550.00 Square feet

550.00 Square feet

135.77 Square feet

GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL WORK WITH ALL TRADES INVOLVED. THESE DRAWINGS REPRESENT FIELD MEASUREMENTS AND DO NOT FULLY REFLECT EXISTING CONDITIONS. GENERAL CONTRACTOR SHALL VERIFY ALL ELEVATIONS, DIMENSIONS AND LOCATIONS OF EXISTING FEATURES BEFORE STARTING WORK OR ORDERING MATERIALS. NOTIFY DESIGN TEAM OF ANY

WHICH ARE OR SHOULD BE INVOLVED IN THIS PROJECT SHALL FOLLOW GOOD CONSTRUCTION PRACTICES

DRAWINGS INDICATE INTENDED AND INFERRED SCOPE OF WORK. CONTRACTOR INCLUDING MODIFICATION OF EXISTING CONDITIONS TO COMPLETE THE ENTIRE SCOPE OF WORK. CONTRACTOR SHALL COMPLETE WORK IN ACCORDANCE WITH INDUSTRY AND MANUFACTURES WRITTEN REQUIREMENTS. FINISH WORK TO BE COMPLETED IN A PROFESSIONAL QUALITY MANNER. DRAWINGS, SECTIONS AND DETAILS REPRESENT TYPICAL CONDITIONS, THE CONTRACTOR IS TO REVIEW WITH THE DESIGN TEAM OF NON TYPICAL CONDITIONS THAT REQUIRE A MODIFICATION TO THE DESIGN.

REFERENCES TO SPECIFIC MANUFACTURES PRODUCTS ON THE DRAWINGS EQUAL BY THE DESIGN TEAM ARE ACCEPTABLE. CONTRACTOR SHALL SUBMIT TO OWNER AND DESIGN TEAM SAMPLES OF ALL INISH MATERIALS FOR APPROVAL OF COLOR, STYLE, AND TEXTURE, PRIOR TO FABRICATION AND OR INSTALLATION. CONTRACTOR SHALL REMOVE FROM SITE AND DISCARD ALL CONSTRUCTION NO SMOKING IS TO BE ALLOWED ON THE CONSTRUCTION SITE AT ANY TIME. CONTRACTOR SHALL LIMIT USE OF PREMISES TO THE WORK INDICATED OR CONTRACTOR SHALL ENSURE SAFE PASSAGE OF PERSONS AROUND AREA OF CONSTRUCTION. PROVIDE TEMPORARY BARRICADES TO PROTECT THE GENERAL PUBLIC FROM INJURY DUE TO CONSTRUCTION WORK. INTERIOR FINISHES IN EXIT ACCESS AREAS TO BE CLASS A, CLASS B IN

INSULATION SHALL HAVE A SMOKE DEVELOPED RATING OF 450 MAX. CONCEALED INSULATION SHALL HAVE A FLAME SPREAD RATING OF 75 MAX. AND EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF 25

OTHERS. CONTRACTOR TO VERIFY ALL EXITS MEET CURRENT BUILDING AND

CONTRACTOR RESPONSIBLE AND SHALL MAINTAIN EXISTING AND NEW STRUCTURES WATER TIGHT INTEGRITY TROUGH USE OF TARPS AND OR PERMANENT MODIFICATIONS DURING CONSTRUCTION. CONTRACTOR TO PARK IN DESIGNATED AREAS ONLY DUMPSTER LOCATION TO BE DETERMINED BY PROJECT TEAM. ALL CONSTRUCTION ACTIVITIES OR MOVEMENT TO OCCUR ON OR LIMITED TO OWNERS PROPERTY.

THESE DRAWINGS CAN NOT STAND ALONE AS CONSTRUCTION DOCUMENTS DOOR OPENING ARE TO BE SET 6" AWAY FROM INTERSECTING WALLS UNLESS OTHERWISE SPECIFIED EE STRUCTURAL ENGINEERING DRAWINGS FOR STRUCTURAL CONNECTION ECHNIQUES, CALCULATIONS REQUIRED BY CODE CODE COMPLIANCE

NSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION AND TIE DOWN SEPARATE MECHANICAL ELECTRICAL AND PLUMBING ENGINEERING DOCUMENTS CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE DESIGN

TEAMS BASIC LAYOUT AND SELECTIONS SUGGESTED ADDITIONAL SITE PLANNING DRAINAGE AND OTHER RELATED SITE WORK

SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNERS REPRESENTATIVE BY APPLYING FOR A BUILDING PERMIT AND OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN THE OWNER AGREES TO LIMIT THE LIABILITY OF THE DESIGN TEAM TO THE OWNER OF THE PROJECT FOR ALL CLAIMS LOSSES DAMAGES OR ANY NATURE WHATSOEVER OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE DESIGN TEAMS TOTAL COMPENSATION FOR SERVICES

FOR DIMENSIONS NOT SHOWN OR IN QUESTION THE CONTRACTOR MUST

REQUEST IN WRITING THE CLARIFICATION FROM THE DESIGN TEAM BEFORE CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK EVERY ATTEMPT HAS BEEN MADE TO PROVIDE A COMPLETE AND ACCURATE

WHEN THE DESIGN TEAMS DRAWINGS ARE IN CONFLICT WITH THE ENGINEERING AND CONSULTANTS DRAWINGS THE GENERAL CONTRACTOR MUST REQUEST IN WRITING CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING WITH ANY CONSTRUCTION

I.R.C. - 2018 BUILDING CODES ICC 600-2014

THE CONTRACT DOCUMENTS INDICATE THE INTENDED OCCUPANCY AND USE OF THE BUILDING AND SYSTEMS. THE PROJECT AS A WHOLE AND ITS ELEMENTS OF THE BUILDING AND SYSTEMS. THE PROJECT AS A WHOLE AND ITS ELEMENTS SHALL COMPLY WITH ALL REGULATIONS AS REQUIRED, INCLUDING ALL LOCAL, STATE, FEDERAL AND OTHER APPLICABLE CODES, (MORE RECENT OR STRINGENT EDITIONS OR AMENDMENTS SHALL HAVE PRECEDENCE). CONTRACTOR SHALL NOTIFY DESIGN TEAM OF NON COMPLIANT DESIGN, OR QUESTIONS CONCERNING COMPLIANCE, PRIOR TO CONTRACTOR IS RESPONSIBLE FOR ALL COMPLIANCE OF ALL APPLICABLE BUILDING CODES ON THIS PROJECT. SAWYER DESIGN STUDIO, L.L.C. ASSUMES NO LIABILITY.

#### SOIL CONDITIONS

COVER

SCALE: N.T.S

C - 100 - 1

REFER TO GEO—TECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS. THE DESIGN SOIL BEARING PRESSURE IS 2500 P.S.F. IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION

1,220.41 Square feet SECOND FLOOR LIVING AREA: 1,104.11 Square feet

BONUS FLOOR LIVING AREA:

CART AREA:

LOT COVERAGE:

FRONT COVERED PORCH LOWER AREA: 188.83 Square feet FRONT COVERED PORCH UPPER AREA: 188.83 Square feet

> ( FOR REFERENCE ONLY ) AREÀS SUBJECT TO CHANGE WITHOUT NOTICE ALL AREAS ARE SHEET ROCK TO SHEET ROCK

TOTAL COOLED LIVING AREA: Square feet 4,246.28 TOTAL FRAMED AREA:

> ( FOR REFERENCE ONLY AREÀS SUBJECT TO CHANGE WITHOUT NÓTICE ALL AREAS ARE SHEET ROCK TO SHEET ROCK

SITE AREA:

SITE AREA: (PER SURVEY) 0.11 ACRES 4,937 square feet 2,618.63 square feet 53%

#### DRAWING SYMBOLS

DESIGNATES — C.M.U. WALL	
DESIGNATES - BRICK	
DESIGNATES - 2x4 @ 16" O.C. STUD WAL	LL ///////////////////////////////////
DESIGNATES - 2x6 @ 16" O.C. STUD WAL	LL 2x
DESIGNATES - 2x8 @ 16" O.C. STUD WAL	2 x
DESIGNATES — UNFINISHED CONCRETE	

DETAIL DESIGNATION - WITH VIEW DIRECTION

WINDOW DESIGNATION DOOR DESIGNATION 202 POINT ELEVATION

ELEVATION CHANGE INTERIOR DETAIL VIEW DIRECTION

FINISH SYMBOLS

CULTURED MARBLE

LAMINATED TOP

SOLID SURFACE

CAST IRON

FIBERGLASS

STONE

DRYWALL

GRANITE

MARBLE

TILE

GLASS

# DETAIL DESIGNATION

ABBREVIATIONS	
CONCRETE MASONRY UNIT	C.M.U.
<u>e</u>	Ę
CASED OPENING	CO
DOWN	DN.
UP	UP
DESIGN PRESSURE	D.P.
EQUAL	EQ.
WELDED WIRE MESH	W.W.M.
ON CENTER	O.C.

CM

G

M

L

T

GL.

S.S.

C.I.

F.G.

S

D.W.

VERIFY ALL FINISH TYPES WITH INTERIOR SELECTION SHEETS

———— ( FOR REFERENCE ONLY ) ————

SEE THE MATERIAL SELECTION SHEET AND ALL

INTERIOR DESIGN DRAWINGS FOR OVERALL FINISH

NOTES UNLESS OTHERWISE NOTED

### **INSULATION INFORMATION**

INSULATION	
WALLS	R-13
FLOORS	R-19
CEILINGS	R-30

ALL INSULATION TO BE SPRAY IN TYPE AND WILL BE IN COMPLIANCE WITH I.R.C. SECTION 316.1 I.E.C.C. SECTION 402.1.1

INSULATION	
WALLS	R-13
FLOORS	R-19
CEILINGS	R-30

_	INSULATION	
	WALLS	R-13
	FLOORS	R-19
	CEILINGS	R-30

## **DESIGN TEAM**

SCALE: N.T.S

OWNER WILLIAM GLOVER 34 TABBY SHELL

GENERAL CONTRACTOR SEA ISLAND CONSTRUCTION GROUP 23 WHISPERING OAKS CIRCLE OKATIE - SOUTH CAROLINA - 29909

SURVEY T SQUARE SURVEYING

P.O. Drawer 330 139 BURNT CHURCH ROAD - BLUFFTON SOUTH CAROLINA 29910 843-757-2650 tsquare@hargray.com JOB NUMBER: 21-014T

FRONT EXTERIOR ELEVATION - REDUCED

34 TABBY SHELL ROAD

CITY OF BLUFFTON

**BEAUFORT COUNTY** 

TABBY HOUSE

**BLUFFTON - SOUTH CAROLINA** 

SINGLE FAMILY RESIDENCE - NEW

### **DESIGN TEAM**

jleonard@sawyerdd.com

**ATTACHMENT 4** 

SAWYER DESIGN STUDIO, L.L.C.. 22 WEST BRYAN STREET - SUITE 321 - SAVANNAH - GEORGIA 912.704.1955

**NEW CONSTRUCTION** 

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE

BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE

BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL

DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS

OBSERVATION OF THE CONSTRUCTION CONTRACT

JURISDICTION OVER ANY PART OF THIS PROJECT

DESIGN DRAWINGS AND THE STRUCTURAL DESIGN

DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE

COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET

THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING

THE BUILDER AND OWNER ARE RESPONSIBLE FOR RETAINING A STRUCTURAL ENGINEER AND THE COORDINATION OF THE

### STRUCTURAL ENGINEER

S. MARK BOYELS P.E. PO BOX 22324 - SAVANNAH - GEORGIA -31403 912-232-7130 smboyles@bellsouth.net

#### CIVIL ENGINEER

PO BOX 2569 - BLUFFTON - SOUTH CAROLINA -29910 843-227-3031 keyengineering@hargray.com

#### LANDSCAPE

KEY ENGINEERING

ROSE LANDSCAPING 25 PALMETTO BEACH DRIVE BLUFFTON - SOUTH CAROLINA 29910 843-816-3518 b.rose@roselandscape.com

**DRAWING NOTES** 

STRUCTURAL INFORMATION SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

**DESIGN LOADS** ICC 600-2018 DESIGN LOAD BASED ON WIND SPEED EXPOSURE CATEGORY "B" I.R.C. - 2018 **ZONE C** FLOOD ZONE PER SURVEY N/A Ft. NGVD29

DRAWING INDEX

1) C - 100 COVER

MINIMUM F.F.F. PER SURVEY

- 100 SITE PLAN FIRST FLOOR PLAN SECOND FLOOR PLAN WINDOW AND DOOR NOTES EXTERIOR ELEVATIONS - 200 EXTERIOR ELEVATIONS

BUILDING SECTIONS - ROOF PLAN WALL DETAILS

WALL DETAILS

FOUNDATION PLAN

STRUCTURAL NOTES

ELECTRICAL PLANS

ELECTRICAL PLANS

- 401

- 100

INCLUSIONS

ME&P ENGINEERING

CABINETRY DESIGN

LANDSCAPE DESIGN

POOL - SPA DESIGN

**PROJECT DATES** 

30% DESIGN REVIEW

REVIEW MEETING

REVIEW MEETING

60% DESIGN REVIEW

100% DESIGN REVIEW

A.R.B. REVIEW - 1

A.R.B. REVIEW - 2

A.R.B. REVIEW - 3

A.R.B. REVIEW - 4

A.R.B. REVIEW - 5

A.R.B. REVIEW - 6

A.R.B. REVIEW - 7

A.R.B. REVIEW - 8

A.R.B. REVIEW - 9

STRUCTURAL REVIEW

PROJECT INITIATION

NO INTERIOR DESIGN - SELECTIONS

BUILDER LEVEL DESIGN DRAWINGS - STANDARD

STRUCTURAL ENGINEERING - FRAMING PACKAGE

CIVIL ENGINEERING - CERTIFIED DRAINAGE

STRUCTURAL ENGINEERING - UP-LIFT CONSULTATION

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

**DESIGN LOADS** DESIGN LOAD BASED ON WIND SPEED V3S = 140 MPH EXPOSURE CATEGORY "B

ZONE C FLOOD ZONE PER SURVEY N/A Ft. NGVD29

ICC 600-2018

I.R.C. - 2018

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.



### TABBY HOUSE

34 TABBY SHELL ROAD LOT# 18 BLUFFTON - SOUTH CAROLINA TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL

MARKED ITEMS ONLY

12.09.2024

04.12.2022

05.20.2022

07.20.2022

09.20.2022

10.14.2022

12.05.2022

12.29.2022

01.04.2023

06.28.2023

11.01.2023

12.10.2023

02.08.2024

08.01.2024

09.05.2024

12.09.2024



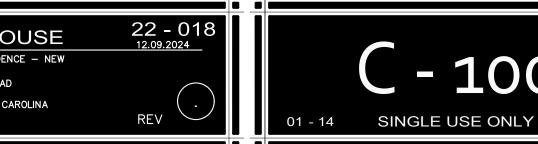
A.R.B. REVIEW

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014 PLM

•• **•** 21:38• • •

S84°12'40"E

FINISHED FIRST FLOOR TO BE A MUNICIPAL STATE ABOVE AVERAGE SIDEW

N84°15'00"W

#### **DRAWING NOTES**

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION **DESIGN LOADS** ICC 600-2018 DESIGN LOAD BASED ON WIND SPEED

EXPOSURE CATEGORY "B" I.R.C. - 2018 FLOOD ZONE PER SURVEY MINIMUM F.F.F. PER SURVEY

ZONE C N/A Ft. NGVD29



#### GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND

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OBSERVATION OF THE CONSTRUCTION CONTRACT

REPRESENTATIONS OF ALL CONDITIONS

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN

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INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION DESIGN LOADS ICC 600-2018 DESIGN LOAD BASED ON WIND SPEED V3S = 140 MPH EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

BLUFFTON - SOUTH CAROLINA

STRUCTURAL ENGINEER SEAL

34 TABBY SHELL ROAD

TOWN OF BLUFFTON

LOT# 18

I.R.C. - 2018 ZONE C

N/A Ft. NGVD29 MINIMUM F.F.F. PER SURVEY VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

DRIVEWAY AND SIDEWALK TO BE BROOM FINISHED CONCRETE WITH STANDARD

#### REQUIRED FILL DIRT

THIS SITE WILL REQUIRE FILL DIRT UNDER MAIN STRUCTURE TO BRING EXISTING GRADE UP TO ALLOW FOR DRAINAGE

#### FINAL ELEVATIONS

REFER TO CERTIFIED DRAINAGE PLAN FOR ALL FINAL FLOOR AND GRADING ELEVATION VERIFY WITH MASTER DRAWING SET PRIOR TO CONSTRUCTION

#### SITE DRAINAGE

VERIFY TREE REMOVAL WITH DRAINAGE PLAN

**DRIVEWAY** 

LOCATION MAP NOT TO SCALE

SEE DRAINAGE PLAN

FOR ADDITIONAL

**ELEVATION POINTS** 

SEE CERTIFIED DRAINAGE PLAN FOR ALL FINAL GRADING AND SITE DRAINAGE

#### **EXTERIOR SITE WORK**

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND IRRIGATION LAYOUTS

### SOIL BEARING

SOIL BEARING PRESSURE ASSUMED AT 2,500 P.S.F. OWNER OR CONTRACTOR ASSUMES ANY AND ALL RESPONSIBILITY FOR ANY AND ALL FOUNDATION SETTLEMENT AND HOLD THE DESIGN TEAM AND STRUCTURAL ENGINEER

### SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS. THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F. IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION

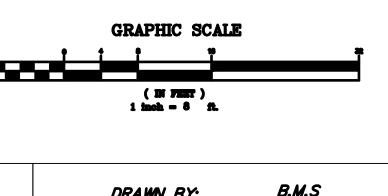
#### **GEO TECHNICAL**

SOIL TO BE TESTED BY A LICENSED SOUTH CAROLINA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

#### **FINISH ELEVATIONS**

NOTE THAT FINISHED ELEVATIONS DO NOT STATE FINISHED HEIGHT OF CONCRETE UNDER BRICK FINISHES

VERIFY BRICK TYPE AND SIZE PRIOR TO SETTING FINAL HEIGHT OF PORCHES PORTICOS PATIOS AND DRIVEWAYS



<u>' SQUARE SURVEYING</u> PROFESSIONAL LAND SURVEYORS

J□B No. **14-243TR** 

P.O. Drawer 330 139 Burnt Church Road Bluffton, S.C. 29910 tsquare@hargray.com Phone 843-757-2650 Fax 843-757-5758

FRONT COVERED PORCH

FINISHED FRONT COVERED PORCH FLOOR

24.50' M.S.L. — N.A.V.D. 88

(VERITY FINAL HEIGHT WITH OWNER SELECTED FINISH MATERIAL)

FIRST FLOOR

FINISHED FIRST FLOOR

**SERVICE YARD** FINISHED SERVICE YARD FLOOR

22.75' M.S.L. — N.A.V.D. 88 (verify final height with owner selected finish material)

SCREENED PORCH

FINISHED SCREENED PORCH FLOOR 24.50' M.S.L. — N.A.V.D. 88 (VERIFY FINAL HEIGHT WITH OWNER SELECTED FINISH MATERIAL)

<u>PATIO</u>

FINISHED PATIO FLOOR

GARAGE

FINISHED GARAGE FLOOR

22.75' M.S.L. — N.A.V.D. 88 (VERIFY FINAL HEIGHT WITH OWNER SELECTED FINISH MATERIAL)

24.75' M.S.L. — N.A.V.D. 88 (VERIFY FINAL HEIGHT WITH OWNER SELECTED FINISH MATERIAL)

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE,
INFORMATION & BELIEF, THE SURVEY SHOWN HEREON
WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF
THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE
OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS
OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY
AS SPECIFIED THEREIN LAND. AS SPECIFIED THEREIN. No.26960 2 WILLIAM J. SMITH, PLS # 26960

LOT 17 #32 TABBY SHELL RD.

EXISTING RAILROAD TIES

THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF

- BROOM FINISHED CONCRETE

DRIVEWAY TO BE EXTENDED TO

SEA ISLAND CONSTRUCTION GROUP A TREE & TOPOGRAPHIC SURVEY OF LOT 18 TABBY SHELL ROAD, A PORTION OF REEVES BROTHERS DEVELOPMENT SUBDIVISION, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA. DIST 614., MAP 37, PARCEL 358

<u>Notes:</u>
1. According To FEMA Flood Insurance Rate Map # 45013C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X, Minimum Required Elevation N/A Ft. NAVD88

 CURVE
 LENGTH
 RADIUS
 CHORD
 BEARING
 DELTA ANGLE

 C1
 8.47'
 25.00
 8.43
 N74\*30'02"W
 19\*25'17"

2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search. 3. This Survey Was Performed Without The Benefit Of A Wetland Delineation. 4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.
Reference Plat(s):
PLAT BOOK 112 AT PAGE 133

PARTY CHIEF: DATE: \_\_\_\_APRIL\_10, 2022 A.R.B. REVIEW

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02 - 14 SINGLE USE ONLY

• SITE PLAN SCALE: 1" = 10'-0" L - 100 - 1

■ CMS - CONCRETE MONUMENT SET CMF — CONCRETE MONUMENT FOUND

# - INDICATES STREET ADDRESS

TBM - TEMPORARY BENCH MARK

BSL - BUILDING SETBACK LINE

TELEPHONE PEDESTAL/

S – SANITARY SEWER MANHOLE

+ - SPOT ELEVATION SHOTS

— XFMER — TRANSFORMER

- IRRIGATION CONTROL VALVE

(SL) – SEWER LATERAL

— ELECTRIC BOX

- WATER LATERAL

C - FIRE HYDRANT

- GRATE INLET

O POWER POLE

💢 – LIGHT POLE

O.H.P.L. - OVER HEAD POWER LINE

D - STORM DRAIN MANHOLE

(F) - FIBEROPTICS MANHOLE

TREE LEGEND

WHIOK - WHITE OAK

ROK - RED OAK

HIC - HICKORY MPL - MAPLE

PLM - PALMETTO

SAS - SASSAFRAS DOG - DOGWOOD SB - SUGARBERRY

CHY - CHERRY HLY - HOLLY CDR - CEDAR RDB - RED BUD

> P - PINE G — GUM

B – BAY

PCAN - PECAN MAG - MAGNOLIA

LAOK - LAUREL OAK LOK - LIVE OAK WOK - WATER OAK

O IPS - IRON PIN SET

O IPF - IRON PIN FOUND

TABBY HOUSE 12.09.2024 SINGLE FAMILY RESIDENCE - NEW 34 TABBY SHELL ROAD LOT# 18 BLUFFTON — SOUTH CAROLINA

22 - 018

VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION THE GENERAL CONTRACTOR IS TO VERIFY TYPE AND SIZE OF FIRE PLACE ALL FIREPLACES SHOWN IN PLAN SET ARE SHOWN FOR REFERENCE ONLY

FLOOR OUTLETS

OWNER AND GENERAL CONTRACTOR TO VERIFY ALL OF THE FINAL LOCATIONS OF THE FLOOR OUTLETS PRIOR TO THE CONCRETE SLAB POUR

ATTIC ACCESS

THE GENERAL CONTRACTOR IS TO LOCATE WITH OWNER ALL ATTIC AND EVE ACCESS DURING FINAL FRAMING WALK THROUGH

**FOUNDATION HEIGHT** 

**EXTERIOR STEPS** 

FINAL C.M.U. HEIGHT FROM FOOTING IS SHOWN AS REFERENCE ONLY G.C. TO VERIFY WITH SITE ELEVATION POINTS FINAL NUMBER OF STEPS TO BE FIELD DETERMINED FINAL ELEVATIONS MAY VARY FROM DRAWINGS

COLUMNS

S.C. TO VERIFY WITH FLOOR PLANS EXTERIOR ELEVATIONS AND WALL DETAILS THE FINAL LOCATION OF THE COLUMN BASES FOR ALIGNMENT AND OR

WINDOW LOCATION

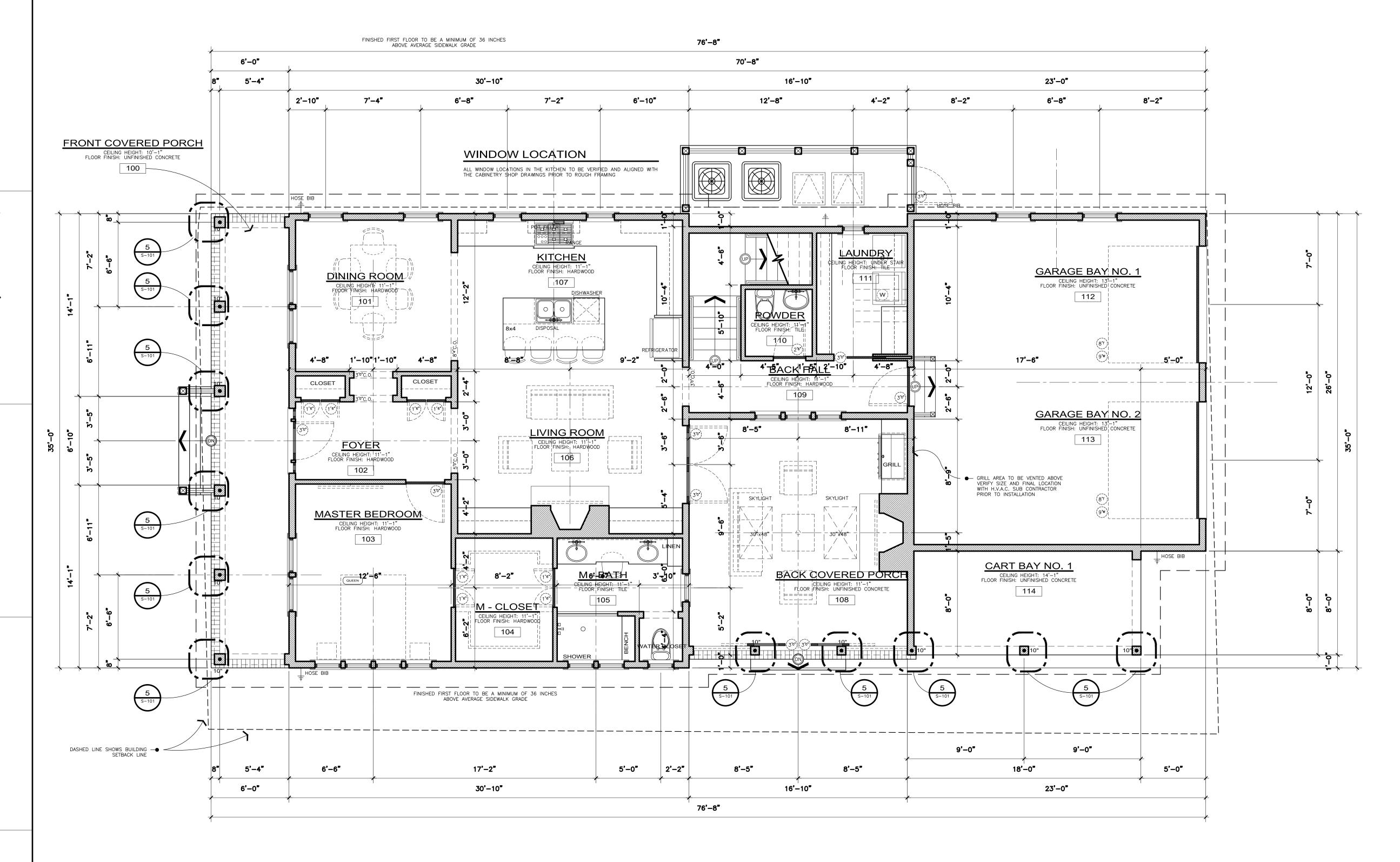
ALL WINDOW LOCATIONS IN THE KITCHEN TO BE VERIFIED AND ALIGNED WITH THE CABINETRY SHOP DRAWINGS PRIOR TO ROUGH FRAMING

SHOP DRAWINGS

EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS LAUNDRY ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

KITCHEN PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS

BATH ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS



**ATTACHMENT 4** 

**DRAWING NOTES** 

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

**DESIGN LOADS** ICC 600-2018 DESIGN LOAD BASED ON WIND SPEED EXPOSURE CATEGORY "B" I.R.C. - 2018 **ZONE C** FLOOD ZONE PER SURVEY N/A Ft. NGVD29 MINIMUM F.F.F. PER SURVEY

EXTERIOR WALLS

ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH  $2\times6$  STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

INTERIOR WALLS ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16  $\!\!\!^{"}$  O.C. UNLESS OTHERWISE SPECIFIED

FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "TJI" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

STRUCTURAL HARDWARE THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY EQUAL

HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS ETC.) TREATED WOOD FASTENERS

ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-85) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY

3,000 PSI TYPE CONCRETE FOOTING WITH (3)#5 CONTINUOUS BARS & #5 TIES @48" O.C - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS CMU WALLS

8" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS CMU PIERS

12"x 12" C.M.U. PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS 16"x 16" C.M.U. PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

BRICK VENEER BRICK VENEER ATTACH PER MANUFACTURES A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES — UNLESS OTHERWISE SPECIFIED — VERIFY WITH WALL DETAILS

CONCRETE LINTELS 8" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS CONCRETE SLABS

4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMITE TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB — UNLESS OTHERWISE SPECIFIED — VERIFY WITH WALL DETAILS CEILING HEIGHTS

ALL FIRST FLOOR CEILING HEIGHTS ARE: SECOND FLOOR CEILING HEIGHTS ARE: VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE

FIRST FLOOR CASED OPENINGS ALL FIRST FLOOR CASED OPENINGS ARE:

8'-0" 6'-8"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED — SEE FLOOR PLANS FOR ALL DROP BEAM HEIGHTS WINDOW - HEAD HEIGHTS

ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE: SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

ALL TRANSOM WINDOWS WILL BE SET ABOVE. VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

**INTERIOR DOORS - HEAD HEIGHTS** ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE: SECOND FLOOR DOOR HEADER HEIGHTS ARE:

6'-8" VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE

L HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IEC

HVAC

SECTION 403.2 ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

FRAMING PLAN

FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA STRUCTURAL ENGINEER AND REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION

SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F. IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION **GEO TECHNICAL** 

SOIL TO BE TESTED BY A LICENSED GEORGIA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

**EXTERIOR SITE WORK** SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND

> BRICK - STONE ALL BRICK OR STONE FINISH IS TO BE ATTACHED PER MANUFACTURES REQUIREMENTS SEE SPECIFICATION PRIOR TO ANY INSTALLATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR CONSTRUCTION

WINDOWS AND DOORS VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

TIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR CONSTRUCTION

INTERIOR FINISHES SEE THE INTERIOR DESIGN DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE

REPRESENTATIONS OF ALL CONDITIONS FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

**DESIGN LOADS** ICC 600-2018 DESIGN LOAD BASED ON WIND SPEED V3S = 140 MPH EXPOSURE CATEGORY "B"

I.R.C. - 2018 ZONE C FLOOD ZONE PER SURVEY N/A Ft. NGVD29 MINIMUM F.F.F. PER SURVEY

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY

TABBY HOUSE

34 TABBY SHELL ROAD LOT# 18 BLUFFTON - SOUTH CAROLINA TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



A.R.B. REVIEW

THE ARCHITECTURAL WORKS DEPICTED HEREIN ARE THE SOLE PROPERTY OF SAWYER DESIGN STUDIO, L.L.C. AND MAY NOT BE CONSTRUCTED OR USED WITHOUT SAWYER DESIGN STUDIO, L.L.C. WRITTEN PERMISSION. NO PERMISSION TO MODIFY OR REPRODUCE ANY OF THESE ARCHITECTURAL WORKS, INCLUDING WITHOUT LIMITATION THE CONSTRUCTION OF ANY BUILDING, IS EXPRESSED OR SHOULD BE IMPLIED FROM DELIVERED OR PRELIMINARY DRAWINGS OR UNSEALED CONSTRUCTION DRAWINGS. PERMISSION TO CONSTRUCT THE BUILDING DEPICTED IN SEALED CONSTRUCTION DRAWINGS IS EXPRESSLY CONDITIONED ON THE FULL AND TIMELY PAYMENT OF ALL FEES OTHERWISE DUE TO SAWYER DESIGN STUDIO, L.L.C. AND, IN THE ABSENCE OF ANY WRITTEN AGREEMENT TO THE CONTRARY, IS LIMITED TO A ONE—TIME USE ON THE SITE INDICATED ON THESE PLANS. ANY REPRODUCTION, REUSE, OR MODIFICATION OF THESE PLANS OR THE ARCHITECTURAL WORK DEPICTED IS PROHIBITED.

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VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION THE GENERAL CONTRACTOR IS TO VERIFY TYPE AND SIZE OF FIRE PLACE ALL FIREPLACES SHOWN IN PLAN SET ARE SHOWN FOR REFERENCE ONLY

ATTIC ACCESS FLOOR OUTLETS

OWNER AND GENERAL CONTRACTOR TO VERIFY ALL OF THE FINAL LOCATIONS OF THE FLOOR OUTLETS PRIOR TO THE CONCRETE SLAB POUR

THE GENERAL CONTRACTOR IS TO LOCATE WITH OWNER ALL ATTIC AND EVE ACCESS DURING FINAL FRAMING WALK THROUGH

**FOUNDATION HEIGHT** 

FINAL C.M.U. HEIGHT FROM FOOTING IS SHOWN AS REFERENCE ONLY G.C. TO VERIFY WITH SITE ELEVATION POINTS

**EXTERIOR STEPS** 

SHOP DRAWINGS

FINAL NUMBER OF STEPS TO BE FIELD DETERMINED FINAL ELEVATIONS MAY VARY FROM DRAWINGS

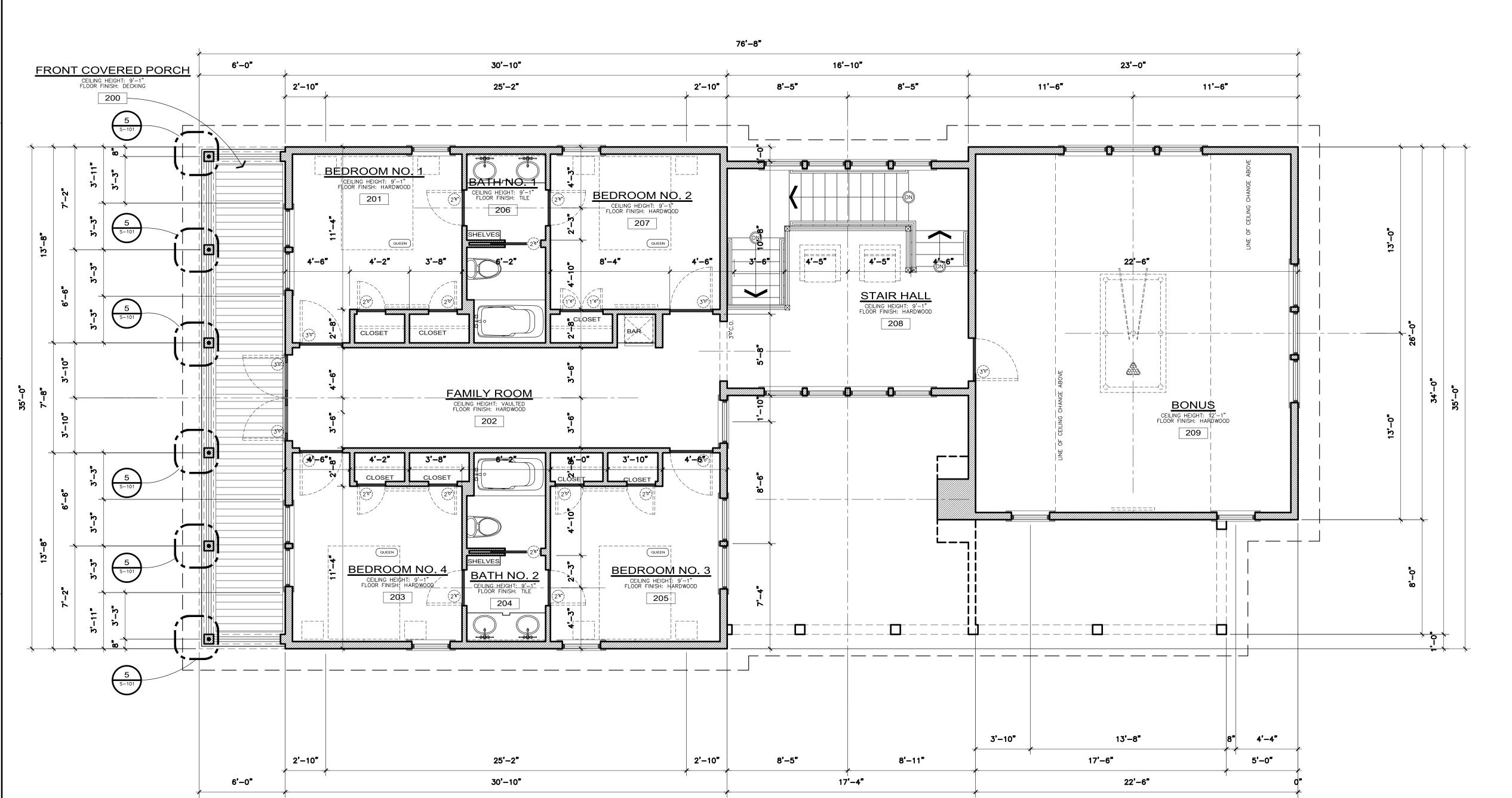
COLUMNS

G.C. TO VERIFY WITH FLOOR PLANS EXTERIOR ELEVATIONS AND WALL DETAILS

KITCHEN PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS THE FINAL LOCATION OF THE COLUMN BASES FOR ALIGNMENT AND OR LAUNDRY ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS

> BATH ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS

WINDOW LOCATION ALL WINDOW LOCATIONS IN THE KITCHEN TO BE VERIFIED AND ALIGNED WITH THE CABINETRY SHOP DRAWINGS PRIOR TO ROUGH FRAMING



76**'**–8**"** 

**ATTACHMENT 4** 

#### **DRAWING NOTES**

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY

STRUCTURAL INFORMATION SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

**DESIGN LOADS** ICC 600-2018 DESIGN LOAD BASED ON WIND SPEED

EXPOSURE CATEGORY "B" I.R.C. - 2018 **ZONE C** FLOOD ZONE PER SURVEY N/A Ft. NGVD29 MINIMUM F.F.F. PER SURVEY

EXTERIOR WALLS

ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

INTERIOR WALLS ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16  $\!\!\!^{"}$  O.C. UNLESS OTHERWISE SPECIFIED

FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "TJI" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

STRUCTURAL HARDWARE THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS ETC.)

TREATED WOOD FASTENERS ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-85) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY

3,000 PSI TYPE CONCRETE FOOTING WITH (3)#5 CONTINUOUS BARS & #5 TIES @48" O.C - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU WALLS 8" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU PIERS 12"x 12" C.M.U. PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS 16"x 16" C.M.U. PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

BRICK VENEER BRICK VENEER ATTACH PER MANUFACTURES A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES — UNLESS OTHERWISE SPECIFIED — VERIFY WITH WALL DETAILS

CONCRETE LINTELS 8" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE SLABS 4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMITE TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB — UNLESS OTHERWISE SPECIFIED — VERIFY WITH WALL DETAILS CEILING HEIGHTS

ALL FIRST FLOOR CEILING HEIGHTS ARE: SECOND FLOOR CEILING HEIGHTS ARE: VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE

FIRST FLOOR CASED OPENINGS ALL FIRST FLOOR CASED OPENINGS ARE:

8'-0" 6'-8"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED — SEE FLOOR PLANS FOR ALL DROP BEAM HEIGHTS

WINDOW - HEAD HEIGHTS ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE: SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

ALL TRANSOM WINDOWS WILL BE SET ABOVE. VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

INTERIOR DOORS - HEAD HEIGHTS ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:

6'-8" SECOND FLOOR DOOR HEADER HEIGHTS ARE: VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE

HVAC LL HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IEC

SECTION 403.2 ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

FRAMING PLAN

FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA STRUCTURAL ENGINEER AND REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION

SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F. IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION **GEO TECHNICAL** 

SOIL TO BE TESTED BY A LICENSED GEORGIA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

**EXTERIOR SITE WORK** SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND

> BRICK - STONE ALL BRICK OR STONE FINISH IS TO BE ATTACHED PER MANUFACTURES REQUIREMENTS SEE SPECIFICATION PRIOR TO ANY INSTALLATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR CONSTRUCTION

WINDOWS AND DOORS VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

TIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR CONSTRUCTION

INTERIOR FINISHES SEE THE INTERIOR DESIGN DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

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GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS—BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS—BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS ICC 600-2018 DESIGN LOAD BASED ON WIND SPEED V3S = 140 MPH EXPOSURE CATEGORY "B"

I.R.C. - 2018 ZONE C FLOOD ZONE PER SURVEY N/A Ft. NGVD29 MINIMUM F.F.F. PER SURVEY

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY

TABBY HOUSE

34 TABBY SHELL ROAD LOT# 18 BLUFFTON - SOUTH CAROLINA TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



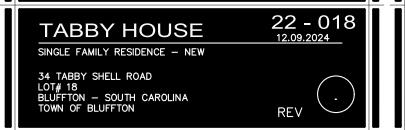
SECOND FLOOR PLAN

A.R.B. REVIEW

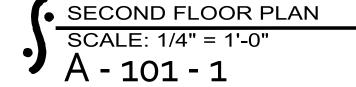
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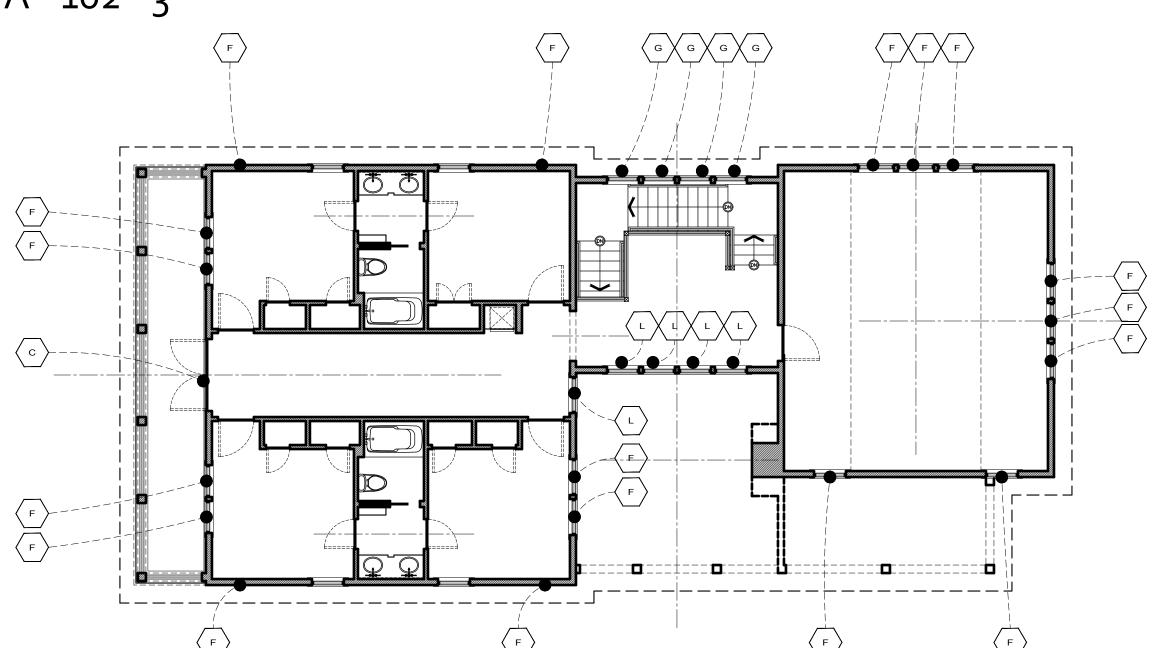
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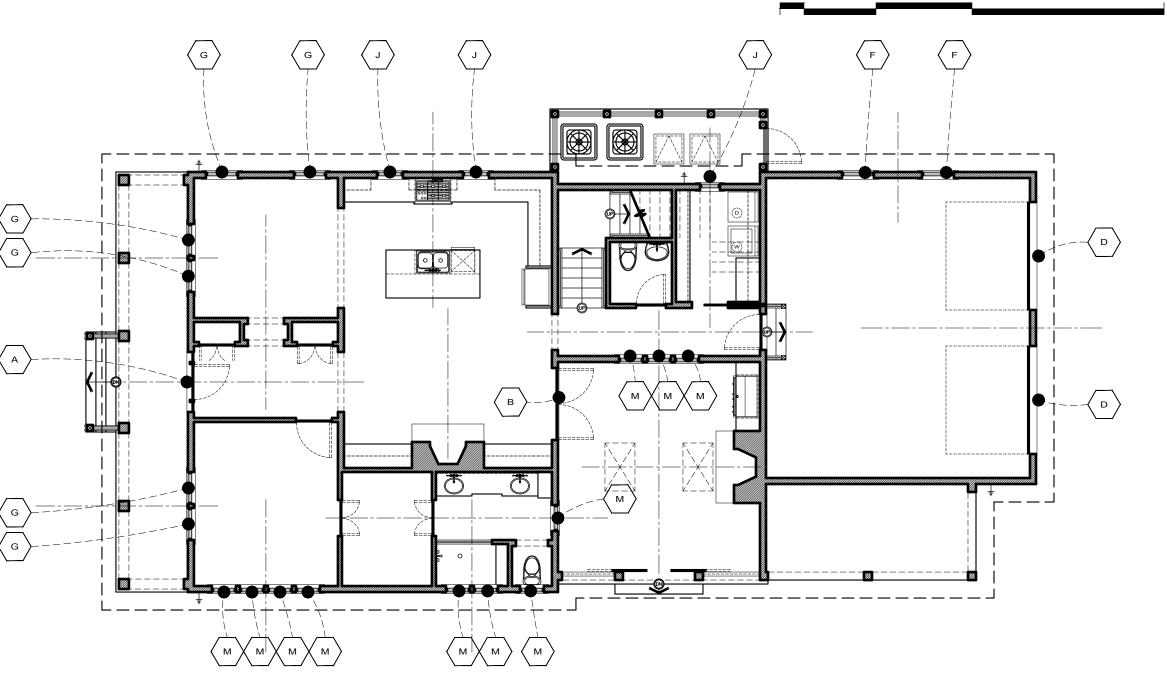




SECOND FLOOR - WINDOW AND DOOR NOTES

SCALE: 1/8" = 1'-0"

A - 102 - 2



• FIRST FLOOR - WINDOW AND DOOR NOTES SCALE: 1/8" = 1'-0"

A - 102 - 1

**DRAWING NOTES** 

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION ICC 600-2018 DESIGN LOAD BASED ON WIND SPEED

EXPOSURE CATEGORY "B" I.R.C. - 2018 **ZONE C** FLOOD ZONE PER SURVEY N/A Ft. NGVD29 MINIMUM F.F.F. PER SURVEY

ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x6 STUDS 16" O.C. UNLESS OTHERWISE SPECIFIED

ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH  $2x4\ \text{STUDS}\ 16\text{"}\ \text{O.C.}$  UNLESS OTHERWISE SPECIFIED

FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "TJI" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

STRUCTURAL HARDWARE THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS ETC.)

ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-85) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY

3,000 PSI TYPE CONCRETE FOOTING WITH (3)#5 CONTINUOS BARS & #5 TIES @48" O.C - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS 12"x 12" C.M.U. PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS

16"x 16" C.M.U. PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

BRICK VENEER ATTACH PER MANUFACTURES A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES — UNLESS OTHERWISE SPECIFIED — VERIFY WITH WALL DETAILS CONCRETE LINTELS

8" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

VAPOR BARRIER ON CLEAN COMPACTED TERMITE TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB — ALL FIRST FLOOR CEILING HEIGHTS ARE

SECOND FLOOR CEILING HEIGHTS ARE: VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE

9'-0" VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED — SEE FLOOR PLANS FOR ALL DROP BEAM HEIGHTS

ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE: SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

ALL TRANSOM WINDOWS WILL BE SET ABOVE. VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

INTERIOR DOORS - HEAD HEIGHTS ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE:

SECOND FLOOR DOOR HEADER HEIGHTS ARE: VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE

L HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IEC SECTION 403.2 ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA

SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS.

THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F. IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION PLAN WILL BE REQUIRED.

**GEO TECHNICAL** 

SOIL TO BE TESTED BY A LICENSED GEORGIA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY

ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

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> ALL BRICK OR STONE FINISH IS TO BE ATTACHED PER MANUFACTURES REQUIREMENTS SEE SPECIFICATION PRIOR TO ANY INSTALLATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

WINDOWS AND DOORS VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

INTERIOR FINISHES SEE THE INTERIOR DESIGN DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

SECOND FLOOR PLAN

A.R.B. REVIEW

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GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN

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GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK.

EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND

DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT"

INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY

ICC 600-2018

N/A Ft. NGVD29

I.R.C. - 2018

ZONE C

THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND

OBSERVATION OF THE CONSTRUCTION CONTRACT

OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

REPRESENTATIONS OF ALL CONDITIONS

STRUCTURAL INFORMATION

DESIGN LOAD BASED ON WIND SPEED V3S = 140 MPH

TABBY HOUSE

34 TABBY SHELL ROAD

TOWN OF BLUFFTON

BLUFFTON - SOUTH CAROLINA

STRUCTURAL ENGINEER SEAL

LOT# 18

**DESIGN LOADS** 

EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY

CONSTRUCTION.

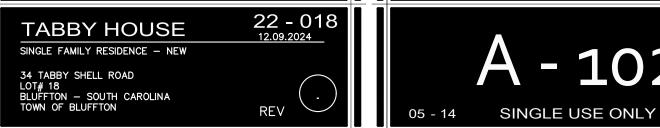
6'-8"

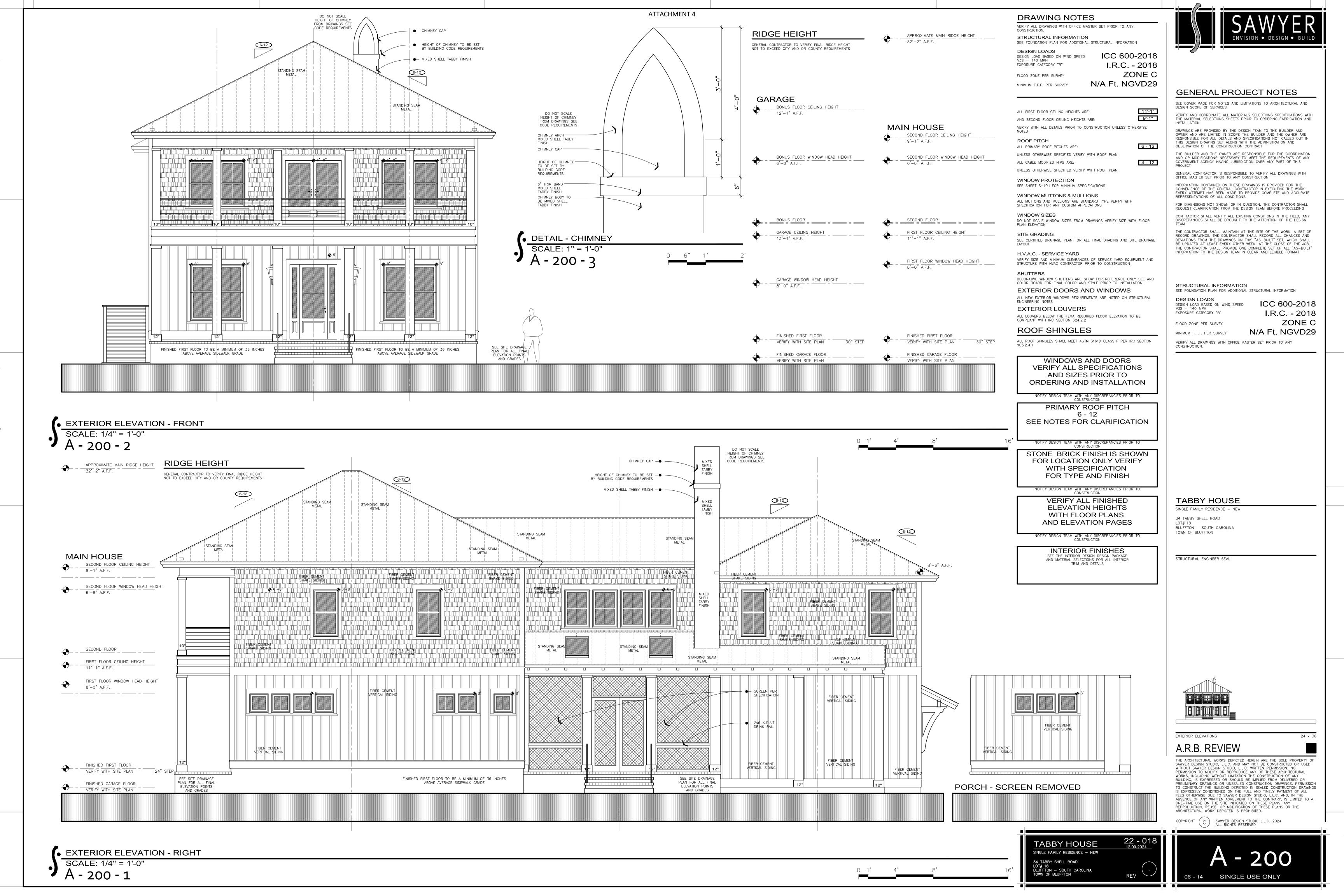
6'-8"

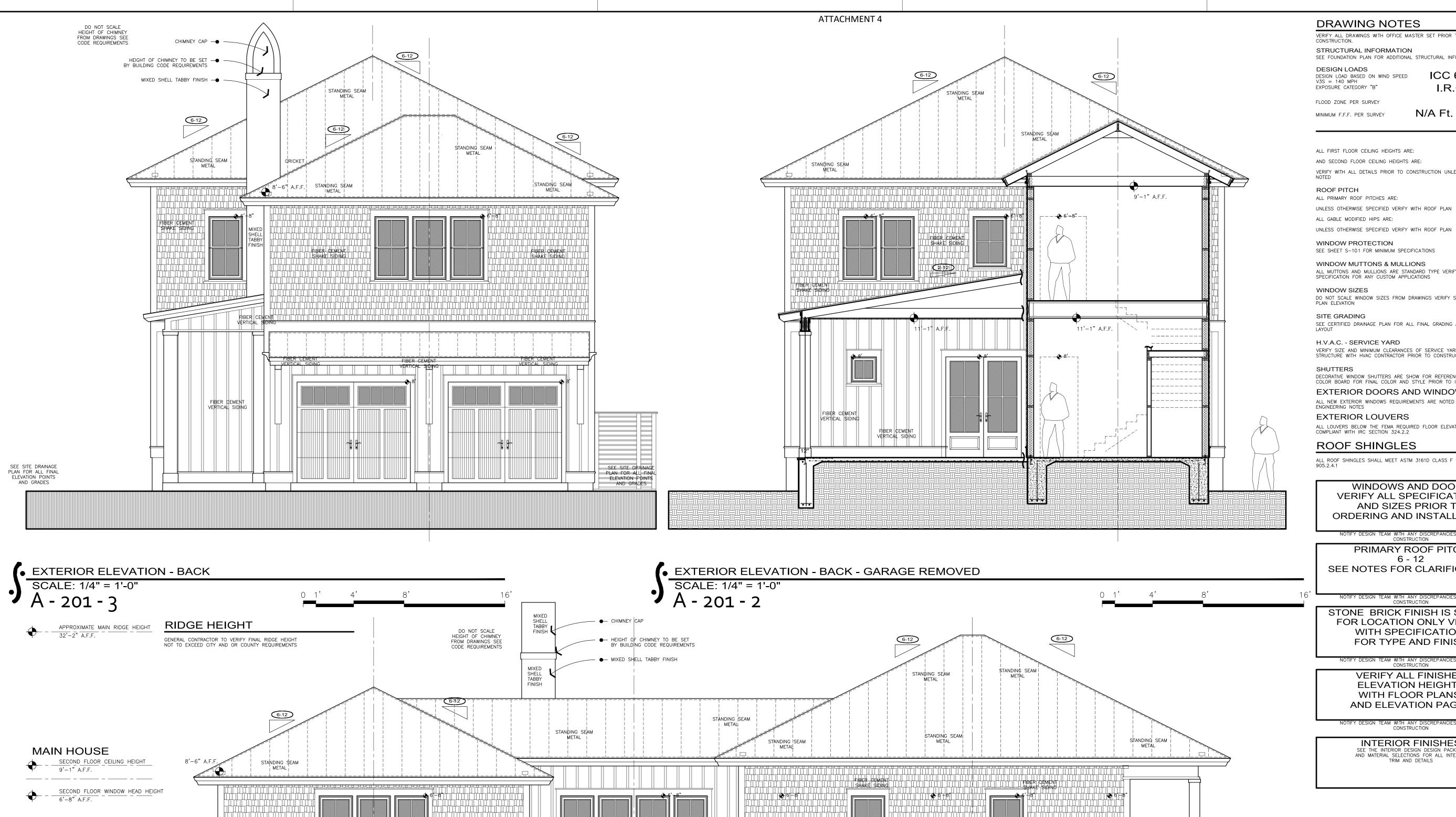
MINIMUM F.F.F. PER SURVEY

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ARCHITECTURAL WORK DEPICTED IS PROHIBITED.







FIBER CEMENT VERTICAL SIDING

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FIBER CEMENT VERTICAL SIDING

PLAN FOR ALL FINAL ELEVATION POINTS AND GRADES

FINISHED FIRST FLOOR TO BE A MINIMUM OF 36 INCHES ABOVE AVERAGE SIDEWALK GRADE

SEE SITE DRAINAGE PLAN FOR ALL FINAL ELEVATION POINTS AND GRADES

**DRAWING NOTES** 

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION **DESIGN LOADS** 

ICC 600-2018 DESIGN LOAD BASED ON WIND SPEED EXPOSURE CATEGORY "B" FLOOD ZONE PER SURVEY

I.R.C. - 2018 ZONE C N/A Ft. NGVD29 MINIMUM F.F.F. PER SURVEY

ALL FIRST FLOOR CEILING HEIGHTS ARE: 9'-1" AND SECOND FLOOR CEILING HEIGHTS ARE: VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE

ALL PRIMARY ROOF PITCHES ARE: UNLESS OTHERWISE SPECIFIED VERIFY WITH ROOF PLAN ALL GABLE MODIFIED HIPS ARE:

WINDOW PROTECTION SEE SHEET S-101 FOR MINIMUM SPECIFICATIONS

WINDOW MUTTONS & MULLIONS ALL MUTTONS AND MULLIONS ARE STANDARD TYPE VERIFY WITH SPECIFICATION FOR ANY CUSTOM APPLICATIONS

WINDOW SIZES DO NOT SCALE WINDOW SIZES FROM DRAWINGS VERIFY SIZE WITH FLOOR PLAN ELEVATION

SITE GRADING SEE CERTIFIED DRAINAGE PLAN FOR ALL FINAL GRADING AND SITE DRAINAGE

H.V.A.C. - SERVICE YARD VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH HVAC CONTRACTOR PRIOR TO CONSTRUCTION

DECORATIVE WINDOW SHUTTERS ARE SHOW FOR REFERENCE ONLY SEE ARB COLOR BOARD FOR FINAL COLOR AND STYLE PRIOR TO INSTALLATION EXTERIOR DOORS AND WINDOWS ALL NEW EXTERIOR WINDOWS REQUIREMENTS ARE NOTED ON STRUCTURAL

EXTERIOR LOUVERS ALL LOUVERS BELOW THE FEMA REQUIRED FLOOR ELEVATION TO BE COMPLIANT WITH IRC SECTION 324.2.2

ROOF SHINGLES

ALL ROOF SHINGLES SHALL MEET ASTM 3161D CLASS F PER IRC SECTION

WINDOWS AND DOORS VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

OTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR CONSTRUCTION

PRIMARY ROOF PITCH 6 - 12 SEE NOTES FOR CLARIFICATION

STONE BRICK FINISH IS SHOWN FOR LOCATION ONLY VERIFY WITH SPECIFICATION FOR TYPE AND FINISH

NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR CONSTRUCTION

VERIFY ALL FINISHED **ELEVATION HEIGHTS** WITH FLOOR PLANS AND ELEVATION PAGES

**INTERIOR FINISHES** AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS



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STRUCTURAL INFORMATION SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

**DESIGN LOADS** ICC 600-2018 DESIGN LOAD BASED ON WIND SPEED V3S = 140 MPH EXPOSURE CATEGORY "B"

I.R.C. - 2018 ZONE C FLOOD ZONE PER SURVEY N/A Ft. NGVD29

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD LOT# 18 BLUFFTON - SOUTH CAROLINA TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



EXTERIOR ELEVATIONS

A.R.B. REVIEW

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22 - 018 12.09.2024 **TABBY HOUSE** SINGLE FAMILY RESIDENCE - NEW 34 TABBY SHELL ROAD LOT# 18 BLUFFTON — SOUTH CAROLINA TOWN OF BLUFFTON

07 - 14 SINGLE USE ONLY

• EXTERIOR ELEVATION - LEFT SCALE: 1/4" = 1'-0" A - 201 - 1

SECOND FLOOR

FINISHED FIRST FLOOR

FINISHED GARAGE FLOOR VERIFY WITH SITE PLAN

VERIFY WITH SITE PLAN 30" STEP

11'-1" A.F.F.

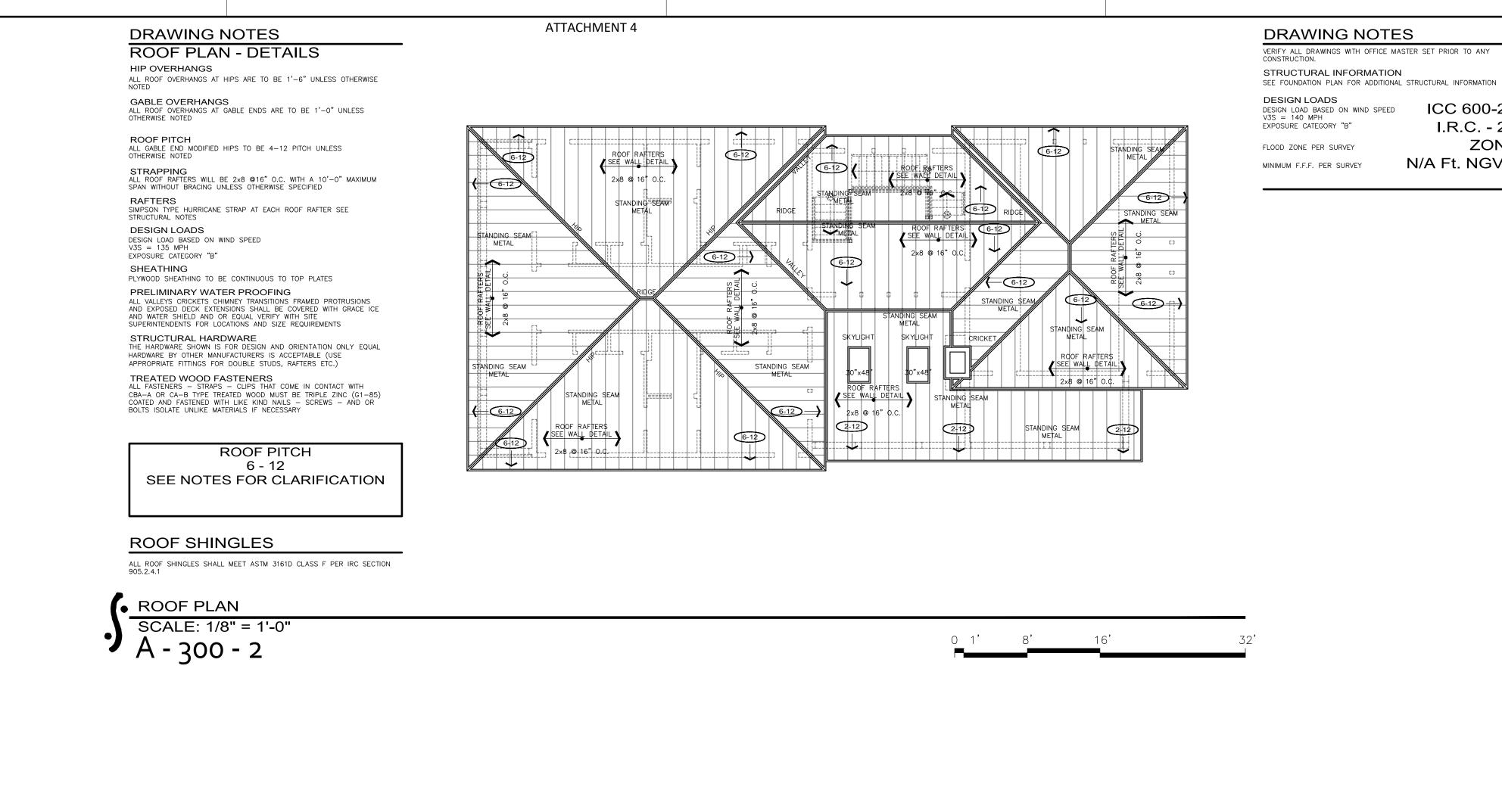
8'-0" A.F.F.

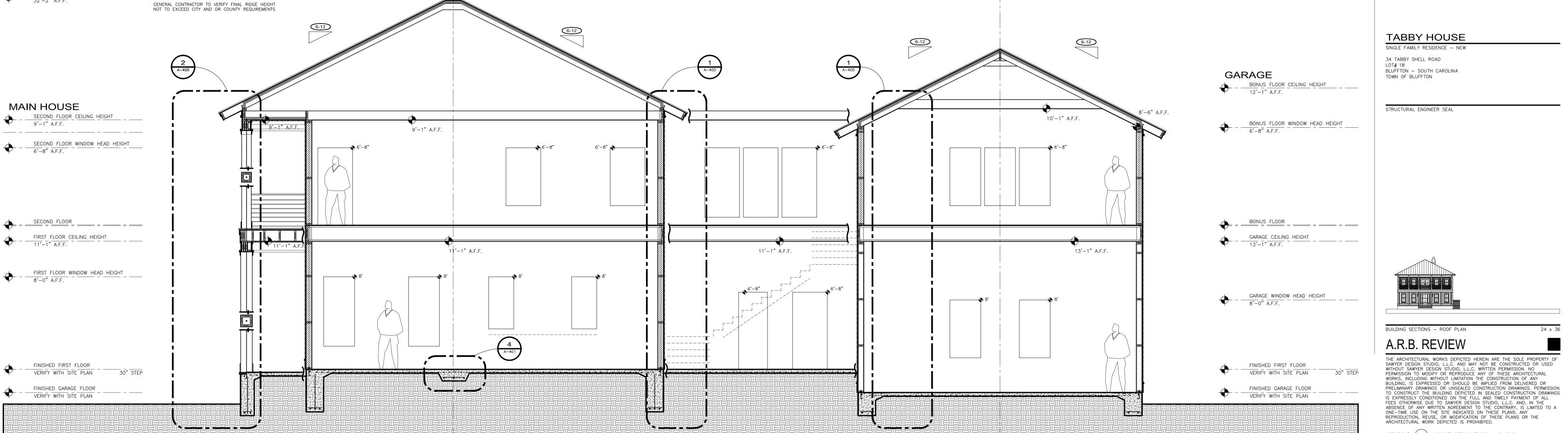
FIRST FLOOR CEILING HEIGHT

FIRST FLOOR WINDOW HEAD HEIGHT

LL SHAKE SIDING L

FIBER CEMENT VERTICAL SIDING





GENERAL PROJECT NOTES

ICC 600-2018

N/A Ft. NGVD29

I.R.C. - 2018

ZONE C

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND

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STRUCTURAL INFORMATION SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

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ZONE C N/A Ft. NGVD29 MINIMUM F.F.F. PER SURVEY

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

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22 - 018 12.09.2024

SCALE: 1/4" = 1'-0" • A - 300 - 3

• BUILDING SECTION - MAIN HOUSE

MAIN HOUSE

APPROXIMATE MAIN RIDGE HEIGHT

32'-2" A.F.F.

RIDGE HEIGHT

BUILDING SECTION - GARAGE

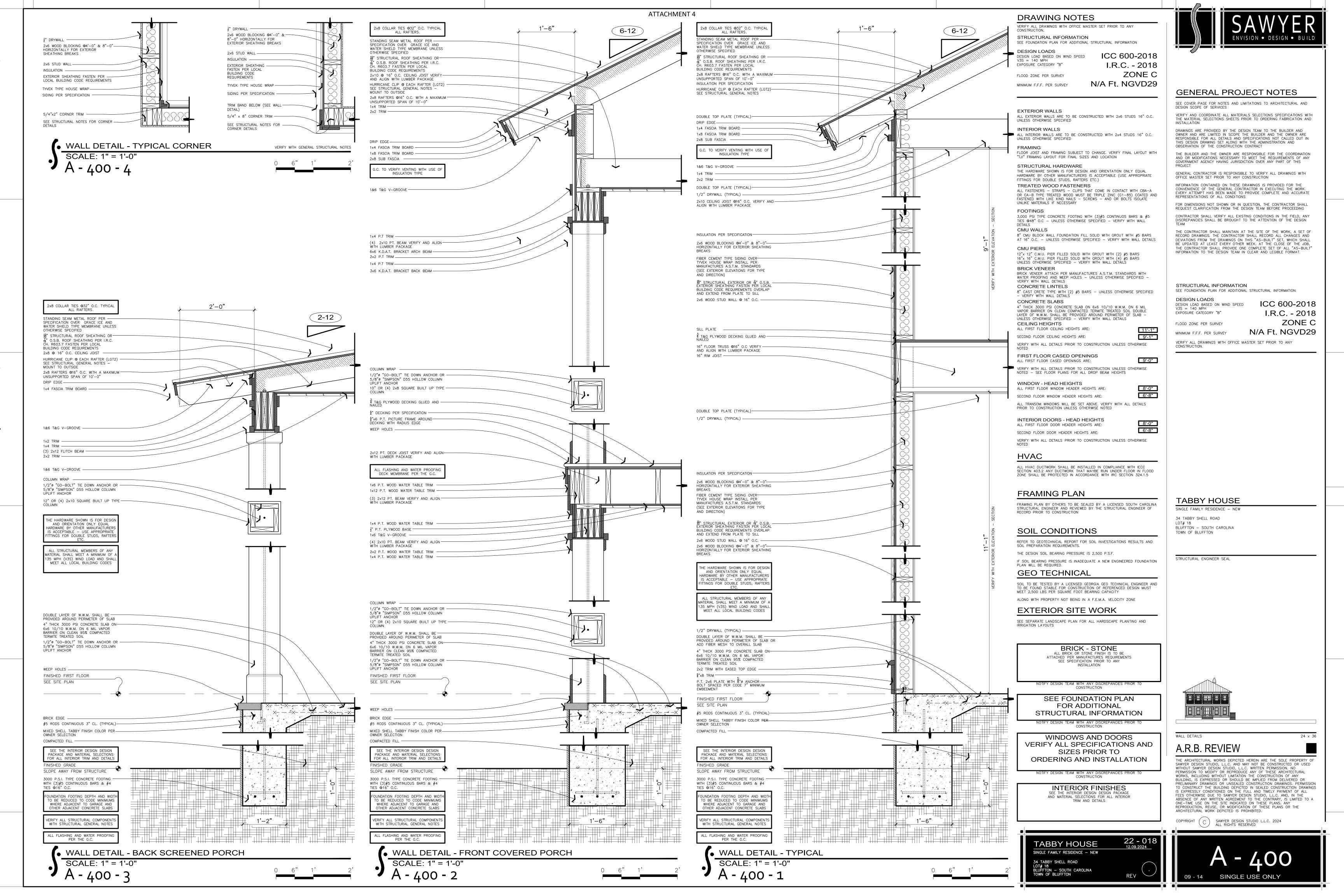
SCALE: 1/4" = 1'-0"

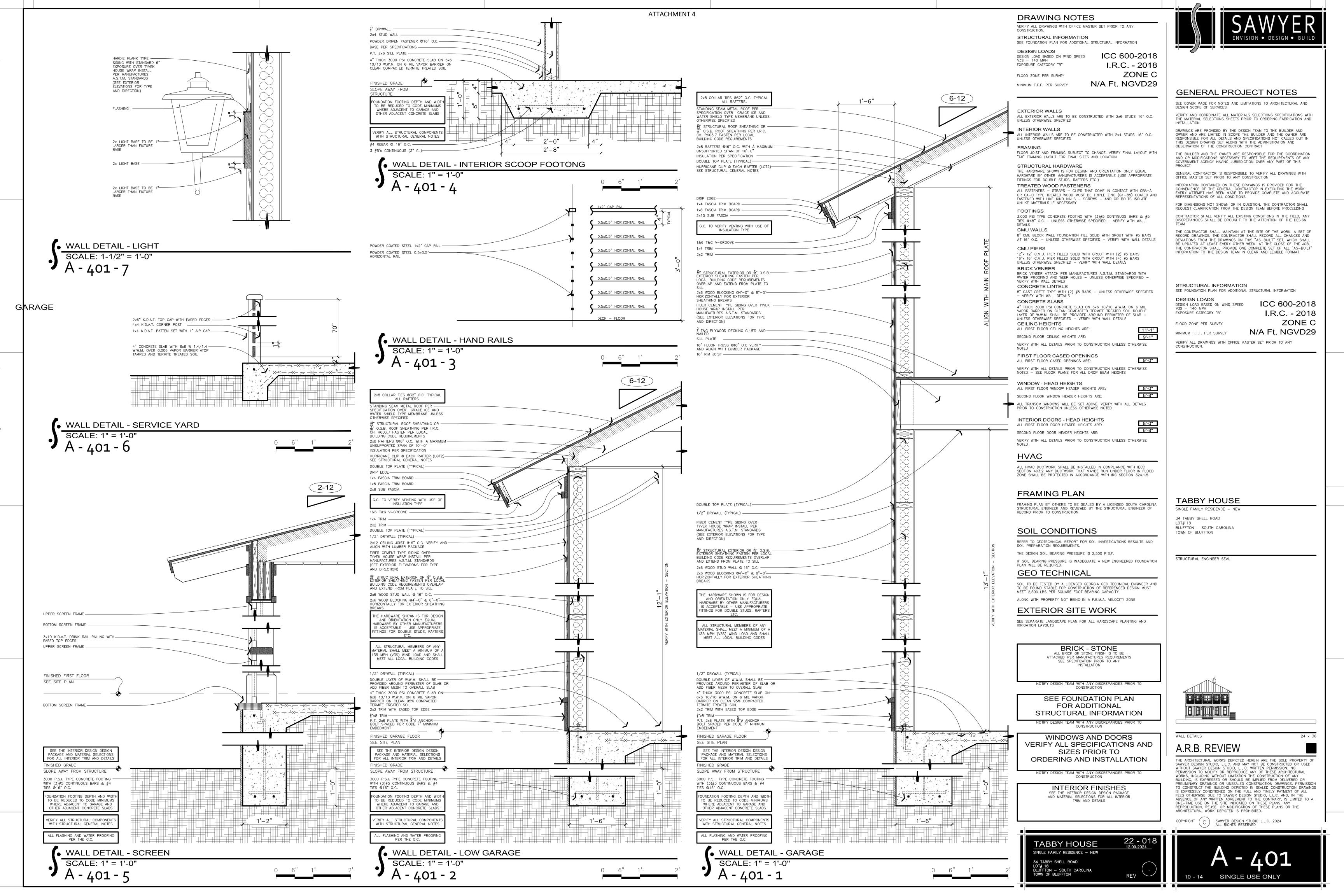
A - 300 - 1

**TABBY HOUSE** 

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD LOT# 18 BLUFFTON — SOUTH CAROLINA TOWN OF BLUFFTON





SERVICE YARD VERIFY SIZE AND MINIMUM CLEARANCES OF SERVICE YARD EQUIPMENT AND STRUCTURE WITH H.V.A.C. CONTRACTOR PRIOR TO CONSTRUCTION

THE GENERAL CONTRACTOR IS TO VERIFY TYPE AND SIZE OF FIRE PLACE ALL FIREPLACES SHOWN IN PLAN SET ARE SHOWN FOR REFERENCE ONLY

FLOOR OUTLETS

OWNER AND GENERAL CONTRACTOR TO VERIFY ALL OF THE FINAL LOCATIONS THE GENERAL CONTRACTOR IS TO LOCATE WITH OWNER ALL ATTIC AND EVE ACCESS DURING FINAL FRAMING WALK THROUGH OF THE FLOOR OUTLETS PRIOR TO THE CONCRETE SLAB POUR

**FOUNDATION HEIGHT** 

FINAL C.M.U. HEIGHT FROM FOOTING IS SHOWN AS REFERENCE ONLY G.C. TO VERIFY WITH SITE ELEVATION POINTS

EXTERIOR STEPS

SHOP DRAWINGS

ATTIC ACCESS

FINAL NUMBER OF STEPS TO BE FIELD DETERMINED FINAL ELEVATIONS MAY VARY FROM DRAWINGS

COLUMNS

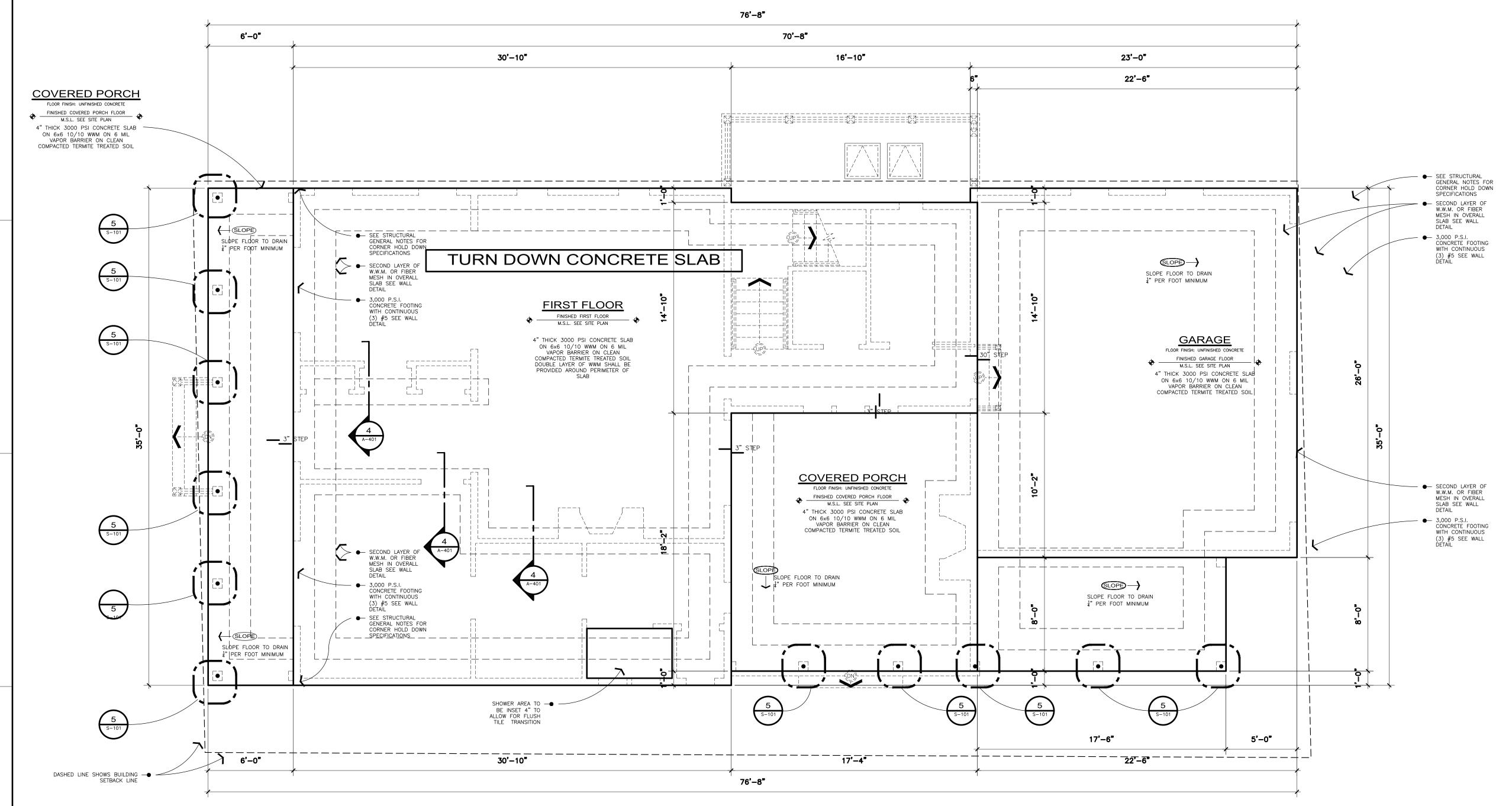
S.C. TO VERIFY WITH FLOOR PLANS EXTERIOR ELEVATIONS AND WALL DETAILS THE FINAL LOCATION OF THE COLUMN BASES FOR ALIGNMENT AND OR

WINDOW LOCATION ALL WINDOW LOCATIONS IN THE KITCHEN TO BE VERIFIED AND ALIGNED WITH THE CABINETRY SHOP DRAWINGS PRIOR TO ROUGH FRAMING

KITCHEN PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS

EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS LAUNDRY ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS

BATH ROOM PLANS ARE SHOWN FOR REFERENCE ONLY. VERIFY ALL DIMENSIONS EQUIPMENT AND FINISHES WITH CABINETRY SHOP DRAWINGS AND SPECIFICATIONS



**ATTACHMENT 4** 

**DRAWING NOTES** 

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY

STRUCTURAL INFORMATION SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

**DESIGN LOADS** ICC 600-2018 DESIGN LOAD BASED ON WIND SPEED EXPOSURE CATEGORY "B" I.R.C. - 2018

**ZONE C** FLOOD ZONE PER SURVEY N/A Ft. NGVD29 MINIMUM F.F.F. PER SURVEY

EXTERIOR WALLS

ALL EXTERIOR WALLS ARE TO BE CONSTRUCTED WITH  $2x6\ \text{STUDS}\ 16\text{"}$  O.C. UNLESS OTHERWISE SPECIFIED

INTERIOR WALLS ALL INTERIOR WALLS ARE TO BE CONSTRUCTED WITH 2x4 STUDS 16  $\!\!\!^{"}$  O.C. UNLESS OTHERWISE SPECIFIED

FLOOR JOIST AND FRAMING SUBJECT TO CHANGE. VERIFY FINAL LAYOUT WITH "TJI" FRAMING LAYOUT FOR FINAL SIZES AND LOCATION

STRUCTURAL HARDWARE THE HARDWARE SHOWN IS FOR DESIGN AND ORIENTATION ONLY EQUAL HARDWARE BY OTHER MANUFACTURERS IS ACCEPTABLE (USE APPROPRIATE FITTINGS FOR DOUBLE STUDS, RAFTERS ETC.)

TREATED WOOD FASTENERS ALL FASTENERS - STRAPS - CLIPS THAT COME IN CONTACT WITH CBA-A OR CA-B TYPE TREATED WOOD MUST BE TRIPLE ZINC (G1-85) COATED AND FASTENED WITH LIKE KIND NAILS - SCREWS - AND OR BOLTS ISOLATE UNLIKE MATERIALS IF NECESSARY

**FOOTINGS** 3,000 PSI TYPE CONCRETE FOOTING WITH (3)#5 CONTINUOS BARS & #5 TIES @48" O.C - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU WALLS 8" CMU BLOCK WALL FOUNDATION FILL SOLID WITH GROUT WITH #5 BARS AT 16" O.C. - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CMU PIERS 12"x 12" C.M.U. PIER FILLED SOLID WITH GROUT WITH (2) #5 BARS 16"x 16" C.M.U. PIER FILLED SOLID WITH GROUT WITH (4) #5 BARS UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

**BRICK VENEER** BRICK VENEER ATTACH PER MANUFACTURES A.S.T.M. STANDARDS WITH WATER PROOFING AND WEEP HOLES — UNLESS OTHERWISE SPECIFIED — VERIFY WITH WALL DETAILS

CONCRETE LINTELS 8" CAST CRETE TYPE WITH (2) #5 BARS - UNLESS OTHERWISE SPECIFIED - VERIFY WITH WALL DETAILS

CONCRETE SLABS 4" THICK 3000 PSI CONCRETE SLAB ON 6x6 10/10 W.W.M. ON 6 MIL VAPOR BARRIER ON CLEAN COMPACTED TERMITE TREATED SOIL DOUBLE LAYER OF W.W.M. SHALL BE PROVIDED AROUND PERIMETER OF SLAB — CEILING HEIGHTS

SECOND FLOOR CEILING HEIGHTS ARE: VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE

FIRST FLOOR CASED OPENINGS ALL FIRST FLOOR CASED OPENINGS ARE:

6'-8"

6'-8"

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED — SEE FLOOR PLANS FOR ALL DROP BEAM HEIGHTS WINDOW - HEAD HEIGHTS

ALL FIRST FLOOR WINDOW HEADER HEIGHTS ARE: SECOND FLOOR WINDOW HEADER HEIGHTS ARE:

ALL FIRST FLOOR CEILING HEIGHTS ARE

ALL TRANSOM WINDOWS WILL BE SET ABOVE. VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE NOTED

INTERIOR DOORS - HEAD HEIGHTS ALL FIRST FLOOR DOOR HEADER HEIGHTS ARE: SECOND FLOOR DOOR HEADER HEIGHTS ARE:

VERIFY WITH ALL DETAILS PRIOR TO CONSTRUCTION UNLESS OTHERWISE

LL HVAC DUCTWORK SHALL BE INSTALLED IN COMPLIANCE WITH IEC

HVAC

SECTION 403.2 ANY DUCTWORK THAT MAYBE RUN UNDER FLOOR IN FLOOD ZONE SHALL BE PROTECTED IN ACCORDANCE WITH IRC SECTION 324.1.5

FRAMING PLAN

FRAMING PLAN BY OTHERS TO BE SEALED BY A LICENSED SOUTH CAROLINA STRUCTURAL ENGINEER AND REVIEWED BY THE STRUCTURAL ENGINEER OF RECORD PRIOR TO CONSTRUCTION

SOIL CONDITIONS

REFER TO GEOTECHNICAL REPORT FOR SOIL INVESTIGATIONS RESULTS AND SOIL PREPARATION REQUIREMENTS. THE DESIGN SOIL BEARING PRESSURE IS 2,500 P.S.F.

IF SOIL BEARING PRESSURE IS INADEQUATE A NEW ENGINEERED FOUNDATION

**GEO TECHNICAL** 

SOIL TO BE TESTED BY A LICENSED GEORGIA GEO TECHNICAL ENGINEER AND TO BE FOUND STABLE FOR CONSTRUCTION OF REFERENCED DESIGN MUST MEET 2,500 LBS PER SQUARE FOOT BEARING CAPACITY ALONG WITH PROPERTY NOT BEING IN A F.E.M.A. VELOCITY ZONE

**EXTERIOR SITE WORK** 

SEE SEPARATE LANDSCAPE PLAN FOR ALL HARDSCAPE PLANTING AND

**BRICK - STONE** ALL BRICK OR STONE FINISH IS TO BE ATTACHED PER MANUFACTURES REQUIREMENTS SEE SPECIFICATION PRIOR TO ANY INSTALLATION

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION NOTIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR CONSTRUCTION

WINDOWS AND DOORS VERIFY ALL SPECIFICATIONS AND SIZES PRIOR TO ORDERING AND INSTALLATION

TIFY DESIGN TEAM WITH ANY DISCREPANCIES PRIOR

INTERIOR FINISHES SEE THE INTERIOR DESIGN DESIGN PACKAGE AND MATERIAL SELECTIONS FOR ALL INTERIOR TRIM AND DETAILS

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TABBY HOUSE

34 TABBY SHELL ROAD LOT# 18 BLUFFTON - SOUTH CAROLINA TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



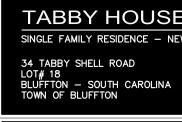
OUNDATION PLAN

A.R.B. REVIEW

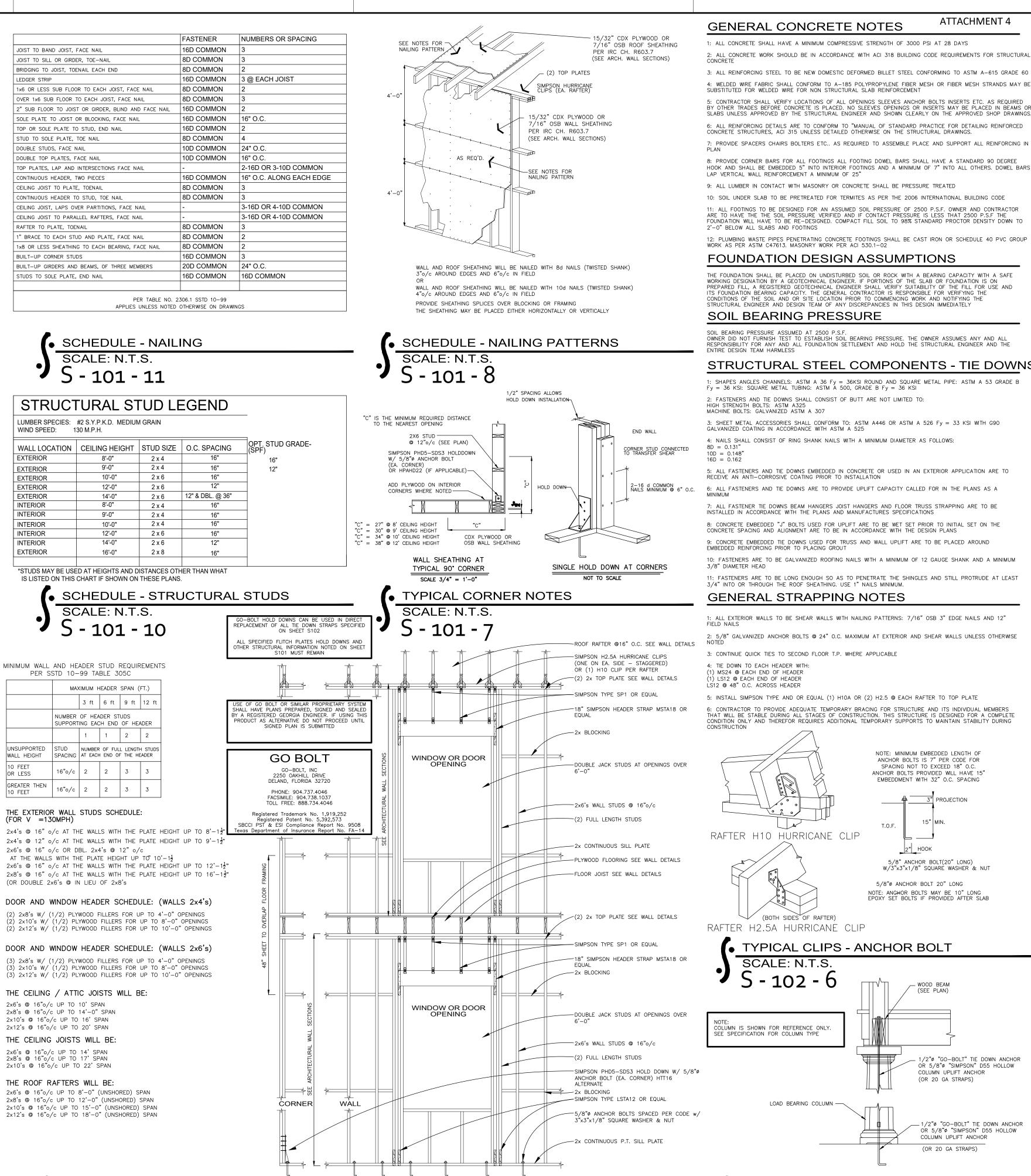
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SHOWN FOR REFERENCE ONLY - VERIFY WITH MANUFACTURES AND BUILDING CODE REQUIREMENTS PRIOR TO CONSTRUCTION

TYPICAL WALL ASSEMBLY WITH STANDARD STRAPPING

SCALE: N.T.S.

S - 101 - 9

**ATTACHMENT 4 GENERAL CONCRETE NOTES** 

1: ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS 2: ALL CONCRETE WORK SHOULD BE IN ACCORDANCE WITH ACI 318 BUILDING CODE REQUIREMENTS FOR STRUCTURAL

4: WELDED WIRE FABRIC SHALL CONFORM TO A-185 POLYPROPYLENE FIBER MESH OR FIBER MESH STRANDS MAY BE SUBSTITUTED FOR WELDED WIRE FOR NON STRUCTURAL SLAB REINFORCEMENT : CONTRACTOR SHALL VERIFY LOCATIONS OF ALL OPENINGS SLEEVES ANCHOR BOLTS INSERTS ETC. AS REQUIRED Y OTHER TRADES BEFORE CONCRETE IS PLACED. NO SLEEVES OPENINGS OR INSERTS MAY BE PLACED IN BEAMS OF SLABS UNLESS APPROVED BY THE STRUCTURAL ENGINEER AND SHOWN CLEARLY ON THE APPROVED SHOP DRAWINGS. 6: ALL REINFORCING DETAILS ARE TO CONFORM TO "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES, ACI 315 UNLESS DETAILED OTHERWISE ON THE STRUCTURAL DRAWINGS. 7: PROVIDE SPACERS CHAIRS BOLTERS ETC.. AS REQUIRED TO ASSEMBLE PLACE AND SUPPORT ALL REINFORCING IN 8: PROVIDE CORNER BARS FOR ALL FOOTINGS ALL FOOTING DOWEL BARS SHALL HAVE A STANDARD 90 DEGREE

HOOK AND SHALL BE EMBEDDED 5" INTO INTERIOR FOOTINGS AND A MINIMUM OF 7" INTO ALL OTHERS. DOWEL BARS LAP VERTICAL WALL REINFORCEMENT A MINIMUM OF 25" 9: ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED

10: SOIL UNDER SLAB TO BE PRETREATED FOR TERMITES AS PER THE 2006 INTERNATIONAL BUILDING CODE 11: ALL FOOTINGS TO BE DESIGNED FOR AN ASSUMED SOIL PRESSURE OF 2500 P.S.F. OWNER AND CONTRACTOR ARE TO HAVE THE THE SOIL PRESSURE VERIFIED AND IF CONTACT PRESSURE IS LESS THAT 2500 P.S.F THE FOUNDATION WILL HAVE TO BE RE-DESIGNED. COMPACT FILL SOIL TO 98% STANDARD PROCTOR DENSITY DOWN TO

12: PLUMBING WASTE PIPES PENETRATING CONCRETE FOOTINGS SHALL BE CAST IRON OR SCHEDULE 40 PVC GROUP WORK AS PER ASTM C47613. MASONRY WORK PER ACI 530.1-02

#### FOUNDATION DESIGN ASSUMPTIONS

THE FOUNDATION SHALL BE PLACED ON UNDISTURBED SOIL OR ROCK WITH A BEARING CAPACITY WITH A SAFE PREPARED FILL. A REGISTERED GEOTECHNICAL ENGINEER SHALL VERIFY SUITABILITY OF THE FILL FOR USE AND ITS FOUNDATION BEARING CAPACITY. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE ONDITIONS OF THE SOIL AND OR SITE LOCATION PRIOR TO COMMENCING WORK AND NOTIFYING THE STRUCTURAL ENGINEER AND DESIGN TEAM OF ANY DISCREPANCIES IN THIS DESIGN IMMEDIATELY

#### SOIL BEARING PRESSURE

SOIL BEARING PRESSURE ASSUMED AT 2500 P.S.F. OWNER DID NOT FURNISH TEST TO ESTABLISH SOIL BEARING PRESSURE. THE OWNER ASSUMES ANY AND ALL RESPONSIBILITY FOR ANY AND ALL FOUNDATION SETTLEMENT AND HOLD THE STRUCTURAL ENGINEER AND THE

#### STRUCTURAL STEEL COMPONENTS - TIE DOWNS 1: SHAPES ANGLES CHANNELS: ASTM A 36 Fy = 36KSI ROUND AND SQUARE METAL PIPE: ASTM A 53 GRADE Fy = 36 KSI: SQUARE METAL TUBING: ASTM A 500, GRADE B Fy = 36 KSI

2: FASTENERS AND TIE DOWNS SHALL CONSIST OF BUTT ARE NOT LIMITED TO: MACHINE BOLTS: GALVANIZED ASTM A 307 3: SHEET METAL ACCESSORIES SHALL CONFORM TO: ASTM A446 OR ASTM A 526 Fy = 33 KSI WITH G90

GALVANIZED COATING IN ACCORDANCE WITH ASTM A 525 4: NAILS SHALL CONSIST OF RING SHANK NAILS WITH A MINIMUM DIAMETER AS FOLLOWS: 8D = 0.131" 10D = 0.148"

5: ALL FASTENERS AND TIE DOWNS EMBEDDED IN CONCRETE OR USED IN AN EXTERIOR APPLICATION ARE TO RECEIVE AN ANTI-CORROSIVE COATING PRIOR TO INSTALLATION 6: ALL FASTENERS AND TIE DOWNS ARE TO PROVIDE UPLIFT CAPACITY CALLED FOR IN THE PLANS AS A

LL FASTENER TIE DOWNS BEAM HANGERS JOIST HANGERS AND FLOOR TRUSS STRAPPING ARE TO BE INSTALLED IN ACCORDANCE WITH THE PLANS AND MANUFACTURES SPECIFICATIONS 8: CONCRETE EMBEDDED "J" BOLTS USED FOR UPLIFT ARE TO BE WET SET PRIOR TO INITIAL SET ON THE CONCRETE SPACING AND ALIGNMENT ARE TO BE IN ACCORDANCE WITH THE DESIGN PLANS

9: CONCRETE EMBEDDED TIE DOWNS USED FOR TRUSS AND WALL UPLIFT ARE TO BE PLACED AROUND EMBEDDED REINFORCING PRIOR TO PLACING GROUT 10: FASTENERS ARE TO BE GALVANIZED ROOFING NAILS WITH A MINIMUM OF 12 GAUGE SHANK AND A MINIMUM 3/8" DIAMETER HEAD

11: FASTENERS ARE TO BE LONG ENOUGH SO AS TO PENETRATE THE SHINGLES AND STILL PROTRUDE AT LEAST 3/4" INTO OR THROUGH THE ROOF SHEATHING. USE 1" NAILS MINIMUM

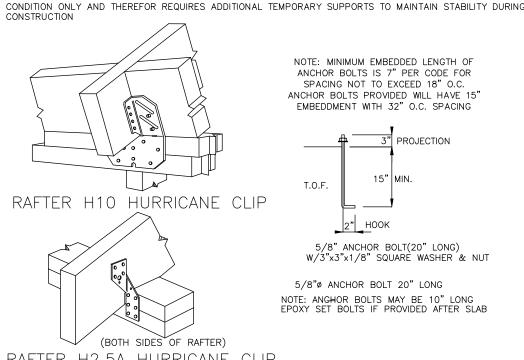
#### **GENERAL STRAPPING NOTES**

ALL EXTERIOR WALLS TO BE SHEAR WALLS WITH NAILING PATTERNS: 7/16" OSB 3" EDGE NAILS AND 12" 2: 5/8" GALVANIZED ANCHOR BOLTS @ 24" O.C. MAXIMUM AT EXTERIOR AND SHEAR WALLS UNLESS OTHERWISE

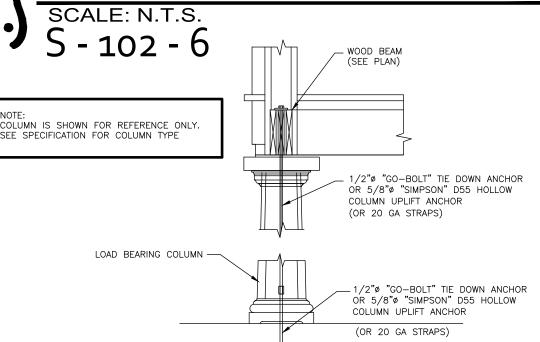
3: CONTINUE QUICK TIES TO SECOND FLOOR T.P. WHERE APPLICABLE

4: TIE DOWN TO EACH HEADER WITH: (1) MS24 @ EACH END OF HEADER (1) IS12 @ FACH FND OF HEADER LS12 @ 48" O.C. ACROSS HEADER

5: INSTALL SIMPSON TYPE AND OR EQUAL (1) H10A OR (2) H2.5 @ EACH RAFTER TO TOP PLATE 6: CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING FOR STRUCTURE AND ITS INDIVIDUAL MEMBERS



RAFTER H2.5A HURRICANE CLIP TYPICAL CLIPS - ANCHOR BOLT



TYPICAL COLUMN TIE DOWN SCALE: N.T.S.

#### GENERAL CONSTRUCTION NOTES

THE GENERAL CONTRACTOR SHALL SECURE AND PAY FOR ALL NECESSARY PERMITS AND INSPECTIONS. THE GENERAL CONTRACTOR SHALL SECURE AND PAY FOR ALL INSURANCE CALLED FOR BY LAW AND AS DIRECTED BY THE FUNDING INSTITUTION. COPIES OF INSURANCE CERTIFICATES SHALL BE FILED WITH THE ARCHITECT AND OR DESIGN TEAM LEADER. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL WORK WITH ALL TRADED INVOLVED WITHIN THE CONTRACT SCOPE OF THIS PROJECT. HE GENERAL CONTRACTOR SHALL VERIFY ALL ELEVATIONS DIMENSIONS AND LOCATIONS OF EXISTING FEATURES HE GENERAL CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE ARCHITECT — DESIGN TEAM LEADER AND OR THE STRUCTURAL ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY CONSTRUCTION OR FABRICATION. CONSTRUCTION SHALL BE IN ACCORDANCE WITH IRC 2006 CODE, OSHA, ACI, AISC AND AITC CODES AND REQUIREMENTS AND ALL APPLICABLE STANDARDS THE GENERAL CONTRACTOR SHALL REFER TO THE DESIGN TEAM. ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND VENDOR DRAWINGS FOR COORDINATION OF EQUIPMENT IN AND OR BENEATH SLABS. THE GENERAL CONTRACTOR IS TO PROVIDE ADEQUATE TEMPORARY BRACING FOR STRUCTURE AND ITS INDIVIDUAL MEMBERS SO THAT IT WILL BE STABLE DURING ALL STAGES OF CONSTRUCTION. THE STRUCTURE IS DESIGNED AS A COMPLETED STRUCTURED WILL NEED TEMPORARY SUPPORTS TO MAINTAIN STABILITY BEFORE COMPLETION. ROOF DECKING AND WALL SHEATHING WILL BE INSTALLED AND ALL JOIST AND GIRDERS SECURED PRIOR TO TEMPORARY BRACING DESIGN, INSTALLATION AND MAINTENANCE WILL BE AT ALL TIMES THE RESPONSIBILITY ON THE GENERAL CONTRACTOR AND OR ERECTOR. TEMPORARY BRACING IS NOT A DESIGN FUNCTION OF THE DESIGN

ALL WORK UNDER THIS CONTRACT SHALL CONFORM TO ALL CODES - ORDINANCES AND REGULATIONS OF ALL

#### SUBGRADE PREPARATION NOTES

COMPACTED TO A 98% DENSITY IN ACCORDANCE WITH ASTM-D-1557.

REFER TO GEOTECHNICAL REPORTS FOR ALL SOIL INVESTIGATION RESULTS AND SOIL PREPARATION PRIOR TO ANY CONSTRUCTION ALL BUILDING AREA PLUS APPROXIMATELY FIVE FEET ON EACH SIDE OF THE STRUCTURE SHOULD BE STRIPPED OF ALL VEGETATION TOP SOIL ROOT SYSTEMS FOREIGN OBJECTS DEBRIS AND SITE DRAINAGE SHOULD BE ESTABLISHED TO PREVENT WATER POUNDING WITHIN THE CONSTRUCTION AREA AND TO FACILITATE THE STORM WATER RUNOFF. IF NECESSARY THE SITE DEWATERING WILL BE EMPLOYED UNTIL THE FOUNDATIONS AND LITHITIES ARE IN PLACE DEWATERING METHODS WILL BE SELECTED BY CONTRACTOR AND APPROVED BY THE DESIGN TEAM ARCHITECT AND STRUCTURAL ENGINEER ANY UTILITIES THAT UNDERLIE THE SITE SHOULD BE REELECTED AND THE TRENCHES BACK FILLED WITH APPROVED SUITABLE BACK FILL SOIL. THE BACK FILL IS TO BE PLACED IS SIX INCH THICK LIFTS AND

THE EXPOSED SUBGRADE UNDER FOUNDATIONS AND SLABS WILL BE LEVELED COMPACTED AND TREATED FOR ALL EXPOSED SUBGRADE SHOULD BE COMPACTED BY REPEATED PASSES OF A VIBRATORY ROLLER. COMPACTION FFFORT SHOULD CONTINUE UNTIL SOIL UNDER FOOTINGS AND SLABS HAVE REACHED A DENSITY OF 98% IN ACCORDANCE WITH ASTM-D-1557 FOR A MINIMUM DEPTH OF 12 INCHES BELOW BOTTOM OF FOOTINGS AND

ANY AREAS THAT BECOME UNSTABLE BENEATH COMPACTION FOUIPMENT SHOULD BE EXAMINED TO DETERMINE THE CAUSE. IF DUE TO UNSTABLE SOIL, SUCH AS CLAY OR HIGHLY ORGANIC SOIL, THE AREA SHOULD BE UNDERCUT TO FIRM SOIL AND THE EXCAVATED AREA BACKFILLED WITH APPROVED FILL COMPACTED TO 98% OF THERWISE ACCEPTABLE SOIL, THE AREA SHALL BE AERATED OR DRIED AND RECOMPACTED TO THE SPECIFIED

ALL OF THE FILL FOR THIS PROJECT SHOULD CONSIST OF A CLEAN FREE DRAINING SAND WITH A MAXIMUM OF 5% FINES. THE FILL WILL BE FREE OF ROOTS, CLAY, LUMPS AND ANY DEBRIS. ALL OF THE FILL FOR THIS PROJECT WILL BE IN ACCORDANCE WITH ASTM-D-1557. THE DESIGN SOIL BEARING PRESSURE IS ASSUMED TO BE 2500 PSF. OWNER SHOULD CONTRACT WITH

#### CAST IN PLACE CONCRETE FOOTINGS FOUNDATIONS AND FLOOR SLABS

GEOTECHNICAL ENGINEERING FORM TO VERIFY ACTUAL BEARING PRESSURE

ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS UNLESS OTHERWISE NOTED. ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH ACI 318 MIXING AND PLACING OF CONCRETE SHALL BE PROVIDED WITH CONSIDERATION TO WEATHER CONDITIONS AT THE TIME OF CONSTRUCTION. FOR COLD WEATHER IN ACCORDANCE WITH ACI 306, FOR HOT WEATHER IN CURING METHODS SHALL BE SELECTED BY CONTRACTOR AND APPROVED BY THE DESIGN TEAM — ENGINEER APPROVED TO SUIT WEATHER CONDITIONS AT TIME OF CONSTRUCTION WEATHER CONDITIONS SHALL NOT BE ACCEPTED AS A VALID REASON FOR INCORRECT OR OTHERWISE POOR QUALITY OF CONCRETE OR CONCRETE SURFACES CONCRETE FINISHES SHALL BE SELECTED TO ACCOMMODATE FLOOR COVERINGS. SCRATCHED FINISHES FOR SURFACES INTENDED TO RECEIVE BOND APPLIED CEMENTIOUS APPLICATIONS. TROWELD FINISH FOR EXPOSED INTERIOR SURFACES, NONSTOP, LIGHT BROOM FINISH FOR EXTERIOR EXPOSED SURFACES.

ALL FINISHED SHALL BE A MINIMUM CLASS B TOLERANCES EXCEPT FOR EXPOSED CONCRETE SURFACES WHICH SHALL MEET CLASS A REQUIREMENTS IN ACCORDANCE WITH ACI 305. GENERAL CONTRACTOR SHALL INVESTIGATE ACTUAL LOCATIONS OF UNDERGROUND LINES AND UTILITIES BEFORE UNLESS OTHERWISE NOTED ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A 615 LINIESS OTHERWISE NOTED. ALL DETAILING FABRICATION AND PLACING OF REINFORCING STEEL SHALL CONFORM

ALL BAR SPLICES SHALL BE CLASS C TENSION LAP SPLICES, UNLESS OTHERWISE SHOWN. PROVIDE STANDARD PROVIDE MINIMUM OF 3" OF CONCRETE COVER FOR REINFORCING STEEL WHEN THE CONCRETE IS PLACED DIRECTLY AGAINST THE GROUND.

O THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES ACI SP-66,

WELDED WIRE FABRIC SHALL CONFIRM TO ASTM A185. WELDED WIRE FABRIC REINFORCEMENT MUST LAP ONE FULL MESH SIDE AND END AND MUST BE WIRED TOGETHER.

ALL SLAB AND FOUNDATION REINFORCEMENT SHALL BE TIED IN PLACE PRIOR TO PLACING CONCRETE. HOLD UP REINFORCING WITH TYPICAL STANDARD CHAIRS.

REINFORCEMENT SHOWN SHALL BE USED AS DETAILING GUIDE. PROVIDE REINFORCEMENT BARS AS REQUIRED TO CONTRACTOR SHALL COORDINATE EXACT ANCHOR BOLT LOCATIONS AND LAYOUT WITH BUILDING CODE REQUIREMENTS AND THIS DRAWING SET.

FLOOR JOINTS SHALL BE LOCATED AS INDICATED ON PLANS CONSTRUCTION JOINTS SHALL BE LOCATED AS

#### WALL FLOOR ROOF FRAMING GENERAL NOTES

COORDINATE LAYOUT OF FRAMING MEMBERS WITH ALL TRADES TO INSURE THAT JOISTS RAFTERS AND PLATES

ARE NOT EXTENSIVELY NOTCHED CUT OR BOARD REFER TO IRC 206 CODE SSTD 10-99 AND AITC MANUAL FOR ALLOWABLE CUTTING NOTHING AND BORING OF FRAMING MEMBERS TRUSSES SHALL NOT BE CUT NOTCHED OR BOARD WITHOUT ENGINEERS WRITTEN APPROVAL. THE ENGINEERING OF FRAMING MEMBERS SI BASED ON #2 SPRUCE OR #2 SOUTHERN YELLOW PINE FB=1200 PSI E=1,200,000 PSI SUBSTITUTION MUST BE APPROVED BY THE ENGINEER BEFORE USING ALL CONNECTION STEEL ANGLES PLATES AND BOLTS AT MASONRY WALLS SHALL BE HOT DIPPED GALVANIZED IN ALL LUMBER IN CONTACT WITH CONCRETE MASONRY GROUND OR OTHERWISE NOTED ON THE DRAWING SET WILL PRESSURE TREATED IN ACCORDANCE WITH AWPI STANDARD LP-2. ALL PLYWOOD SHEATHING WILL BEAR THE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION AND WILL MEET THE REQUIREMENTS OF PS1-83 OR APA PRP-108 WILL BE CLASSIFIED AS "EXTERIOR" APPLICATION WILL BE IN ACCORDANCE WITH RECOMMENDATIONS FORM PLYWOOD ASSOCIATION. ALL OSG BOARD SHEATHING WILL BE "EXTERIOR GRADE" EXCEPT ON INTERIOR WALLS WALL AND ROOF SHEATHING WILL BE NAILED WITH 8D NAILS (TWISTED SHANK) 3" O/C AROUND EDGES AND 6"

#### **GLAZED OPENINGS GENERAL NOTES**

AND POSITIVE PRESSURE AS REQUIRED BY SSTD 10-99 DOCUMENTATION OF COMPLIANCE SHALL BE AVAILABLE ON SITE FOR EACH WINDOW DOOR SKYLIGHT AT THE FRAMING INSPECTION. ALL GLAZING IN DOORS WINDOWS SKYLIGHTS SHALL BE TESTED FOR LARGE MISSILE IMPACT RESISTANCE AS NOTED BELOW. OPTION FOR TWO STORY OR LESS WOOD FRAME STRUCTURE, WOOD STRUCTURAL PANELS FOF EACH WINDOW MAY BE PROVIDED. PANELS WILL HAVE A MINIMUM THICKNESS OF 7/16" AND A MAXIMUM SPAN OF 8'-0". PANELS MUST BE PRECUT TO SIZE AND ATTACHMENT HARDWARE PROVIDED. 3" LONG 1/4" DIAMETER SIMPSON SCREWS AT 12" O.C. AT PERIMETER OF PANEL EACH PANEL SHALL NE NUMBERED OR MARKED TO INDICATE WHICH WINDOW IT SHALL BE INSTALLED OVER (IBC 301.2.1.2 AND SSTD 1099.604

WINDOWS GLASS DOORS AND SKYLIGHTS SHALL BE APPROVED AND INSTALLED TO COMPLY WITH BOTH NEGATIVE

TEST REQUIREMENT NOTES: WINDOWS ARE TESTED IN ACCORDANCE WITH AAMA 101/1.S.2.97 SPECIFICATIONS TESTED LARGE MISSILE IMPACT RESISTANCE TO ASTM É1886/E1996 TESTED FORCED ENTRY RESISTANCE TO AAMA 1303.2 DEGLAZING TESTED TO ASTM E987 TESTED WATER RESISTANCE TO ASTM E 283 TEST REPORTS AVAILABLE UPON REQUEST

STRUCTURAL NOTES SCALE: N.T.S.

O/C IN FIELD SEE DIAGRAM

DESIGN CRITERIA	2018 INTERNATIONAL RESIDENTIAL CODE	
	FOR ONE AND TWO FAMILY DWELLINGS	
1. FLOOR DEAD LOADS:	PARTITIONS	00 005
	FIXED EQUIPMENT	20 PSF ACTUAL WEIGHT
	FINISHES	ACTUAL WEIGHT
2. FLOOR LIVE LOADS:		ACTUAL WEIGHT
TEOOR LIVE EORDO.	OFFICE/ASSEMBLY	40 PSF
	ATTIC W/ STORAGE	20 PSF
	ATTIC W/O STORAGE	20 PSF 10 PSF
	DECKS	40 PSF
	BALCONIES	60 PSF
	<b>GUARDRAILS &amp; HANDRAILS</b>	200#
3. ROOF DEAD LOAD:		
3. ROOF BEAD LOAD.	ROOFING	2.0 PSF
	DECKING	2.0 PSF
	INSULATION	6.0 PSF
	HANGING & MISC.	9.0 PSF
	FRAMING	5.0 PSF
	CEILING FIXED EQUIPMENT	5.0 PSF ACTUAL WEIGHT
	TIALD EQUIT MENT	ACTUAL WEIGHT
1. ROOF LIVE LOADS:	TRIBUTARY AREA:	LIVE LOAD:
	0 TO 200 SF	20 PSF
	201 TO 600 SF	L <sub>r</sub> = 20 x R
	. , ,	$R_1 = 1.2 - 0.001 A$
		(400 SF 16 PSF)
	OVER 600 SF	12 PSF

EQUIVA	LENT BASIC V	VIND SPEED	V fm	: 114 MPF		
(TAB. 16	609.3.1)	ROOF NE	T UPLIFT =	20 PSF		
WIND 2	ZONE - INLA	ND		WIND	ZONE - OCE	ANFRONT
140 MPH BASIC W	(B EXPOSURE) IND SPEED - MF	PH 3 SECOND GUS	Т	140 MPH BASIC W	(C EXPOSURE) /IND SPEED - MF	PH 3 SECOND
MRH 15'	ZONE(4) DP35	ZONE(5) DP45		MRH 15'	ZONE(4) DP40 DP45	ZONE(5) DP50

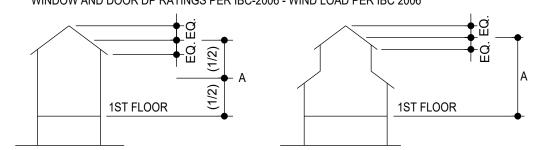
ID GUST DP35 DP45 DP45 DP55 DP60 DP35 DP4 DP50 DP60 DP35 DP45 DP50 DP40 DP50 DP65 DP40 DP55 DP65 DP40 DESIGN PRESSURE VALUES LISTED IN TABLE ARE POUNDS/SQUARE FOOT (PSF)

WINDOW AND DOOR DP RATINGS PER IBC-2006 - WIND LOAD PER IBC 2006

5. WIND LOAD:

(FIG. 1609)

3 SECOND GUST WIND SPEED V



A = MRH (MEAN ROOF HEIGHT) A = MRH (MEAN ROOF HEIGHT) 6. SEISMIC CRITERIA: (2018 IBC - SECT. 1613) SITE CLASSIFICATION: SITE CLASS "D" AVERAGE "N" VALUES: BETWEEN 15 TO 50

SPECTRAL RESPONSE ACCELERATION:  $S_s = 1.0, S_1 = 0.3$ SITE COEFFICIENT VALUES:  $F_a = 1.1$ ,  $F_v = 1.8$ **BUILDING DESIGN CATEGORY "C"** 

## WINDOW AND DOOR OPENING NOTES SCALE: N.T.S

WINDOWS, GLASS DOORS & SKYLIGHTS SHALL BE APPROVED AND INSTALLED TO COMPLY WITH BOTH NEGATIVE AND POSITIVE PRESSURES AS REQUIRED BY SSTD 10-99. DOCUMENTATION OF COMPLIANCE SHALL BE AVAILABLE ON SITE FOR EACH WINDOW, DOOR OR SKYLIGHT AT THE FRAMING INSPECTION.

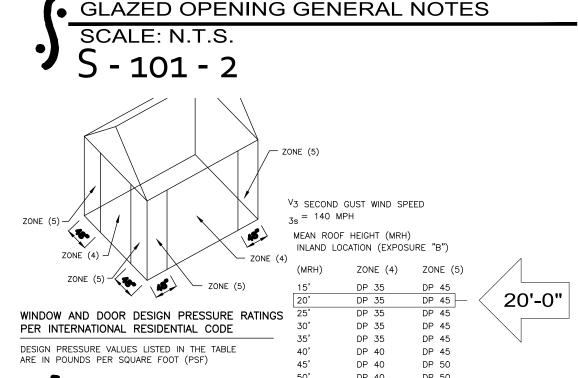
ALL GAZING IN DOORS, WINDOWS, OR SKYLIGHTS SHALL BE TESTED FOR 'LARGE MISSILE IMPACT RESISTANCE' AS NOTED BELOW. OPTION: PROVIDE WOOD STRUCTURAL PANELS FOR EACH OPENING. PANELS WILL HAVE A MINIMUM THICKNESS OF 7/16 INCHES AND A MAXIMUM SPAN OF 8'. PANELS MUST BE PRECUT TO SIZE, AND ATTACHMENT HARDWARE PROVIDED, (3" LONG, 1/4" DIAMETER SIMPSON SCREWS AT 12"oc AT PERIMETER OF PANEL). EACH PANEL SHALL BE NUMBERED OR MARKED TO INDICATE WHICH WINDOW IT SHALL BE INSTALLED OVER, (IRC 301.2.1.2 AND

TEST REQUIREMENTS NOTES: - WINDOWS ARE TESTED IN ACCORDANCE WITH AAMA 101/I.S.2. 97 SPECIFICATIONS. TESTED LARGE MISSILE IMPACT RESISTANCE TO ASTM E1886/E1996. TESTED FORCED ENTRY RESISTANCE TO AAMA 1303.2.

DEGLAZING TESTED TO ASTM E987 ESTED WATER RESISTANCE TO ASTM E547/331 TESTED AIR INFILTRATION TO ASTM F 283 TEST REPORTS AVAILABLE UPON REQUEST

1. WINDOWS, GLASS DOORS & SKYLIGHTS SHALL BE APPROVED AND INSTALLED TO COMPLY WITH BOTH NEGATIVE AND POSITIVE PRESSURES AS REQUIRED BY SSTD 10-99. DOCUMENTATION OF COMPLIANCE SHALL BE AVAILABLE ON SITE FOR EACH WINDOW, DOOR OR SKYLIGHT AT THE FRAMING INSPECTION. (SSTD TABLE 602A1, 602A2, 602A3)

2 IF APPROVED DOORS, WINDOWS, OR SKYLIGHTS ARE NOT USED, THEN WOOD STRUCTURAL PANELS MUST BE PROVIDED FOR EACH OPENING. PANELS WILL HAVE A MINIMUM THICKNESS OF 7/16 INCHES AND A MAXIMUM SPAN OF 8 FEET. PANELS MUST BE PRECUT TO SIZE WITH ATTACHMENT HARDWARE PROVIDED AND NUMBERED SO THAT A HOMEOWNER WILL BE ABLE TO IDENTIFY THE PROPER LOCATION FOR EACH PANEL. (IRC 301.2.1.2 AND SSTD 604)



DP 40 WINDOW AND DOOR OPENING NOTES SCALE: N.T.S.

TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD LOT# 18 BLUFFTON — SOUTH CAROLINA

TOWN OF BLUFFTON



GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN

FOR DIMENSIONS NOT SHOWN OR IN QUESTION THE CONTRACTOR SHALL

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

STRUCTURAL INFORMATION SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

DESIGN LOADS ICC 600-2018 DESIGN LOAD BASED ON WIND SPEED V3S = 140 MPH EXPOSURE CATEGORY "E FLOOD ZONE PER SURVEY

CONSTRUCTION.

ZONE C N/A Ft. NGVD29 VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY

I.R.C. - 2018

TABBY HOUSE

34 TABBY SHELL ROAD LOT# 18 BLUFFTON - SOUTH CAROLINA TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



STRUCTURAL GENERAL NOTES

A.R.B. REVIEW

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### OWNER WALK THROUGH

THE FINAL ELECTRICAL PLAN TO BE LAID OUT AND DETERMINED DURING THE ON SITE OWNER WALK THROUGH

### DRAWING NOTES

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

**DESIGN LOADS** ICC 600-2018 DESIGN LOAD BASED ON WIND SPEED V3S = 140 MPH EXPOSURE CATEGORY "B"

I.R.C. - 2018 ZONE C FLOOD ZONE PER SURVEY N/A Ft. NGVD29 MINIMUM F.F.F. PER SURVEY



ALL FIXTURE LOCATIONS SUBJECT TO WALK — THROUGH WITH THE OWNER AFTER FRAMING. RESERVE TWO 15 AMP CIRCUITS FOR EXTERIOR ILLUMINATION PURPOSES. CONFIRM WITH OWNER ANY REQUIREMENTS FOR DEDICATED CIRCUITS AND CONDUITS FOR FIBER OPTIC, AUDIO VISUAL AND SECURITY OR OTHER SPECIALTY WIRING.

DUPLEX RECEPTACLE 12" A. F. F.	$\bigcirc$
DUPLEX FLOOR RECEPTACLE	¥ <b>&gt;</b>
DUPLEX W/ OUTLET SWITCHED	<del>_</del>
WATER PROOF RECEPTACLE	
GROUND FAULT INTERRUPTER	₩ <sub>P</sub>
220 VOLT OUTLET	⊕ <sub>GFI</sub>
SINGLE POLE SWITCH 48" A. F. F.	₩ <sub>220</sub>
	Ψ \$ DS
DOOR ACTIVATED SWITCH	Ψ <sub>25</sub>
DOORBELL BUTTON	<b>⊕</b>
CHIME	<i>*</i> ₩ \\\\\\
TELEPHONE JACK	· · · · · · · · · · · · · · · · · · ·
CABLE TELEVISION JACK	
J BOX	<u></u>
SCONCE	Ø
DECORATIVE LIGHT FIXTURE	
RECESSED CEILING MOUNTED DOWN LIGHT	Ø
SURFACE MOUNTED LIGHT	Ø
DIRECTION TYPE SPOT LIGHT	⊲
CEILING COVE LIGHTS	000
PORCELAIN LAMP BARE BULB INCANDESCENT	$\sim$
EXHAUST FAN / LIGHT COMBINATION	
FLOOD LIGHTS	<b>⑤</b> ♦  • • • • • • • • • • • • • • • • • •
MOTION FLOOD LIGHTS	М
LOW VOLTAGE UNDER COUNTER LIGHT	Ø
SPEAKER	Ø
SUB WOOFER	● sw
SMOKE DETECTOR	
STRIP LIGHT FIXTURE	<u> </u>
GARAGE DOOR OPENER	
SMALL FLORESCENT	
LARGE FLORESCENT	
ELECTRICAL METER	
ELECTRICAL PANEL BOX	
CELLING EAN WITH LIGHT (ODTIONAL)	\\\/ \

### MECHANICAL INDEX

CEILING FAN WITH LIGHT (OPTIONAL)

H.V.A.C EXTERIOR COMPRESSOR UNIT

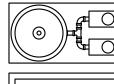


H.V.A.C. INTERIOR UNIT

POOL OR SPA HEATER



POOL FILTER EQUIPMENT



GENERATOR



H.V.A.C. SUPPLY REGISTER

H.V.A.C. RETURN REGISTER

H.V.A.C. DUCT CHASE



WATER HEATER



2017 NEC

ELECTRICAL SERVICE TO MEET 2017 NEC BUILDING CODE ARCH FAULT REQUIREMENT

#### FLOOR OUTLETS

VERIFY WITH SITE SUPERINTENDENT FOR LOCATION AND QUANTITY OF FLOOR OUTLETS AND ANY OTHER ELECTRICAL EQUIPMENT THAT MAY NEED TO BE INSTALLED PRIOR TO POURING OF FOUNDATION CONCRETE SLAB

#### **APPLIANCES**

ELECTRICAL SERVICE TO BE PROVIDED TO ALL ALLIANCES VERIFY ALL REQUIREMENTS WITH MATERIAL SELECTION AND APPLIANCES SHEETS



FIRST FLOOR ELECTRICAL PLAN

A.R.B. REVIEW

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GENERAL PROJECT NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL AND DESIGN SCOPE OF SERVICES

VERIFY AND COORDINATE ALL MATERIALS SELECTIONS SPECIFICATIONS WITH THE MATERIAL SELECTIONS SHEETS PRIOR TO ORDERING FABRICATION AND INSTALLATION

DRAWINGS ARE PROVIDED BY THE DESIGN TEAM TO THE BUILDER AND OWNER AND ARE LIMITED IN SCOPE THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR ALL DETAILS AND SPECIFICATIONS NOT CALLED OUT IN THIS DESIGN DRAWING SET ALONG WITH THE ADMINISTRATION AND OBSERVATION OF THE CONSTRUCTION CONTRACT

THE BUILDER AND THE OWNER ARE RESPONSIBLE FOR THE COORDINATION AND OR MODIFICATIONS NECESSARY TO MEET THE REQUIREMENTS OF ANY GOVERNMENT AGENCY HAVING JURISDICTION OVER ANY PART OF THIS PROJECT

GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION

INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF ALL CONDITIONS

FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE DESIGN TEAM BEFORE PROCEEDING

CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD, ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM

THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND

DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK. AT THE CLOSE OF THE JOB, THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL "AS-BUILT" INFORMATION TO THE DESIGN TEAM IN CLEAR AND LEGIBLE FORMAT.

SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

ICC 600-2018

I.R.C. - 2018

N/A Ft. NGVD29

ZONE C

STRUCTURAL INFORMATION

DESIGN LOAD BASED ON WIND SPEED V3S = 140 MPH

TABBY HOUSE SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD

TOWN OF BLUFFTON

BLUFFTON - SOUTH CAROLINA

STRUCTURAL ENGINEER SEAL

LOT# 18

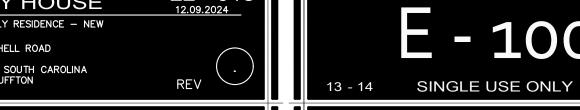
**DESIGN LOADS** 

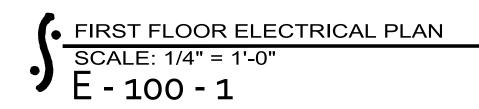
EXPOSURE CATEGORY "B"

FLOOD ZONE PER SURVEY

MINIMUM F.F.F. PER SURVEY

22 **-** 018 TABBY HOUSE SINGLE FAMILY RESIDENCE - NEW 34 TABBY SHELL ROAD LOT# 18 BLUFFTON — SOUTH CAROLINA TOWN OF BLUFFTON





#### OWNER WALK THROUGH

THE FINAL ELECTRICAL PLAN TO BE LAID OUT AND DETERMINED DURING THE ON SITE OWNER WALK THROUGH

DRAWING NOTES VERIFY ALL DRAWINGS WITH OFFICE MASTER SET PRIOR TO ANY CONSTRUCTION.

STRUCTURAL INFORMATION SEE FOUNDATION PLAN FOR ADDITIONAL STRUCTURAL INFORMATION

**DESIGN LOADS** ICC 600-2018 DESIGN LOAD BASED ON WIND SPEED V3S = 140 MPH EXPOSURE CATEGORY "B"

I.R.C. - 2018 ZONE C FLOOD ZONE PER SURVEY N/A Ft. NGVD29 MINIMUM F.F.F. PER SURVEY

#### **ELECTRICAL INDEX**

DUPLEX RECEPTACLE 12" A. F. F.

ALL FIXTURE LOCATIONS SUBJECT TO WALK — THROUGH WITH THE OWNER AFTER FRAMING. RESERVE TWO 15 AMP CIRCUITS FOR EXTERIOR ILLUMINATION PURPOSES. CONFIRM WITH OWNER ANY REQUIREMENTS FOR DEDICATED CIRCUITS AND CONDUITS FOR FIBER OPTIC, AUDIO VISUAL AND SECURITY OR OTHER SPECIALTY WIRING.

DUPLEX FLOOR RECEPTACLE	<del>-</del> 0+
DUPLEX W/ OUTLET SWITCHED	
WATER PROOF RECEPTACLE	⊕ <sub>wP</sub>
GROUND FAULT INTERRUPTER	GFI
220 VOLT OUTLET	220
SINGLE POLE SWITCH 48" A. F. F.	\$
DOOR ACTIVATED SWITCH	<b>\$</b> ps
DOORBELL BUTTON	<del>•</del>
CHIME	*
TELEPHONE JACK	$\overline{\nabla}$
CABLE TELEVISION JACK	
J BOX	$\overline{\bigcirc}$
SCONCE	(-) (-) (-) (-)
DECORATIVE LIGHT FIXTURE	Q
RECESSED CEILING MOUNTED DOWN LIGHT	Ø
SURFACE MOUNTED LIGHT	$\mathbf{\overline{Q}}$
DIRECTION TYPE SPOT LIGHT	⊲
CEILING COVE LIGHTS	0 0 0
PORCELAIN LAMP BARE BULB INCANDESCEN	$\sim$
EXHAUST FAN / LIGHT COMBINATION	
FLOOD LIGHTS	<b>€</b> ™
MOTION FLOOD LIGHTS	€™
LOW VOLTAGE UNDER COUNTER LIGHT	$ \boxtimes $
SPEAKER	Ø
SUB WOOFER	sw
SMOKE DETECTOR	© ©
STRIP LIGHT FIXTURE	<u> </u>
GARAGE DOOR OPENER	
SMALL FLORESCENT	
LARGE FLORESCENT	
ELECTRICAL METER	
ELECTRICAL PANEL BOX	
CEILING FAN WITH LIGHT (OPTIONAL)	

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H.V.A.C EXTERIOR COMPRESSOR UNIT

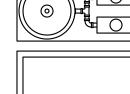


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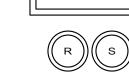


POOL FILTER EQUIPMENT

POOL OR SPA HEATER



GENERATOR



H.V.A.C. SUPPLY REGISTER H.V.A.C. RETURN REGISTER

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2017 NEC

WATER HEATER

ELECTRICAL SERVICE TO MEET 2017 NEC BUILDING CODE ARCH FAULT REQUIREMENT

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22 - 018 TABBY HOUSE SINGLE FAMILY RESIDENCE - NEW 34 TABBY SHELL ROAD LOT# 18 BLUFFTON — SOUTH CAROLINA TOWN OF BLUFFTON



GENERAL PROJECT NOTES

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TABBY HOUSE

SINGLE FAMILY RESIDENCE - NEW

34 TABBY SHELL ROAD LOT# 18 BLUFFTON - SOUTH CAROLINA TOWN OF BLUFFTON

STRUCTURAL ENGINEER SEAL



SECOND FLOOR ELECTRICAL PLAN

A.R.B. REVIEW

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