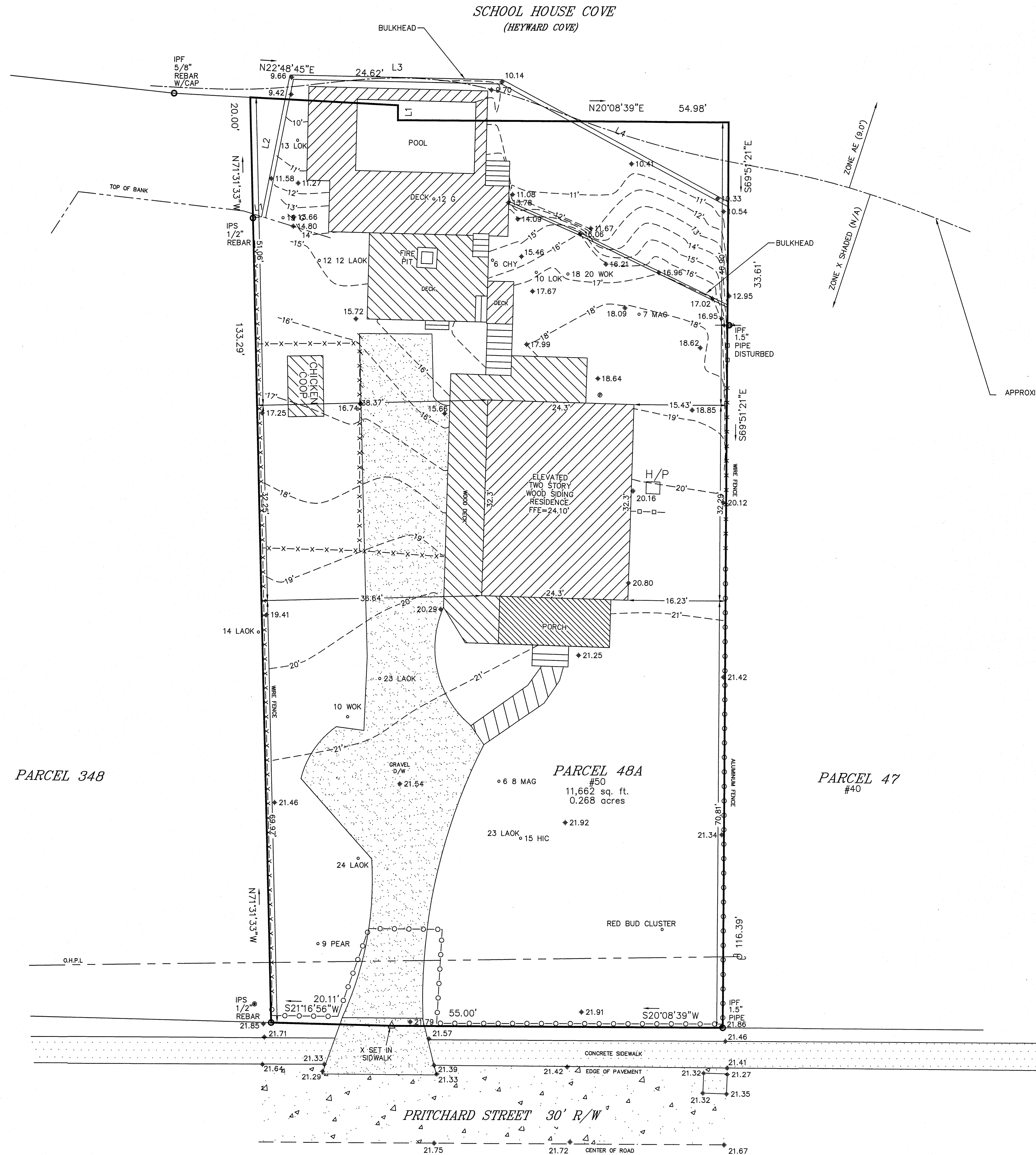
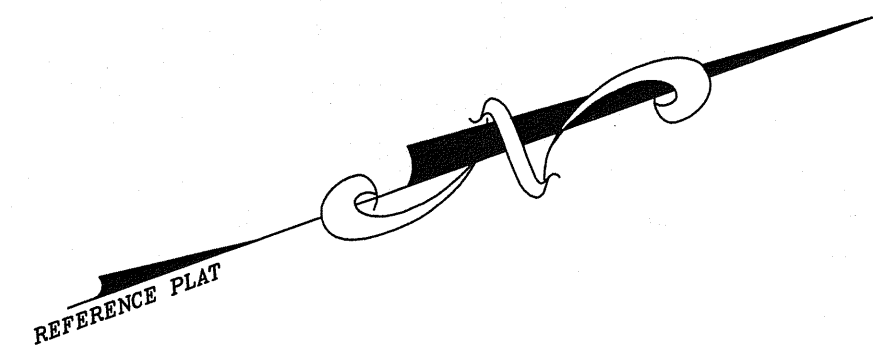
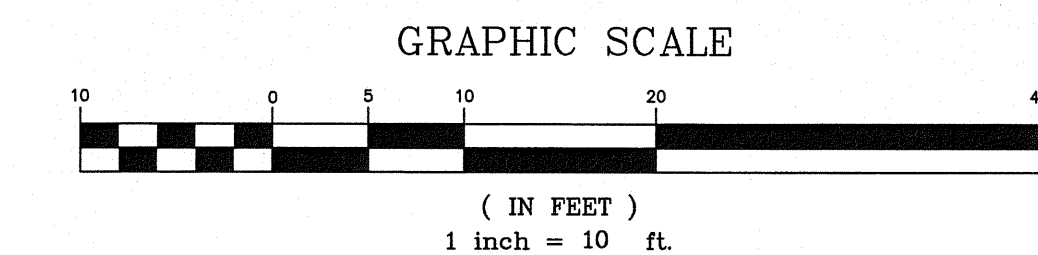




LINE TABLE		
LINE	LENGTH	BEARING
L1	2.48	S69°50'48\"E

BULKHEAD LINE TABLE		
LINE	LENGTH	BEARING
L1	1.44	N11°27'30\"E
L2	23.97	N58°50'51\"W
L3	35.38	N21°05'16\"E
L4	42.59	N48°06'16\"E

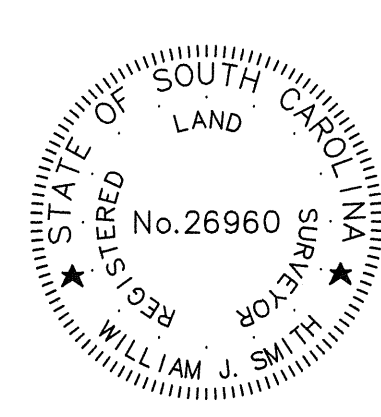


- LEGEND
- CONCRETE MONUMENT SET
 - CONCRETE MONUMENT FOUND
 - IRON PIN SET
 - IRON PIN FOUND
 - INDICATES STREET ADDRESS
 - TEMPORARY BENCH MARK
 - BUILDING SETBACK LINE
 - TELEPHONE PESTAL/CONDUCTOR
 - POWER POLE
 - OVER HEAD POWER LINE
 - FIRE HYDRANT
 - PROPANE TANK

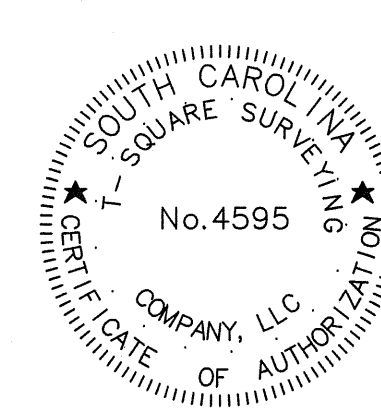
- TREE LEGEND
- WHIOK - WHITE OAK
 - LAOK - LAUREL OAK
 - LOK - LIVE OAK
 - WOK - WATER OAK
 - ROK - RED OAK
 - PCAN - PECAN
 - MAG - MAGNOLIA
 - HIC - HICKORY
 - MPL - MAPLE
 - PLM - PALMETTO
 - CHY - CHERRY
 - HLI - HOLLY
 - CDR - CEDAR
 - RDB - RED BUD
 - SAS - SASSAFRAS
 - DOG - DOGWOOD
 - SB - SUGARBERRY
 - P - PINE
 - G - GUM
 - B - BAY



T-SQUARE SURVEYING
PROFESSIONAL LAND SURVEYORS
P.O. Drawer 330
139 Burnt Church Road
Bluffton, S.C. 29910
tsquare@hargray.com
Phone 843-757-2650 Fax 843-757-5758
JOB No. 16-158AT



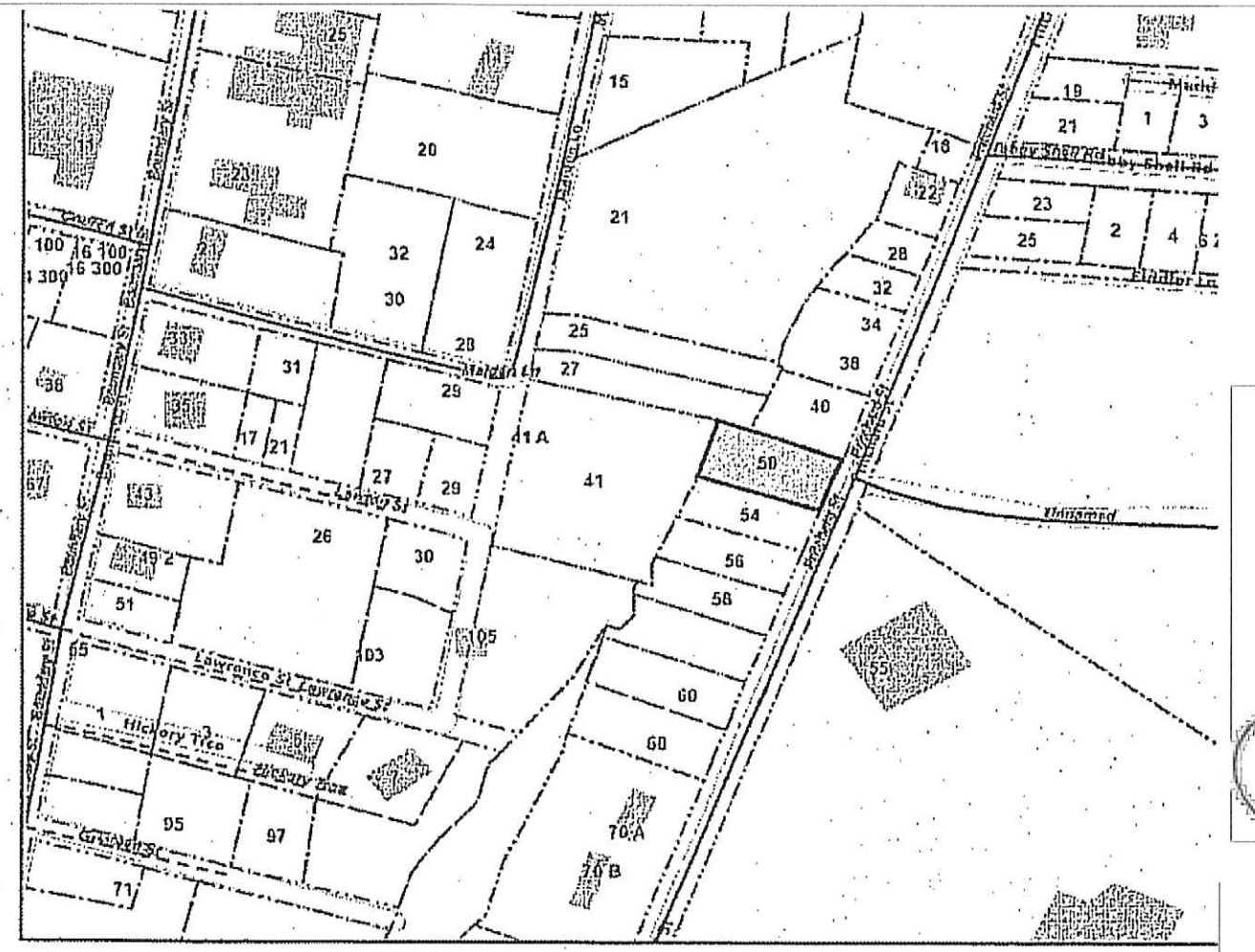
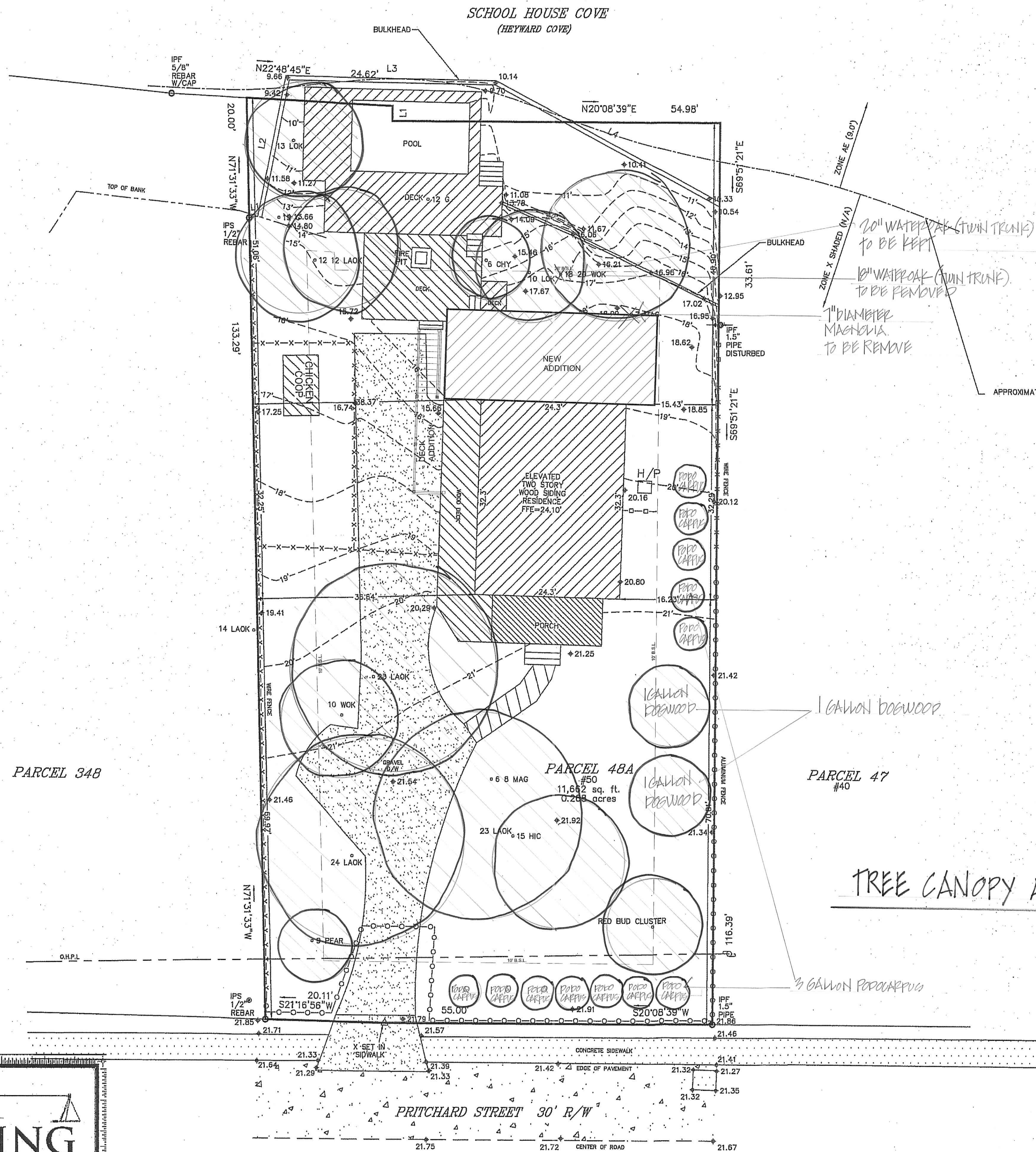
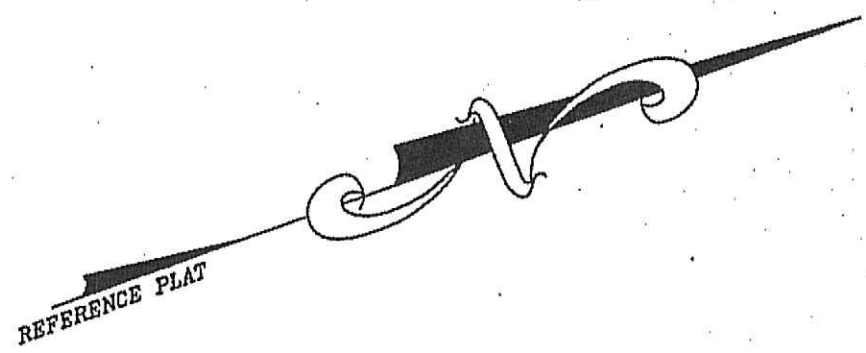
I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.
WILLIAM J. SMITH, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF
PAT MASON
A TREE & TOPOGRAPHIC SURVEY OF PARCEL 48A PRITCHARD STREET, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.
DIST. 610, MAP 39A, PARCEL 48A

Notes:
1. According To FEMA Flood Insurance Rate Map # 45013C0426G This Lot Appears To Lie In A Federal Flood Plain Zone X SHADED & AE, Minimum Required Elevation 9.0 Ft. NAVD83.
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.
Reference Plat(s)
PLAT BOOK 150 AT PAGE 60

DRAWN BY: **B.M.S.**
APPROVED BY: **W.J.S.**
PARTY CHIEF: **W.J.S.**
DATE: **MAY 10, 2023**

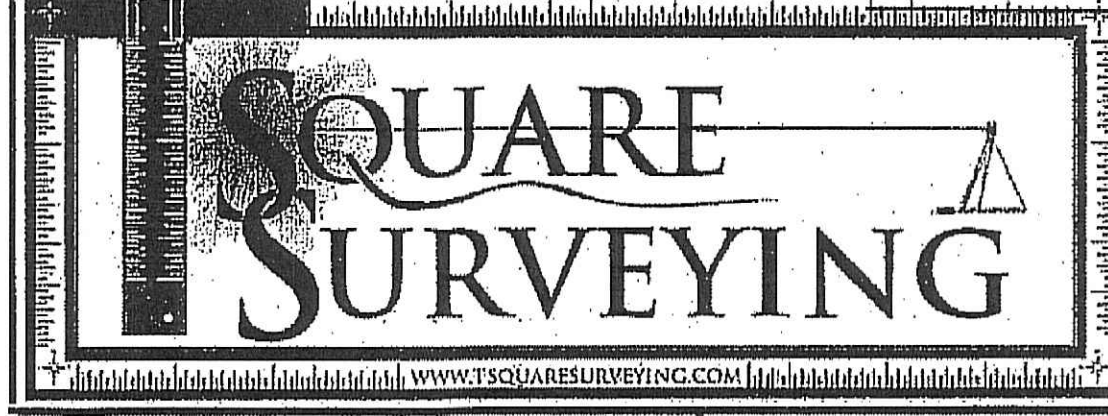


LINE TABLE		
LINE	LENGTH	BEARING
L1	2.48	S69°50'48"E

BULKHEAD LINE TABLE		
LINE	LENGTH	BEARING
L1	1.44	N11°27'30"E
L2	23.97	N58°50'51"W
L3	35.38	N21°05'16"E
L4	42.59	N48°06'16"E

- LEGEND
- CHS - CONCRETE MOVEMENT SET
 - CHP - CONCRETE MOVEMENT POINT
 - IPF - IRON PIN SET
 - IPF - IRON PIN FOUND
 - # - INDICATES STREET ADDRESS
 - TEM - TEMPORARY BENCH MARK
 - BSL - BUILDING SETBACK LINE
 - TEL - TELEPHONE CABLE
 - POW - POWER POLE
 - GRPL - OVER HEAD POWER LINE
 - FI - FIRE HYDRANT
 - PR - PROPOSED TAX

- TREE LEGEND
- WHOK - WHITE OAK
 - LAOK - LAUREL OAK
 - LOK - LIVE OAK
 - WOK - WATER OAK
 - ROK - RED OAK
 - PCAN - PECAN
 - MAG - MAGNOLIA
 - HIC - HICKORY
 - MPL - MAPLE
 - PLM - PALMETTO
 - CHY - CHERRY
 - HLV - HOLLY
 - CDR - CEDAR
 - RDB - RED BUD
 - SAS - SASSAFRAS
 - DOG - DOGWOOD
 - SB - SUGARBERRY
 - P - PINE
 - G - GUM
 - B - BAY

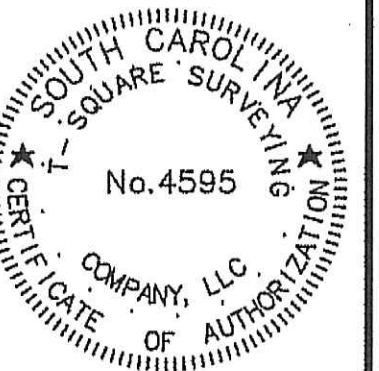


T SQUARE SURVEYING
PROFESSIONAL LAND SURVEYORS
P.O. Drawer 330
139 Burnt Church Road
Bluffton, SC 29910
tsquare@earthlink.net
Phone 843-757-2650 Fax 843-757-5758



I HEREBY STATE, TO THE BEST OF MY KNOWLEDGE, INFORMATION & BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

William J. Smith, PLS # 26960



THE ABOVE PLAT PREPARED BY ME AT THE REQUEST OF
PAT MASON
A TREE & TOPOGRAPHIC SURVEY OF PARCEL 48A PRITCHARD STREET, TOWN OF BLUFFTON, BEAUFORT COUNTY, SOUTH CAROLINA.
DIST. 610, MAP 39A, PARCEL 48A

Notes:
1. According to FEMA Flood Insurance Rate Map # 45013C0426G, This Lot Appears To Lie In A Federal Flood Plain Zone X SHADED & AE, Minimum Required Elevation 9.0 Ft. NAVD83.
2. This Property May Be Subject To Easements, Protective Covenants And Other Facts That May Be Revealed By A Complete Title Search.
3. This Survey Was Performed Without The Benefit Of A Wetland Delineation.
4. All Building Setback Requirements Should Be Verified With The Proper Authorities Prior To Design And Construction.
Reference Plat(s):
PLAT BOOK 150 AT PAGE 60

DRAWN BY: B.M.S.
APPROVED BY: W.J.S.
PARTY CHIEF: W.J.S.
DATE: MAY 10, 2023

ADDITIONS AND RENOVATIONS TO THE
BETH MCHUGH RESIDENCE
50 PRITCHARD STREET
BLUFFTON, SC 29910

SHEET
C2

MANUEL
STUDIO, LLC
BLUFFTON, SC
29907

ANGLEY HESTER
MANUEL
BLUFFTON, SC
29907

DATE :
11/13/24

MANUEL STUDIO, LLC
Ansley Hester Manuel, Architect
104 Pritchard Street, Bluffton, South Carolina 29910
843.338.8932 cell manuel.studio@aol.com