



June 04, 2025

89 Bridge Street
The Bluffton Bookshop

Project Narrative

Currently the building at 89 Bridge Street is a residential non-conforming structure with a building foot print of +/- 1,769 sf. The building sits at ground level. The owners propose to renovate the existing interior of the building as well as a couple of exterior modifications. The building will be brought up to the IBC 2018 Commercial Code as well meet the intent of the UDO.

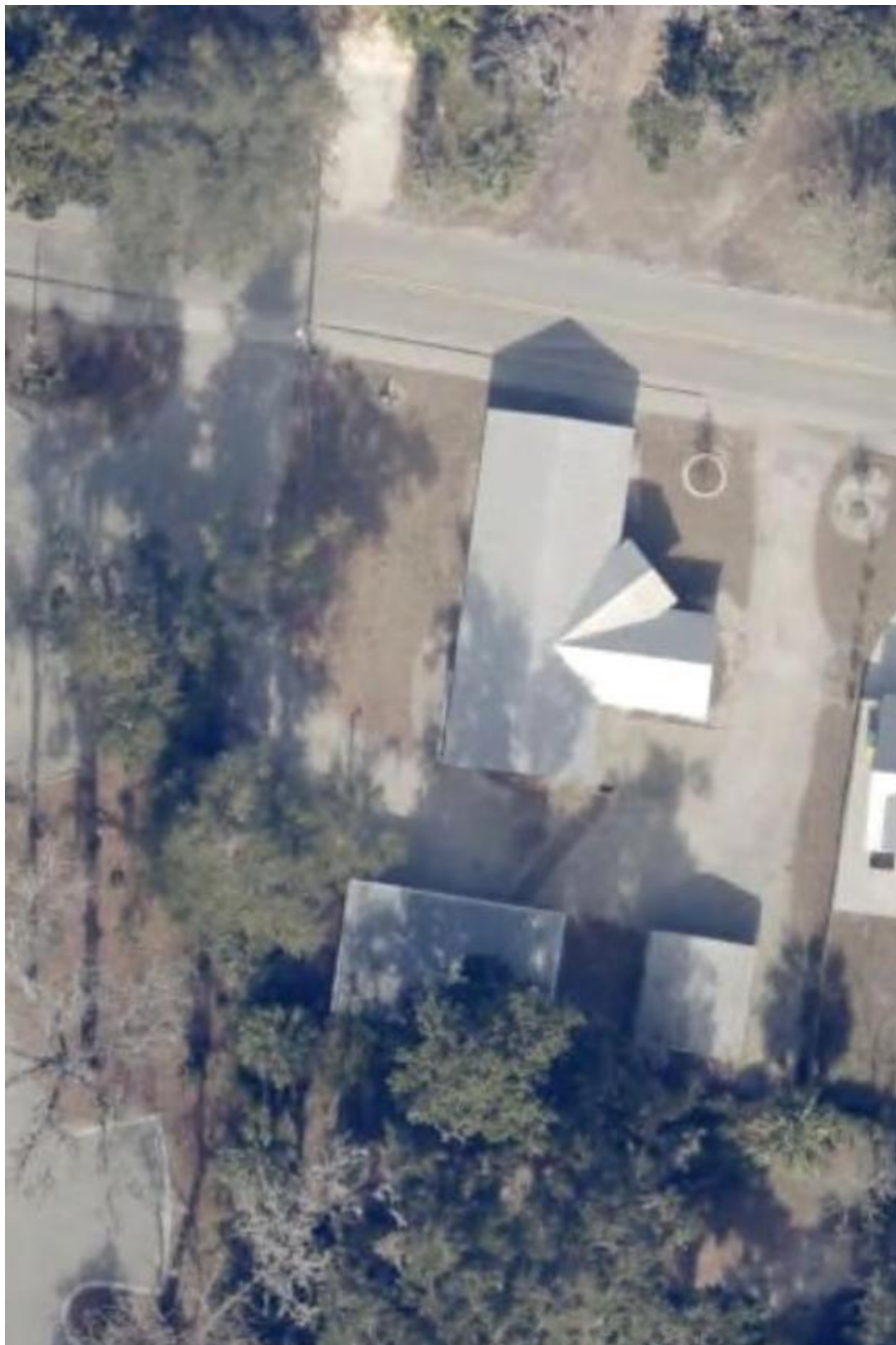
The new use for the building will be The Bluffton Bookshop. It will be a general bookshop with fiction and non-fiction titles for both adults and children. There will also be an icery located on the western side of the building. The space is currently a laundry room (109 sf) and is less than 25% of the Retail business heated square footage as required by the UDO section 4.4.2.G.

We propose to enhance the street façade of the building by making it a proper entry with a porch. We will use the existing footprint and roof structure. The street facing wall will be removed and 4 columns and new beam will replace the structure. The roof will remain intact. The porch depth will be +/-6'. There will be a new wood door with glass and 2 storefront windows on the new entry wall.

We will be adding a double set of windows to match existing, street side of the eastern part of the building. The window in the current laundry room (now Icery) will be removed and replaced with a French casement window. A mural by a local artist may be painted on the exterior wall left of the Icery window. The rear door will be replaced with a door to accommodate ADA to match the existing door style. All other enhancements will be in the interior of the building. All exterior materials and trim to Match Existing.

Witmer Jones Keefer has submitted the development plan and is set to be on the June 25 Planning Commission Agenda.

An existing garage is also located on the rear of the property. Nothing is to be done with this building at this time.



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Street Elevation

Remove front wall and door
Add Columns and beam to support roof
Add Door and Windows to the Wall beyond



West Elevation
Remove and Replace Window
Possible Mural from Local Artist