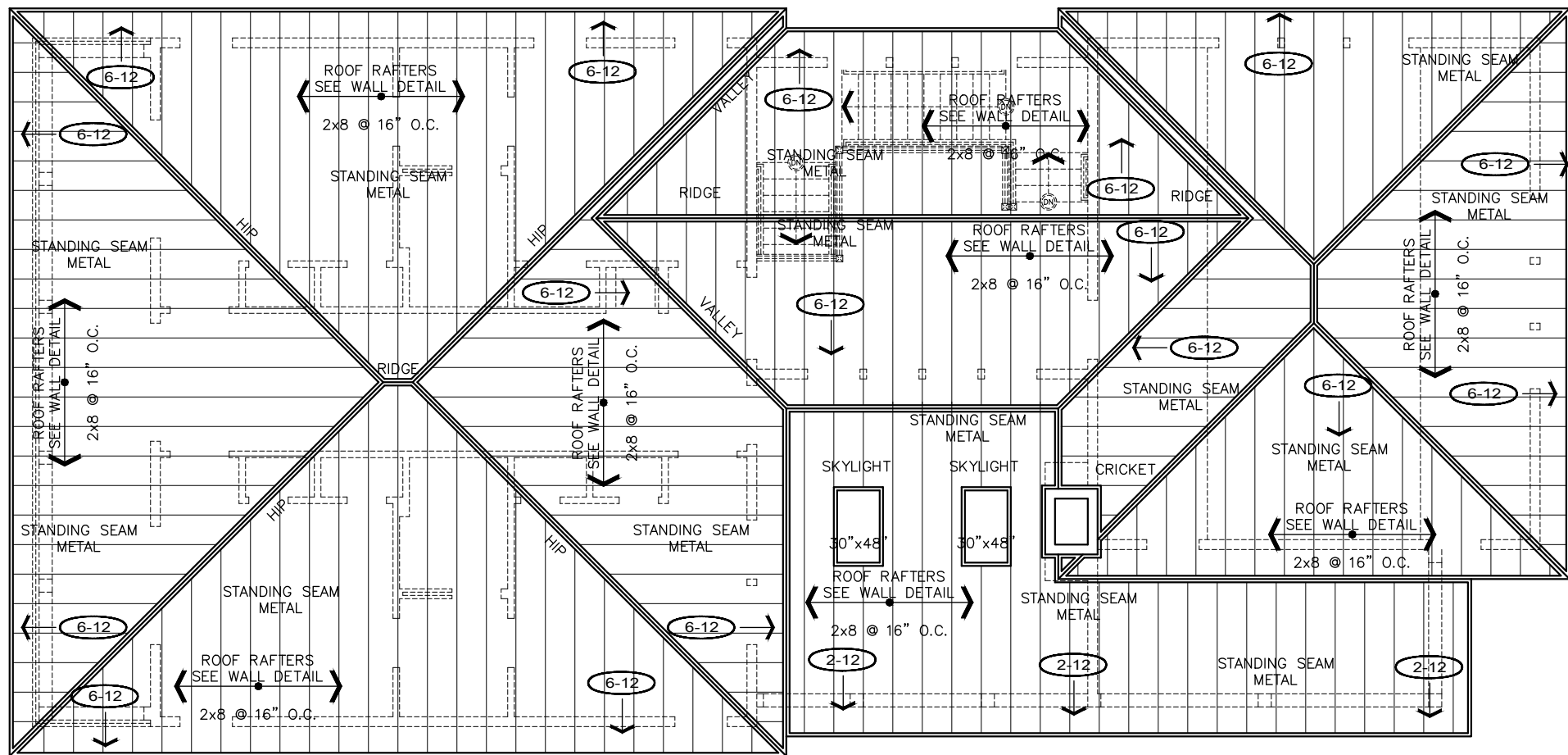
TREATED WOOD FASTENERS
ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-35) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS (ISOLATE UNLIKE MATERIALS IF NECESSARY)

ROOF PITCH
6 - 12
SEE NOTES FOR CLARIFICATION

ROOF SHINGLES
ALL ROOF SHINGLES SHALL MEET ASTM 3161D CLASS F PER IRC SECTION 905.2.4.1

ROOF PLAN
SCALE: 1/8" = 1'-0"
A - 300 - 2

ATTACHMENT 4



DRAWING NOTES
VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 140 MPH
EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

ICC 600-2018
I.R.C. - 2018
ZONE C
N/A Ft. NGVD29

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

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STRUCTURAL INFORMATION
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DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V35 = 140 MPH
EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

ICC 600-2018
I.R.C. - 2018
ZONE C
N/A Ft. NGVD29

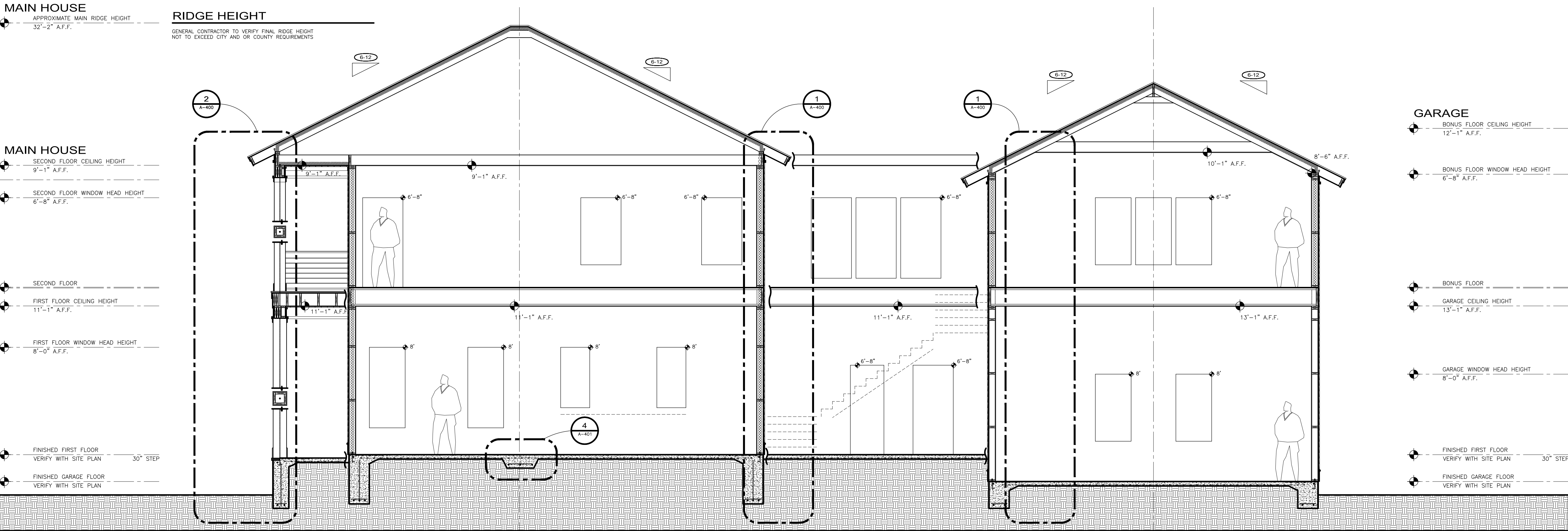
MAIN HOUSE
APPROXIMATE MAIN RIDGE HEIGHT
32'-2" A.F.F.

RIDGE HEIGHT
GENERAL CONTRACTOR TO VERIFY FINAL RIDGE HEIGHT
NOT TO EXCEED CITY AND OR COUNTY REQUIREMENTS

MAIN HOUSE
SECOND FLOOR CEILING HEIGHT
9'-1" A.F.F.
SECOND FLOOR WINDOW HEAD HEIGHT
6'-8" A.F.F.

SECOND FLOOR
FIRST FLOOR CEILING HEIGHT
11'-1" A.F.F.
FIRST FLOOR WINDOW HEAD HEIGHT
8'-0" A.F.F.

FINISHED FIRST FLOOR
VERIFY WITH SITE PLAN
30" STEP
FINISHED GARAGE FLOOR
VERIFY WITH SITE PLAN



GARAGE
BONUS FLOOR CEILING HEIGHT
12'-1" A.F.F.

BONUS FLOOR WINDOW HEAD HEIGHT
6'-8" A.F.F.

BONUS FLOOR
GARAGE CEILING HEIGHT
13'-1" A.F.F.

GARAGE WINDOW HEAD HEIGHT
8'-0" A.F.F.

FINISHED FIRST FLOOR
VERIFY WITH SITE PLAN
30" STEP
FINISHED GARAGE FLOOR
VERIFY WITH SITE PLAN

TABBY HOUSE
SINGLE FAMILY RESIDENCE - NEW
34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



BUILDING SECTIONS - ROOF PLAN 24 x 36

A.R.B. REVIEW

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BUILDING SECTION - MAIN HOUSE
SCALE: 1/4" = 1'-0"
A - 300 - 3

0 1' 4' 8' 16'

BUILDING SECTION - GARAGE
SCALE: 1/4" = 1'-0"
A - 300 - 1

0 1' 4' 8' 16'

TABBY HOUSE
SINGLE FAMILY RESIDENCE - NEW
34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON
REV

22 - 018
12.09.2024

A - 300
08 - 14 SINGLE USE ONLY

SERVICE YARD

VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION

FLOOR OUTLETS

OWNER AND GENERAL CONTRACTOR TO VERIFY ALL OF THE FINAL LOCATIONS OF THE FLOOR OUTLETS PRIOR TO THE CONCRETE SLAB POUR

FOUNDATION HEIGHT

FINAL C.M.U. HEIGHT FROM FOOTING IS SHOWN AS REFERENCE ONLY G.C. TO VERIFY WITH SITE ELEVATION POINTS

COLUMNS

G.C. TO VERIFY WITH FLOOR PLANS EXTERIOR ELEVATIONS AND WALL DETAILS THE FINAL LOCATION OF THE COLUMN BASES FOR ALIGNMENT AND OR OFFSETS

WINDOW LOCATION

ALL WINDOW LOCATIONS IN THE KITCHEN TO BE VERIFIED AND ALIGNED WITH THE CABINETRY SHOP DRAWINGS PRIOR TO ROUGH FRAMING

FIREPLACE

THE GENERAL CONTRACTOR IS TO VERIFY TYPE AND SIZE OF FIRE PLACE ALL FIREPLACES SHOWN IN PLAN SET ARE SHOWN FOR REFERENCE ONLY

ATTIC ACCESS

THE GENERAL CONTRACTOR IS TO LOCATE WITH OWNER ALL ATTIC AND EVE ACCESS DURING FINAL FRAMING WALK-THROUGH

EXTERIOR STEPS

FINAL NUMBER OF STEPS TO BE FIELD DETERMINED FINAL ELEVATIONS MAY VARY FROM DRAWINGS

SHOP DRAWINGS

KITCHEN PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

LAUNDRY ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

BATH ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

ATTACHMENT 4

DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION
SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS
DESIGN LOAD BASED ON WIND SPEED
V33 = 140 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018
I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

EXTERIOR WALLS

ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

INTERIOR WALLS

ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

FRAMING

FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "J" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

STRUCTURAL HARDWARE

THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY. EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS, ETC.)

TREATED WOOD FASTENERS

ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR C-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-B3) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY

FOOTINGS

3,000 PSI TYPE CONCRETE FOOTING WITH (3) #5 CONTINUOUS BARS & #5 TIES @48" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU WALLS

6" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU PIERS

12"x 12" CMU PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS 16"x 16" CMU PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

BRICK VENEER

BRICK VENEER ATTACH PER MANUFACTURERS A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE LINTELS

6" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE SLABS

4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMITE TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CEILING HEIGHTS

ALL FIRST FLOOR CEILING HEIGHTS ARE:

11'-5 1/2"

SECOND FLOOR CEILING HEIGHTS ARE:

9'-1"

FIRST FLOOR CASED OPENINGS

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED - SEE FLOOR PLANS FOR ALL DROP BEAM HEIGHTS

9'-0"

WINDOW - HEAD HEIGHTS

ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

6'-8"

ALL TRANSOM WINDOWS WILL BE SET ABOVE. VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

INTERIOR DOORS - HEAD HEIGHTS

ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:

8'-0"

SECOND FLOOR DOOR HEADER HEIGHTS ARE:

6'-8"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

HVAC

ALL HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IECC SECTION 403.2 ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

FRAMING PLAN

FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA STRUCTURAL ENGINEER AND REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION

SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED.

GEO TECHNICAL

SOIL TO BE TESTED BY A LICENSED GEORGIA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

EXTERIOR SITE WORK

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS

BRICK - STONE

ALL BRICK OR STONE FINISH IS TO BE ATTACHED PER MANUFACTURERS REQUIREMENTS SEE SPECIFICATION PRIOR TO ANY INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

WINDOWS AND DOORS
VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION

INTERIOR FINISHES

SEE THE INTERIOR DESIGN DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

22 - 018
12.09.2024

REV

SAWYER
ENVISION • DESIGN • BUILD

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

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STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS

DESIGN LOAD BASED ON WIND SPEED
V33 = 140 MPH
EXPOSURE CATEGORY "B"

ICC 600-2018

I.R.C. - 2018

ZONE C

N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

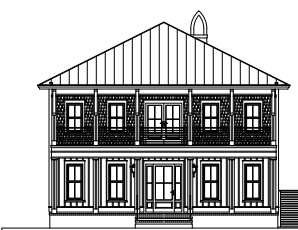
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SINGLE FAMILY RESIDENCE - NEW

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LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



FOUNDATION PLAN

24 x 36

A.R.B. REVIEW

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S - 100

11 - 14 SINGLE USE ONLY

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"
S - 100 - 1

0 1' 4' 8' 16'

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OWNER WALK THROUGH

THE FINAL ELECTRICAL PLAN TO BE LAID OUT AND DETERMINED DURING THE ON SITE OWNER WALK THROUGH

ELECTRICAL INDEX

ALL FIXTURE LOCATIONS SUBJECT TO WALK - THROUGH WITH THE OWNER AFTER FRAMING.
RESERVE TWO 15 AMP CIRCUITS FOR EXTERIOR ILLUMINATION PURPOSES.
CONFIRM WITH OWNER ANY REQUIREMENTS FOR DEDICATED CIRCUITS AND CONDUITS FOR FIBER OPTIC, AUDIO VISUAL AND SECURITY OR OTHER SPECIALTY WIRING.

- DUPLEX RECEPTACLE 12" A. F. F.
- DUPLEX FLOOR RECEPTACLE
- DUPLEX W/ OUTLET SWITCHED
- WATER PROOF RECEPTACLE
- GROUND FAULT INTERRUPTER
- 220 VOLT OUTLET
- SINGLE POLE SWITCH 48" A. F. F.
- DOOR ACTIVATED SWITCH
- DOORBELL BUTTON
- CHIME
- TELEPHONE JACK
- CABLE TELEVISION JACK
- J BOX
- SCONCE
- DECORATIVE LIGHT FIXTURE
- RECESSED CEILING MOUNTED DOWN LIGHT
- SURFACE MOUNTED LIGHT
- DIRECTION TYPE SPOT LIGHT
- CEILING COVE LIGHTS
- PORCELAIN LAMP BARE BULB INCANDESCENT
- EXHAUST FAN / LIGHT COMBINATION
- FLOOD LIGHTS
- MOTION FLOOD LIGHTS
- LOW VOLTAGE UNDER COUNTER LIGHT
- SPEAKER
- SUB WOOFER
- SMOKE DETECTOR
- STRIP LIGHT FIXTURE
- GARAGE DOOR OPENER
- SMALL FLORESCENT
- LARGE FLORESCENT
- ELECTRICAL METER
- ELECTRICAL PANEL BOX

MECHANICAL INDEX

- H.V.A.C. EXTERIOR COMPRESSOR UNIT
- H.V.A.C. INTERIOR UNIT
- POOL OR SPA HEATER
- POOL FILTER EQUIPMENT
- GENERATOR
- H.V.A.C. DUCT CHASE
- H.V.A.C. SUPPLY REGISTER
- H.V.A.C. RETURN REGISTER
- WATER HEATER

2017 NEC

ELECTRICAL SERVICE TO MEET 2017 NEC BUILDING CODE
ARCH. FAULT REQUIREMENT

FLOOR OUTLETS

VERIFY WITH SITE SUPERINTENDENT FOR LOCATION AND QUANTITY OF FLOOR OUTLETS AND ANY OTHER ELECTRICAL EQUIPMENT THAT MAY NEED TO BE INSTALLED PRIOR TO POURING OF FOUNDATION CONCRETE SLAB

APPLIANCES

ELECTRICAL SERVICE TO BE PROVIDED TO ALL APPLIANCES
VERIFY ALL REQUIREMENTS WITH MATERIAL SELECTION AND APPLIANCES SHEETS

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STRUCTURAL INFORMATION

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EXPOSURE CATEGORY "B"
ICC 600-2018
I.R.C. - 2018
ZONE C
N/A Ft. NGVD29

FLOOD ZONE PER SURVEY

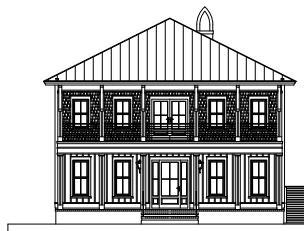
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TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



FIRST FLOOR ELECTRICAL PLAN

24 x 36

A.R.B. REVIEW

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34 TABBY SHELL ROAD
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TOWN OF BLUFFTON

22 - 018
12.09.2024

REV

E - 100

13 - 14 SINGLE USE ONLY

FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

E - 100 - 1

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GARAGE DOOR OPENER
SMALL FLORESCENT
LARGE FLORESCENT
ELECTRICAL METER
ELECTRICAL PANEL BOX
CEILING FAN WITH LIGHT (OPTIONAL)

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2017 NEC

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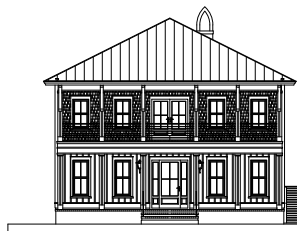
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TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD
LOT# 18
BLUFFTON - SOUTH CAROLINA
TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



SECOND FLOOR ELECTRICAL PLAN

24 x 36

A.R.B. REVIEW

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