



MEMORANDUM

TO: Historic Preservation Commission (HPC)

FROM: Charlotte Moore, Principal Planner

RE: Revised Plans for 15 Meriwether Court (COFA-01-25-019522)

DATE: July 2, 2025

At the June 11, 2025 HPC meeting, the Final Plan for 15 Meriwether Court was tabled to allow the Applicant, BFL Builders, an opportunity to address the below conditions. Conditions 1-11 were recommended by Town Staff; conditions 12 and 13 were added by HPC at the meeting. A response to each condition is provided based on the revised plan submitted by the Applicant on June 25, 2025.

1. Provide the specific wall material(s) (UDO Sec. 5.15.6.G.3).

The plan indicates board and batten siding but does not include the specific material (e.g., wood, fiber cement). The project analysis sheet indicates “lumber.” If wood is to be used, it must be a termite-resistant, 50-year product and indicated on the Final Plan. The material must be identified in the Final Plan.

2. Provide railing details for the exterior Carriage House staircase and for the handrails of the front porch stairs, including dimensions (UDO Sec. 5.15.6.H).

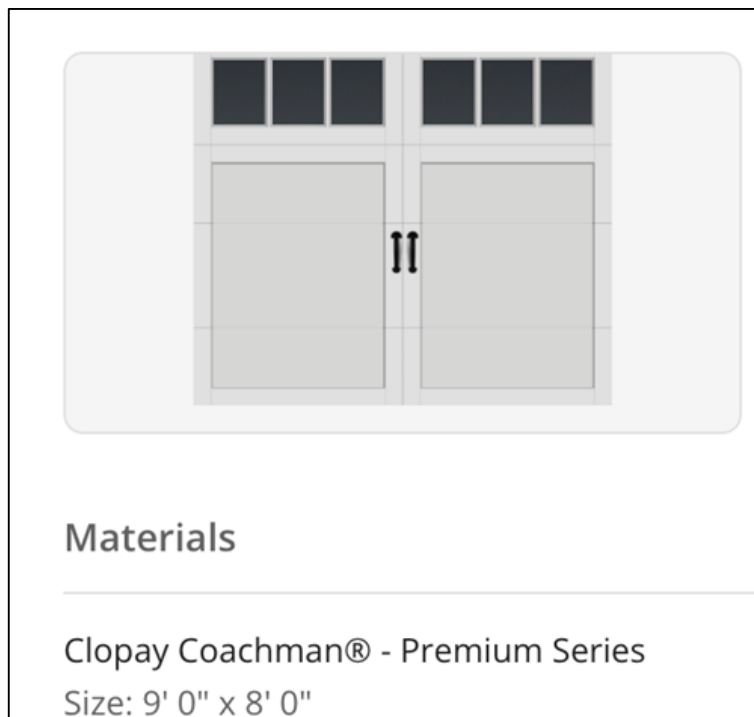
The front porch handrails and railing have been removed from the plans, and stairs now extend the length of the porch. The Carriage House railing complies with the materials and dimensions required by the UDO. The top rail dimension must be shown to be no more than 2-3/4”.

3. Revise location of windows on the Rear and West elevations of the main structure and the East elevation of the Carriage House for improved vertical and horizontal window placement (UDO Sec. 5.15.5.F.4.).

Windows are more consistent with the revision. On the Rear elevation, all window styles have been changed to a double-hung operation except the tilt/awning window in the second-story gable. Additionally, a pair of double-hung windows replaced a single large window on the first-story for better window consistency on this elevation. On the West elevation, first-floor casement windows have been replaced with double-hung windows. However, fixed windows are not permitted on residential buildings and are proposed on the North (Front), East (Left) and South (Rear) elevations. Additionally, the awning window on the Front elevation is proposed to be “obscure glass.” This window should be transparent.

4. Provide garage door material (UDO Sec. 5.15.6.I.2.b.)

The plans indicate that the garage door will be metal and “similar to elevation design” and includes a notation that the doors are to be verified with the general contractor. The graphic below was provided by the Applicant but does not include material. The door schedule does not provide any information. The material must be provided on the Final Plan.



5. Provide corner board and water table details (UDO Sec. 5.15.6.N).

The corner board is called out as 1x8 Hardie on the project analysis sheet but as 1x4 in the corner board detail (11|A7.4) and does not include the material. The correct dimension and material must be shown on the Final Plan. The water table is provided in detail 7(A7.4).

6. If a retaining wall is proposed that will have an exposed wall, the wall must be tabby-coated to match the tabby-coated piers to be used for the main structure.

This was not addressed with the revision.

7. Provide a detail to show that the louvered skirting is a minimum of one-inch behind the face of each pier (UDO Sec. 5.15.6.O).

Compliance is shown in detail 7(A7.4).

8. The proposed service yard underneath the Carriage House staircase must be relocated and shown on a revised plan, to include screening details. Screen details for the service yard in the rear of the main structure must also be provided (UDO Sec. 5.15.5.F.9.).

The Town's Building Safety Department will allow the Carriage House service yard to be located underneath the stairs (as it is a residential use). The screening detail for this area must be provided on the Final Plan.

9. On the Landscape Plan, show that a minimum of 75% tree canopy coverage at maturity, not including roof tops, will be provided (UDO Sec. 5.3.7.G.).

The canopy coverage will need to be identified prior to Final Plan approval.

10. Revised Landscape Plan to show a foundation planting area at least 8 feet wide to be provided along the front foundation of the main structure. The foundation planting must incorporate a mixture of trees, shrubs, and ground covers (UDO Sec. 5.3.7.E.A).

The Landscape Plan must be updated to show the revised stairs on the front elevation.

11. A Tree Removal Permit will be required. Trees cannot be removed until an approved, stamped COFA-HD is issued.

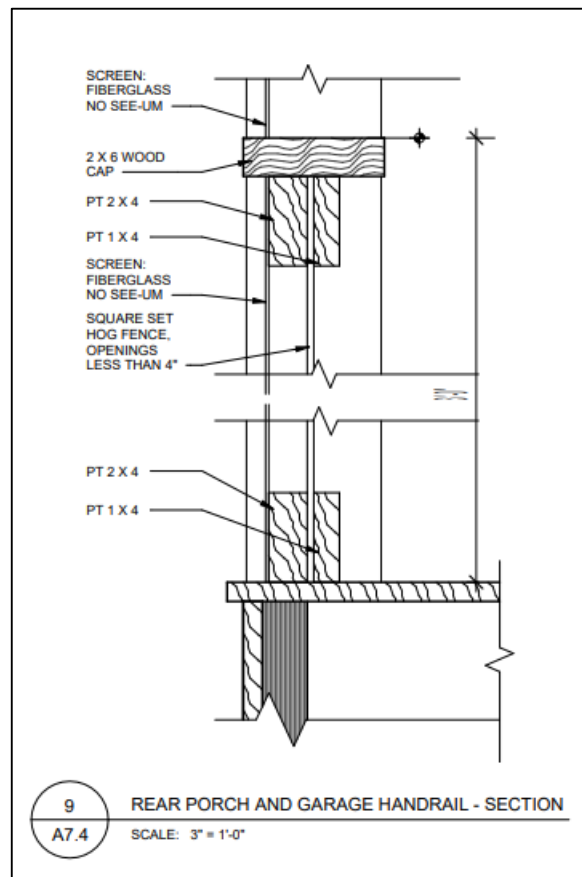
This will be included in the Final Plan approval letter.

12. Prior to the start of construction, a split rail fence will be installed at the appropriate distance around the Live Oak tree in the front of the home.

This requirement will be included in the Final Plan approval letter.

13. The Commission has requested additional information on the proposed materials for the fencing, using the wire mesh.

The front porch railing has been removed, but wire mesh is proposed for the patio connecting the main structure to the garage. The below graphic indicates that the square openings for the hog fence will “less than 4”.”



It must be noted that some doors have changed since the June HPC meeting. On the Carriage House, doors have changed from solid doors to half-panel doors. Doors identified as 120C and 220 will be wood; the material for the door identified as 120D is not identified. On the main house, the material for patio door identified as 102A is not identified and must be included in the Final Plan.

The revised plan is provided in Attachment 6. The plan presented to the HPC on June 11th is Attachment 10.