

S:\2024\Projects\2403_Datzell 60 Bruin Road\Drawing files\2403_60 BRUIN RD.rvt 12/11/2024 4:35:55 PM

NEW COMMERCIAL BUILDING:

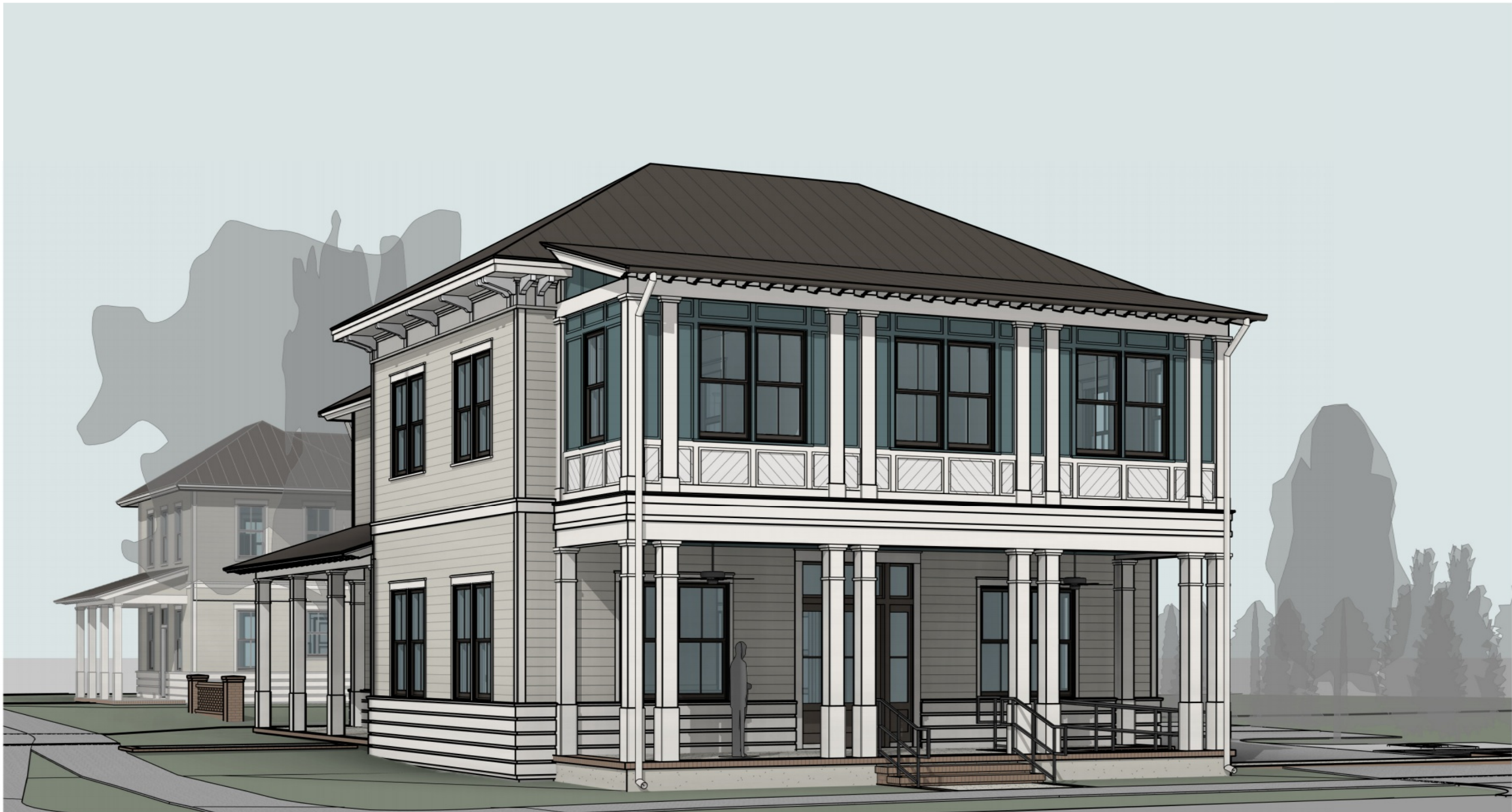
60 Bruin Rd., Lot 23, Tabby Roads

Bluffton, SC 29910

Final HPC - 12.11.24

GENERAL NOTES

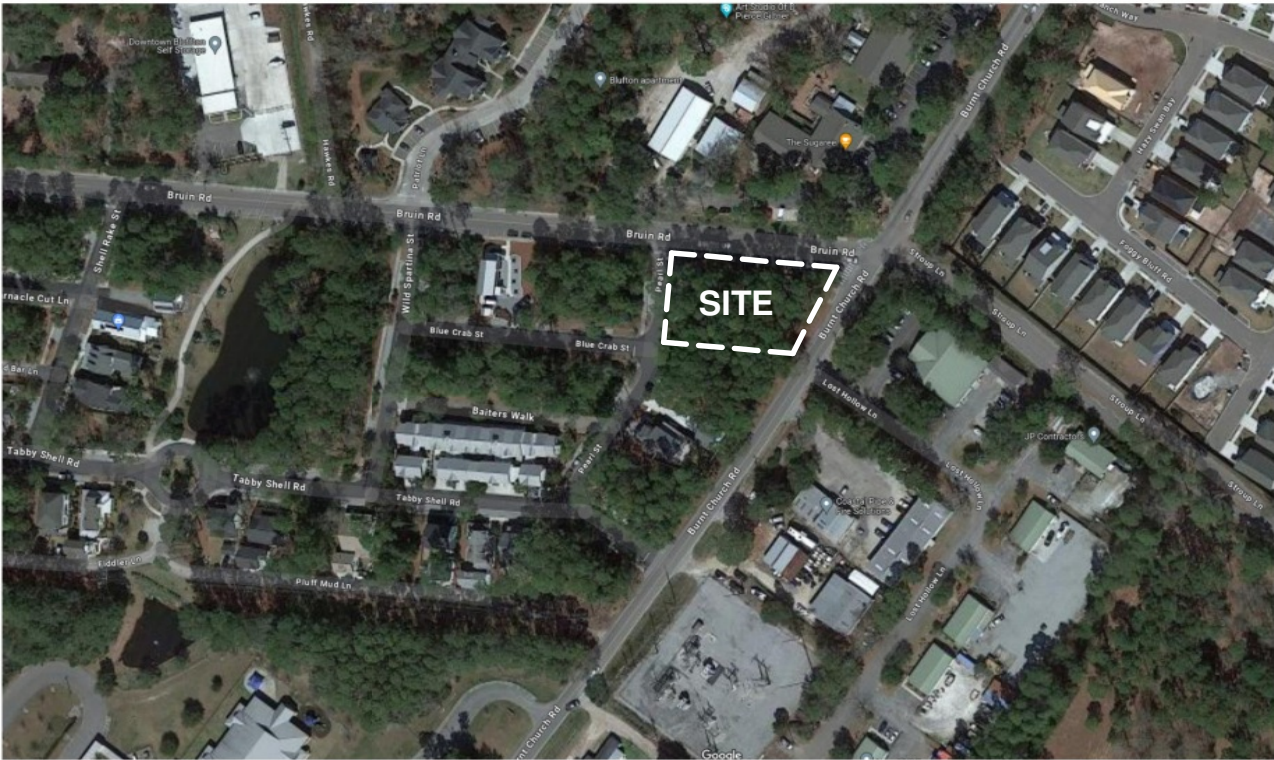
- The contractor is responsible for compliance, and shall construct, to all applicable local, state, and federal codes and regulations, in conformance to all industry standards and methods of construction, and per manufacturer's recommended installations. Contractor to file all required certificates of insurance, permits, bonds, and fees prior to commencement of work.
- All materials will be new, unless otherwise specified. All materials, finishes, and workmanship will meet accepted industry standards, and will be consistent with the plans regarding sizes. A reasonable allowance on all dimensions is allowed according to normal industry standards.
- For dimensions not shown or in question, the contractor will notify Architect of any discrepancies or conflicts before proceeding.
- For discrepancies or conflicts between the architectural and engineering drawings, the contractor shall request clarification from the Architect before proceeding.
- Contractor shall verify all existing field conditions. Any discrepancies shall be brought to the attention of the Architect.
- Contractor to provide a sample board of exterior materials, finishes and colors for final approval by Owner.
- Contractor to provide a job sign in accordance with the neighborhood/development regulations.
- The site is to be kept clean at all times for the duration of the project.
- The design documents are instruments of professional service and shall remain the property of Pearce Scott Architects. Such instruments shall not be used by the client, or others, for any other purposes without the prior written consent of the Architect. The documents are a one-time only use.
- The design documents are to be used for design intent and in coordination with supplemental engineering documents. See note 5.
- All walls are dimensioned to the face of stud or masonry unless noted otherwise. Existing walls are dimensioned to finished surface.
- See structural engineering documents for structural connection details and call-outs, calculation and notes required by code, and details for wall and roof connections including tie down requirements.
- The design documents do not indicate required drainage and other site related work requirements. See landscape, civil, or other supplemental drawings.
- When the Architect is contracted for construction observation services by the owner, the Contractor will coordinate with the Architect for progress visits based on the schedule and availability of both parties. Pay applications, if applicable, shall be provided to the Architect prior to the meeting to allow site review of work within the billing cycle.
- Pearce Scott Architects acts in accordance with Chapter 11, S.C. Code Regulations. The firm has NOT been hired to provide minimum construction administration services on this project.



PROJECT DESCRIPTION

This project is a new office primary and accessory building for Shoreline Construction & Development. The primary building is a 4,220 s.f., two-story structure. The accessory building is a 1,110 s.f., two-story structure. Located on one of the largest lots in Tabby Roads at the corner of Bruin and Burnt Church roads. The front of the buildings and driveway entrance are facing Pearl Street as required by the Tabby Roads neighborhood.

LOCATION MAP



PROJECT TEAM

OWNER:
Prestige Worldwide Properties, LLC
Chris Dalzell
4366 Bluffton Parkway
Bluffton, SC 29910
P: 843.247.0157
chris@shoreconsc.com

ARCHITECT:
Pearce Scott Architects
Sarah Kepple
6 State of Mind Street, Suite 200
Bluffton, SC 29910
P: 843.837.5700
sarah@pscottarch.com

GENERAL CONTRACTOR:
Shoreline Construction
Chris Dalzell
4366 Bluffton Parkway
Bluffton, SC 29910
P: 843.548.2130
chris@shoreconsc.com

LANDSCAPE ARCHITECT:
M. Brock Designs, LLC
Michael Brock
P.O. Box 358
Port Royal, SC 29935
P: 843.540.6407
mbrock@mbrockdesigns.com

STRUCTURAL ENGINEER:
Sapp Structural
Brian Sapp, PE, SE
601 East 69th Street
Savannah, GA 31405
P: 912.704.2170
bsapp@sappstructural.com

INTERIOR DESIGNER:

ELECTRICAL ENGINEER:

PLUMBING & MECH. ENGINEER:

PROJECT INFORMATION

PROJECT ANALYSIS		
ZONING DISTRICT:	Neighborhood General HD	
BUILDING TYPE:	Additional Building Type	
USE OF PROPERTY:	Business	
GROSS SITE AREA:	17,237 s.f.	
** REFER TO LANDSCAPE DRAWINGS FOR PARKING SUMMARY CALCULATIONS **		
FRONT, WEST SETBACK:	7.5'	
REAR, EAST SETBACK:	12.5'	
SIDE, NORTH SETBACK:	7.5'	
SIDE, SOUTH SETBACK:	15'	
SITE ALLOWABLES:	ALLOW.:	CURRENT:
MIN. FINISH PAD ELEV.:		
primary		24.5' amsl
accessory		25.5' amsl
MAX. BLDG. FT.PRINT:		
PRIMARY BLDG.	2,000 s.f.	2,000 s.f.
ACCESSORY BLDG.	600 s.f.	600 s.f.
MAX. BLDG. STORIES	2.5 Stories	2 Stories

(checked 09/16/24 by SSK)

AREA CALCULATIONS

PRIMARY BUILDING
FIRST FLOOR UN-HEATED: 2,000 S.F.
SECOND FLOOR HEATED: 2,220 S.F.
TOTAL HEATED: 4,220 S.F.

FIRST FLOOR PORCHES: 600 S.F.

PRIMARY UNDER ROOF: 4,820 S.F.

ACCESSORY BUILDING
FIRST FLOOR: 600 S.F.
SECOND FLOOR: 500 S.F.
TOTAL HEATED: 1,100 S.F.

FIRST FLOOR PORCHES: 182 S.F.

ACCESSORY UNDER ROOF: 1,282 S.F.

OVERALL PROJECT
GROSS HEATED: 5,320 S.F.
GROSS UNDER ROOF: 5,502 S.F.

(checked 09/16/24 by SSK)

DO NOT SCALE FROM DRAWINGS									
								XXX	INITIAL
								XX.X.24	DATE
								XXX	DESCRIPTION / REVISION LOG
								NO.	

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NEW COMMERCIAL BLDG. FOR:
PRESTIGE WORLDWIDE PROPERTIES, LLC
60 BRUIN ROAD
LOT 23, TABBY ROADS
BLUFFTON, SC 29910

PEARCE
SCOTT
ARCHITECTS

6 STATE OF MIND STREET
SUITE 200
BLUFFTON, SC 29910
843.837.5700

NOT FOR CONSTRUCTION

PROJECT NUMBER: 2403

DATE: 12.11.24

DRAWN BY: SSK

CHECKED BY:

COVER SHEET

SHEET NO.

.CVR

24x36 PAPER SIZE

S:\2024\Projects\2403_Datzeil 60 Bruin Road\Drawing files\2403_60 BRUIN RD.rvt

GRAPHIC SYMBOL LEGEND

ELEVATION NUMBER
SHEET NUMBER

EXT. ELEVATION

SECTION NUMBER
SHEET NUMBER

BUILDING SECTION CUT

SECTION NUMBER
SHEET NUMBER

WALL SECTION CUT

DETAIL NUMBER
SHEET NUMBER

DETAIL CALLOUT

ELEVATION NUMBER
SHEET NUMBER

INT. ELEVATION

ROOM NUMBER

ROOM NAME

DOOR NUMBER

WINDOW TAG

NOTE TAG

NORTH ARROW

BREAK LINE

ROD AND SHELF

R & S

2x4 STUD WALL @ 12" O.C.

2x4

STUB OUT FOR GAS

GA5

HOSE BIB
(OWNER CONFIRM LOCATION)

SLOPE

3' / 12"

SLOPE

3' / 12"

SLAB ELEV.
CHANGE

T

WALL TYPE

A

SPOT ELEVATION TAG

CENTER LINE

C

REVISION TAG

A

ABBREVIATIONS

A.F.F.	ABOVE FINISHED FLOOR	FTG.	FOOTING	QTY	QUANTITY
A.F.G.	ABOVE FINISHED GRADE	FURN.	FURNISH, FURNITURE	R & S	ROD AND SHELF
A/C	AIR CONDITION(ING)	G.C.	GENERAL CONTRACTOR	R.	RISER
A/V	AUDIOVISUAL	GALV.	GALVANIZED	R.O.	ROUGH OPENING
APPROX	APPROXIMATE(LY)	GYP. BD.	GYPSUM BOARD	RAD.	RADIUS
ARCH	ARCHITECT(URAL)	H.B.	HOSE BIB	RCP	REFLECTED CEILING PLAN
B.O.	BOTTOM OF	H/C	HANDICAP	RD	ROOF DRAIN
BLDG	BUILDING	HDR.	HEADER	REF.	REFRIGERATOR, REFERENCE
BSL	BUILDING SETBACK LINE	HDWR	HARDWARE	REQD.	REQUIRED
BTW.	BETWEEN	HM	HOLLOW METAL	RM.	ROOM
C.O.	CASED OPENING	HORIZ.	HORIZONTAL	S.	SOUTH
CAB.	CABINET	HT.	HEIGHT	S.F.	SQUARE FEET
CAB.	CABINET	HVAC	HEATING, VENTILATION & AIR CONDITIONING	S.S.	STAINLESS STEEL
CJ	CONTROL JOINT	IN.	INCH	S.Y.	SERVICE YARD
CL	CENTER LINE	INCL.	INCLUDE(D), (ING)	SC	SOLID CORE
CLG.	CEILING	INFO.	INFORMATION	SECT.	SECTION
CLG. HT.	CEILING HEIGHT	INSUL.	INSULATION	SH.	SHELVES
CLOS.	CLOSET	INT.	INTERIOR	SIM.	SIMILAR
CLR	CLEAR(ANCE)	KDAT	KILN DRIED AFTER TREATMENT	SPEC	SPECIFICATION
CMU	CONCRETE MASONRY UNIT	KIT.	KITCHEN	SPKR	SPEAKER
CONC	CONCRETE	LAM.	LAMINATE	SQ.	SQUARE
CONT.	CONTINUE, CONTINUOUS	LIN.	LINEN	STOR.	STORAGE
D.	DRYER	M.O.	MASONRY OPENING	T&G	TONGUE & GROOVE
D.W.	DISHWASHER	MAINT.	MAINTENANCE	T.	TRANSOM, TREAD
DEMO	DEMOLISH	MATL.	MATERIAL	T.O.	TOP OF
DIA.	DIAMETER	MAX.	MAXIMUM	T.O.M.	TOP OF MASONRY
DIM.	DIMENSION	MECH.	MECHANICAL	T.O.P.	TOP OF PARAPET
DN.	DOWN	MFR.	MANUFACTURER	T.O.S.	TOP OF SLAB
DR.	DOOR	MICRO.	MICROWAVE	TEMP.	TEMPORARY
DS	DOWNSPOUT	MIN.	MINIMUM	TYP.	TYPICAL
DWR.	DRAWER	MISC.	MISCELLANEOUS	U.L.	UNDERWRITERS LABORATORIES
E	EAST	MTL.	METAL	U.N.O.	UNLESS NOTED OTHERWISE
EA.	EACH	N	NORTH	VERT.	VERTICAL
EJ	EXPANSION JOINT	N.I.C.	NOT IN CONTRACT	VEST	VESTIBULE
ELEC.	ELECTRIC(AL)	N.T.S.	NOT TO SCALE	W	WEST, WASHER
ELEV.	ELEVATION	N/A	NOT APPLICABLE	W.C.	WATER CLOSET
EOB	EDGE OF BEAM	O.C.	ON CENTER	W.H.	WATER HEATER
EOS	EDGE OF SLAB	OPT.	OPTION(AL)	W/	WITH
EQ.	EQUAL	P.T.	PRE-TREATED	W/D	WASHER AND DRYER
EQUIP.	EQUIPMENT	PDR.	POWDER ROOM	W/O	WITHOUT
EXIST.	EXISTING	PLAM	PLASTIC LAMINATE	WD.	WOOD
EXT.	EXTERIOR	PLYWD	PLYWOOD	WIN.	WINDOW
F.D.	FLOOR DRAIN	PREFAB	PREFABRICATED	WP	WATERPROOFING
F.E.C.	FIRE EXTINGUISHER CABINET	REFIN	REFINISH	WWF	WELDED WIRE FABRIC
F.F.	FINISHED FLOOR	PSA	PEARCE SCOTT ARCHITECTS		
F.F.E.	FINISH FLOOR ELEVATION	PTD	PAINTED		
FIN.	FINISH	PVC	POLYVINYL CHLORIDE (PLASTIC)		
FT.	FOOT, FEET				

NOTES

SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES

GENERAL CONTRACTOR NOTE:

Adjust the top of slab at porch and house as needed to accommodate owner selections and existing site conditions.

G.C. / owner to coordinate all in-slab electrical and plumbing requirements with appropriate. Subcontractor trades prior to placing slab.

DIMENSION NOTES:

Dimensions are to the edge of foundation and framing, u.n.o. Do not scale drawings. Contact architect with any discrepancies.

CABINET & EQUIPMENT NOTES:

Cabinet layouts are provided for design configuration only. Exact layout and placement of fixtures, appliances, cabinets, and countertops are to be determined in coordination with owner and general contractor.

FINISH NOTES:

The floor, wall, ceiling, finishes and interior trim are to be determined by the general contractor and owner.

If adjustments to slab, walls, and ceiling are needed to accommodate owner specific finishes and trim, G.C. to contact architect.

PLUMBING NOTES:

G.C. / owner to coordinate final location of exterior hose bibbs.

FRAMING NOTES:

Structural engineering documents supersede architectural documents and schedules with regard to size of structural members, placement, and connection details. For any discrepancies, contact architect for intent.

Door openings set 6" off intersecting wall, unless otherwise dimensioned.

FRAMING IS TO BE AS FOLLOWS, U.N.O.:

WALLS:

Exterior: 1/2" plywood sheathing (exterior side) on 2x6's at 16" o.c. with blocking at midspan. First 4'-0" of plywood needs to be Thermal batt insulation R-20 (5 1/2") typical at 2x6 wood stud framing.

Interior: 2x4's and 2x6's at 16" o.c. with blocking at midspan. Provide sound damp batt insulation around each bedroom and bathroom.

FIRST FLOOR SYSTEM:

Concrete slab floor with 10 mil. vapor barrier below.

SECOND FLOOR SYSTEM:

3/4" t&g plywood, glued and nailed on 24" open web wood truss system (layout and spacing by structural eng). See typical wall sections and details for connections. If truss joists (or sim.) are used provide shop drawings for architect/engineer approval. Provide sound dampening insulation w/in floor system. Additional 1/4" acoustical cork underlayment under second f.l. recommended.

PORCH FLOOR SYSTEM:

Concrete slab floor with tabby floor finish and brick edging. See typical wall sections and details for various connection details.

ATTIC FLOOR SYSTEM:

3/4" t&g plywood, glued and nailed on 2x12's at 16" o.c. See typical wall sections and details for connections. If truss joists (or sim.) are used provide shop drawings for architect/engineer approval.

ATTIC CEILING JOISTS / PORCH CEILING:

2x8's at 16" o.c. (2x10's for certain spans, per stuctural).

ROOF RAFTERS:

Ext sheathing, nailed on 2x8's (2x10's for certain spans) with Simpson hurricane clips, located per structural. Open cell spray foam insulation R-26 (7 1/4") typical at wood roof rafters.

If pre-engineered wood roof trusses are installed in lieu of specified materials, truss manufacturer is to provide shop drawings, support and connection details, and sizes for architect/engineer approval. Or
Note: see structural engineering documents for size, location and placement of all work described.

ALL DIMENSIONS ARE TO EDGE OF SLAB, BLOCK, AND FRAMING U.N.O. G.C. TO COORDINATE SIZE AND LOCATIONS OF PORCH BRICK BORDER RECESS WITH FOUNDATION SLAB AND DETAILS

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-	SURVEY	XX.XX.24			
LANDSCAPE					
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A104	FLOOR PLANS, ACCESSORY	XX.XX.24			
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A502	BUILDING SECTIONS	XX.XX.24			
A503	ACC. BUILDING SECTIONS	XX.XX.24			
ARCH. WALL SECTIONS					
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A702	DETAILS	XX.XX.24			
A703	WIN. & DOOR DETAILS	XX.XX.24			
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MECHANICAL					
M001	MECHANICAL NOTES	XX.XX.24			
ELECTRICAL					
E001	ELECTRICAL LEGEND	XX.XX.24			

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XX.X.24	DATE
XXX	DESCRIPTION / REVISION LOG
NO.	

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NEW COMMERCIAL BLDG. FOR:

PRESTIGE WORLDWIDE PROPERTIES, LLC
60 BRUIN ROAD
LOT 23, TABBY ROADS
BLUFFTON, SC 29910

PEARCE
SCOTT
ARCHITECTS

6 STATE OF MIND STREET
SUITE 200
BLUFFTON, SC 29910
843.837.5700

NOT FOR CONSTRUCTION

PROJECT NUMBER: 2403

DATE: 12.11.24

DRAWN BY: SSK

CHECKED BY:

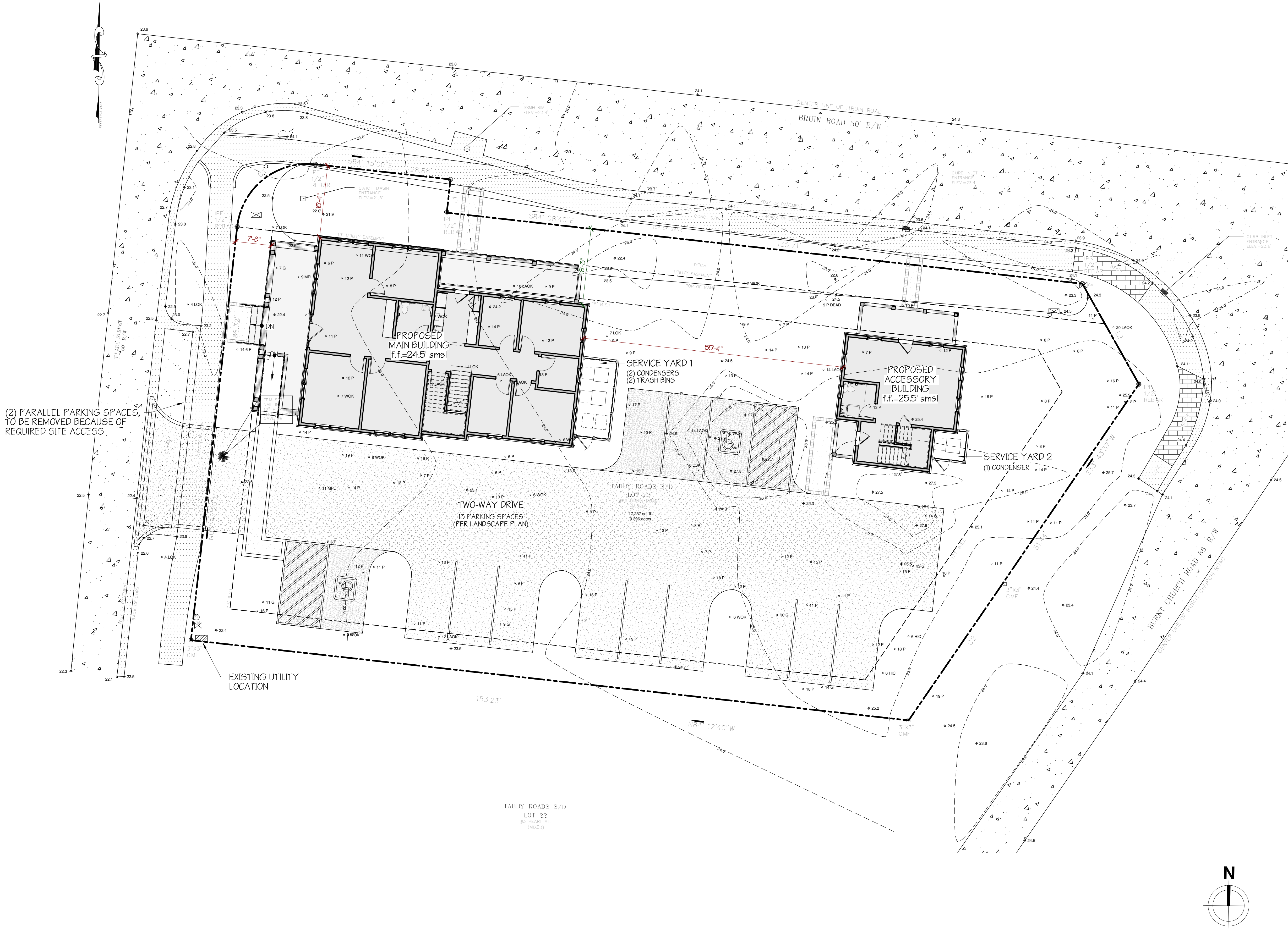
SHEET INDEX,
SYMBOLS &
ABBREVIATIONS

SHEET NO.

G001

24x36 PAPER SIZE

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(2) PARALLEL PARKING SPACES,
TO BE REMOVED BECAUSE OF
REQUIRED SITE ACCESS

EXISTING UTILITY
LOCATION

153.23'

12'40"W

TABBY ROADS S/D
LOT 22
#3 PEARL ST.
(W/CD)

1	SITE PLAN
	3/32" = 1'-0"

PROJECT ANALYSIS		
ZONING DISTRICT:	Neighborhood General HD	
BUILDING TYPE:	Additional Building Type	
USE OF PROPERTY:	Business	
GROSS SITE AREA:	17,237 s.f.	
** REFER TO LANDSCAPE DRAWINGS FOR PARKING SUMMARY CALCULATIONS **		
FRONT, WEST SETBACK:	7.5'	
REAR, EAST SETBACK:	12.5'	
SIDE, NORTH SETBACK:	7.5'	
SIDE, SOUTH SETBACK:	15'	
SITE ALLOWABLES:	ALLOW.:	CURRENT:
MIN. FINISH PAD ELEV.: primary accessory		24.5' amsl 25.5' amsl
MAX. BLDG. FT.PRINT: PRIMARY BLDG. ACCESSORY BLDG.	2,000 s.f. 600 s.f.	2,000 s.f. 600 s.f.
MAX. BLDG. STORIES	2.5 Stories	2 Stories

(checked 09/16/24 by SSK)

SITE NOTES:

- OWNER TO PROVIDE TREE & TOPOGRAPHIC SURVEY UNDER SEPARATE CONTRACT.
- SITE PLAN LOCATION AND DIMENSIONS ARE APPROXIMATE.
- WHEN PRESENT, NO WORK SHALL OCCUR WITHIN THE RPOD / OCRM SETBACK LINE. CONTRACTOR TO FENCE LINE WITH SILT OR CONSTRUCTION FENCING.
- SEE LANDSCAPE ARCHITECT'S PLAN FOR FINAL:
 - FINISHED GRADES & SPOT ELEVATIONS
 - TREES TO BE REMOVED
 - TREE PROTECTION
 - SILT FENCING LOCATIONS & DETAILS
 - MOBILIZATION PLAN
 - HARDSCAPE / PAVING
- GENERAL CONTRACTOR SHALL:
 - COORD. BARRIER FENCING IN THE FIELD TO PROTECT EXISTING TREES AS PER LANDSCAPE PLANS.
 - VERIFY LOCATION OF GAS, CABLE, POWER, AND TELEVISION UTILITY ON SITE. COORDINATE SIZE OF GAS W/ PLUMBING SUB-CONTRACTOR.
 - VERIFY LOCATION OF WATER MAIN AND SEWER LINE ON SITE. COORDINATE SIZE OF LINE W/ PLUMBING SUB-CONTRACTOR.
 - ADJUST TOP OF SLAB, WALL, AND ROOF BEARING PLATES AS REQUIRED FOR EXISTING SITE CONDITIONS.
 - COORD. ACTUAL BUILDING LOCATION WITH FOUNDATION AND FRAMING PLANS.

DO NOT SCALE FROM DRAWINGS			
		XXX	INITIAL
		XX.X.24	DATE
		XXX	DESCRIPTION / REV / SON / LOG
		NO.	

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NEW COMMERCIAL BLDG. FOR:
PRESTIGE WORLDWIDE PROPERTIES, LLC
60 BRUIN ROAD
LOT 23, TABBY ROADS
BLUFFTON, SC 29910

PEARCE
SCOTT
ARCHITECTS

6 STATE OF MIND STREET
SUITE 200
BLUFFTON, SC 29910
843.837.5700

NOT FOR CONSTRUCTION

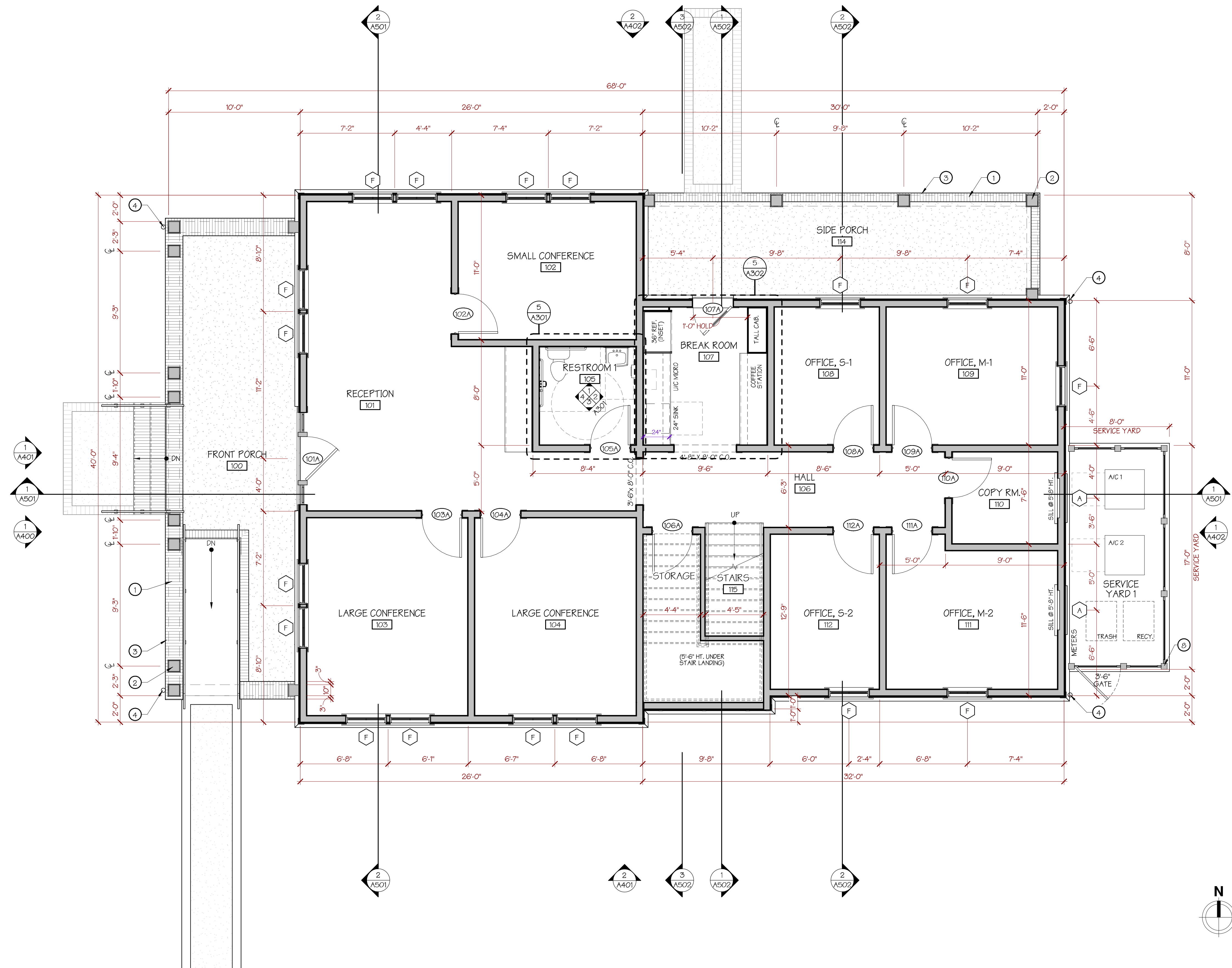
PROJECT NUMBER:	2403
DATE:	12.11.24
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ARCHITECTURAL
SITE PLAN

SHEET NO.

A001

24x36 PAPER SIZE



1	FLOOR PLAN, PRIMARY, FIRST
	1/4" = 1'-0"

PRIMARY BUILDING	
FIRST FLOOR UN-HEATED:	2,000 S.F.
SECOND FLOOR HEATED:	2,220 S.F.
TOTAL HEATED:	4,220 S.F.
FIRST FLOOR PORCHES:	600 S.F.
PRIMARY UNDER ROOF:	4,820 S.F.
ACCESSORY BUILDING	
FIRST FLOOR:	600 S.F.
SECOND FLOOR:	500 S.F.
TOTAL HEATED:	1,100 S.F.
FIRST FLOOR PORCHES:	182 S.F.
ACCESSORY UNDER ROOF:	1,282 S.F.

OVERALL PROJECT
GROSS HEATED: 5,320 S.F.
GROSS UNDER ROOF: 5,502 S.F.
 (checked 09/16/24 by SSK)

- A. ALL INTERIOR WALLS TO BE 2x6 ON FIRST FLOOR AND 2x4 ON SECOND FLOOR, UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DOORS TO BE 6" OFF OF ADJ. STUD WALL UNLESS OTHERWISE NOTED.
- C. ALL WINDOWS AND DOORS MEASURED TO THE CENTERLINE.

FLOOR PLAN NOTES	
1	OUTLINE OF BEAM ABOVE
2	EXT. 10" SQUARE WOOD STRUCTURAL COLUMN
3	BRICK ROWLOCK EDGING @ PORCH, BRICK TO BE 15" PROUD OF FIN. FINISH
4	DOWN SFOUT LOCATION
5	EXT. 10" SQ. CORNER COMPOSITE PILASTER, 3" DEEP
6	EXT. 10" X 3" SQ. COMPOSITE PILASTER
7	EXT. 8" SQUARE WOOD STRUCTURAL COLUMN
8	KDAT 6x6 POST WITH MANUF. CAP

DO NOT SCALE FROM DRAWINGS									
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									VVV
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NEW COMMERCIAL BLDG. FOR:
PRESTIGE WORLDWIDE PROPERTIES, LLC
60 BRUIN ROAD
LOT 23, TABBY ROADS
BLUFFTON, SC 29910

**PEARCE
SCOTT
ARCHITECTS**
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SUITE 200
BLUFFTON, SC 29910
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NOT FOR CONSTRUCTION

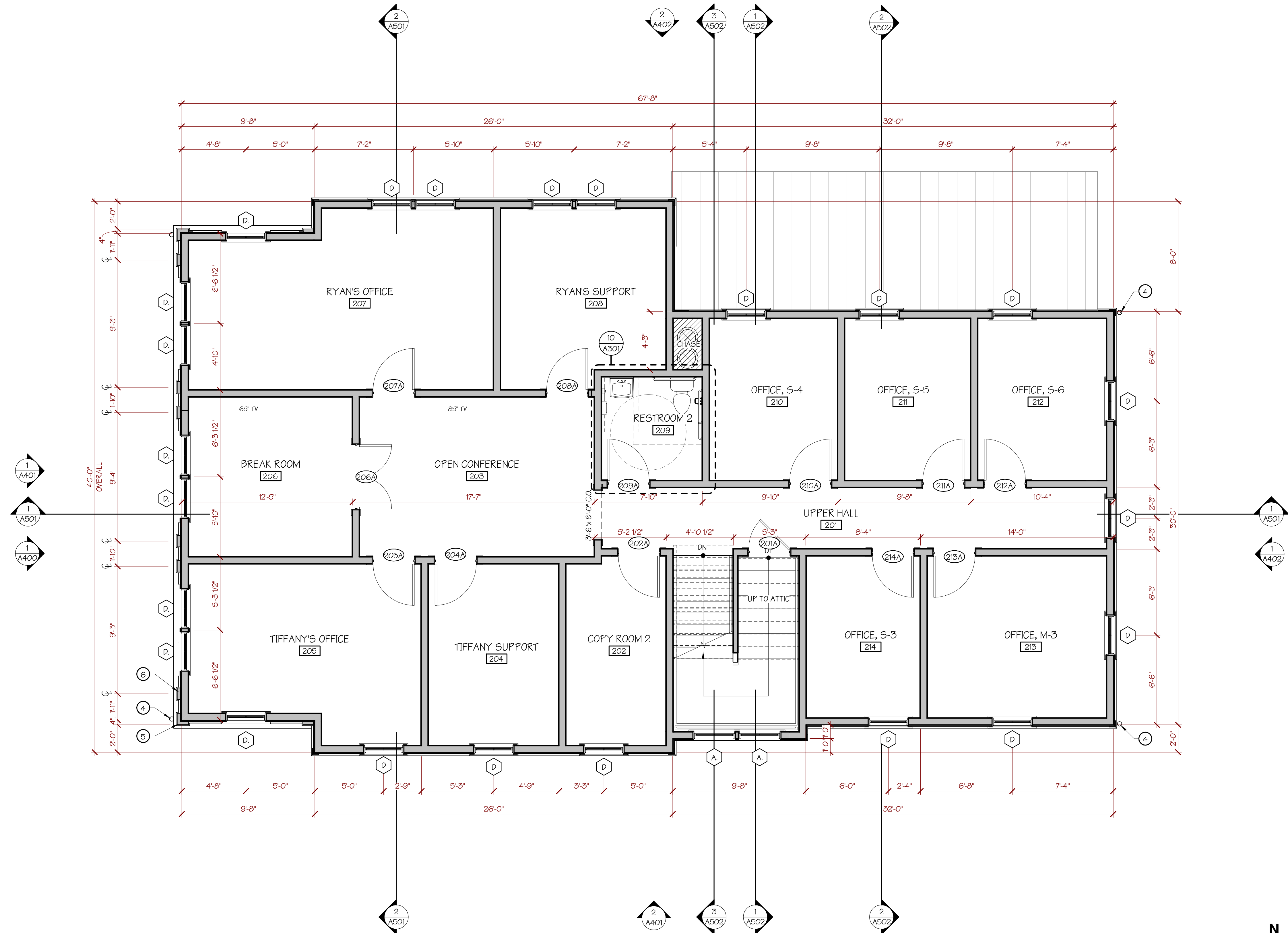
PROJECT NUMBER:	2403
DATE:	12.11.24
DRAWN BY:	SSK / MJS
CHECKED BY:	

FLOOR PLAN, FIRST

SHEET NO

A101

24x36 PAPER SIZE



AREA CALCULATIONS	
PRIMARY BUILDING	
FIRST FLOOR UN-HEATED:	2,000 S.F.
SECOND FLOOR HEATED:	2,220 S.F.
TOTAL HEATED:	4,220 S.F.
FIRST FLOOR PORCHES:	600 S.F.
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OVERALL PROJECT	
GROSS HEATED:	5,320 S.F.
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PLAN GENERAL NOTES:

- A. ALL INTERIOR WALLS TO BE 2x6 ON FIRST FLOOR AND 2x4 ON SECOND FLOOR, UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DOORS TO BE 6" OFF OF ADJ. STUD WALL UNLESS OTHERWISE NOTED.
- C. ALL WINDOWS AND DOORS MEASURED TO THE CENTERLINE.

FLOOR PLAN NOTES	
1	OUTLINE OF BEAM ABOVE
2	EXT. 10" SQUARE WOOD STRUCTURAL COLUMN
3	BRICK ROWLOCK EDGINGS @ PORCH, BRICK TO BE 1.5" PROUD OF FND. FINISH
4	DOWN SPOUT LOCATION
5	EXT. 10" SQ. CORNER COMPOSITE PILASTER, 3" DEEP
6	EXT. 10x3 SQ. COMPOSITE PILASTER
7	EXT. 8" SQUARE WOOD STRUCTURAL COLUMN
8	KDAT 6X6 POST WITH MANUF. CAP

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NEW COMMERCIAL BLDG. FOR:
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LOT 23, TABBY ROADS
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**PEARCE
SCOTT
ARCHITECTS**
6 STATE OF MIND STREET
SUITE 200
BLUFFTON, SC 29910
843.837.5700

NOT FOR CONSTRUCTION

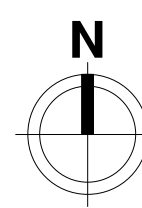
PROJECT NUMBER:	2403
DATE:	12.11.24
DRAWN BY:	SSK / MJS
CHECKED BY:	

FLOOR PLAN,
SECOND

SHEET NO.

A102

24x36 PAPER SIZE



2	FLOOR PLAN, ACCESSORY, SECOND
	1/4" = 1'-0"



1	FLOOR PLAN, ACCESSORY, FIRST
	1/4" = 1'-0"

<u>PRIMARY BUILDING</u>	
FIRST FLOOR UN-HEATED:	2,000 S.F.
SECOND FLOOR UN-HEATED:	2,220 S.F.
TOTAL HEATED:	4,220 S.F.
FIRST FLOOR PORCHES:	600 S.F.
PRIMARY UNDER ROOF:	4,820 S.F.
<u>ACCESSORY BUILDING</u>	
FIRST FLOOR:	600 S.F.
SECOND FLOOR:	500 S.F.
TOTAL HEATED:	1,100 S.F.
FIRST FLOOR PORCHES:	182 S.F.
ACCESSORY UNDER ROOF:	1,282 S.F.
<u>OVERALL PROJECT</u>	
GROSS HEATED:	5,320 S.F.
GROSS UNDER ROOF:	5,502 S.F.

- A. ALL INTERIOR WALLS TO BE 2x6 ON FIRST FLOOR AND 2x4 ON SECOND FLOOR, UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DOORS TO BE 6" OFF OF ADJ. STUD WALL UNLESS OTHERWISE NOTED.
- C. ALL WINDOWS AND DOORS MEASURED TO THE CENTERLINE.

FLOOR PLAN NOTES	
1	OUTLINE OF BEAM ABOVE
2	EXT. 10" SQUARE WOOD STRUCTURAL COLUMN
3	BRICK ROWLOCK EDGING @ PORCH, BRICK TO BE 15" PROUD OF FND. FINISH
4	DOWN SPOUT LOCATION
5	EXT. 10" SQ. CORNER COMPOSITE PILASTER, 3" DEEP
6	EXT. 10"x 3" SQ. COMPOSITE PILASTER
7	EXT. 8" SQUARE WOOD STRUCTURAL COLUMN
8	KDAT 6x6 POST WITH MANUF. CAP

[illegible]

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NEW COMMERCIAL BLDG. FOR:
PRESTIGE WORLDWIDE PROPERTIES, LLC
60 BRUIN ROAD
LOT 23, TABBY ROADS
BLUFFTON, SC 29910

**PEARCE
SCOTT
ARCHITECTS**
6 STATE OF MIND STREET
SUITE 200
BLUFFTON, SC 29910
843.837.5700

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PROJECT NUMBER:	2403
DATE:	12.11.24
DRAWN BY:	SSK / MJS
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FLOOR PLANS,
ACCESSORY

SHEET NO.

A104

24x36 PAPER SIZE



1	ROOF PLAN, PRIMARY
	1/4" = 1'-0"

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60 BRUIN ROAD
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6 STATE OF MIND STREET
SUITE 200
BLUFFTON, SC 29910
843.837.5700

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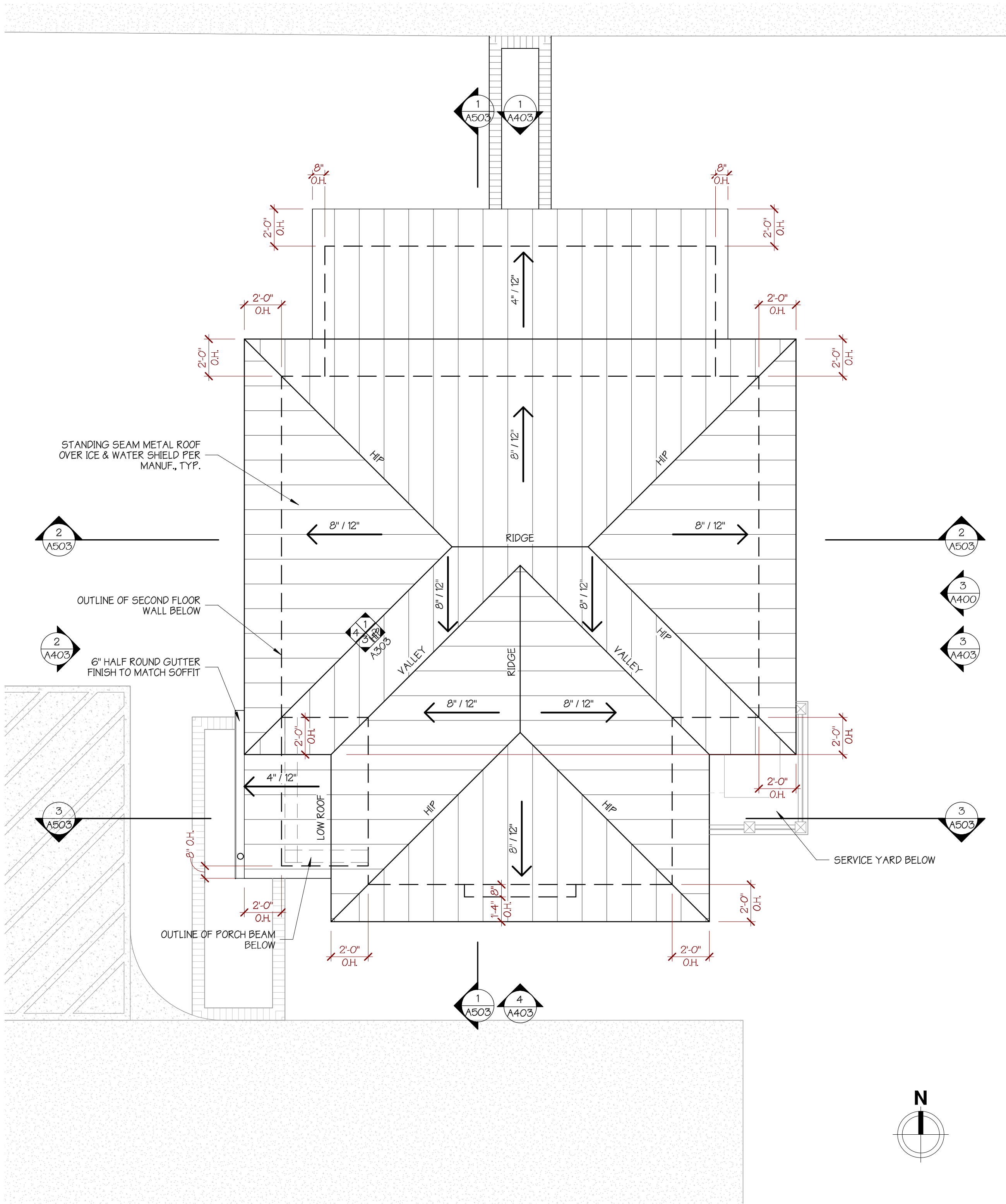
PROJECT NUMBER:	2403
DATE:	12.11.24
DRAWN BY:	SSK
CHECKED BY:	

ROOF PLAN,
PRIMARY BLDG.

SHEET NO.

A105

24x36 PAPER SIZE



1 ROOF PLAN, ACCESSORY
1/4" = 1'-0"

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				XXX	XXX
				XX.X.24	DATE
				DESCRIPTION / REVISION LOG	
				XXX	
				NO.	INITIAL

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6 STATE OF MIND STREET
SUITE 200
BLUFFTON, SC 29910
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PROJECT NUMBER:	2403
DATE:	12.11.24
DRAWN BY:	SSK / BRH
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ROOF PLAN,
ACCESSORY

SHEET NO.

A106

24x36 PAPER SIZE



CEILING PLAN LEGEND

- LED LINEAR LIGHT FIXTURE, UNDER COUNTER
- LED LENSED TROFFER LIGHT, 2' x 2'
- DECORATIVE LIGHT, WALL MOUNTED SCONCE
- LED RECESSED CAN LIGHT FIXTURE:
4" TYP. at INTERIOR LIGHTING
6" TYP. at EXTERIOR LIGHTING
- LED SURFACE MOUNTED LIGHT FIXTURE
- DECORATIVE PENDANT, CEILING MOUNTED
- DECORATIVE CHANDELIER, CEILING MOUNTED
- FLUSH CEILING SPEAKER, ASSEMBLY AND COVER
- RISER LIGHT, PHOTO CELL, AT EXT. STAIRS
- CEILING FAN
- RETURN REGISTER
- SUPPLY REGISTER
- 4" LINEAR SUPPLY DIFFUSER, (LSD)
- GYPSUM BOARD CEILING (GYP.)
- ACCOUSTICAL TILE CEILING, (A.C.T.) 2' x 2'

DO NOT SCALE FROM DRAWINGS									
								XXX	INITIAL
								XX.X.24	DATE
								DESCRIPTION /	REVISION LOG
								XXX	
								NO.	

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NEW COMMERCIAL BLDG. FOR:
PRESTIGE WORLDWIDE PROPERTIES, LLC
60 BRUIN ROAD
LOT 23, TABBY ROADS
BLUFFTON, SC 29910

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ARCHITECTS
6 STATE OF MIND STREET
SUITE 200
BLUFFTON, SC 29910
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PROJECT NUMBER:	2403
DATE:	12.11.24
DRAWN BY:	SSK
CHECKED BY:	

REFLECTED
CEILING PLAN,
FIRST FLOOR

SHEET NO.

A201

24x36 PAPER SIZE

1	R.C.P., PRIMARY, FIRST FL.
	1/4" = 1'-0"



CEILING PLAN LEGEND

- LED LINEAR LIGHT FIXTURE, UNDER COUNTER
- LED LENSED TROFFER LIGHT, 2' x 2'
- DECORATIVE LIGHT, WALL MOUNTED SCONCE
- LED RECESSED CAN LIGHT FIXTURE:
VP 4" TYP. at INTERIOR LIGHTING
6" TYP. at EXTERIOR LIGHTING
- LED SURFACE MOUNTED LIGHT FIXTURE
- DECORATIVE PENDANT, CEILING MOUNTED
- DECORATIVE CHANDELIER, CEILING MOUNTED
- FLUSH CEILING SPEAKER, ASSEMBLY AND COVER
- RISER LIGHT, PHOTO CELL, AT EXT. STAIRS
- CEILING FAN
- RETURN REGISTER
- SUPPLY REGISTER
- 4" LINEAR SUPPLY DIFFUSER, (LSD)
- GYPSUM BOARD CEILING (GYF)
- ACCOUSTICAL TILE CEILING, (A.C.T.) 2' x 2'

DO NOT SCALE FROM DRAWINGS					
				XXX	INITIAL
				XX.X.24	DATE
				DESCRIPTION /	REVISION LOG
				XXX	
				NO.	

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NEW COMMERCIAL BLDG. FOR:
PRESTIGE WORLDWIDE PROPERTIES, LLC
60 BRUIN ROAD
LOT 23, TABBY ROADS
BLUFFTON, SC 29910

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SUITE 200
BLUFFTON, SC 29910
843.837.5700

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PROJECT NUMBER:	2403
DATE:	12.11.24
DRAWN BY:	SSK
CHECKED BY:	

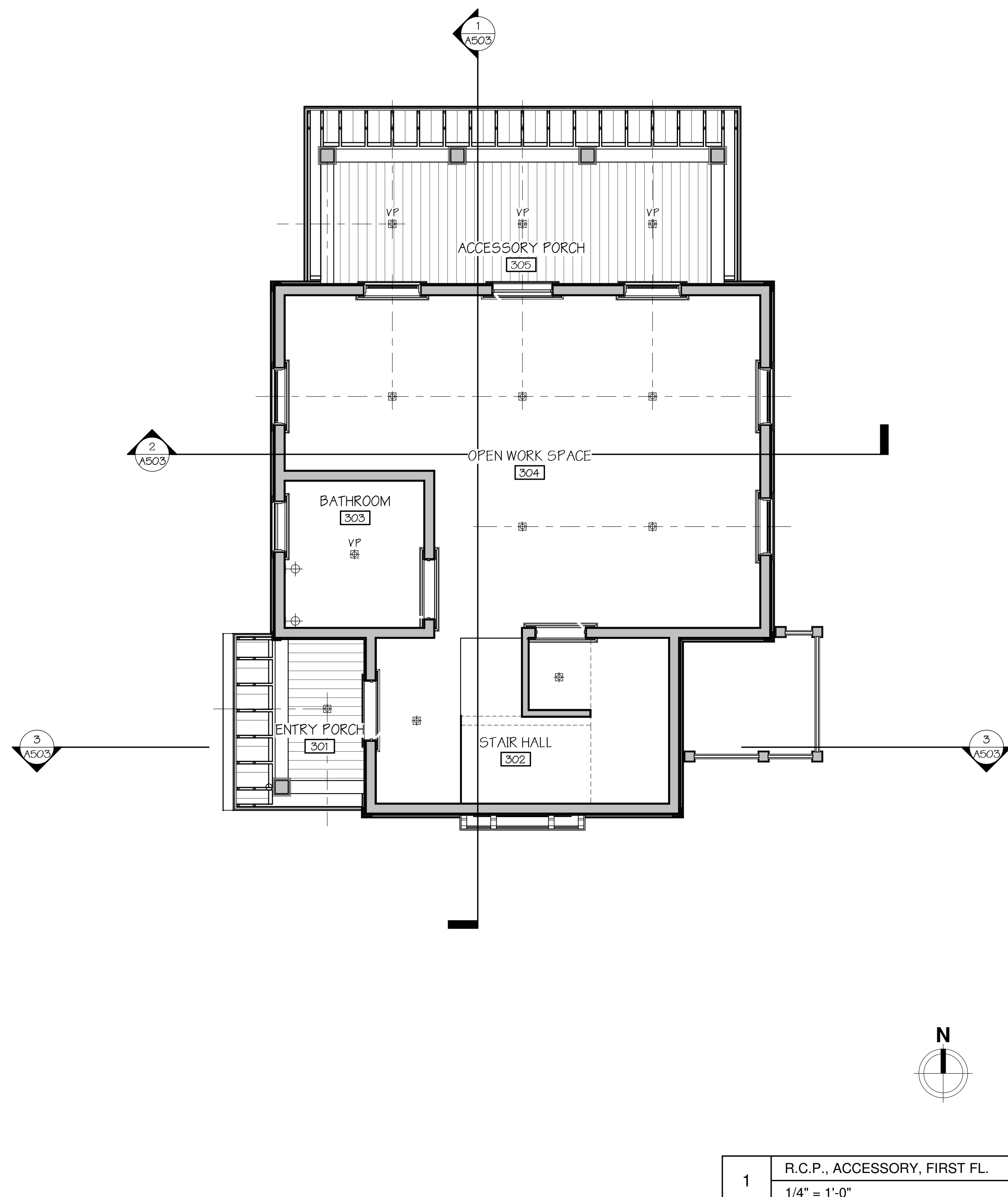
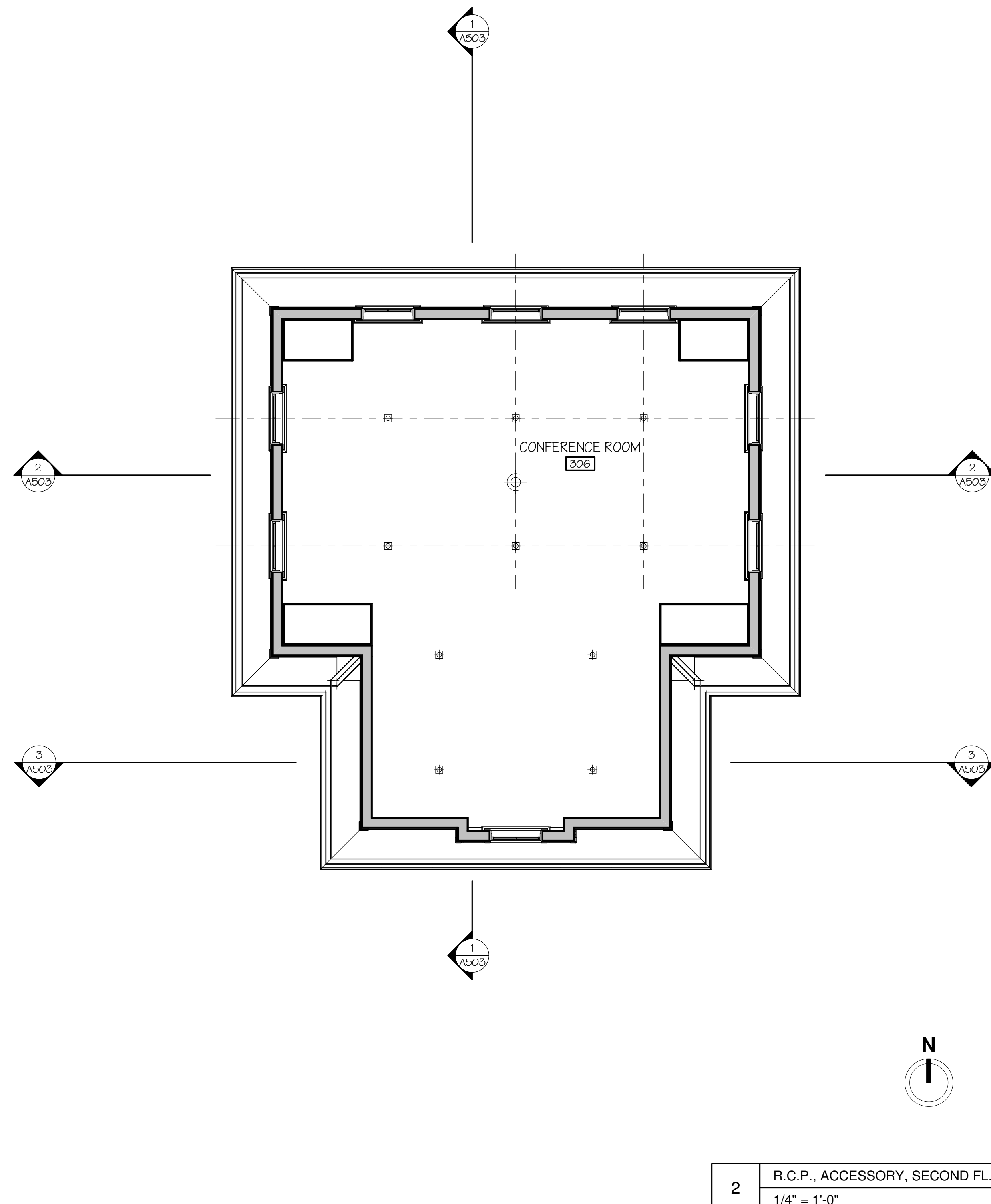
REFLECTED
CEILING PLAN,
SECOND FLOOR

SHEET NO.

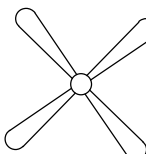
A202

24x36 PAPER SIZE

1	R.C.P., PRIMARY, SECOND FL.
	1/4" = 1'-0"



CEILING PLAN LEGEND

- | | |
|--|--|
|  | LED LINEAR LIGHT FIXTURE,
UNDER COUNTER |
|  | LED LENSED TROFFER LIGHT, 2' x 2' |
|  | DECORATIVE LIGHT,
WALL MOUNTED SCONCE |
|  | LED RECESSED CAN LIGHT FIXTURE: |
|  | 4" TYP. at INTERIOR LIGHTING |
|  | 6" TYP. at EXTERIOR LIGHTING |
|  | LED SURFACE MOUNTED LIGHT FIXTURE |
|  | DECORATIVE PENDANT,
CEILING MOUNTED |
|  | DECORATIVE CHANDELIER,
CEILING MOUNTED |
|  | FLUSH CEILING SPEAKER,
ASSEMBLY AND COVER |
|  | RISER LIGHT, PHOTO CELL,
AT EXT. STAIRS |
|  | CEILING FAN |
|  | RETURN REGISTER |
|  | SUPPLY REGISTER |
|  | 4" LINEAR SUPPLY DIFFUSER,
(LSD) |
|  | GYP SUM BOARD CEILING
(GYP.) |
|  | ACOUSTICAL TILE CEILING,
(A.C.T.) 2' x 2' |

[illegible]

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NEW COMMERCIAL BLDG. FOR:
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60 BRUIN ROAD
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BLUFFTON, SC 29910

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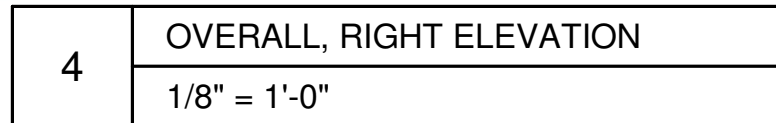
PROJECT NUMBER:	2403
DATE:	12.11.24
DRAWN BY:	SSK
CHECKED BY:	

REFLECTED
CEILING PLAN,
ACCESSORY

SHEET NO.

A204

24x36 PAPER SIZE

[illegible]

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60 BRUIN ROAD
LOT 23, TABBY ROADS
BLUFFTON, SC 29910

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PROJECT NUMBER:	2403
DATE:	12.11.24
DRAWN BY:	SSK / BRH
CHECKED BY:	

OVERALL EXTERIOR ELEVATIONS

SHEET NO.

A400

24x36 PAPER SIZE

S:\2024\Projects\2403_Detail 60 Bruin Road\Drawing files\2403_60 BRUIN RD.rvt

12/11/2024 4:36:18 PM



1 FRONT ELEVATION, PRIMARY
1/4" = 1'-0"



2 RIGHT ELEVATION, PRIMARY
1/4" = 1'-0"

DO NOT SCALE FROM DRAWINGS			
		XXX	INITIAL
		XX.X.24	DATE
		XXX	DESCRIPTION / REVISION LOG
		NO.	

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NEW COMMERCIAL BLDG. FOR:
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BLUFFTON, SC 29910
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NOT FOR CONSTRUCTION

PROJECT NUMBER: 2403
DATE: 12.11.24
DRAWN BY: SSK / BRH
CHECKED BY:

EXT.
ELEVATIONS,
PRIMARY BLDG.

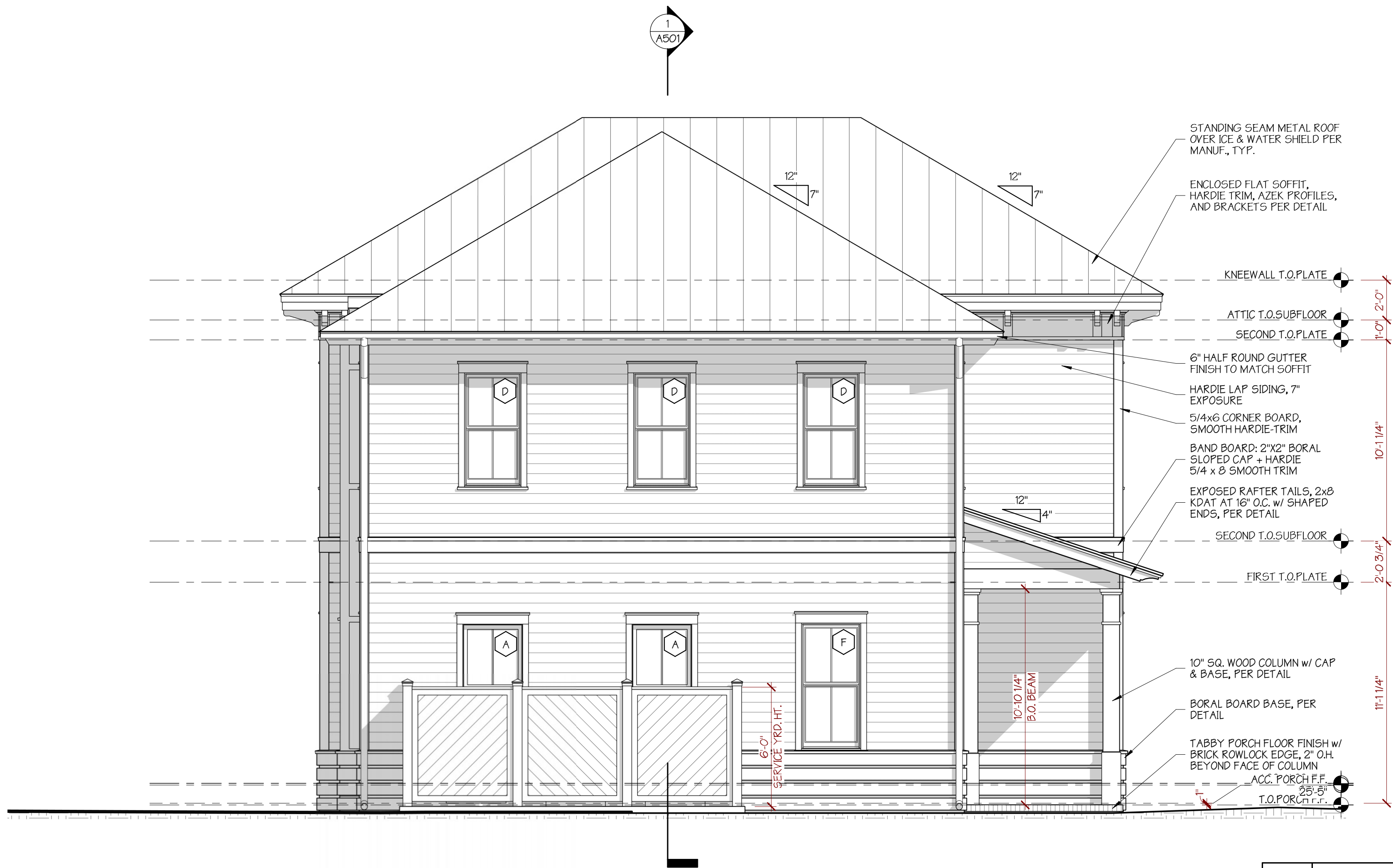
SHEET NO.

A401

24x36 PAPER SIZE

S:\2024\Projects\2403_Datall 60 Bruin Road\Drawing files\2403_60 BRUIN RD.rvt

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1 REAR ELEVATION, PRIMARY
1/4" = 1'-0"



2 LEFT ELEVATION, PRIMARY
1/4" = 1'-0"

DO NOT SCALE FROM DRAWINGS				
NO.	DESCRIPTION / REV / SON LOG	DATE	INITIAL	

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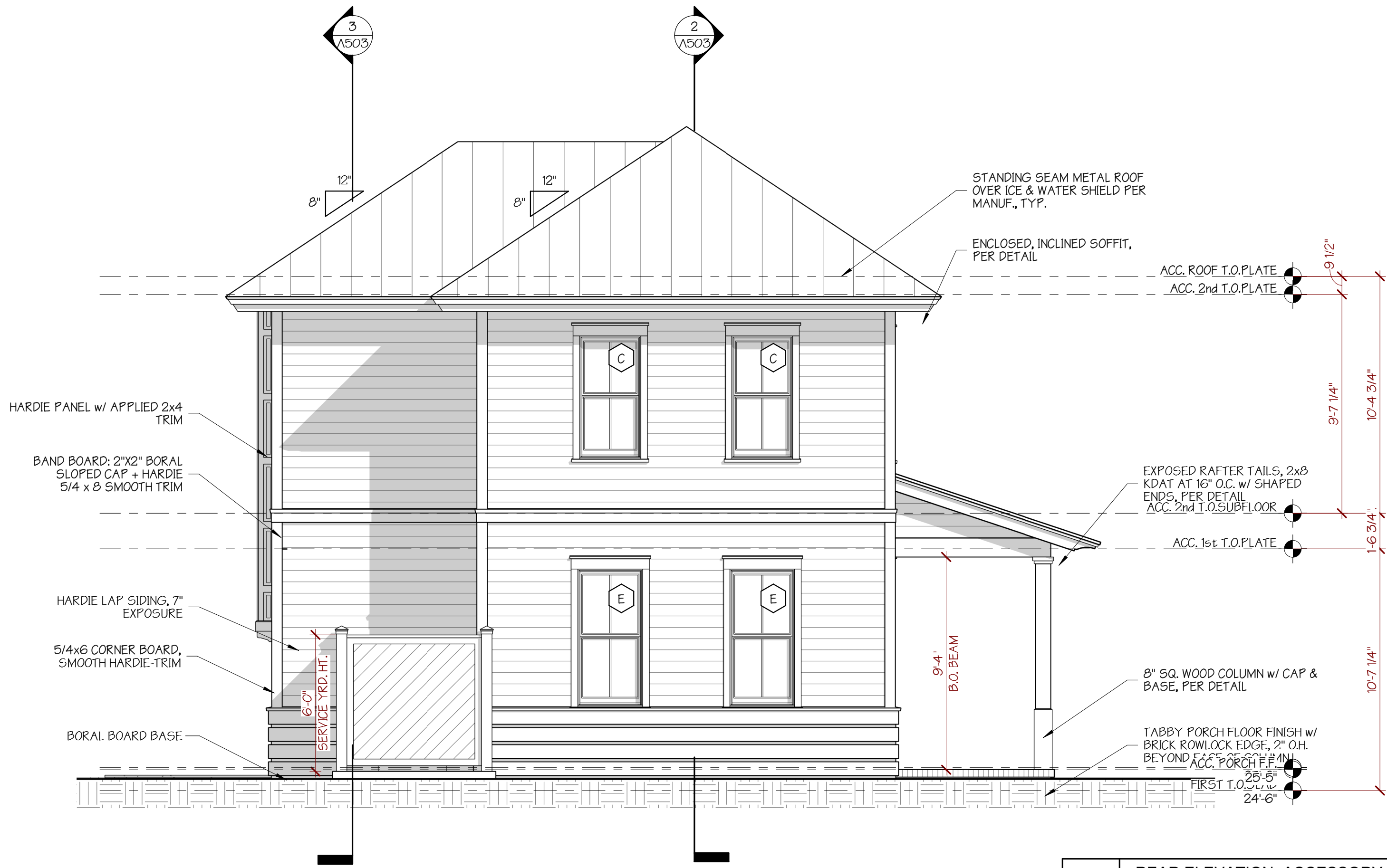
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DATE: 12.11.24
DRAWN BY: SSK / BRH
CHECKED BY:

EXT.
ELEVATIONS,
PRIMARY BLDG.

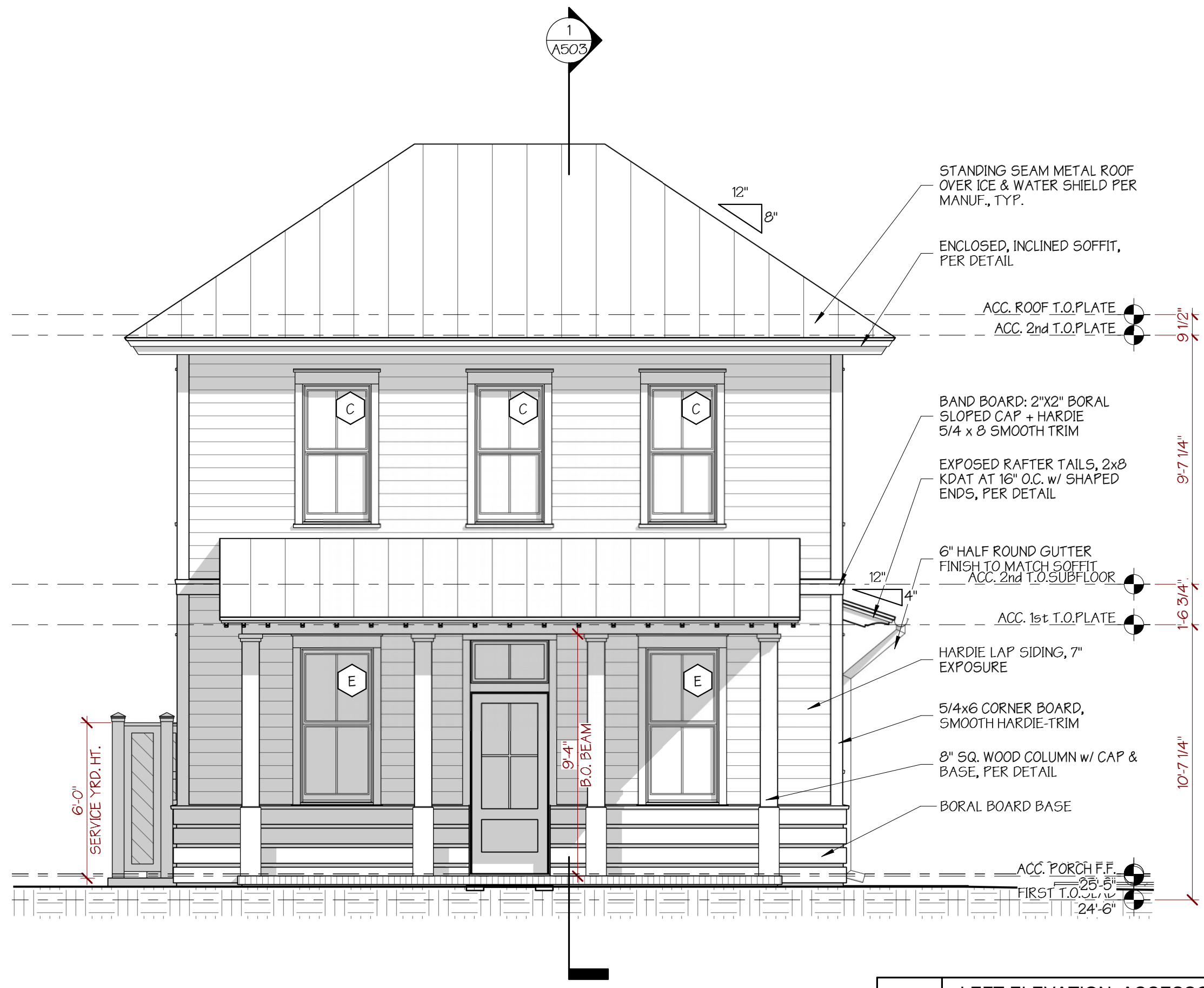
SHEET NO.
A402

24x36 PAPER SIZE

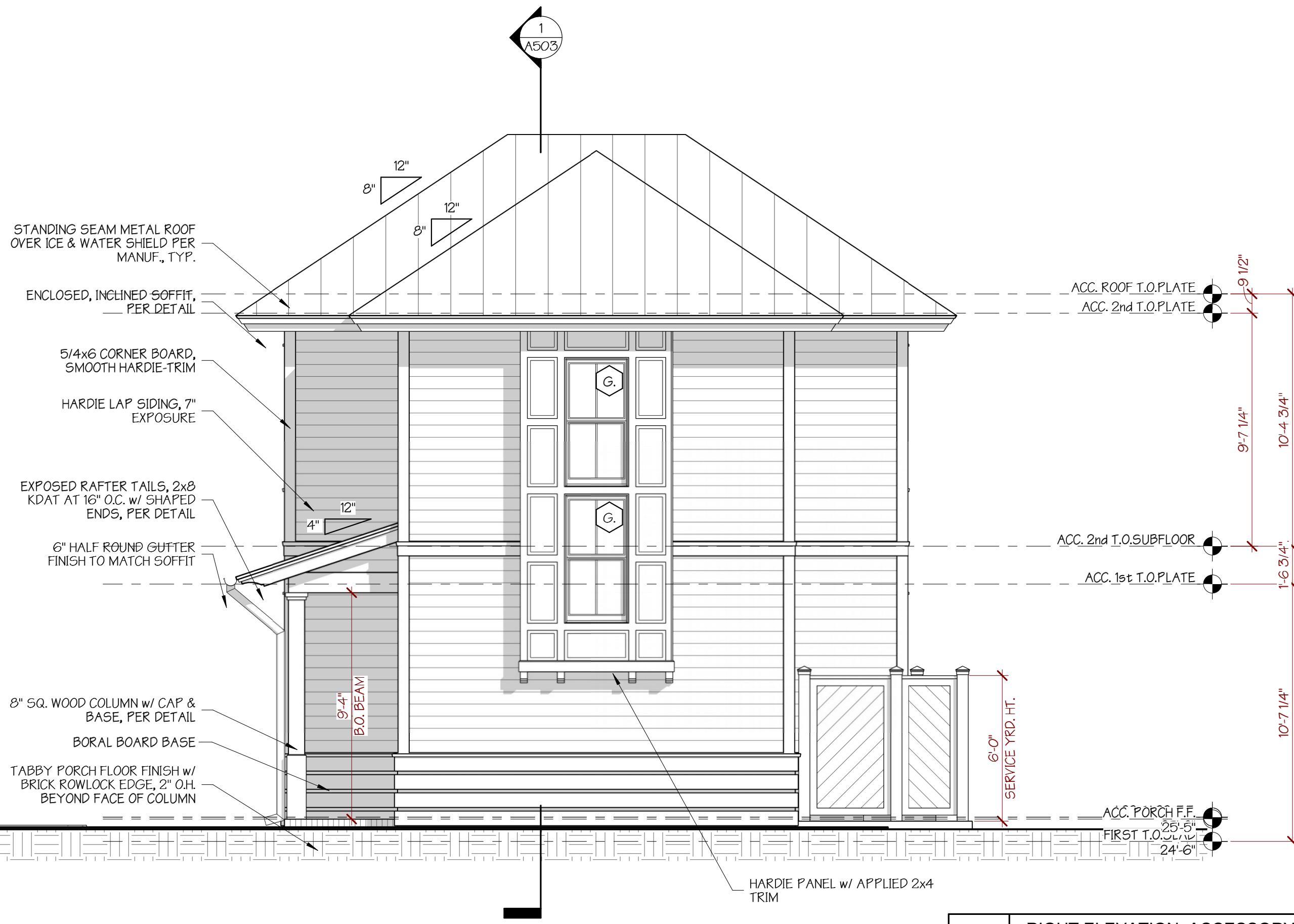
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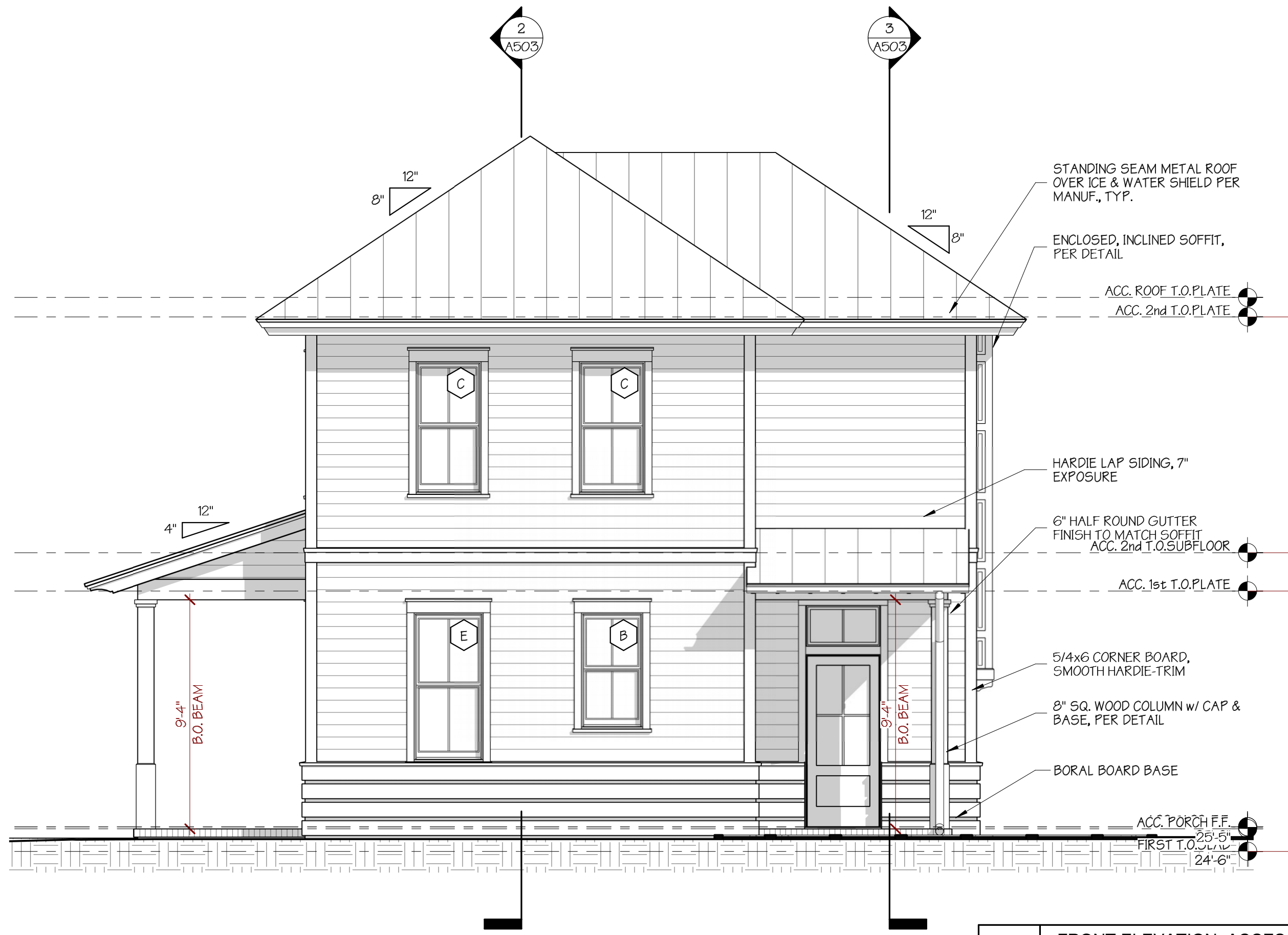
3 REAR ELEVATION, ACCESSORY
1/4" = 1'-0"



1 LEFT ELEVATION, ACCESSORY
1/4" = 1'-0"



4 RIGHT ELEVATION, ACCESSORY
1/4" = 1'-0"



2 FRONT ELEVATION, ACCESSORY
1/4" = 1'-0"

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NEW COMMERCIAL BLDG. FOR:
PRESTIGE WORLDWIDE PROPERTIES, LLC
60 BRUIN ROAD
LOT 23, TABBY ROADS
BLUFFTON, SC 29910

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6 STATE OF MIND STREET
SUITE 200
BLUFFTON, SC 29910
843.837.5700

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PROJECT NUMBER: 2403
DATE: 12.11.24
DRAWN BY: SSK / BRH
CHECKED BY:

EXT.
ELEVATIONS,
ACCESSORY

SHEET NO.

A403

24x36 PAPER SIZE

12/11/2024 4:36:29 PM

S:\2024\Projects\2403_Datzeil 60 Bruin Road\Drawing files\2403_60 BRUIN RD.rvt

12/11/2024 4:36:43 PM



1	FRONT-LEFT PERSPECTIVE
---	------------------------



2	FRONT-RIGHT PERSPECTIVE
---	-------------------------

DO NOT SCALE FROM DRAWINGS									
								XXX	INITIAL
								XX.X.24	DATE
								XXX	DESCRIPTION / REVISION LOG
								NO.	

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NEW COMMERCIAL BLDG. FOR:
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60 BRUIN ROAD
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6 STATE OF MIND STREET
SUITE 200
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NOT FOR CONSTRUCTION

PROJECT NUMBER:	2403
DATE:	12.11.24
DRAWN BY:	SSK
CHECKED BY:	

EXT.
PERSPECTIVES

SHEET NO.

A404

24x36 PAPER SIZE



FRAMING NOTES:

- STRUCTURE DESIGNED w/ OPEN WEB JOISTS TO CONTAIN ALL MECHANICAL TRUNK LINES. THIS WILL ELIMINATE THE NEED TO FURR-DOWN CEILINGS.
- CONTRACTOR TO COORD. ALL MECHANICAL SUPPLY/RETURNS & DUCT PATHS PRIOR TO APPROVING FRAMING PACKAGE.
- FIRST FLOOR DESIGNED w/ 5/4x SLEEPER SYSTEM. MAINTAIN 3" STEP-UP FROM PORCH F.F. TO HOUSE F.F. CONTACT ARCHITECT IF MATERIALS CHANGE, AS THIS WILL AFFECT FINISHED FLOOR TO FINISHED FLOOR LEVEL CHANGES.

BUILDING SECTION, PRIMARY 1

1/4" = 1'-0"



BUILDING SECTION, PRIMARY 2

1/4" = 1'-0"

DO NOT SCALE FROM DRAWINGS				
			XXX	INITIAL
			XX.X.24	DATE
			XXX	DESCRIPTION / REV / SON / LOG
			NO.	

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NEW COMMERCIAL BLDG. FOR:
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60 BRUIN ROAD
LOT 23, TABBY ROADS
BLUFFTON, SC 29910

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SUITE 200
BLUFFTON, SC 29910
843.837.5700

NOT FOR CONSTRUCTION

PROJECT NUMBER: 2403
DATE: 12.11.24
DRAWN BY: SSK
CHECKED BY:

BUILDING
SECTIONS

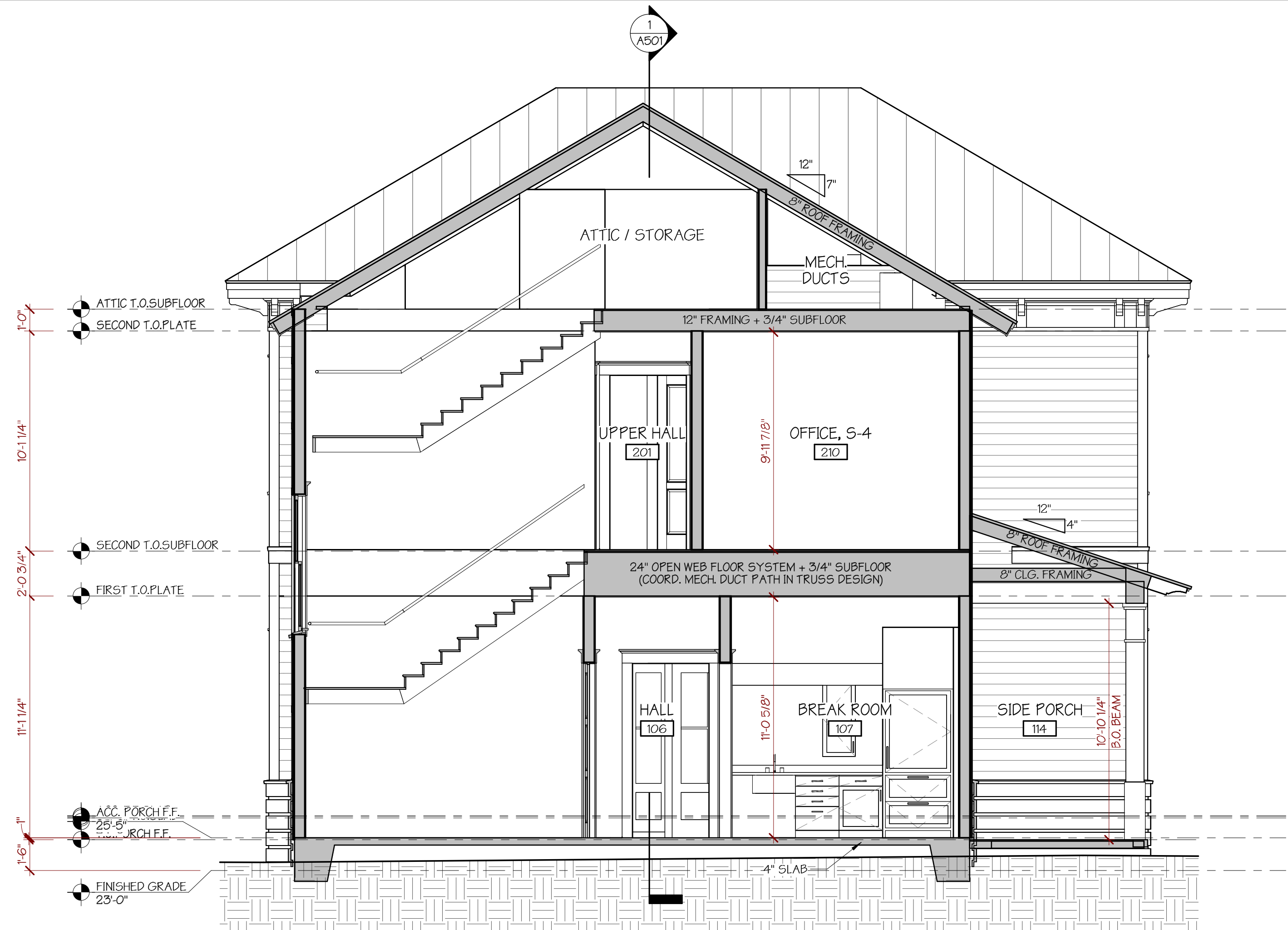
SHEET NO.

A501

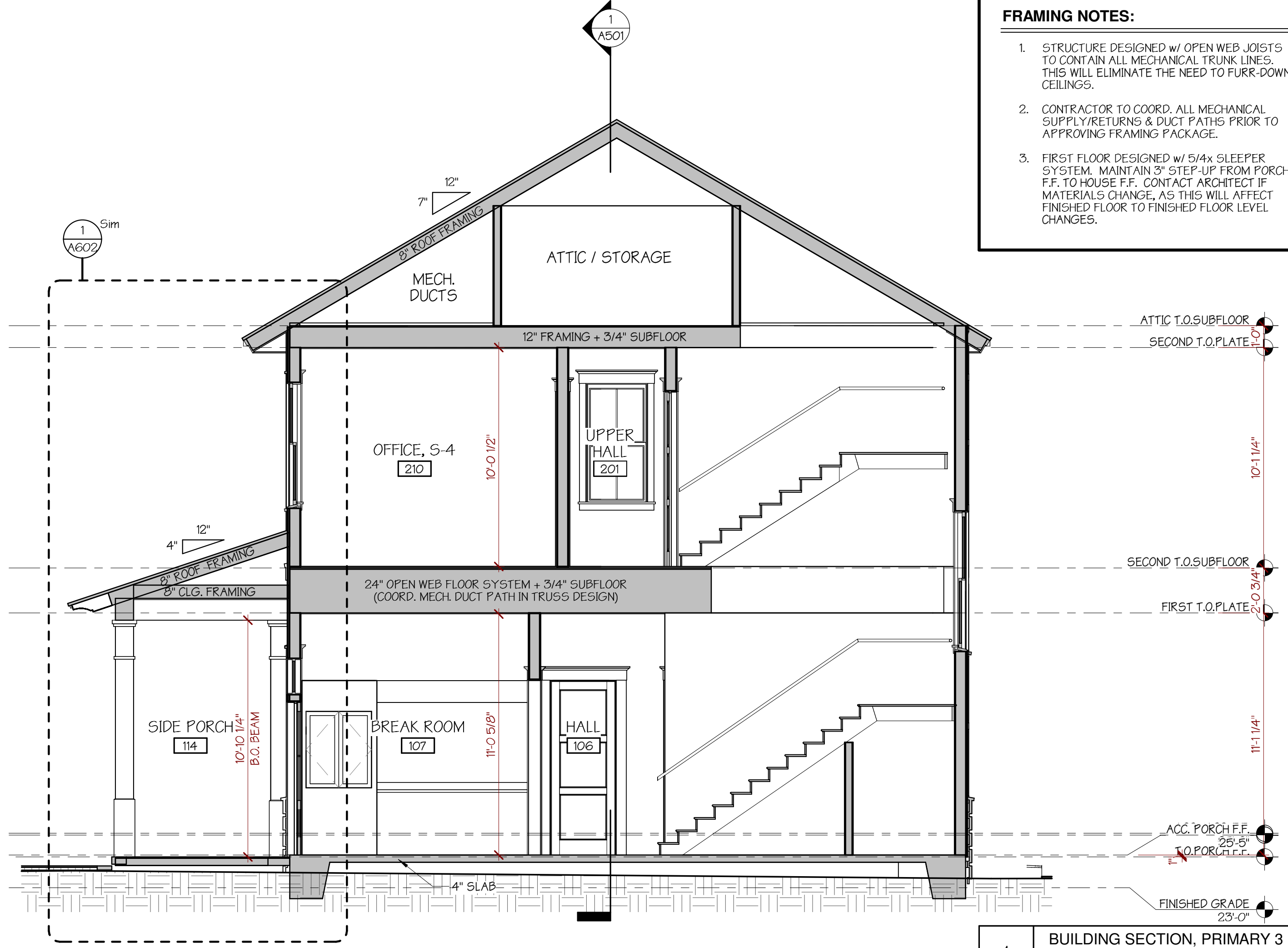
24x36 PAPER SIZE

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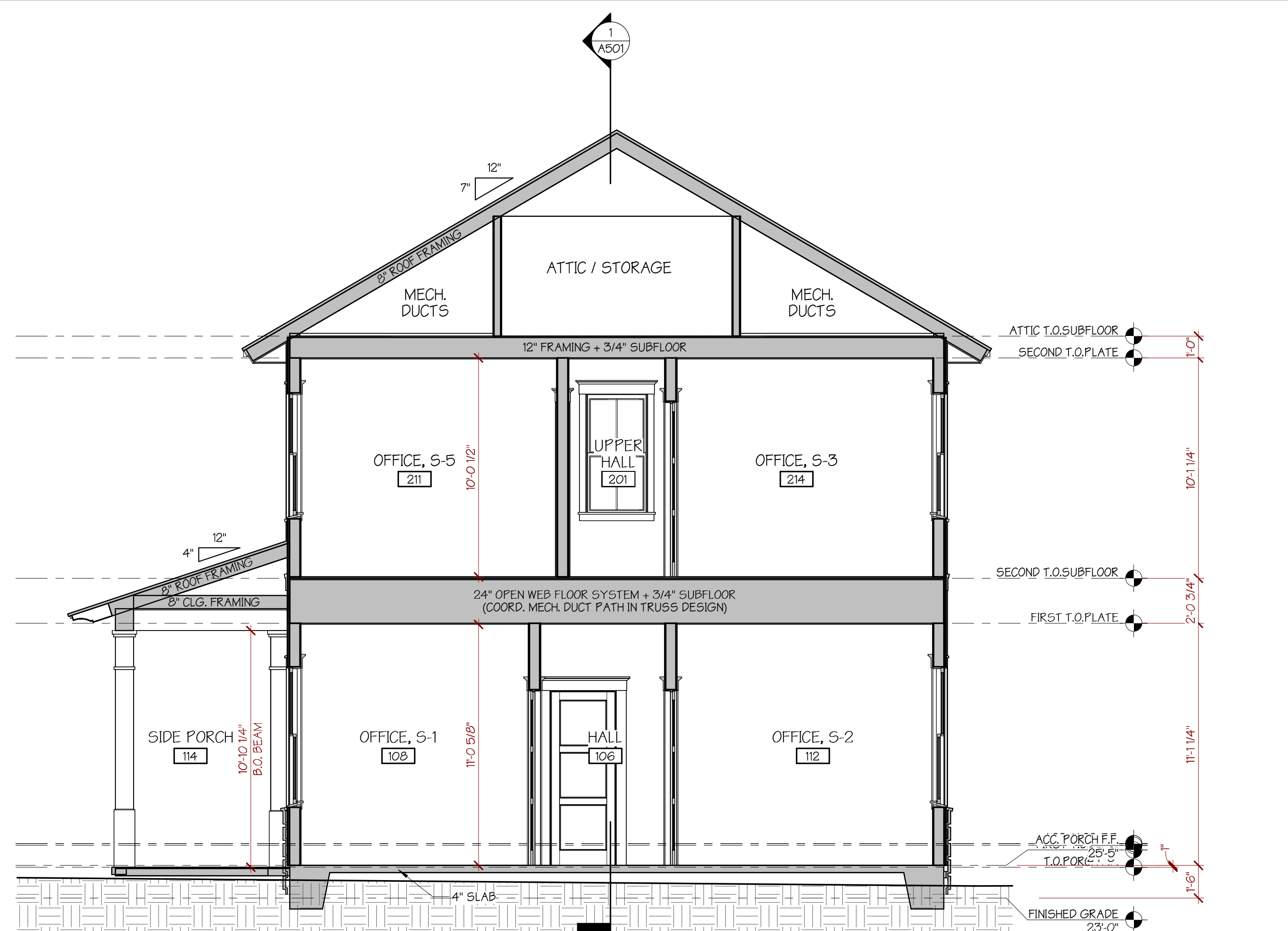


3 BUILDING SECTION, PRIMARY 5
1/4" = 1'-0"



1 BUILDING SECTION, PRIMARY 3
1/4" = 1'-0"

- FRAMING NOTES:**
- STRUCTURE DESIGNED w/ OPEN WEB JOISTS TO CONTAIN ALL MECHANICAL TRUNK LINES. THIS WILL ELIMINATE THE NEED TO FURR-DOWN CEILINGS.
 - CONTRACTOR TO COORD. ALL MECHANICAL SUPPLY/RETURNS & DUCT PATHS PRIOR TO APPROVING FRAMING PACKAGE.
 - FIRST FLOOR DESIGNED w/ 5/8\"/>



2 BUILDING SECTION, PRIMARY 4
1/4" = 1'-0"

DO NOT SCALE FROM DRAWINGS				
			XXX	INITIAL
			XX.X.24	DATE
			XXX	DESCRIPTION / REVISION LOG
			NO.	

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NEW COMMERCIAL BLDG. FOR:
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60 BRUIN ROAD
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BLUFFTON, SC 29910

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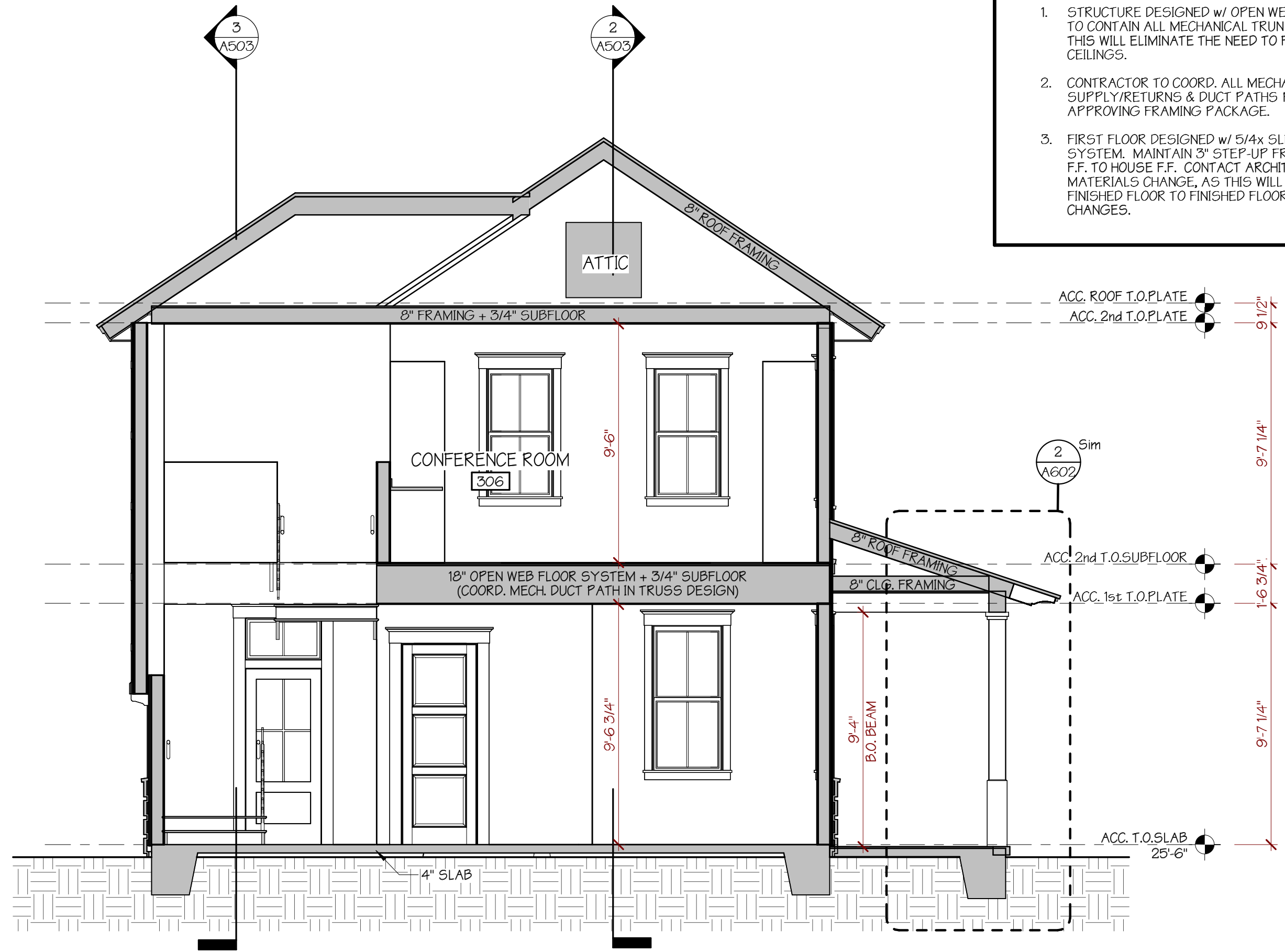
NOT FOR CONSTRUCTION

PROJECT NUMBER: 2403
DATE: 12.11.24
DRAWN BY: SSK
CHECKED BY:

**BUILDING
SECTIONS**

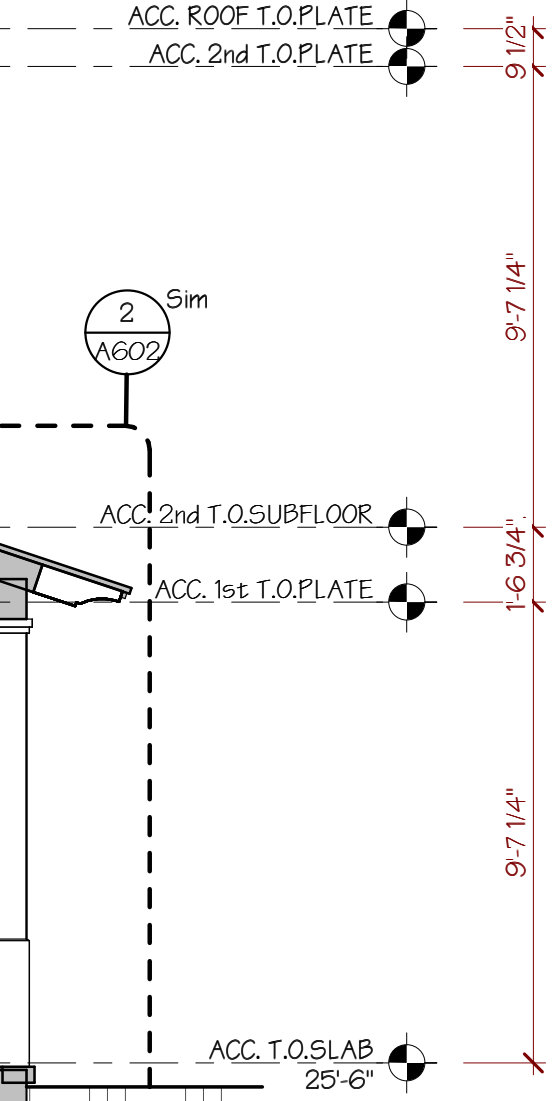
SHEET NO.
A502

24x36 PAPER SIZE

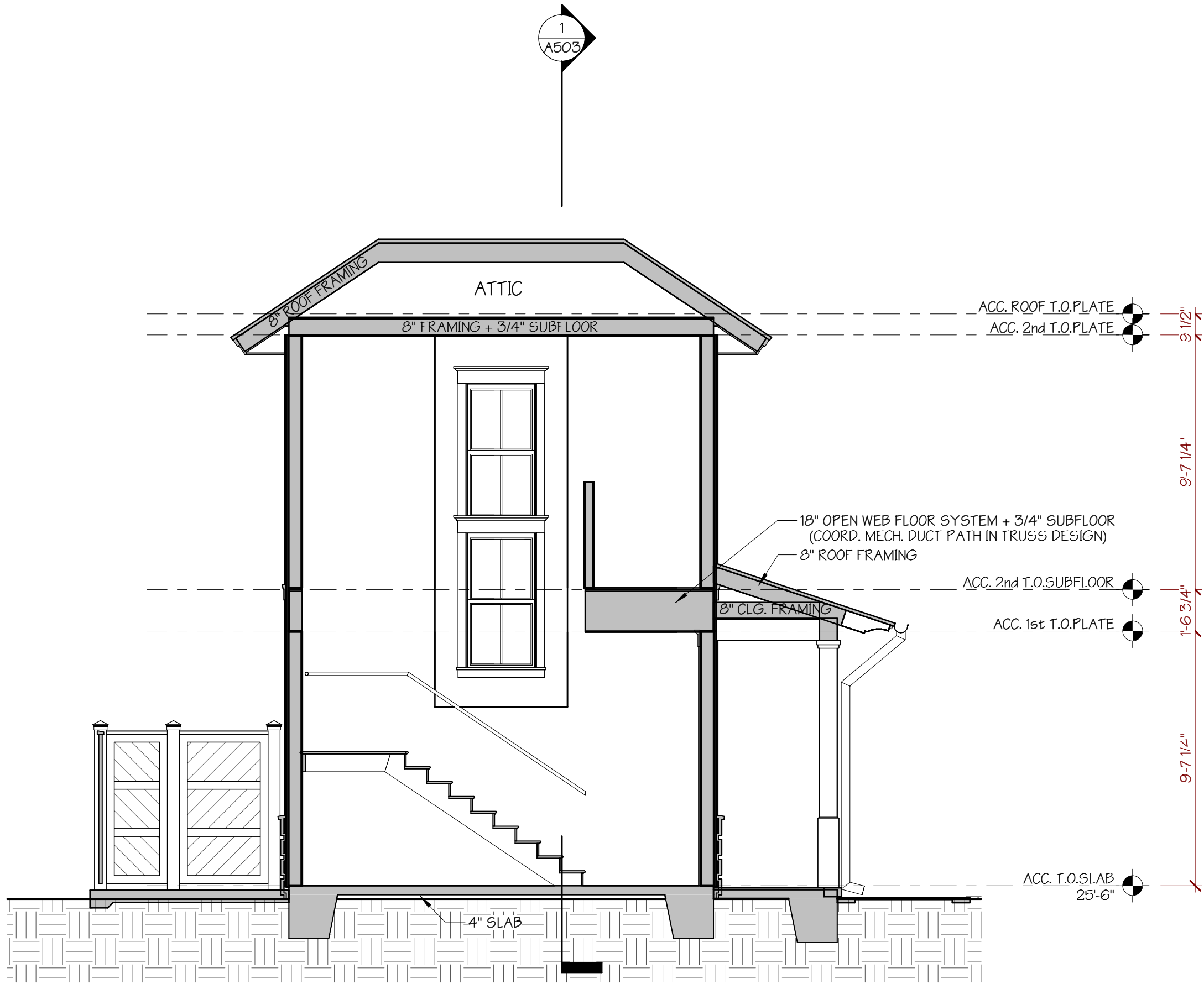


FRAMING NOTES:

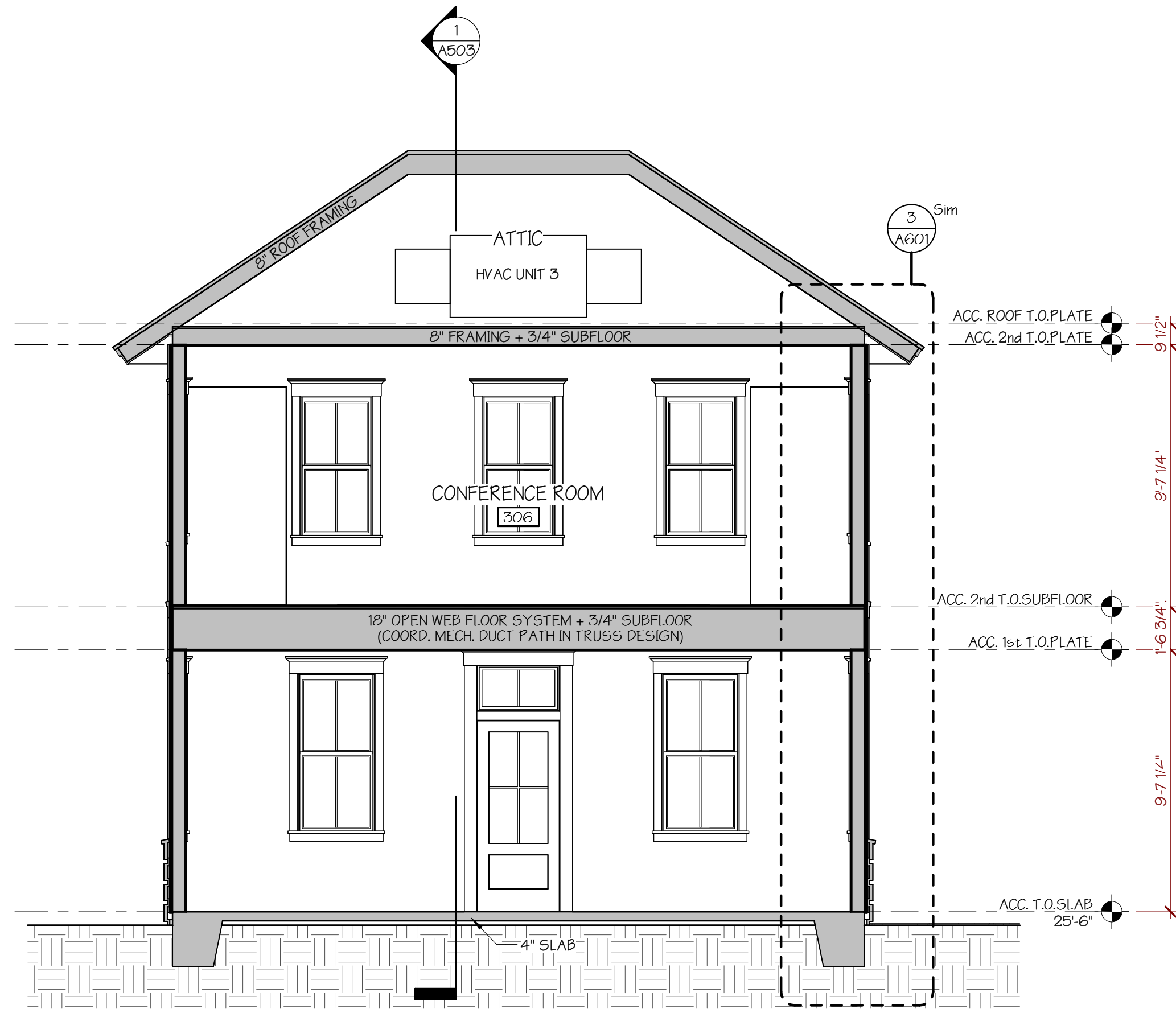
- STRUCTURE DESIGNED w/ OPEN WEB JOISTS TO CONTAIN ALL MECHANICAL TRUNK LINES. THIS WILL ELIMINATE THE NEED TO FURR-DOWN CEILINGS.
- CONTRACTOR TO COORD. ALL MECHANICAL SUPPLY/RETURNS & DUCT PATHS PRIOR TO APPROVING FRAMING PACKAGE.
- FIRST FLOOR DESIGNED w/ 5/4x SLEEPER SYSTEM. MAINTAIN 2\"/>



1 BUILDING SECTION, ACCESSORY 1
1/4" = 1'-0"



3 BUILDING SECTION, ACCESSORY 3
1/4" = 1'-0"



2 BUILDING SECTION, ACCESSORY 2
1/4" = 1'-0"

DO NOT SCALE FROM DRAWINGS				
			XXX	INITIAL
			XX.X.24	DATE
			XXX	DESCRIPTION / REVISION LOG
			NO.	

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NEW COMMERCIAL BLDG. FOR:
PRESTIGE WORLDWIDE PROPERTIES, LLC
60 BRUIN ROAD
LOT 23, TABBY ROADS
BLUFFTON, SC 29910

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6 STATE OF MIND STREET
SUITE 200
BLUFFTON, SC 29910
843.837.5700

NOT FOR CONSTRUCTION

PROJECT NUMBER:	2403
DATE:	12.11.24
DRAWN BY:	SSK
CHECKED BY:	

ACC. BUILDING
SECTIONS

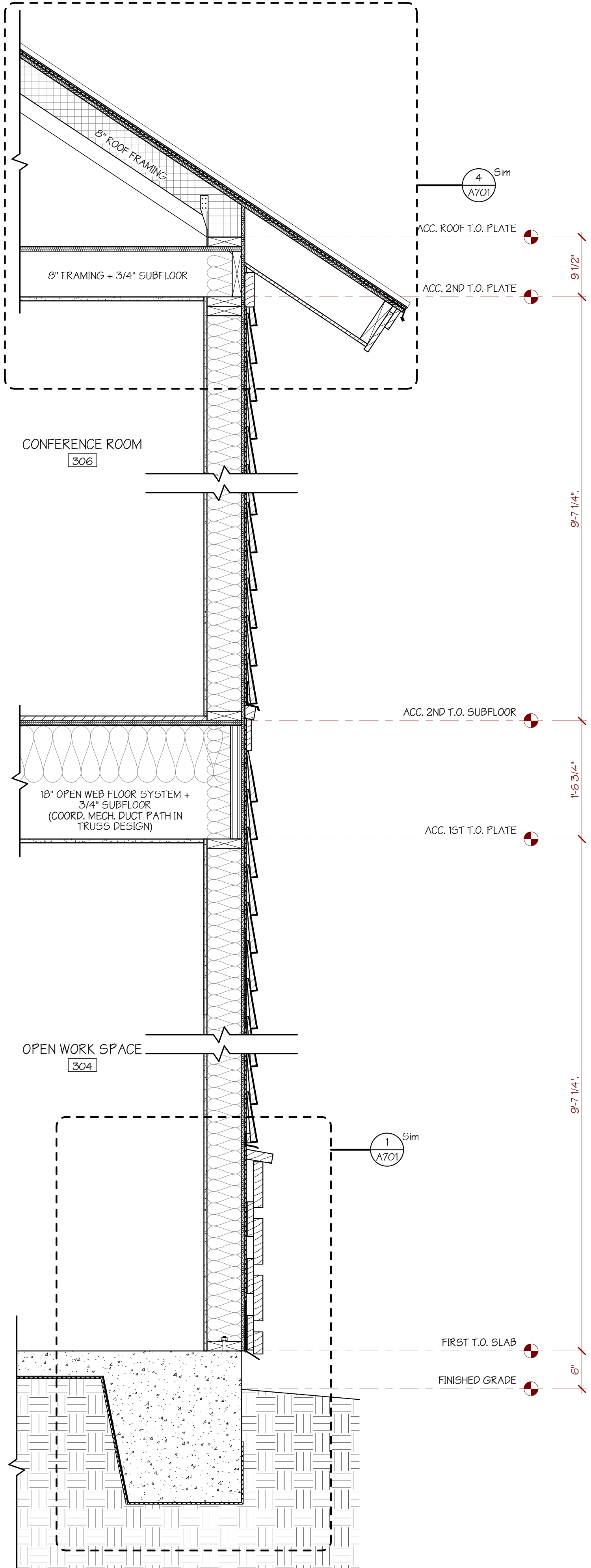
SHEET NO.

A503

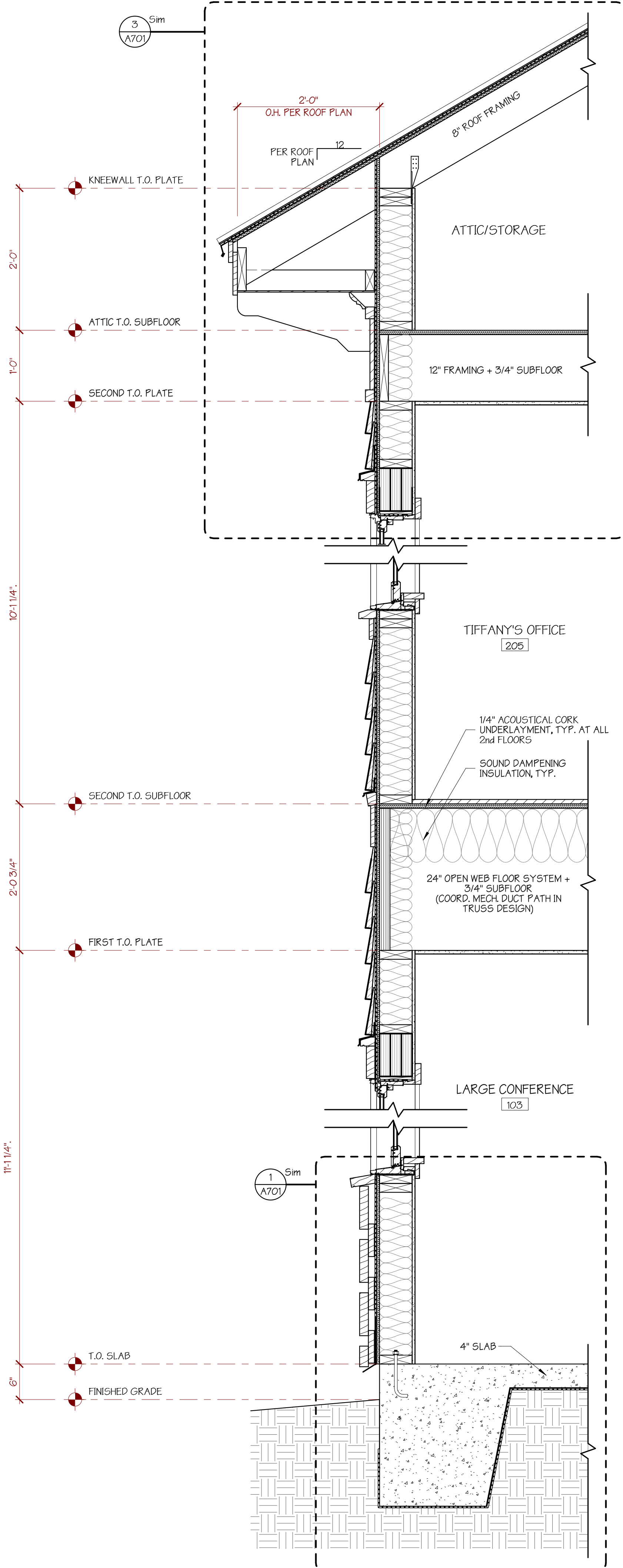
24x36 PAPER SIZE

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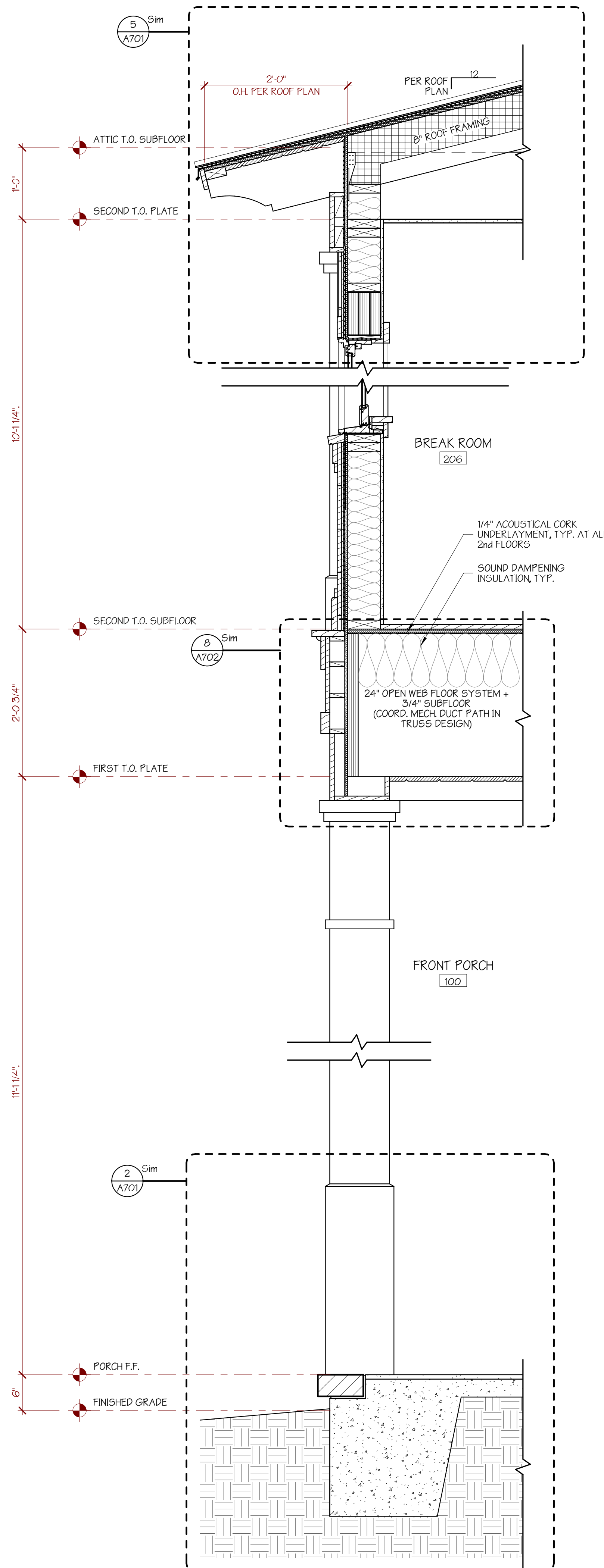
12/11/2024 4:36:47 PM



3 ACC. BUILDING WALL SECTION
1" = 1'-0"



2 LARGE CONF. ROOM WALL SECTION
1" = 1'-0"



1 FRONT PORCH WALL SECTION
1" = 1'-0"

DO NOT SCALE FROM DRAWINGS			
		XXX	INITIAL
		XX.X.24	DATE
		XXX	DESCRIPTION / REVISION LOG
		NO.	

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NEW COMMERCIAL BLDG. FOR:
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60 BRUIN ROAD
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SUITE 200
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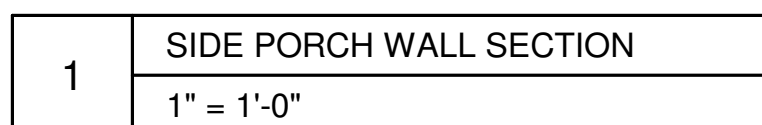
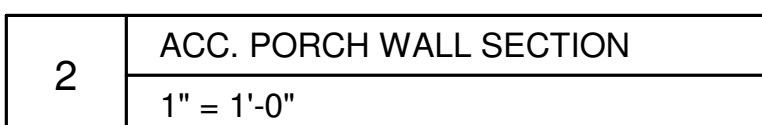
PROJECT NUMBER:	2403
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WALL SECTIONS

SHEET NO.

A601

24x36 PAPER SIZE



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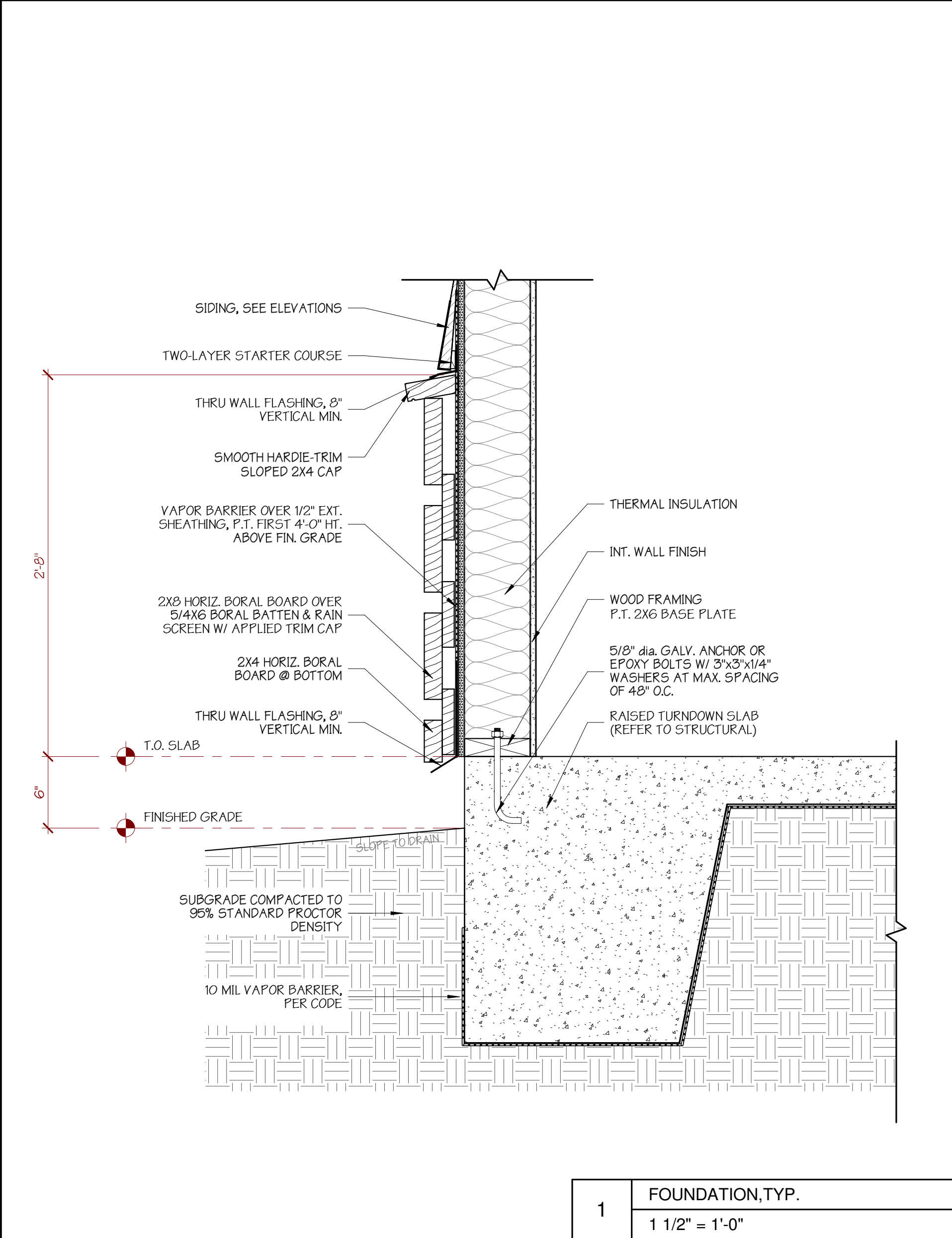
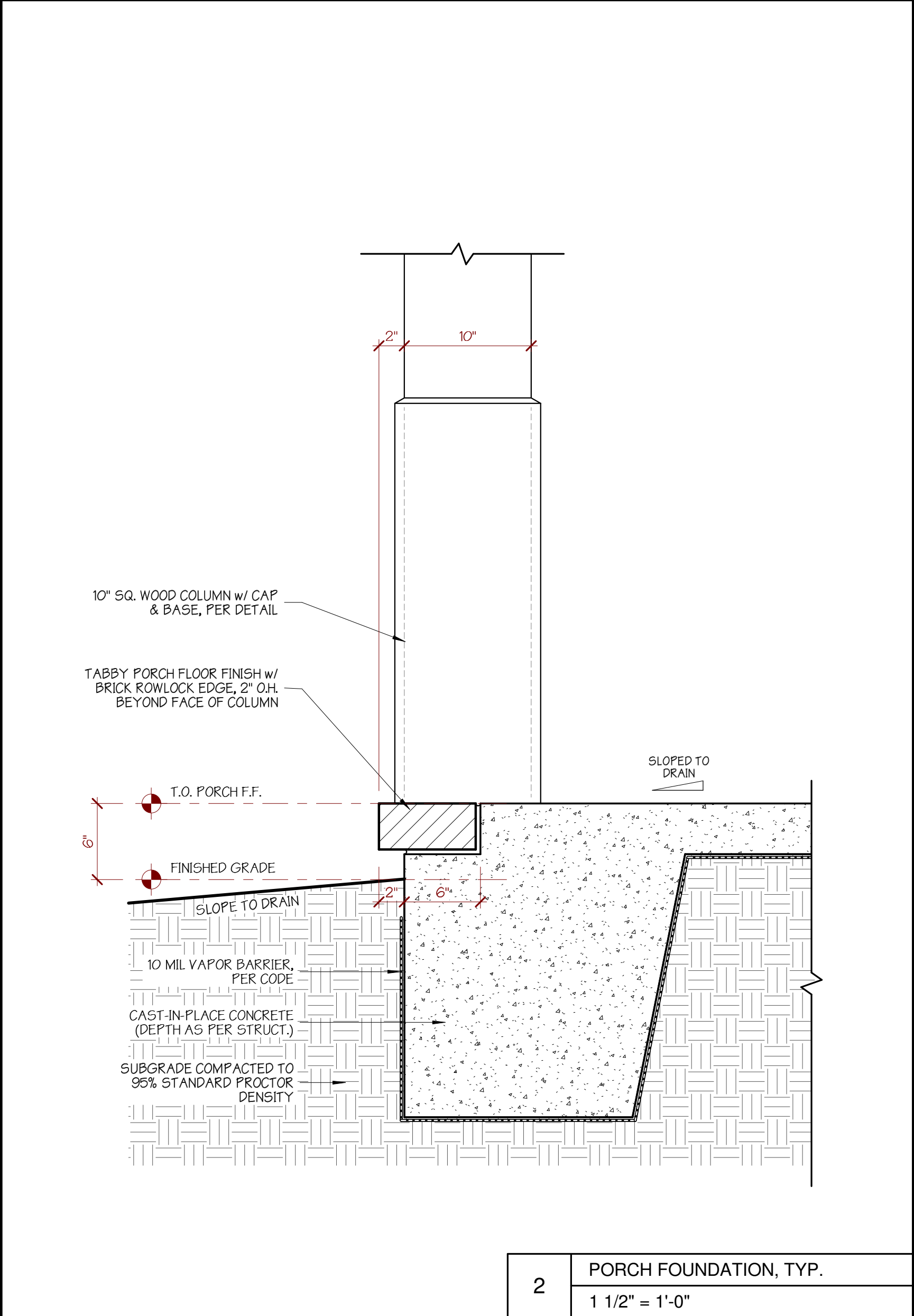
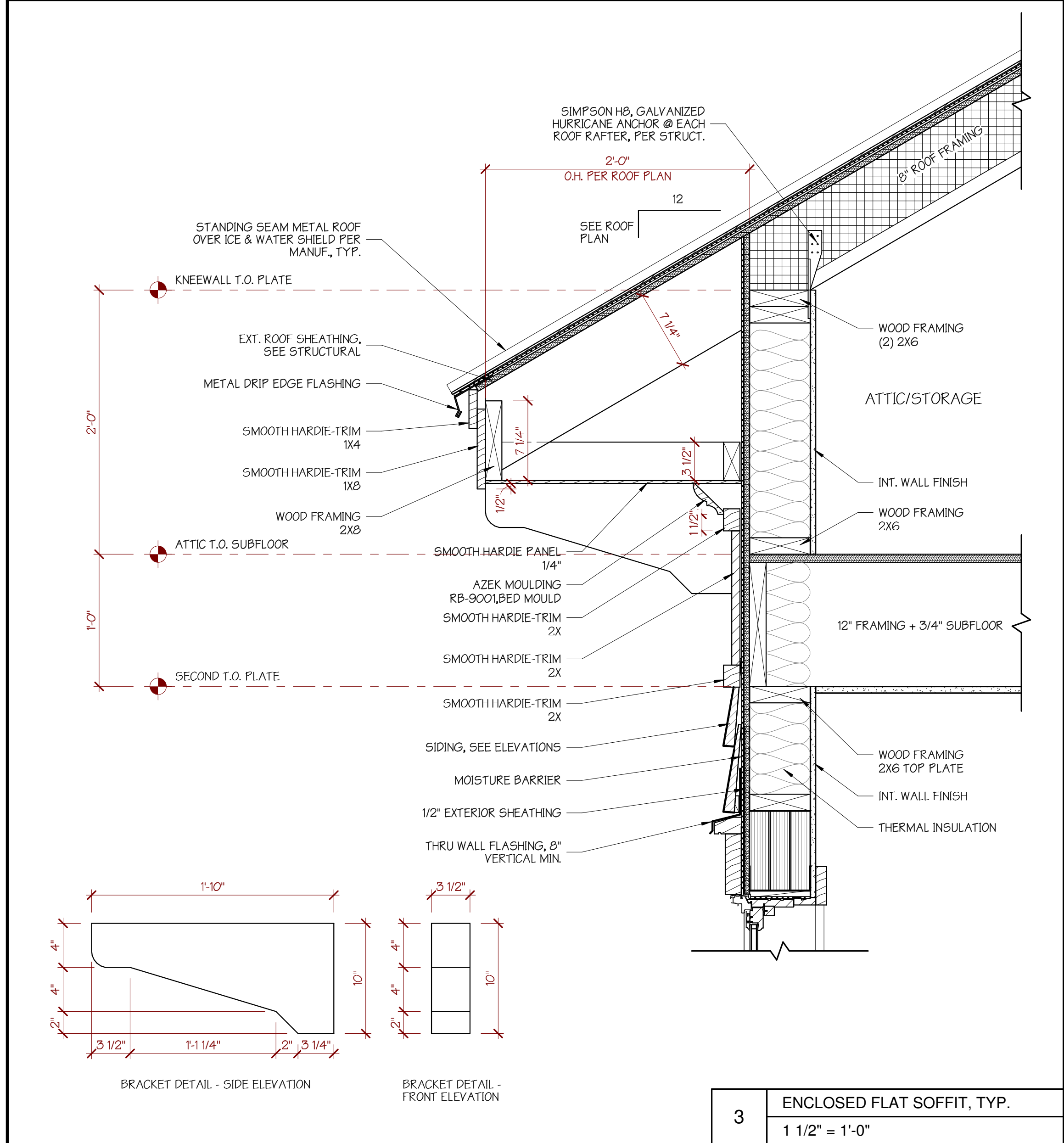
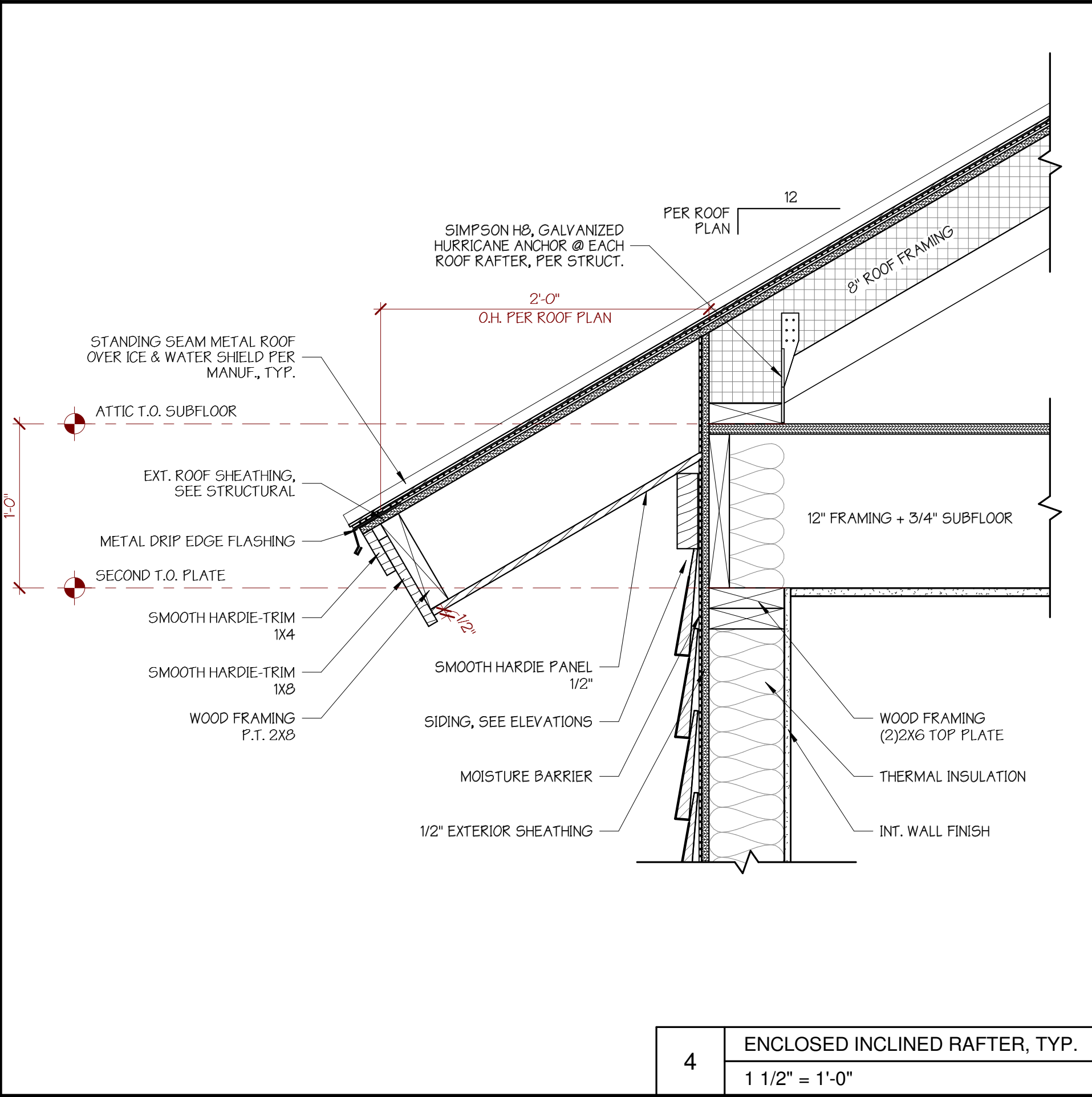
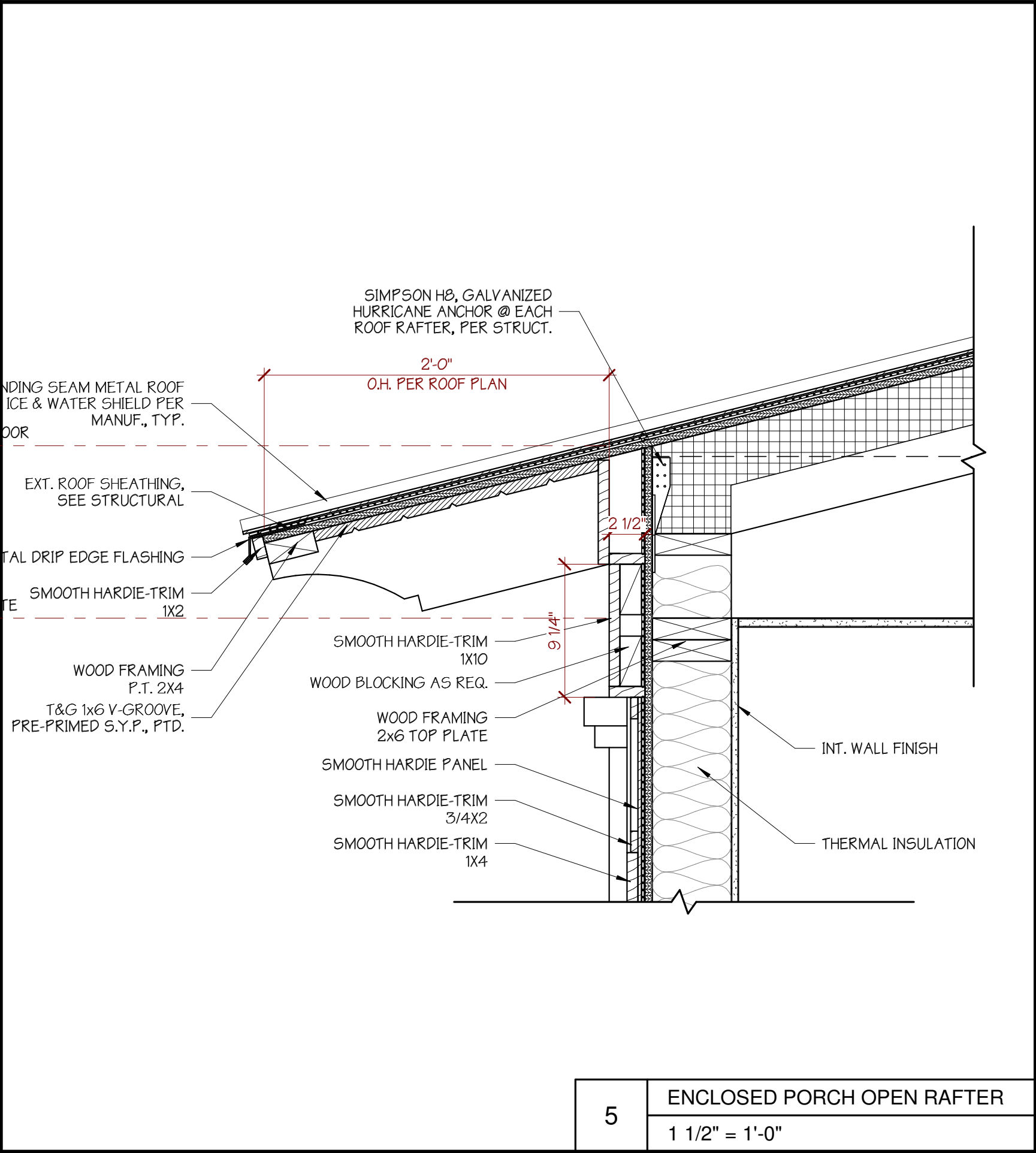
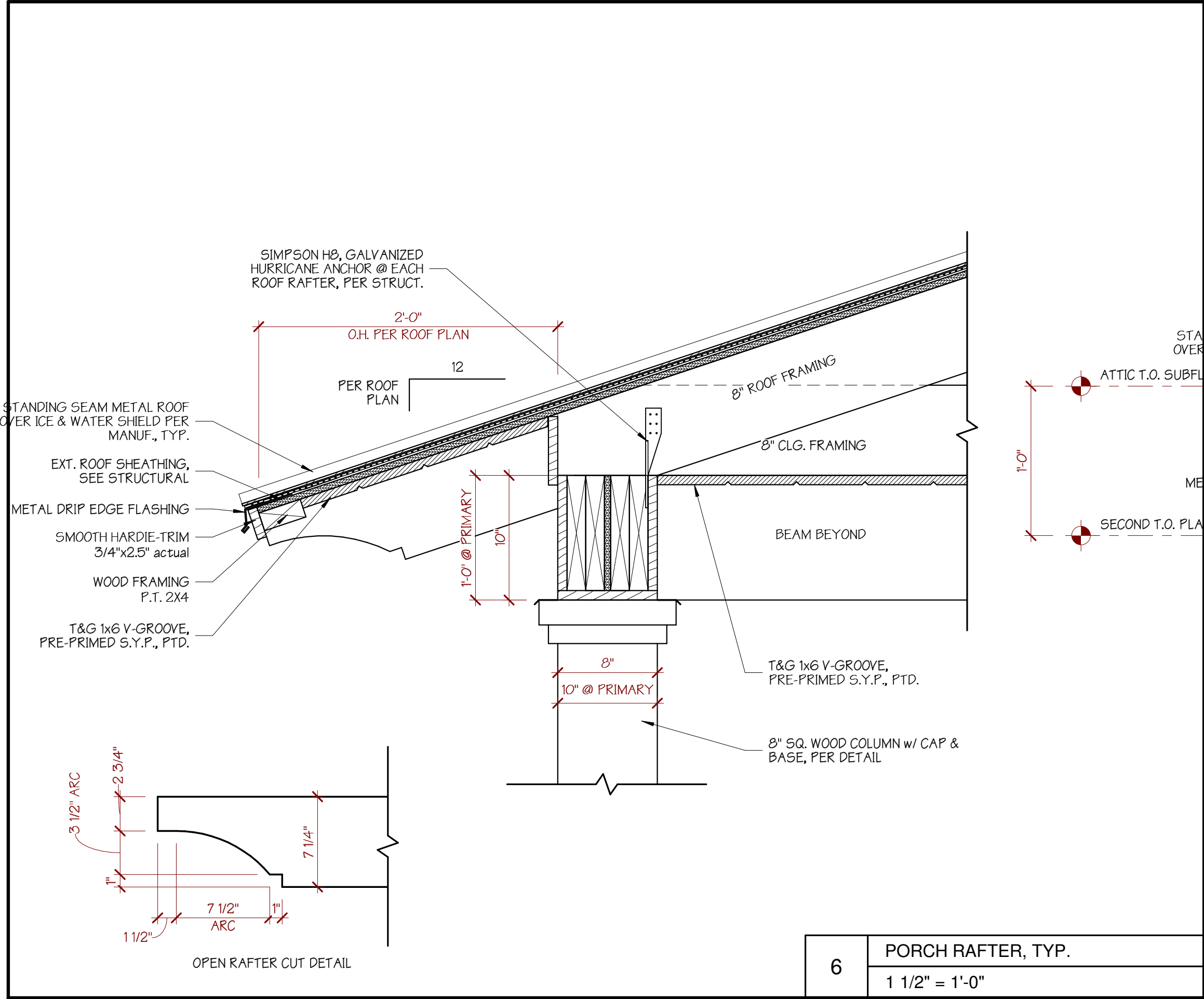
WALL SECTIONS

A602

24x36 PAPER SIZE

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NEW COMMERCIAL BLDG. FOR:
PRESTIGE WORLDWIDE PROPERTIES, LLC
60 BRUIN ROAD
LOT 23, TABBY ROADS
BLUFFTON, SC 29910

PEARCE
SCOTT
ARCHITECTS

6 STATE OF MIND STREET
SUITE 200
BLUFFTON, SC 29910
843.837.5700

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DETAILS

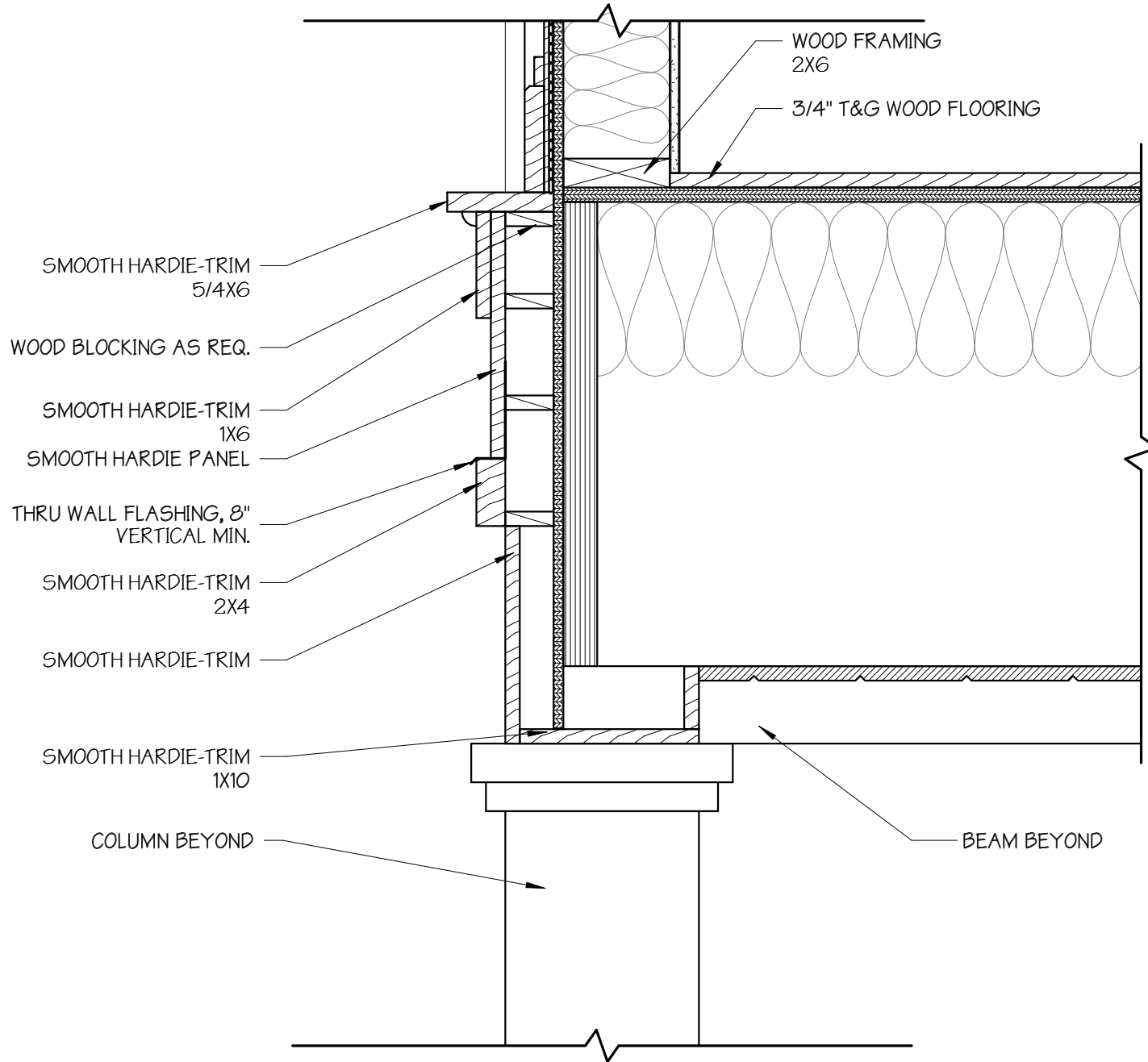
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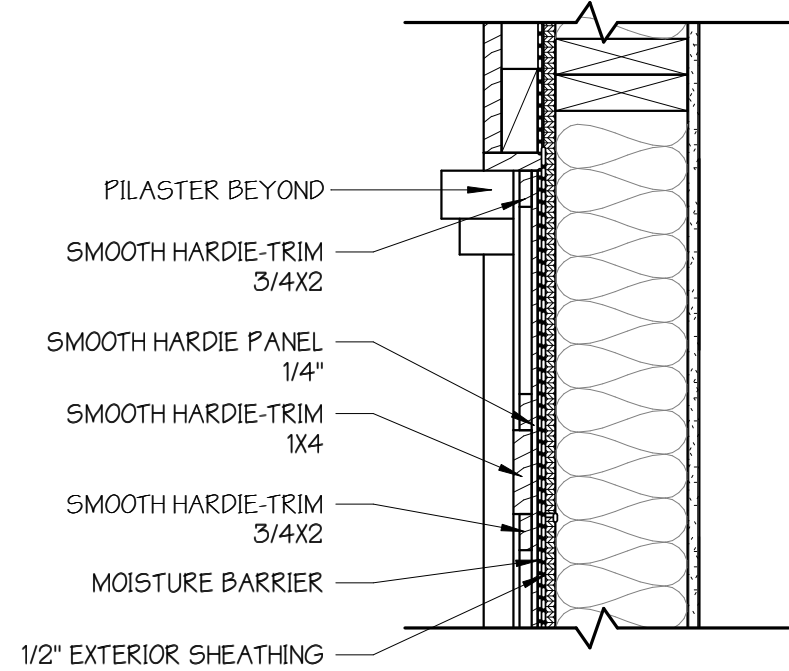
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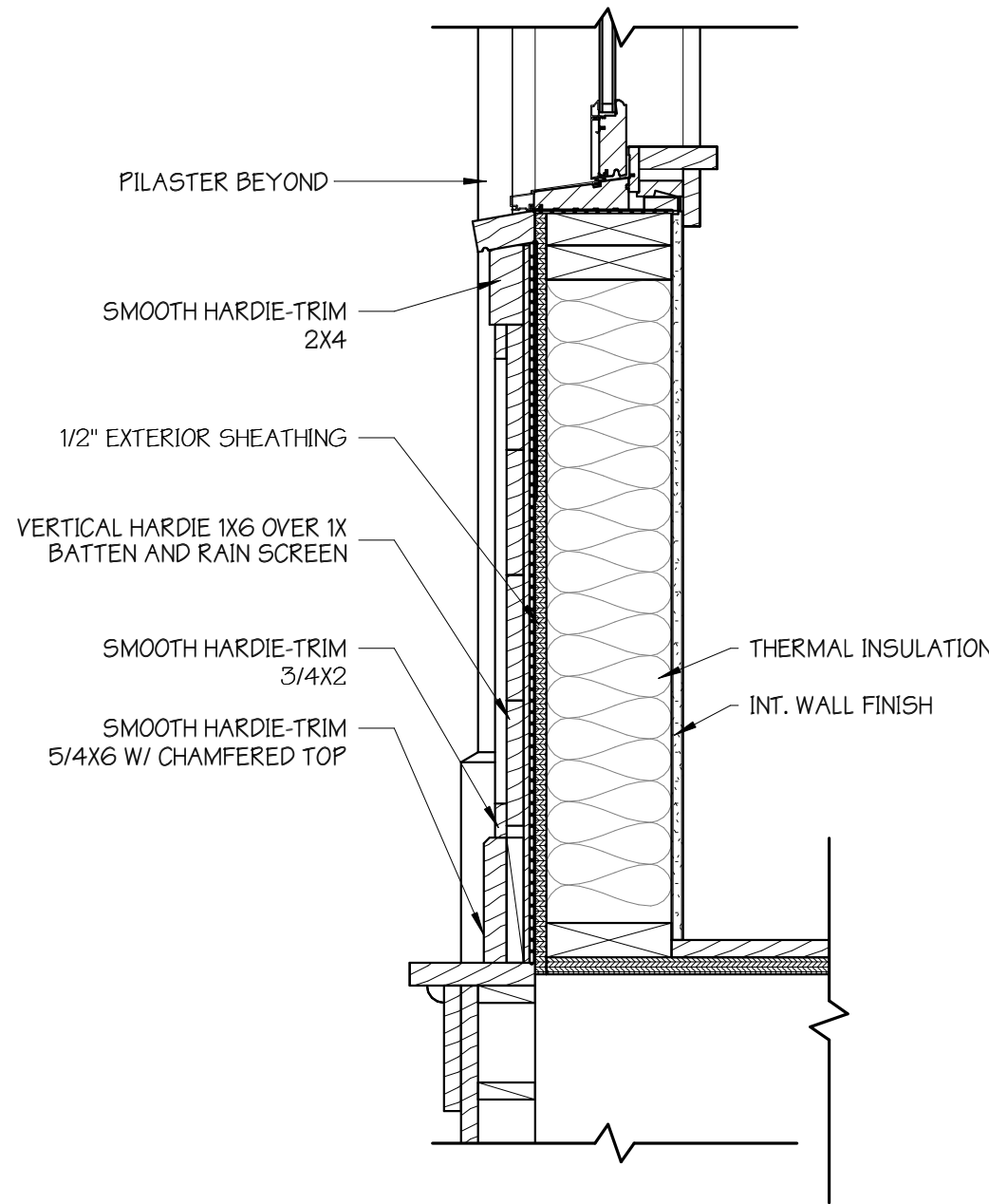
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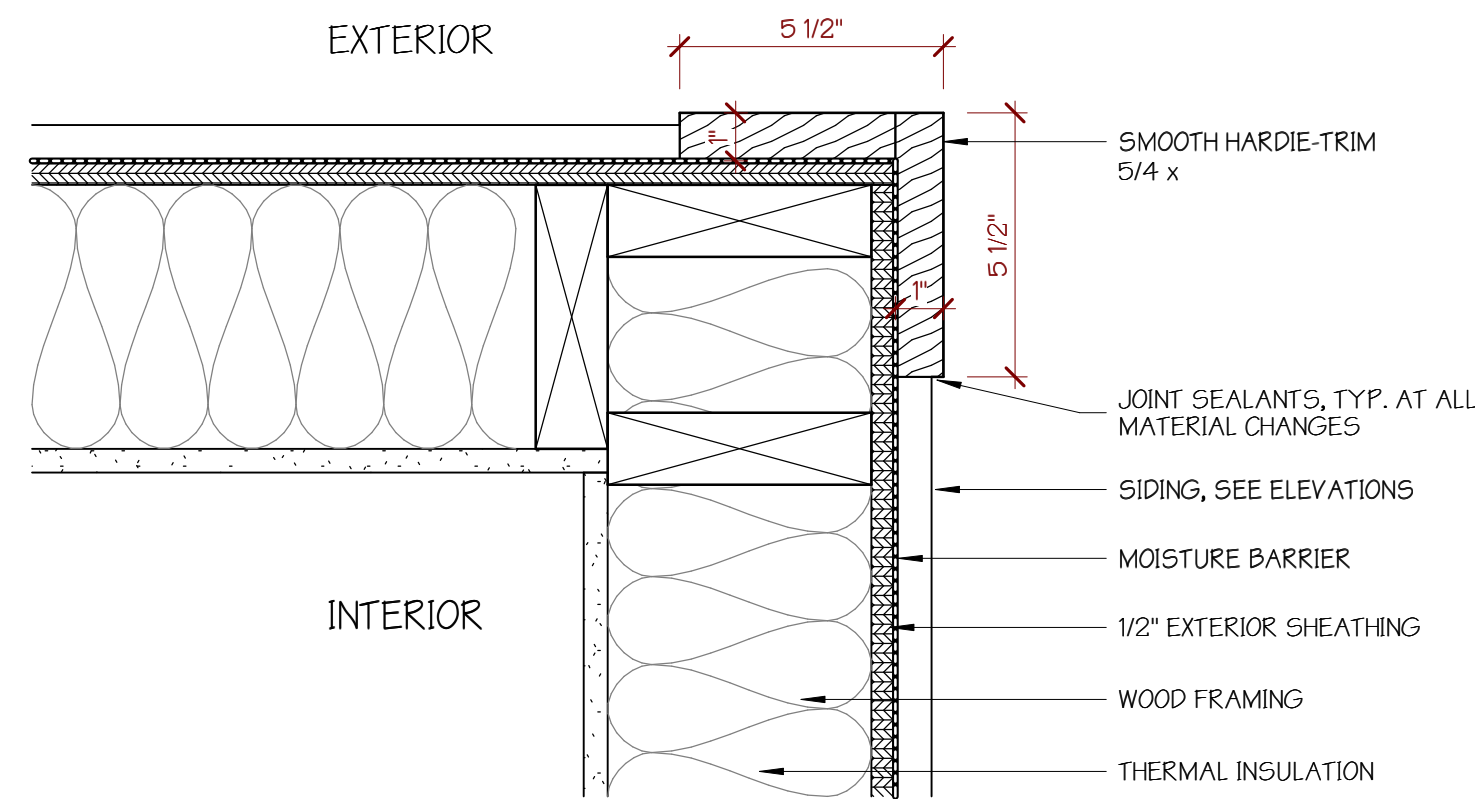
8 DETAIL @ ENCLOSED PORCH
1 1/2" = 1'-0"



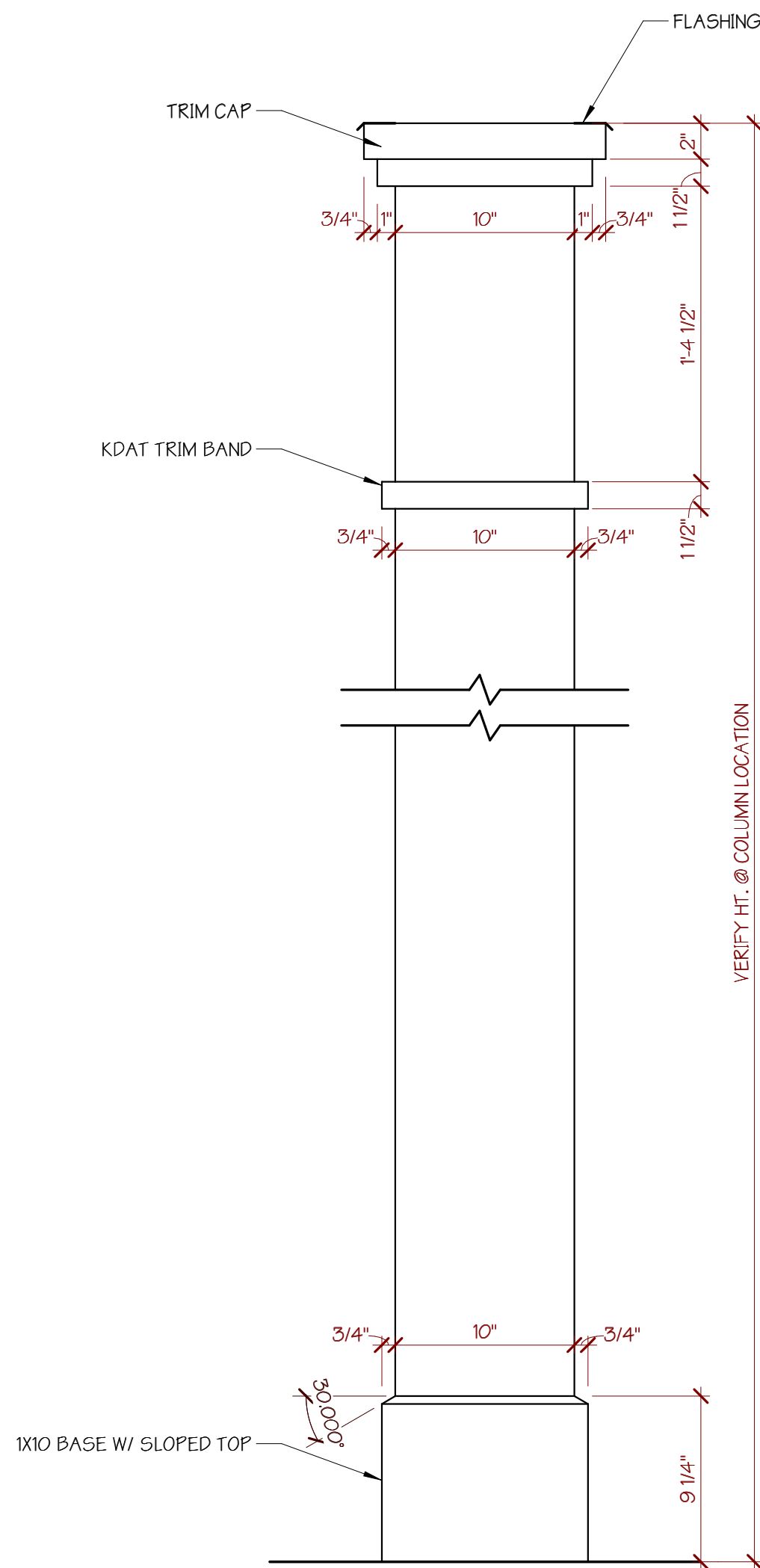
7 PANELING @ T.O. ENCL. PORCH
1 1/2" = 1'-0"



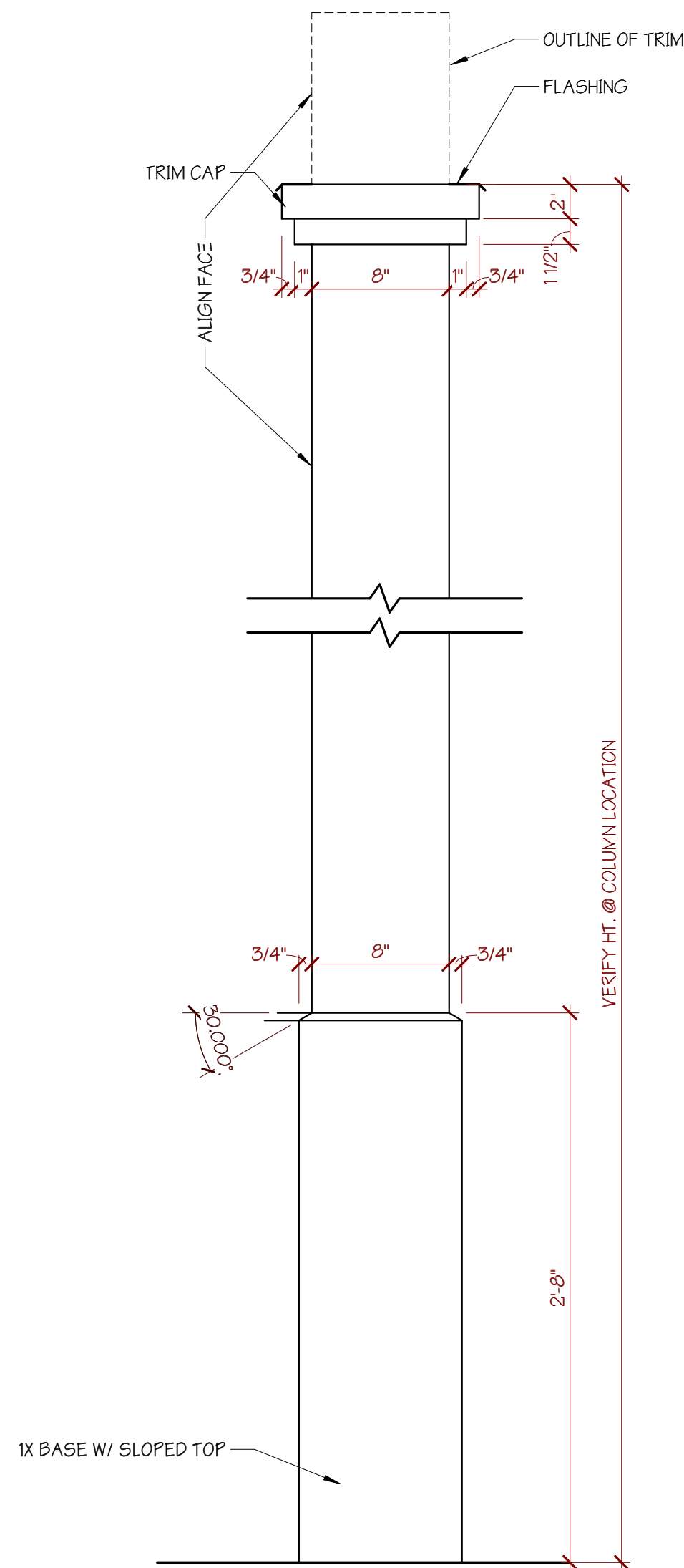
6 PANELING @ B.O. ENCL. PORCH
1 1/2" = 1'-0"



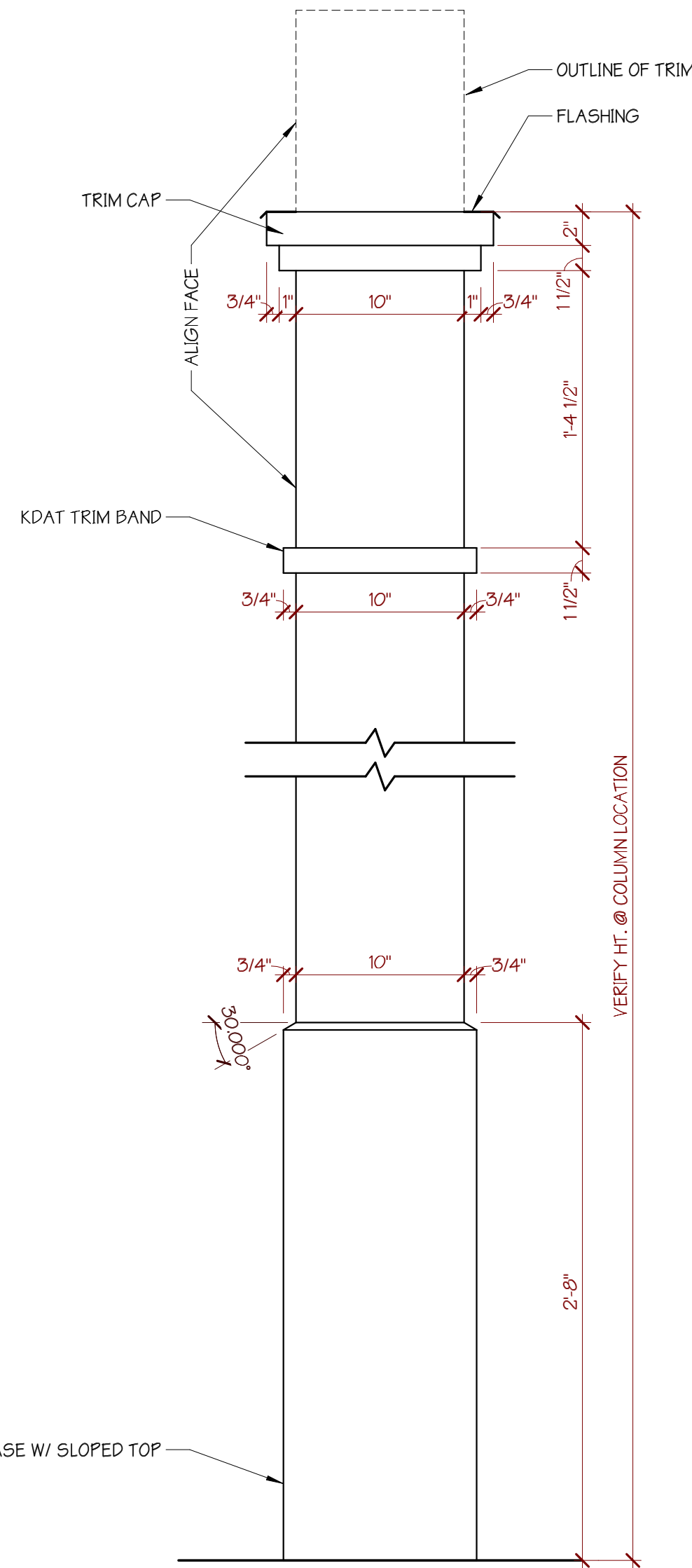
5 CORNERBOARD, TYP.
3" = 1'-0"



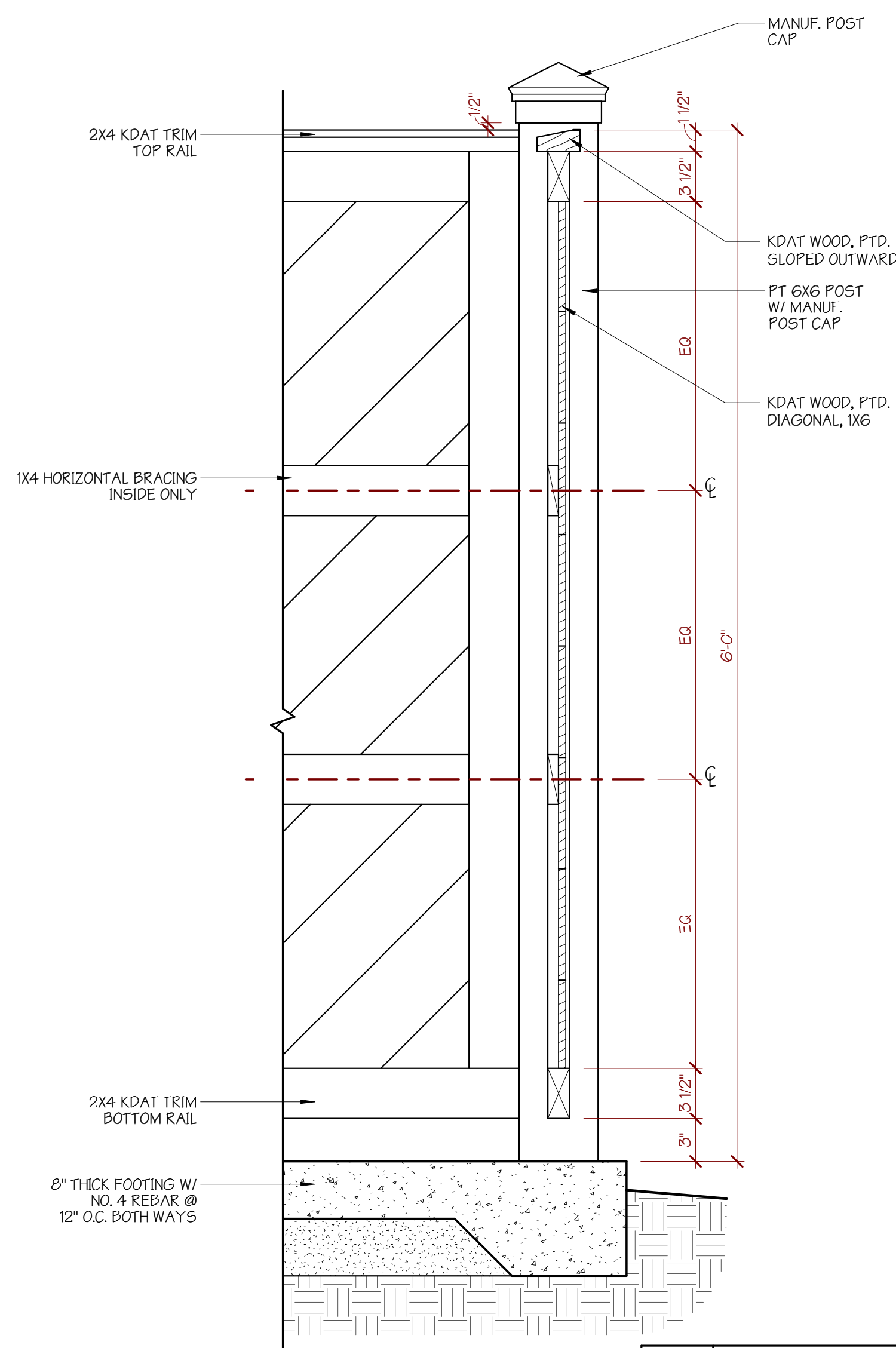
4 10" PILASTER @ ENCL. PORCH
1 1/2" = 1'-0"



3 8" COLUMN DETAIL
1 1/2" = 1'-0"



2 10" COLUMN DETAIL
1 1/2" = 1'-0"



1 SERVICE YARD
1 1/2" = 1'-0"

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60 BRUIN ROAD
LOT 23, TABBY ROADS
BLUFFTON, SC 29910

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SUITE 200
BLUFFTON, SC 29910
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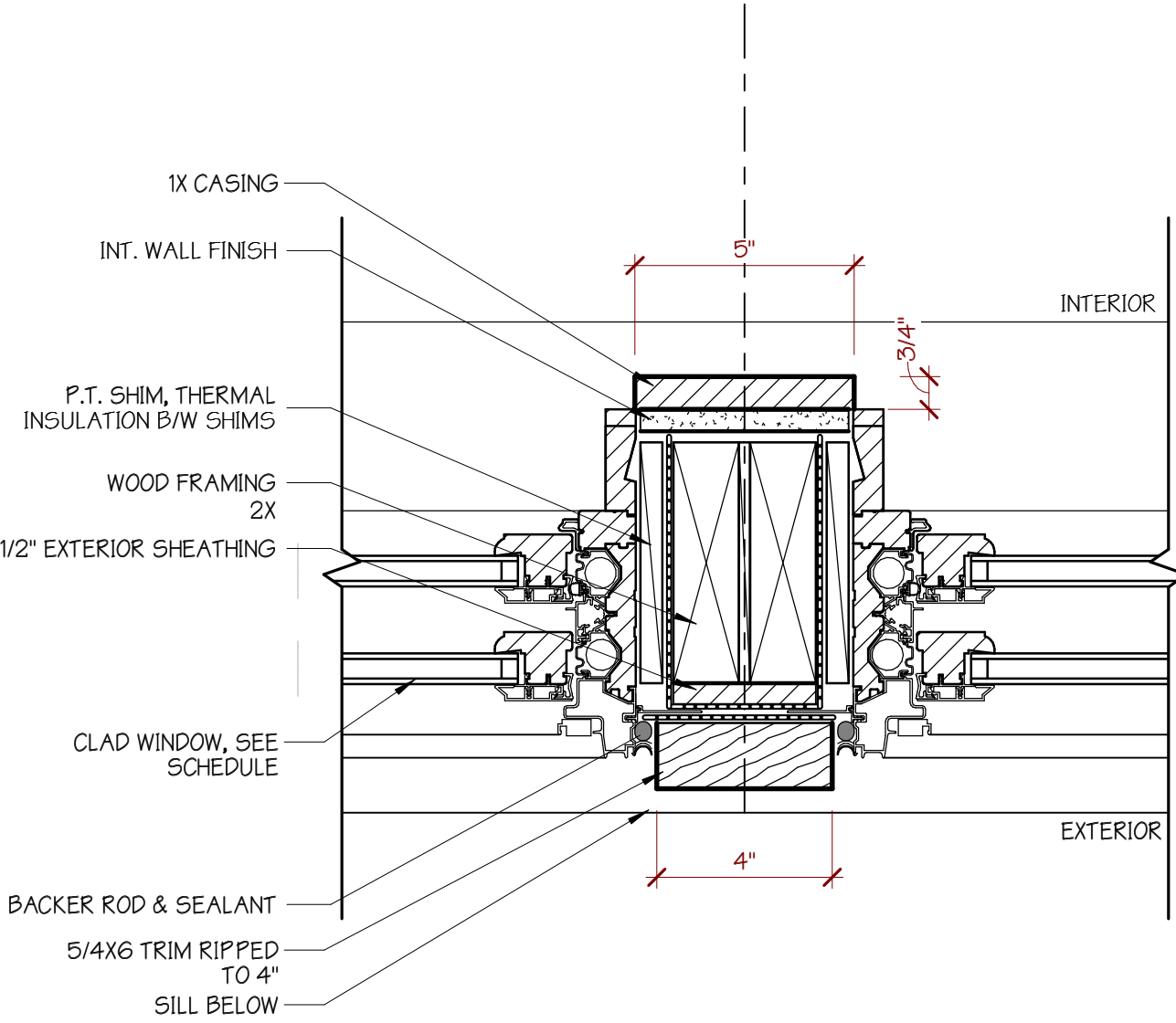
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DATE:	12.11.24
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DETAILS

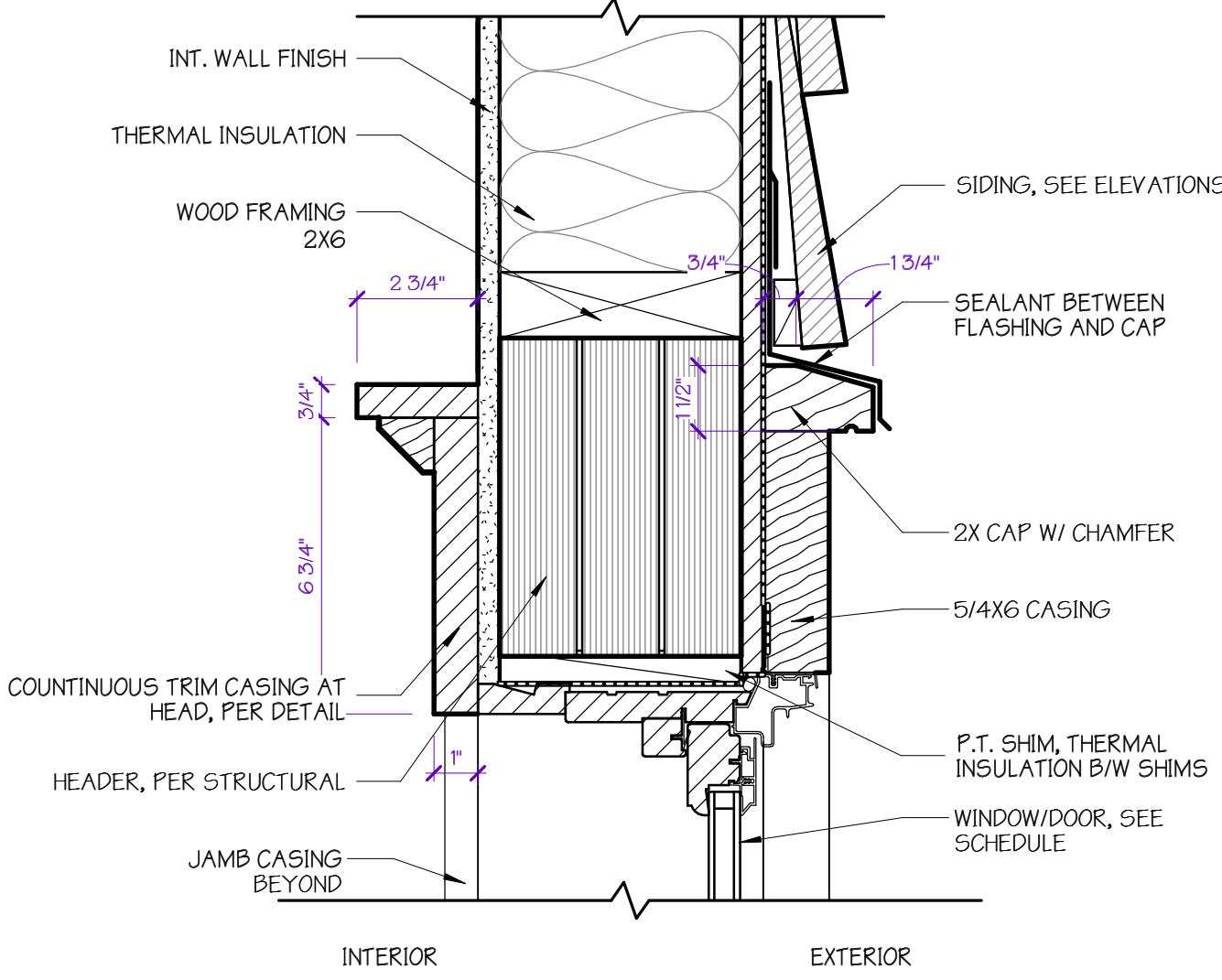
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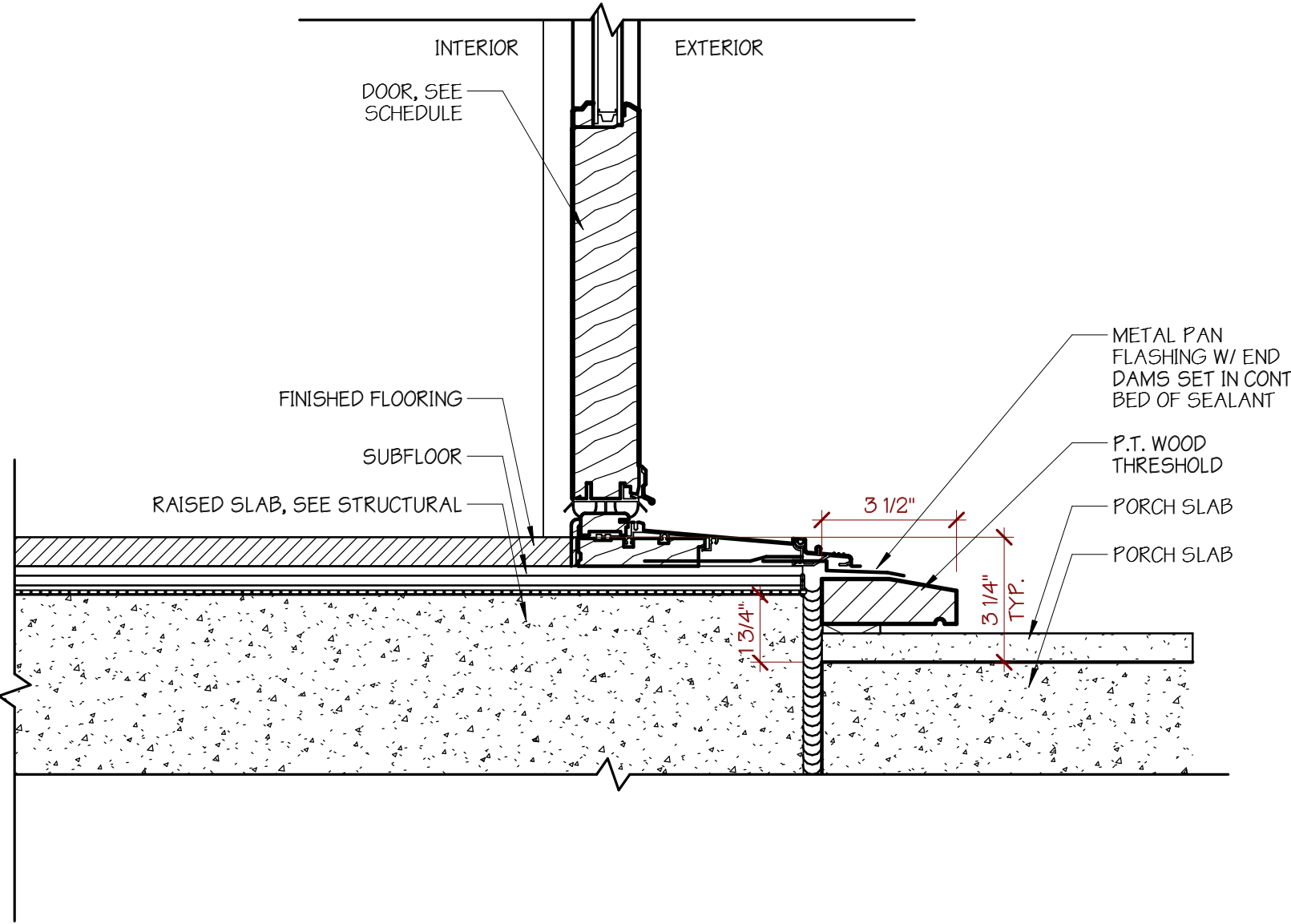
24x36 PAPER SIZE



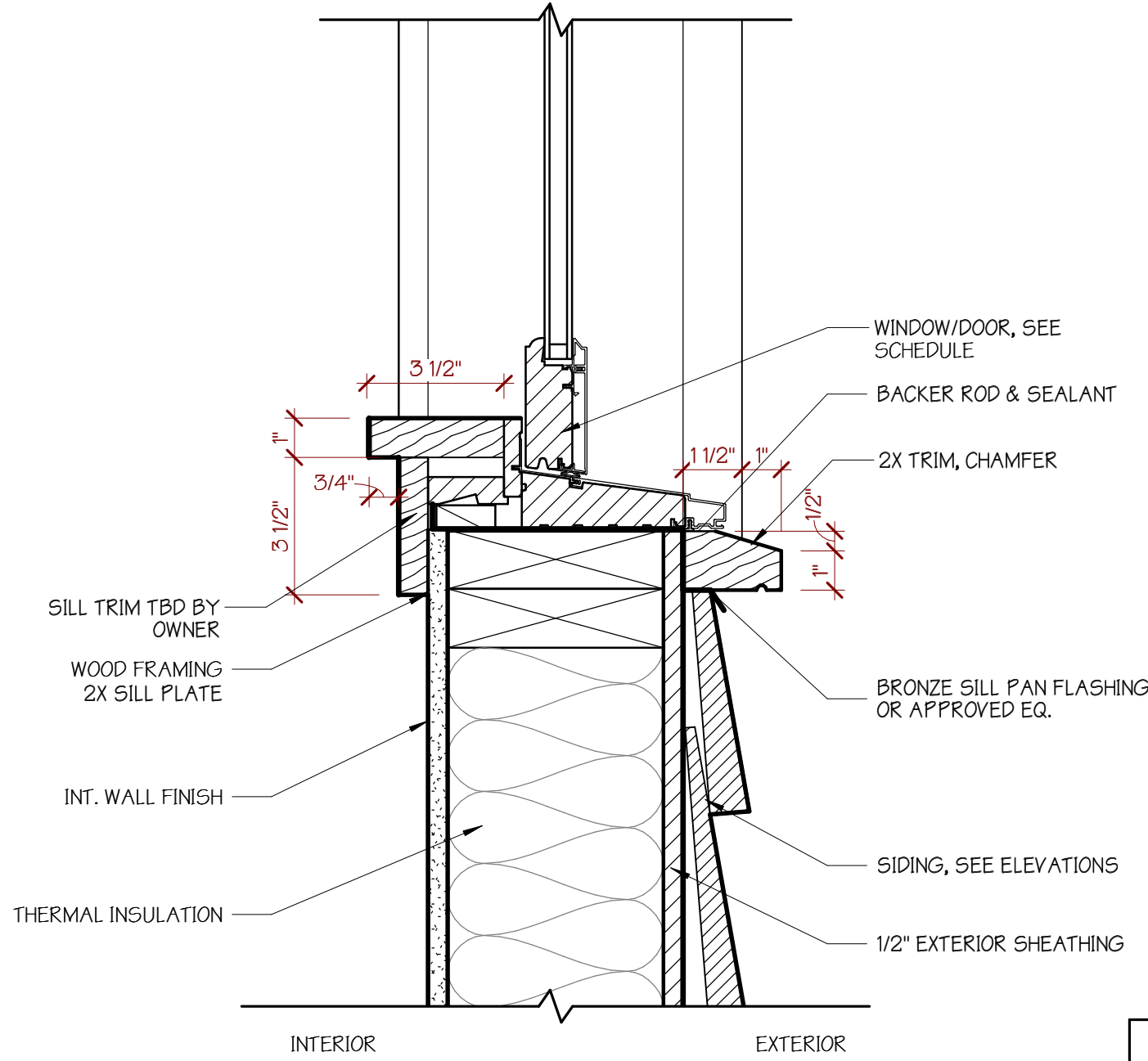
4 WINDOW MULL DETAIL, TYP.
3" = 1'-0"



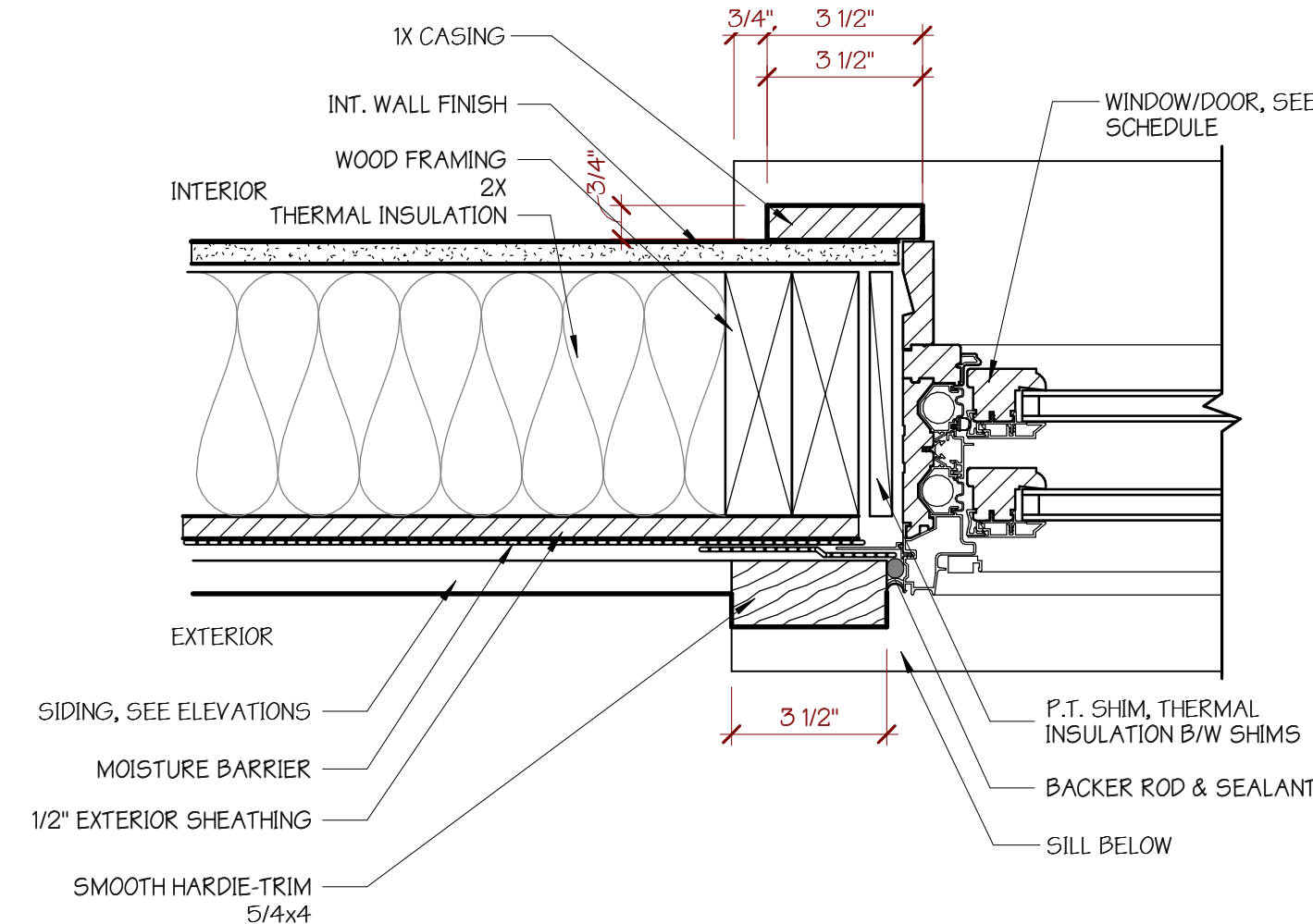
1 WINDOW HEAD DETAIL, TYP.
3" = 1'-0"



5 DOOR SILL, TYP.
3" = 1'-0"



2 WINDOW SILL DETAIL, TYP.
3" = 1'-0"



3 WINDOW JAMB DETAIL, TYP.
3" = 1'-0"

- WINDOW & DOOR HEADER NOTES:**
- WINDOW & DOOR DETAILS FOR TRIM PROFILES ONLY. SEE INSTALLATION DIAGRAM AND MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR FLASHING AND WATERPROOFING.
 - GROUPED WINDOWS & DOORS TO HAVE FIELD-APPLIED MULLS & CONT. HEADER & SILLS.
 - SHIM TRIM AS REQUIRED FOR SQUARE INSTALLATION w/ NAILING FLANGE.
 - BRONZE SILL PAN AT EACH WINDOW.
 - CONTRACTOR TO ADJUST WINDOW HEADER PLACEMENT, AS NEEDED, TO ALIGN WITH ADJACENT EXTERIOR DOORS. (UNLESS OTHERWISE NOTED) TYP., FINISHED HEADER TRIM IS TO ALIGN.

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NEW COMMERCIAL BLDG. FOR:
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60 BRUIN ROAD
LOT 23, TABBY ROADS
BLUFFTON, SC 29910

**PEARCE
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ARCHITECTS**
6 STATE OF MIND STREET
SUITE 200
BLUFFTON, SC 29910
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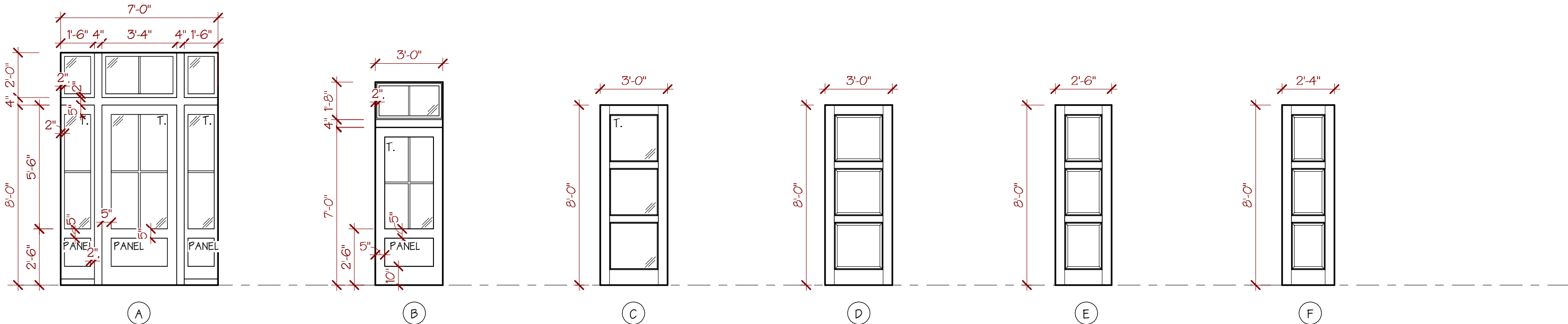
WIN. & DOOR
DETAILS

SHEET NO.
A703

24x36 PAPER SIZE

NUMBER	ROOM	TYPE	DESCRIPTION	NOMINAL DOOR SIZE	MANUFACTURER / MODEL #	FRAME	HARDWARE SET	HEAD	DETAILS		REMARKS
									JAMB	SILL	
101A	RECEPTION	A	EXTERIOR WOOD, 2/3 GLASS DOOR, INSWING + SIDELIGHTS & TRANSOMS	CUSTOM DOOR PER ELEV.	CUSTOM MAHOGANY						
102A	SMALL CONFERENCE	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
103A	LARGE CONFERENCE	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
104A	LARGE CONFERENCE	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
105A	RESTROOM 1	D	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
106A		D	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
107A	BREAK ROOM	B	EXTERIOR CLAD PANEL DOOR W/ TRANSOM, INSWING	3'-0" X 7'-0" + 3'-0" X 1'-8" T.	MARVIN, CLAD						
108A	HALL	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
109A	OFFICE, M-1	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
110A	COPY RM.	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
111A	OFFICE, M-2	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
112A	HALL	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
201A	UPPER HALL	D	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
202A	COPY ROOM 2	D	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
204A	TIFFANY SUPPORT	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
205A	OPEN CONFERENCE	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
206A	BREAK ROOM	F	PAIR INTERIOR MDF DOOR	(2) 2'-4" X 8'-0"	TRUSTILE, TS3000						
207A	RYANS OFFICE	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
208A	OPEN CONFERENCE	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
209A	UPPER HALL	D	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
210A	UPPER HALL	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
211A	UPPER HALL	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
212A	OFFICE, S-6	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
213A	OFFICE, M-3	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
214A	UPPER HALL	C	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
302A		B	EXTERIOR CLAD PANEL DOOR W/ TRANSOM, INSWING	3'-0" X 7'-0" + 3'-0" X 1'-8" T.	MARVIN, CLAD						
303A		D	INTERIOR MDF DOOR	3'-0" x 8'-0"	TRUSTILE, TS2020						
304A		B	EXTERIOR CLAD PANEL DOOR W/ TRANSOM, INSWING	3'-0" X 7'-0" + 3'-0" X 1'-8" T.	MARVIN, CLAD						
304B		E	INTERIOR MDF DOOR	2'-6" x 8'-0"	TRUSTILE, TS2020						

1	DOOR SCHEDULE
	N.T.S.

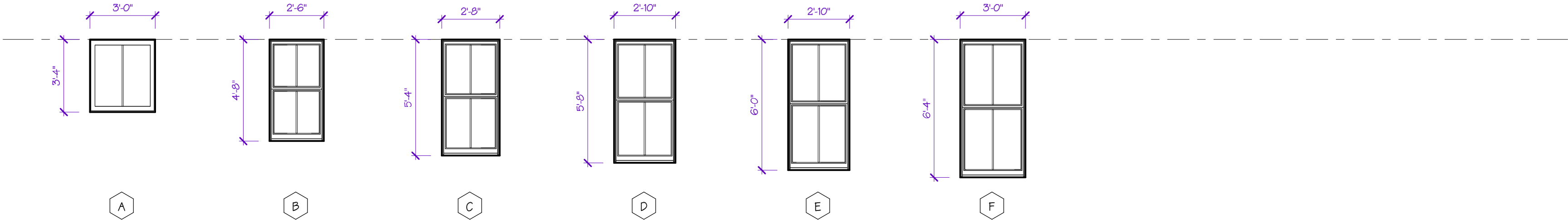


2	DOOR ELEVATIONS
	1/4" = 1'-0"

WINDOW TYPE	MODEL NO.	NOMINAL FRAME SIZE	MANUF.	DESCRIPTION	LITE CONFIG.	DETAILS				REMARKS
						HEAD	JAMB	SILL	MULL	
A	ELDH3636	3'-0" x 3'-4"	MARVIN INTEGRITY WINDOWS	CALD DOUBLE HUNG	2 OVER 2	1/A704	3/A704	2/A704	4/A704	
B	ELDH3056	2'-6" x 4'-8"	MARVIN INTEGRITY WINDOWS	CLAD DOUBLE HUNG	2 OVER 2	1/A704	3/A704	2/A704	-	
C	ELDH3264	2'-8" x 5'-4"	MARVIN INTEGRITY WINDOWS	CLAD DOUBLE HUNG	2 OVER 2	1/A704	3/A704	2/A704	-	
D	ELDH3468 E	2'-10" x 5'-8"	MARVIN INTEGRITY WINDOWS	CLAD DOUBLE HUNG	2 OVER 2	1/A704	3/A704	2/A704	4/A704	
E	ELDH3472 E	2'-10" x 6'-0"	MARVIN INTEGRITY WINDOWS	CLAD DOUBLE HUNG	2 OVER 2	1/A704	3/A704	2/A704	-	
F	ELDH3672 E	3'-0" x 6'-4"	MARVIN INTEGRITY WINDOWS	CLAD DOUBLE HUNG	2 OVER 2	1/A704	3/A704	2/A704	4/A704	

3	WINDOW SCHEDULE
	N.T.S.

NOTE:
IF WINDOWS DO NOT APPEAR ON FLOOR PLAN, TAGS ARE SHOWN ON ELEVATIONS.



4	WINDOW ELEVATIONS
	1/4" = 1'-0"

GENERAL WINDOW / DOOR NOTES:

- IF DIFFERENT MANUFACTURER THAN SPECIFIED IS USED, CONTACT ARCHITECT IMMEDIATELY FOR COORDINATION.
- IF WINDOW/DOOR SIZES OR LOCATIONS ARE DIFFERENT FROM SCHEDULE, CONTACT ARCHITECT IMMEDIATELY FOR COORDINATION.
- WINDOW/DOOR PACKAGES TO BE SUBMITTED TO ARCHITECT FOR APPROVAL BEFORE ORDERING.

DOOR NOTES:

- EXTERIOR DOOR DESIGN BASED ON MARVIN CLAD SERIES OR CUSTOM WOOD DOORS. ALL GLAZING TO HAVE SIMULATED DIVIDED LITES W/ SPACER BARS (SDLs).
- REFER TO MANUFACTURER'S SPECIFICATIONS FOR VARIOUS INTERIOR AND EXTERIOR DOOR ROUGH OPENING REQUIREMENTS.
- PROVIDE TEMPERED GLAZING AT ALL DOORS AND SIDE LITES, AS REQUIRED BY CODE.
- INTERIOR TRUSTILE DOOR:
2. PANEL, 1 5/8" THICK MDF, STILES & RAILS TO BE PAINT GRADE ENG. CONSTRUCTION, 7/8" RAISED MDF PANEL, QUARTER BEAD STICKING w/ "A-RAISED" PANEL, FACTORY PRIME INT. PRE-FINISH.
- POCKET DOORS TO HAVE FOUR-WHEEL HEAVY DUTY TRACK ASSEMBLY BY JOHNSON HARDWARE.

GENERAL HARDWARE NOTES:

- ALL EXTERIOR DOORS ARE TO BE KEYED ALIKE.
- REINFORCE JAMBS WITH WOOD BLOCKING.
- WHERE EGRESS DOORS ARE USED IN PAIRS, THE UNLATCHING OF THE LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
- CONTROLS AND OPERATIONS MECHANISMS SHALL BE LEVER-TYPE (OR EQUAL) PROVIDING OPERATION WITH ONE HAND, PER CODE.
- THRESHOLDS AT EGRESS DOORS SHALL BE NO MORE THAN 1/2" (MAX.) HEIGHT AFF.
- HARDWARE COMPANY TO COORDINATE AND SUBMIT ALL PROPOSED HARDWARE. CONFIRM ALL DOOR HARDWARE AND KEYING WITH OWNER.

HARDWARE SETS:

- HDW # 100 (INT. PASSAGE DOOR, DBL. 6'-8" HT.)
3 HINGES, FULL MORTISE
1 PASSAGE SET W/ LEVER HANDLE
- HDW # 200 (INT. PRIVACY DOOR, 6'-8" HT.)
3 HINGES, FULL MORTISE
1 PRIVACY SET W/ LEVER HANDLE
1 BASE WALL STOP
- HDW # 300 (EXT. ENTRY DOOR, 8'-0 HT.)
4 HINGES, FULL MORTISE
1 KEYED SET W/ LEVER HANDLE
1 DEADBOLT
1 BASE WALL STOP
1 THRESHOLD
1 GASKETING / WEATHERSTRIPPING
1 SWEEP
- HDW # 400 (EXT. STORAGE DOOR, 8'-0" HT.)
4 HINGES, FULL MORTISE
1 KEYED SET W/ LEVER HANDLE
1 THRESHOLD
1 GASKETING / WEATHERSTRIPPING
1 SWEEP
- HDW # 500 (EXT. STORAGE DOOR, 8'-0" HT.)
4 HINGES, FULL MORTISE
1 KEYED SET W/ LEVER HANDLE
1 PANIC PUSH BAR
1 THRESHOLD
1 GASKETING / WEATHERSTRIPPING
1 SWEEP

WINDOW NOTES:

- DESIGN BASED ON MARVIN "ELEVATE" SERIES WINDOWS. ALL WINDOWS TO HAVE SIMULATED DIVIDED LITES W/ SPACER BARS (SDLs).
- ALL WINDOWS ARE TO BE IMPACT RATED OR CONTRACTOR TO INST. ALL PERMANENT FASTENERS FOR HURRICANE PROTECTION, AS REQ. BY CODE.
- REFER TO MANUFACTURER'S SPECIFICATIONS FOR VARIOUS EXTERIOR WINDOW ROUGH OPENING REQ.
- PROVIDE TEMPERED GLAZING AS REQUIRED BY CODE.
- VERIFY THAT SELECT WINDOWS MEET NATIONAL EGRESS CODES FOR FIRE EVACUATION.
- ALL WINDOWS TO BE OPERABLE UNLESS OTHERWISE NOTED.
- IF WINDOW MANUFACTURER CHANGES, COORD. W/ ARCHITECT AS IT MAY HAVE AN IMPACT ON DESIGN.
- IF WINDOWS ARE GROUPED, MAINTAIN MULL WIDTH PER DETAIL.

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											DATE
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6 STATE OF MIND STREET
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WIN. & DOOR
SCHEDULES

SHEET NO.

A801

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