

PLANNING COMMISSION SUBMITTAL

New Riverside Park Barn

30 RED BARN DRIVE, BLUFFTON, SOUTH CAROLINA 29910

SHEET INDEX:

		09/02/2022 PROGRESS DRAWINGS 11/30/2022 INITIAL DESIGN DEVELOPMENT 12/12/2022 PLANNING COMMISSION SUBMITTAL			
SHEET #	SHEET NAME				
A0.0	COVER	X	X	X	
A0.1	GENERAL NOTES AND CODE SUMMARY		X		
A0.2	ABBREVIATIONS, SYMBOLS & ACCESS, DIAGS.		X		
A0.3	LIFE SAFETY PLAN		X		
D2.1	FIRST FLOOR DEMOLITION PLAN		X		
D3.0	DEMOLITION ELEVATIONS		X		
D3.1	DEMOLITION ELEVATIONS		X		
D4.0	DEMOLITION BUILDING SECTIONS		X		
A1.0	ARCHITECTURAL SITE PLAN	X	X	X	
A2.1	FIRST FLOOR PLAN	X	X	X	
A2.5	ROOF PLAN	X	X	X	
A3.0	EXTERIOR ELEVATIONS	X	X	X	
A3.1	EXTERIOR ELEVS & EXT. FINISHES LEGEND	X	X	X	
A4.0	BUILDING SECTIONS	X	X	X	
A4.1	BUILDING SECTIONS	X	X	X	
A5.0	WALL SECTIONS		X		
A6.0	STOREFRONT / WINDOW / DOOR TYPES & SCHEDULE		X		
A8.1	FIRST FLOOR RCP		X	X	
F2.1A	FURNITURE PLAN - OPTION A		X		
F2.1B	FURNITURE PLAN - OPTION B		X		
F2.1C	FURNITURE PLAN - OPTION C		X		
REND_1	EXTERIOR PERSPECTIVES	X	X	X	
REND_2	EXTERIOR PERSPECTIVES	X	X	X	
REND_3	EXTERIOR PERSPECTIVES		X	X	
REND_4	INTERIOR PERSPECTIVES	X	X		

PROJECT INFORMATION:

NAME OF PROJECT:	NEW RIVERSIDE PARK BARN		
ADDRESS:	30 RED BARN DRIVE BLUFFTON, SC 29910		
PROPOSED USE:	ASSEMBLY (A-2) & BUSINESS (B)		
OWNER CONTACT:	BRIAN OSBORNE		
CODE ENFORCEMENT JURISDICTION:	TOWN OF BLUFFTON		
INTERNATIONAL BUILDING CODE (IBC):	2021		
INTERNATIONAL MECHANICAL CODE:	2021		
INTERNATIONAL PLUMBING CODE:	2021		
THE NATIONAL ELECTRICAL CODE:	2020		
INTERNATIONAL FUEL GAS CODE:	2021		
INTERNATIONAL FIRE CODE:	2021		
INTERNATIONAL ENERGY CONSERVATION CODE:	2009		
ICC/ANSI A117.1:	2017		

DESIGNER OF RECORD:			
DESIGNER	NAME	LICENSE NO.	TELEPHONE NO.
ARCHITECTURAL	JAMES C. ATKINS	SC # 6743	(843) 815-2557
ELECTRICAL	WARREN LAW, PE	SC # 20698	(912) 677-7716
PLUMBING/FIRE PROTECTION	CAPRICE BAUMERT, PE	SC # 30527	(706) 364-1770
MECHANICAL	CAPRICE BAUMERT, PE	SC # 30527	(706) 364-1770
STRUCTURAL	JAKE EAVENSON, PE	SC # 22621	(843) 815-3191
CIVIL	THOMAS & HUTTON	XX #XXXX	(912) 721-4022
LAND PLANNING/ LANDSCAPE	WOOD+PARTNERS, INC.	XX #XXXX	(843) 681-6618

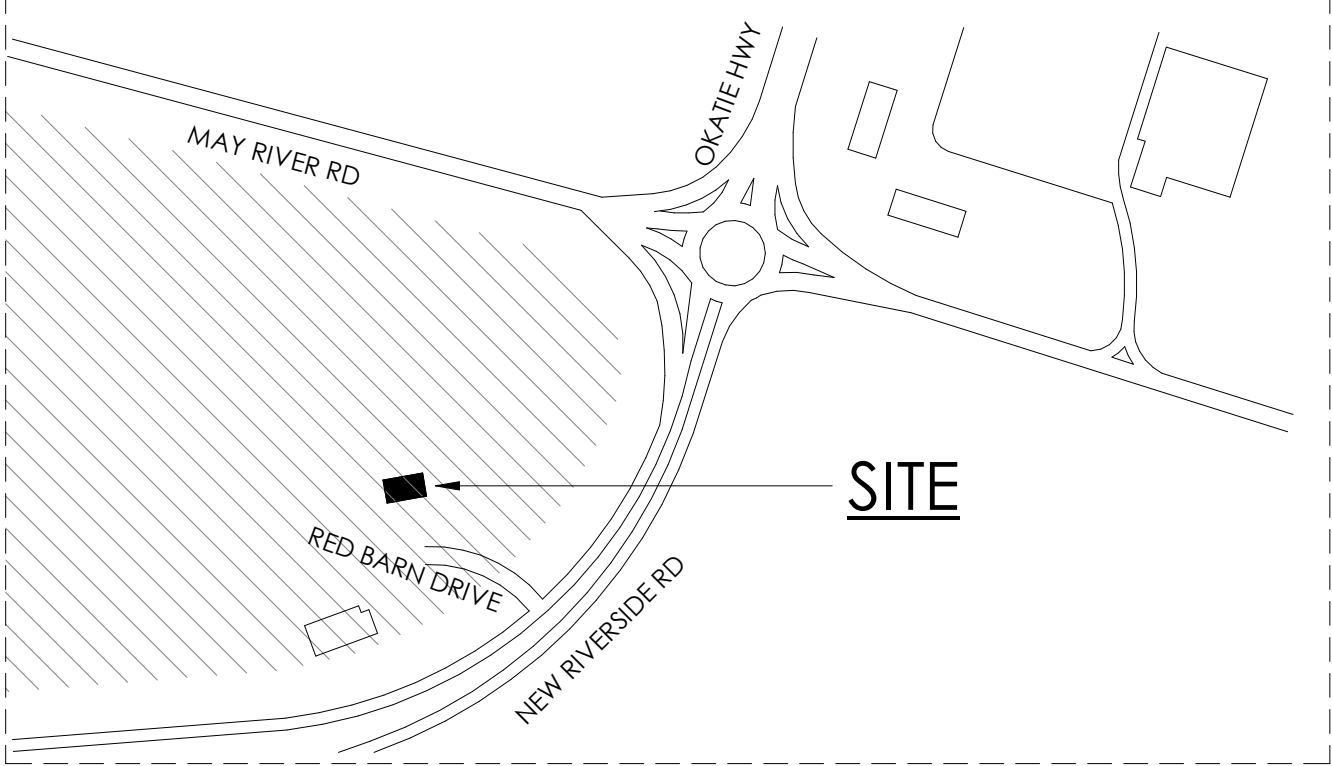
PROJECT TEAM:

OWNER CONTACT	ARCHITECT
BRIAN OSBORNE	COURT ATKINS ARCHITECTS, INC.
TOWN OF BLUFFTON	32 BRUN ROAD
PO BOX 386	P.O. BOX 3978
20 BRIDGE STREET	BLUFFTON, SC 29910
BLUFFTON, SC 29910	(843) 815-2557 PH
	(843) 815-2547 FAX
STRUCTURAL ENGINEER	GENERAL CONTRACTOR
CRANSTON ENGINEERING GROUP, P.C.	TBD
14 WESTBURY PARK WAY, SUITE 202	
BLUFFTON, SC 29910	LANDSCAPE ARCHITECT (UNDER SEPARATE COVER)
(843) 815-3191 PH	WOOD+PARTNERS INC
MECHANICAL, PLUMBING & FIRE PROTECTION	PO BOX 23949
DELTA ENGINEERING GROUP, LLC	HILTON HEAD ISLAND, SC 29925
3604C WHEELER ROAD	(843) 681-6618 PH
AUGUSTA, GA 30909	CIVIL ENGINEER (UNDER SEPARATE COVER)
(706) 364-1770 PH	THOMAS & HUTTON
ELECTRICAL ENGINEER	50 PARK OF COMMERCE WAY
SUSTAINABLE DESIGN CONSULTANTS, LLC.	SAVANNAH, GA 31405
1 DIAMOND CAUSEWAY, SUITE 7	(912) 721-4022 PH
SAVANNAH, GA 31406	
(912) 677-7716 PH	
LOW VOLTAGE (UNDER SEPARATE COVER)	
CAROLINA LOW VOLTAGE, LLC	
8019 BEES CREEK ROAD	
RIDGELAND, SC 29936	
(843) 305-7077 PH	
AUDIO / VISUAL (UNDER SEPARATE COVER)	
SHARP BUSINESS SYSTEMS	
(864) 675-2029 PH	

GENERAL NOTES:

- NOTE TO GENERAL CONTRACTORS: THESE DRAWINGS HAVE BEEN PRODUCED UNDER A LIMITED SERVICES AGREEMENT BETWEEN THE OWNER/OWNER'S REPRESENTATION AND COURT ATKINS ARCHITECTS, INC. THEY ARE TO BE USED FOR DESIGN INTENT AND IN COORDINATION WITH SUPPLEMENT ENGINEERING DOCUMENTS.
- THE ARCHITECT'S DRAWINGS CANNOT STAND ALONE AS CONSTRUCTION DOCUMENTS.
 - SEE STRUCTURAL, ENGINEERING DOCUMENTS FOR STRUCTURAL CONNECTION TECHNIQUES, CALCULATIONS REQUIRED BY CODE, CODE COMPLIANCE INSTRUCTIONS FOR WALL AND ROOF CONSTRUCTION, AND TIE DOWN REQUIREMENTS.
 - SEPARATE MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE REQUIRED SERVICE AND RISER DIAGRAMS, CALCULATIONS AND INSTALLATION SPECIFICATIONS BEYOND THE ARCHITECT'S BASIC LAYOUT AND SELECTIONS SUGGESTIONS.
 - SEPARATE CIVIL ENGINEERING DOCUMENTS MAY BE PROVIDED, WHICH INDICATE ADDITIONAL SITE PLANNING, DRAINAGE, AND OTHER RELATED SITE WORK REQUIREMENTS.
 - SELECTIONS NOT INCLUDED IN THESE DOCUMENTS WILL BE COORDINATED BY THE OWNER/ OWNER'S REPRESENTATIVES.
 - BY APPLYING FOR A BUILDING PERMIT AND/OR CONSTRUCTING THE PROJECT REPRESENTED HEREIN, THE OWNER AGREES TO LIMIT THE LIABILITY OF THE ARCHITECT TO THE OWNER OF THE PROJECT FOR ALL AND ANY CLAIMS, LOSSES, DAMAGES OR ANY NATURE WHATSOEVER, OR CLAIMS OF EXPENSES FOR ANY SUCH ITEMS TO THE ARCHITECT'S TOTAL COMPENSATION FOR SERVICES RENDERED HEREIN.
 - THESE DOCUMENTS ARE THE WORK INSTRUMENTS OF THE ARCHITECT AND HAVE BEEN PREPARED SPECIFICALLY AND SOLELY FOR THE PROJECT NAMED HEREIN. THEY ARE NOT SUITABLE FOR USE ON OTHER PROJECTS OR IN OTHER LOCATIONS WITHOUT THE PARTICIPATION OF THE ARCHITECT. REPRODUCTION IS STRICTLY PROHIBITED. THE ARCHITECT SHALL BE DEEMED THE AUTHOR AND OWNER OF THESE DOCUMENTS AND SHALL RETAIN COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT.
 - THE ARCHITECT HAS NOT BEEN CONTRACTED TO PERFORM CONSTRUCTION ADMINISTRATION/ ON-SITE OBSERVATION FOR THIS PROJECT.
 - FOR DIMENSIONS NOT SHOWN OR IN QUESTION, THE CONTRACTOR WILL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.
 - CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS IN THE FIELD-ANY DISCREPANCIES WILL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
 - THE CONTRACTOR SHALL MAINTAIN AT THE SITE OF THE WORK, A SET OF RECORD DRAWINGS. THE CONTRACTOR SHALL RECORD ALL CHANGES AND DEVIATIONS FROM THE DRAWINGS ON THIS "AS-BUILT" SET, WHICH SHALL BE UPDATED AT LEAST EVERY OTHER WEEK, AT THE CLOSE OF THE JOB. THE CONTRACTOR SHALL PROVIDE ONE COMPLETE SET OF ALL AS-BUILT INFORMATION TO THE ARCHITECT IN CLEAR AND LEGIBLE FORMAT.
 - SIGNS SHALL BE LIMITED TO THE PROJECT IDENTIFICATION SIGN. THE IDENTIFICATION SIGN SHALL IDENTIFY THE PROJECT, THE ARCHITECT AND THE CONTRACTOR.
 - INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVENIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK. EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.
 - WHEN ARCHITECTURAL DRAWINGS ARE IN CONFLICT WITH ENGINEERING DRAWINGS THE GENERAL CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING.

VICINITY MAP - N.T.S.



CONSTRUCTION ADMIN.:

THIS WRITTEN NOTICE REQUIRED BY SOUTH CAROLINA REGULATIONS TO THE PERMITTING AUTHORITY AND BUILDING OWNER THAT THE ARCHITECTS WILLIAM COURT AND JAMES ATKINS HAVE NOT BEEN HIRED TO PROVIDE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES ON THE FOLLOWING PROJECT.

ASSEMBLY (A-2) & BUSINESS (B)

REGULATION 11-12.8.4 AND 5 STATE:

(4) ON A PROJECT WHERE A BUILDING PERMIT HAS BEEN ISSUED AND THE SEALING ARCHITECT AND THE FIRM OF RECORD HAVE NOT BEEN ENGAGED TO PERFORM AT LEAST MINIMUM CONSTRUCTION ADMINISTRATION SERVICES, AS DEFINED IN SUBSECTION (5) BELOW, THE SEALING ARCHITECT AND FIRM MUST REPORT TO THE PERMITTING AUTHORITY AND THE BUILDING OWNER THAT HE AND THE FIRM HAVE NOT BEEN SO ENGAGED.

(5) THE MINIMUM CONSTRUCTION ADMINISTRATION SERVICES EXPECTED OF THE SEALING ARCHITECT AND FIRM DEEMED NECESSARY TO PROTECT THE HEALTH, SAFETY, AND WELFARE OF THE PUBLIC SHALL BE PERIODIC SITE OBSERVATIONS OF THE CONSTRUCTION PROGRESS AND QUALITY, REVIEW OF CONTRACTOR SUBMITTAL DATA AND DRAWINGS, AND REPORTING TO THE BUILDING OFFICIAL AND OWNER ANY VIOLATIONS OF CODES OR SUBSTANTIAL DEVIATIONS FROM THE CONTRACT DOCUMENTS WHICH THE ARCHITECT OBSERVED.



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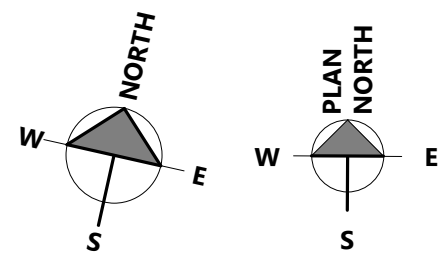
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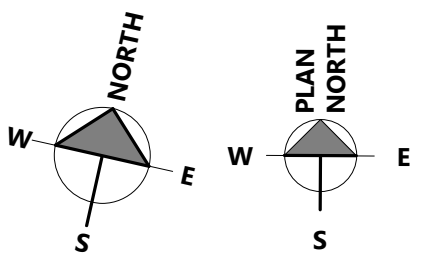
PROJECT INFO			
Date	12/21/2022		
Project No.	22-077		
ISSUE			
NO.	REV.	DATE	DESCRIPTION

SHEET TITLE

COVER
A0.0



13. SEE LANDSCAPE DRAWINGS (UNDER SEPARATE COVER) FOR PAVING AT ALL PORCHES & ENTRIES.



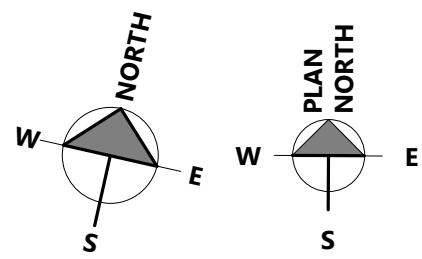
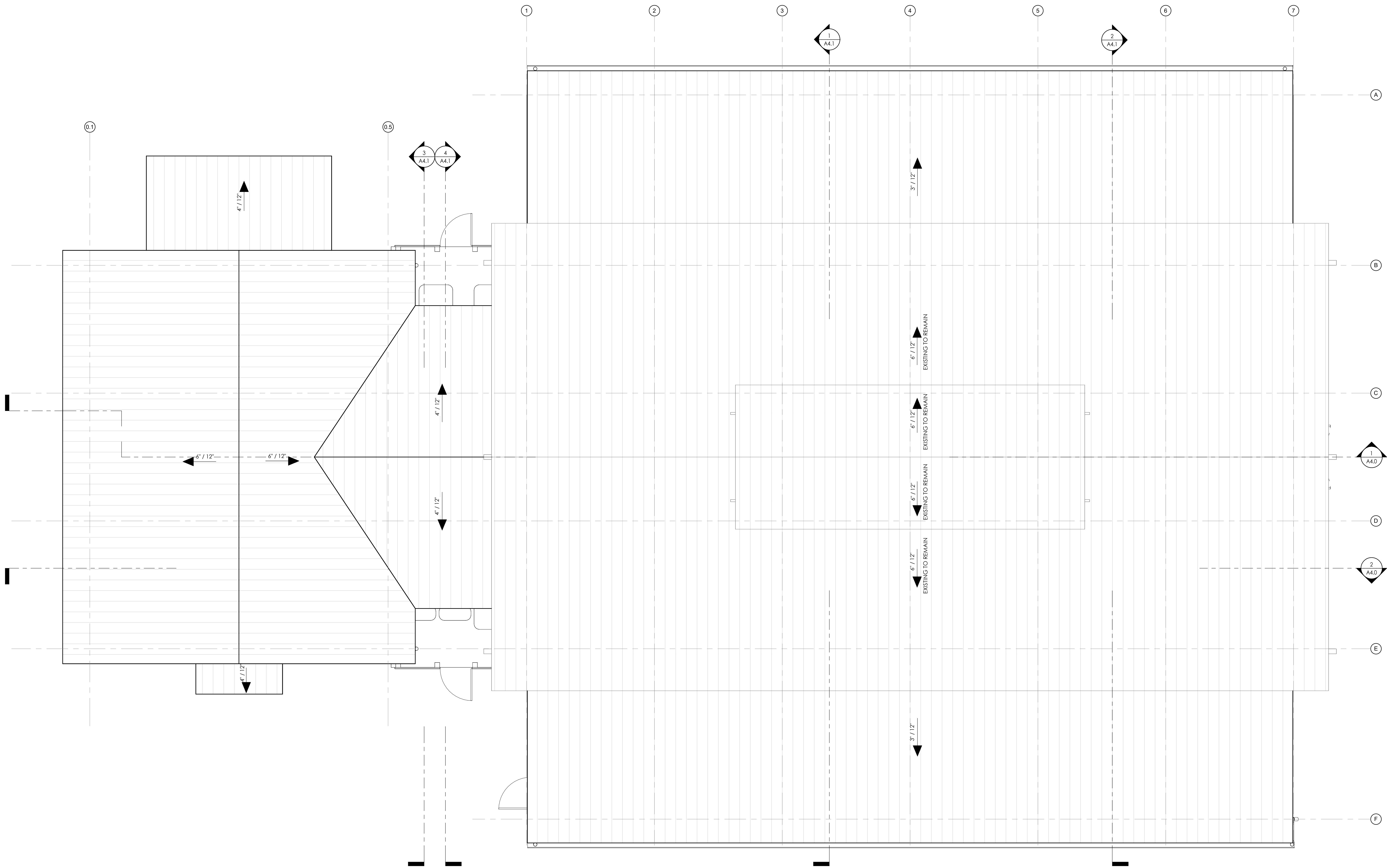
1
A2.1 FIRST FLOOR PLAN
1/4" = 1'-0"

GENERAL ROOF
PLAN NOTES:

1. AT ALL ROOF RIDGES AND HIPS USE CONTINUOUS SELF ADHERED UNDERLAYMENT CONTINUE OVER RIDGE/HIP 2" BOTH WAYS.
2. AT ALL ROOF VALLEYS USE 36" SELF-ADHERED MEMBRANE FLASHING CENTERED IN VALLEY.
3. ALL NEW ROOFS AWNINGS TO HAVE V-CRIMP ROOFING TO MATCH EXISTING.



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1 ROOF PLAN
A2.5 1/4" = 1'-0"

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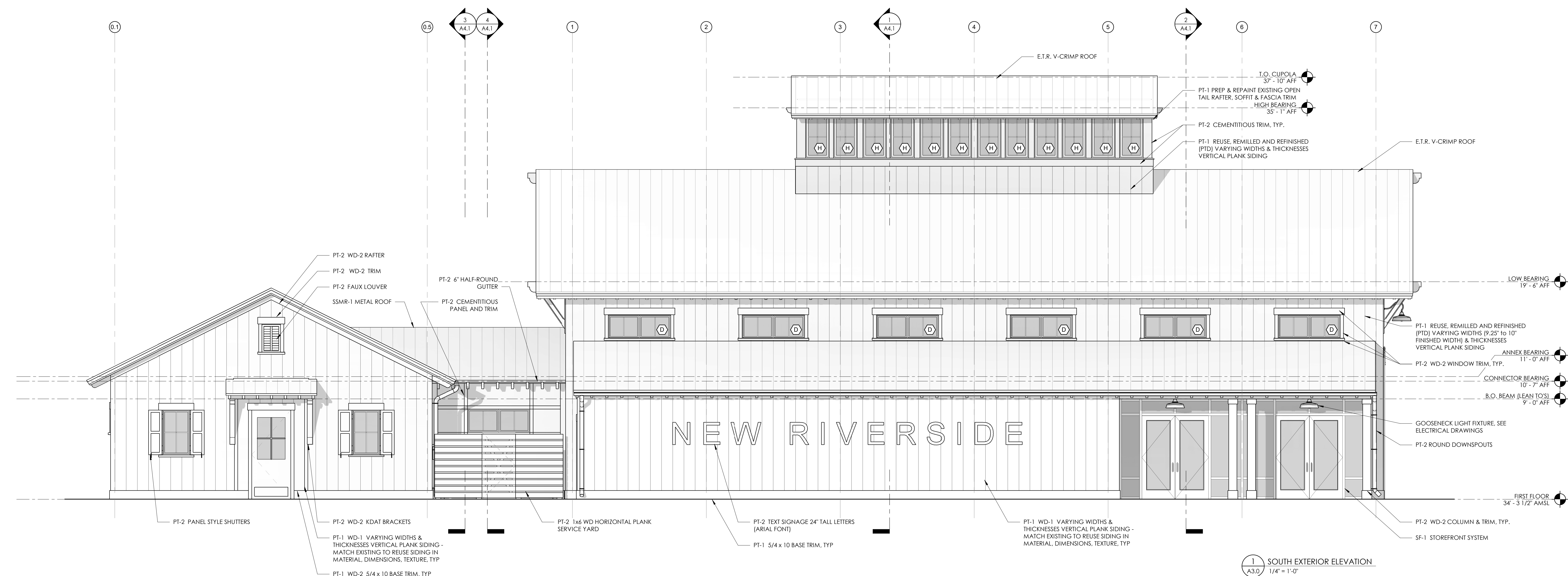
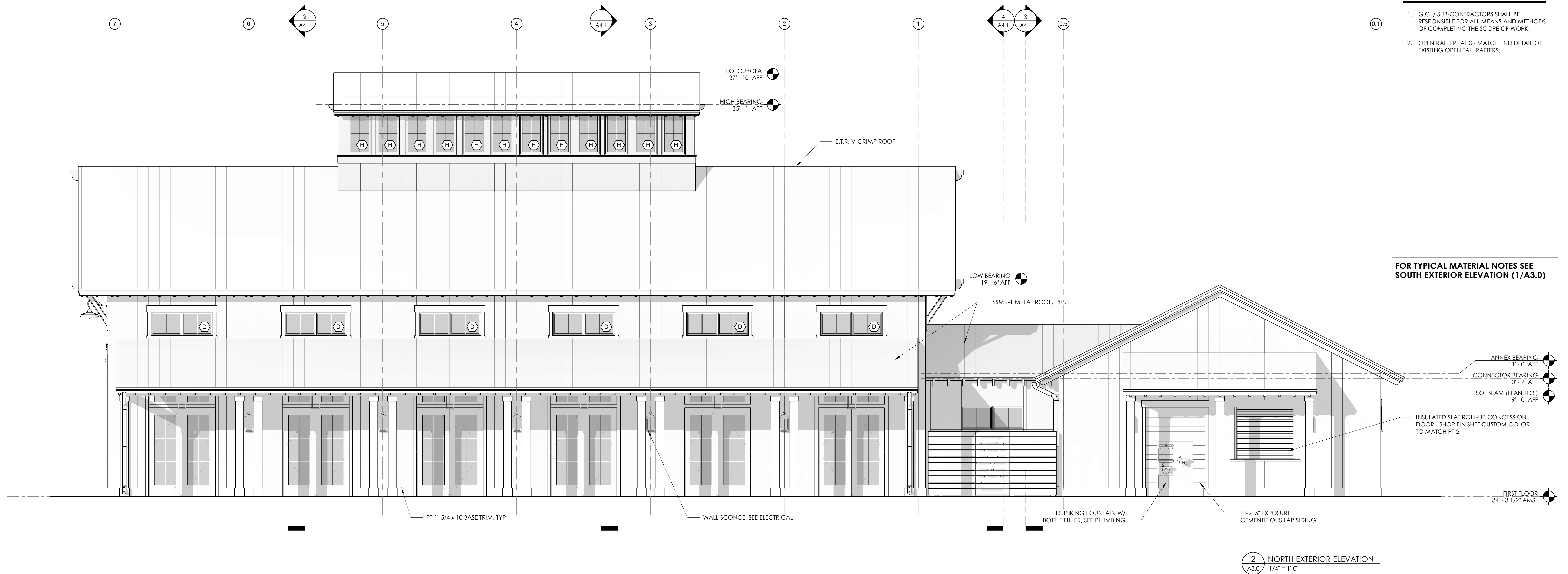
SHEET TITLE

ROOF PLAN
A2.5

**GENERAL EXTERIOR
ELEVATION NOTES:**

- G.C. / SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS OF COMPLETING THE SCOPE OF WORK.
- OPEN RAFTER TAILS - MATCH END DETAIL OF EXISTING OPEN TAIL RAFTERS.

FOR TYPICAL MATERIAL NOTES SEE
SOUTH EXTERIOR ELEVATION (1/A3.0)

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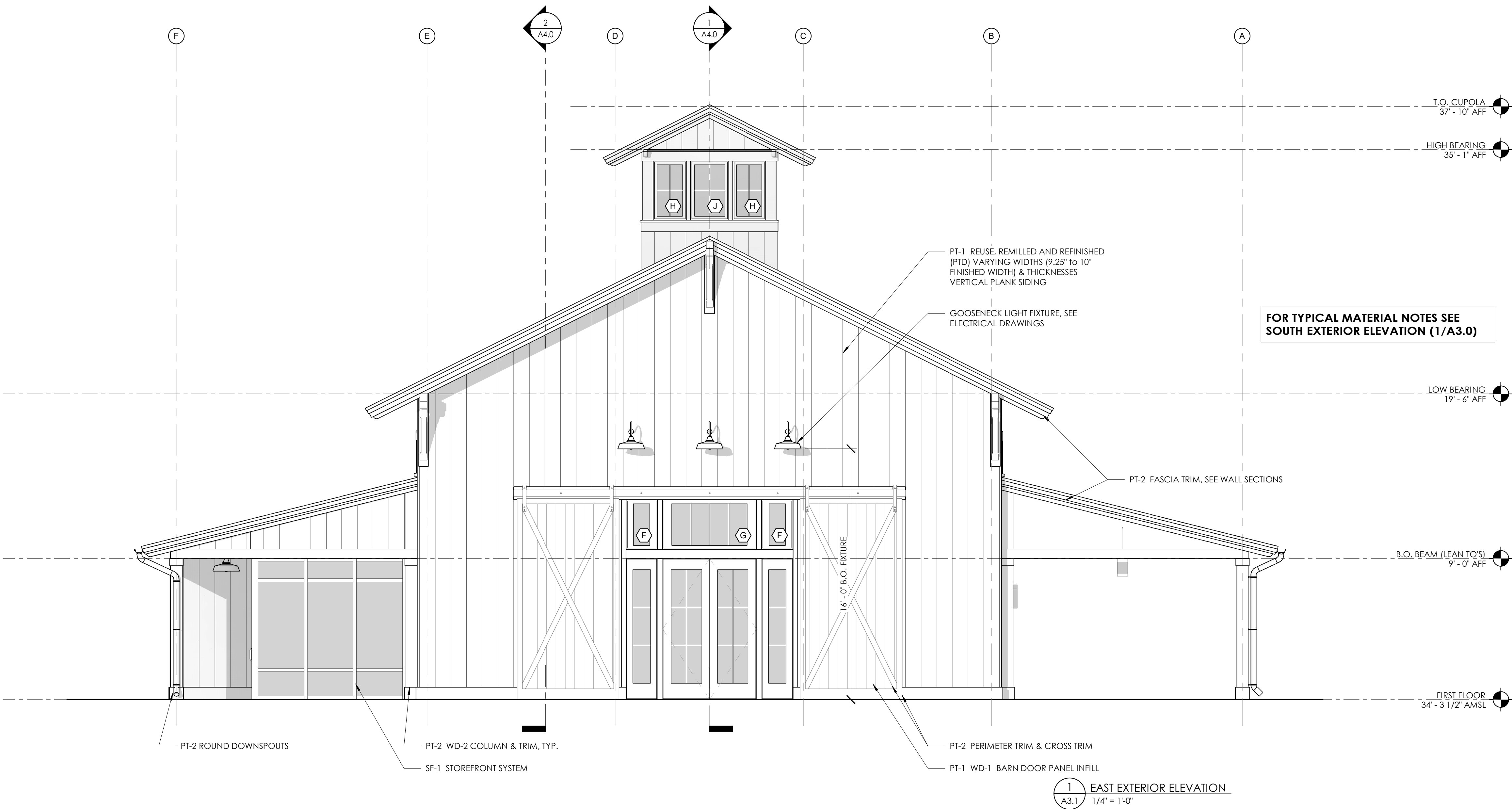
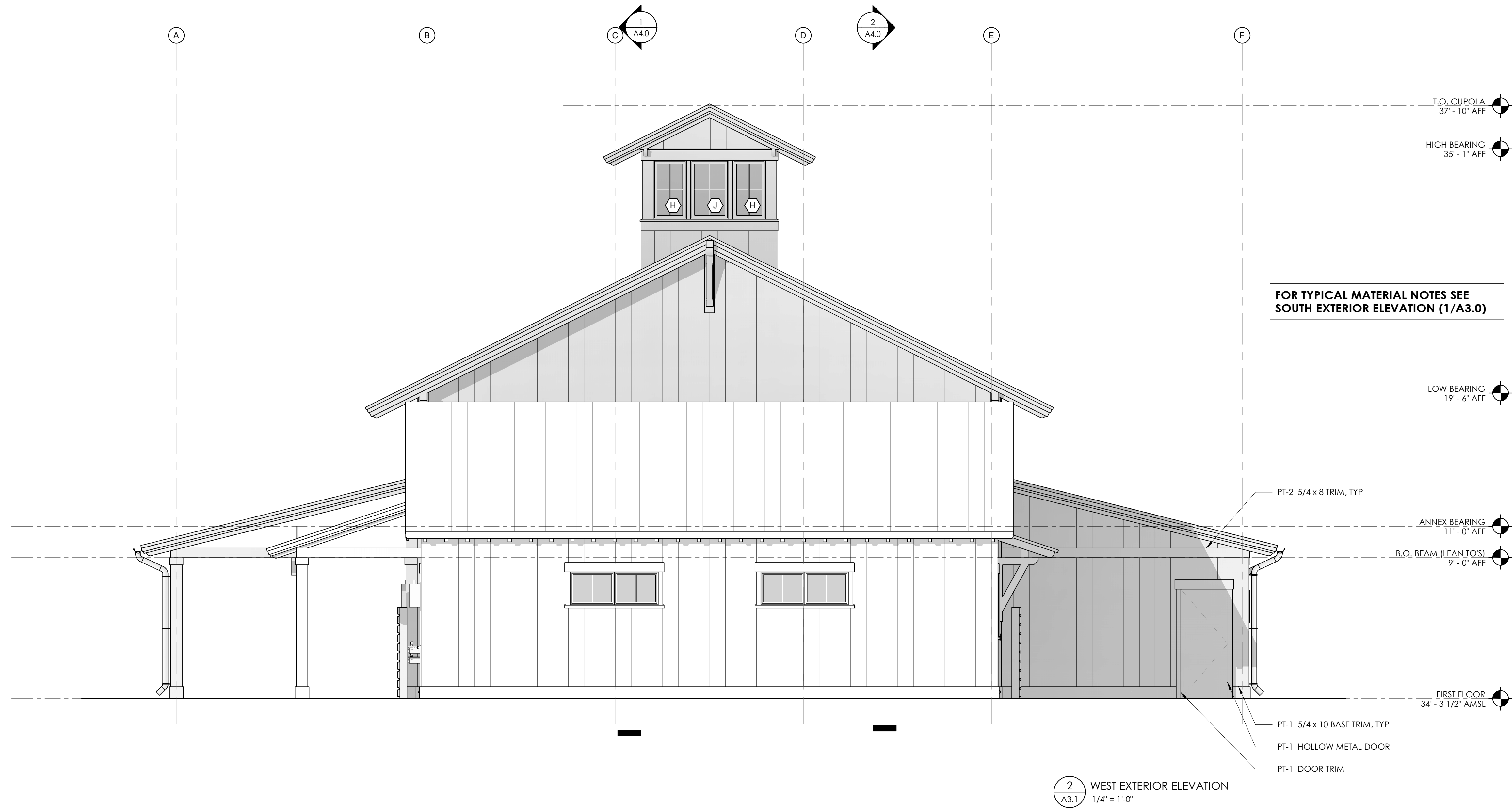
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ELEVATION NOTES:

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- OPEN RAFTER TAILS - MATCH END DETAIL OF EXISTING OPEN TAIL RAFTERS.

EXTERIOR FINISHES LEGEND					
LABEL	MATERIAL	MANUFACTURER	PRODUCT INFORMATION		REMARKS
			STYLE	COLOR	
BR-1	BRICK	CHEROKEE	MODULAR	MOSSTOWN	COORDINATE W/ LANDSCAPE [MATCH ADJACENT FIRE STATION #31]
PT-1	PAINT	SHERWIN WILLIAMS	MATTE	RED BARN SW7591 (275-C7)	
PT-2	PAINT	SHERWIN WILLIAMS	MATTE	USEFUL GREY SW7050 (246-C1)	
SF-1	STOREFRONT	YKK	YHS 50FI	DARK BRONZE ANODIZED	IMPACTED RATED, SEE STOREFRONT TYPE ELEVATIONS
VCRIMP	METAL			GALVALUME	
W-1	ALUMINUM CLAD WINDOWS	MARVIN		CLAY	SEE WINDOW TYPE ELEVATIONS
WD-1	WOOD				MATCH EXISTING TO REUSE WD SIDING BOARDS IN SPECIES, VARIED WIDTH, LENGTHS AND FINISH
WD-2	KDAT				





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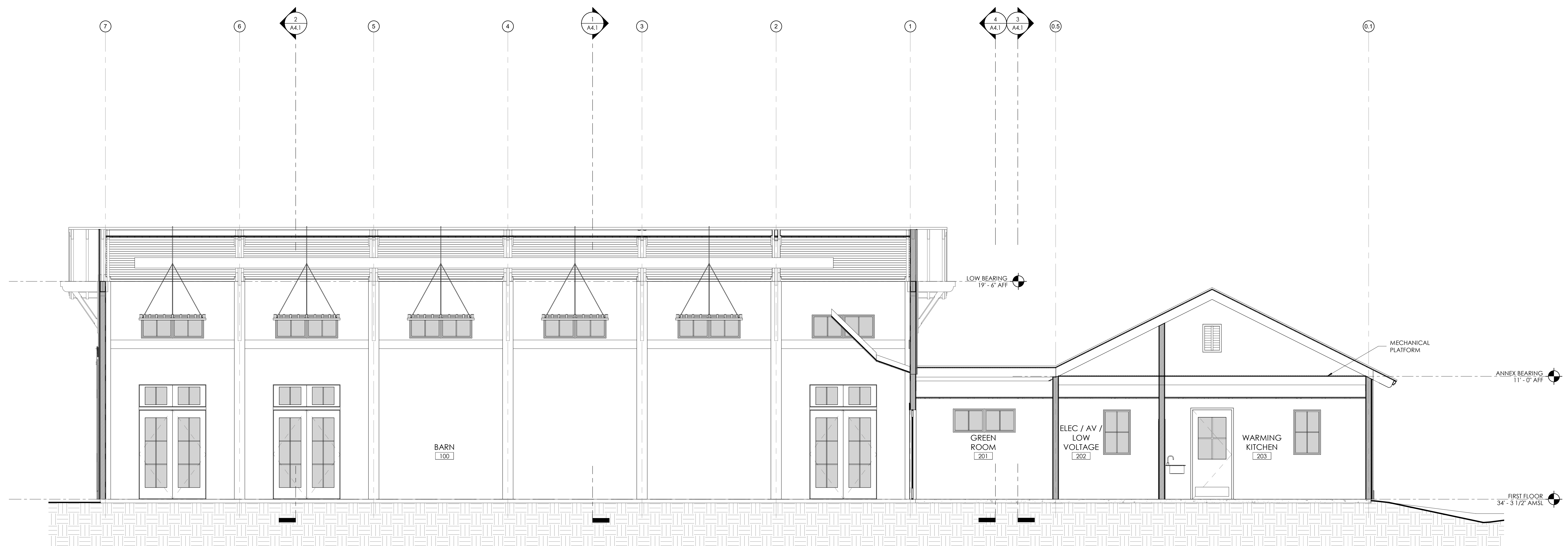
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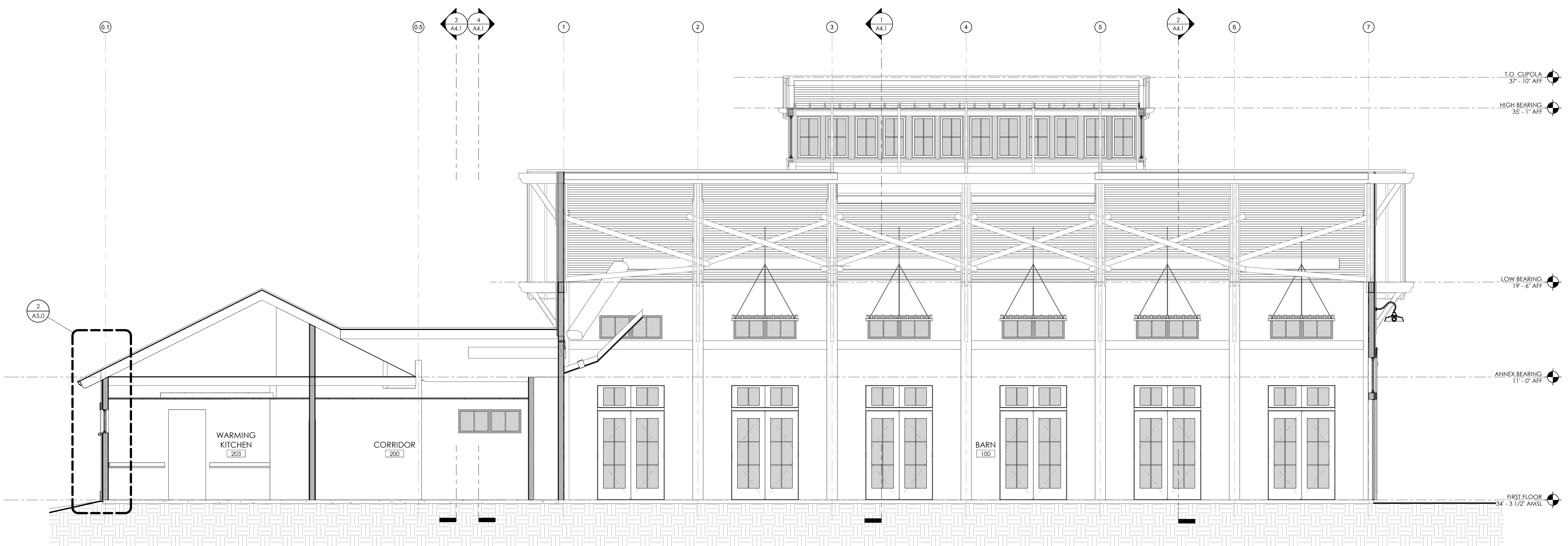
SHEET TITLE

BUILDING
SECTIONS

A4.0



2 BUILDING SECTION (LON. 2)
1/4" = 1'-0"



1 BUILDING SECTION (LON.)
1/4" = 1'-0"



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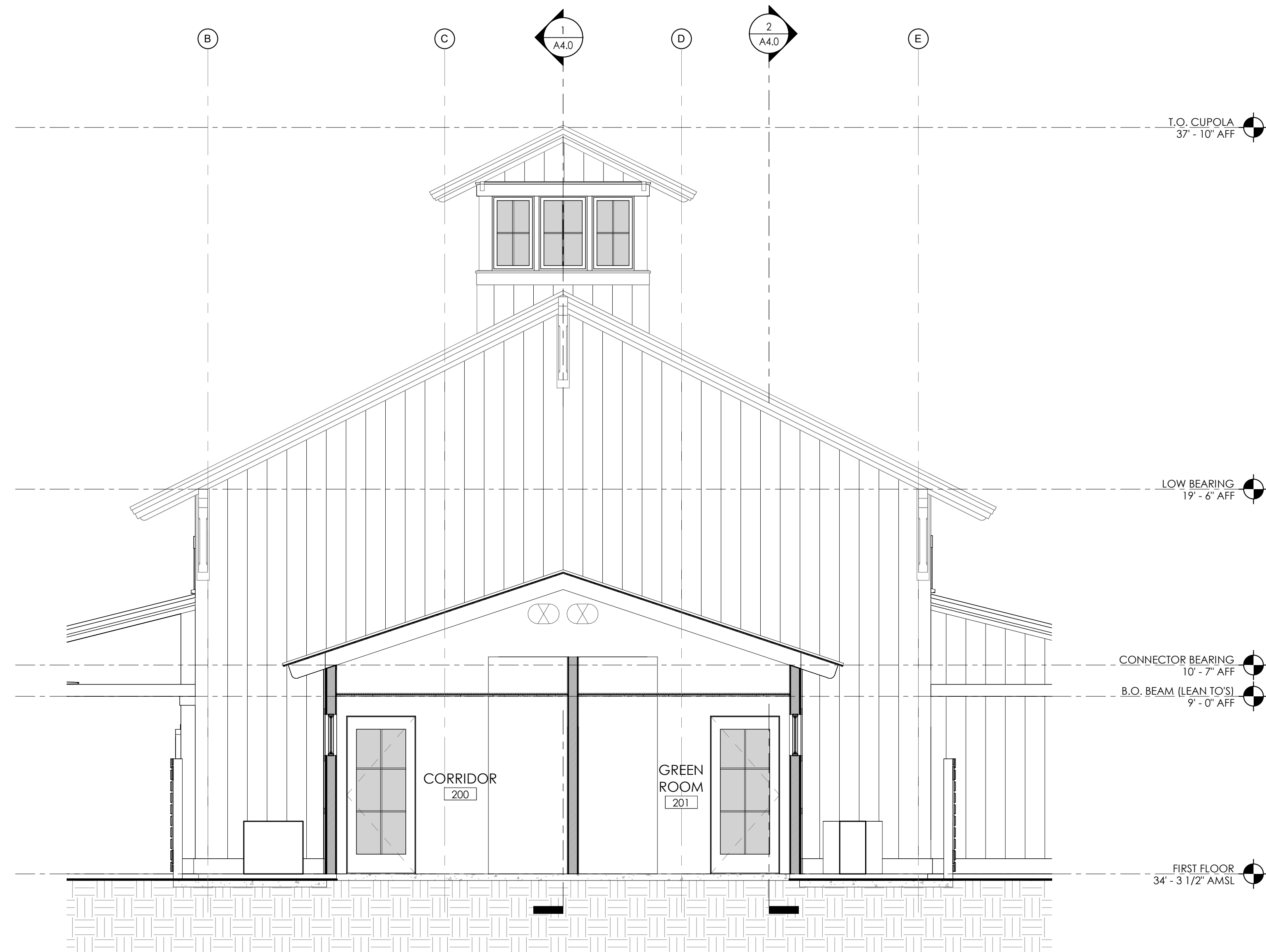
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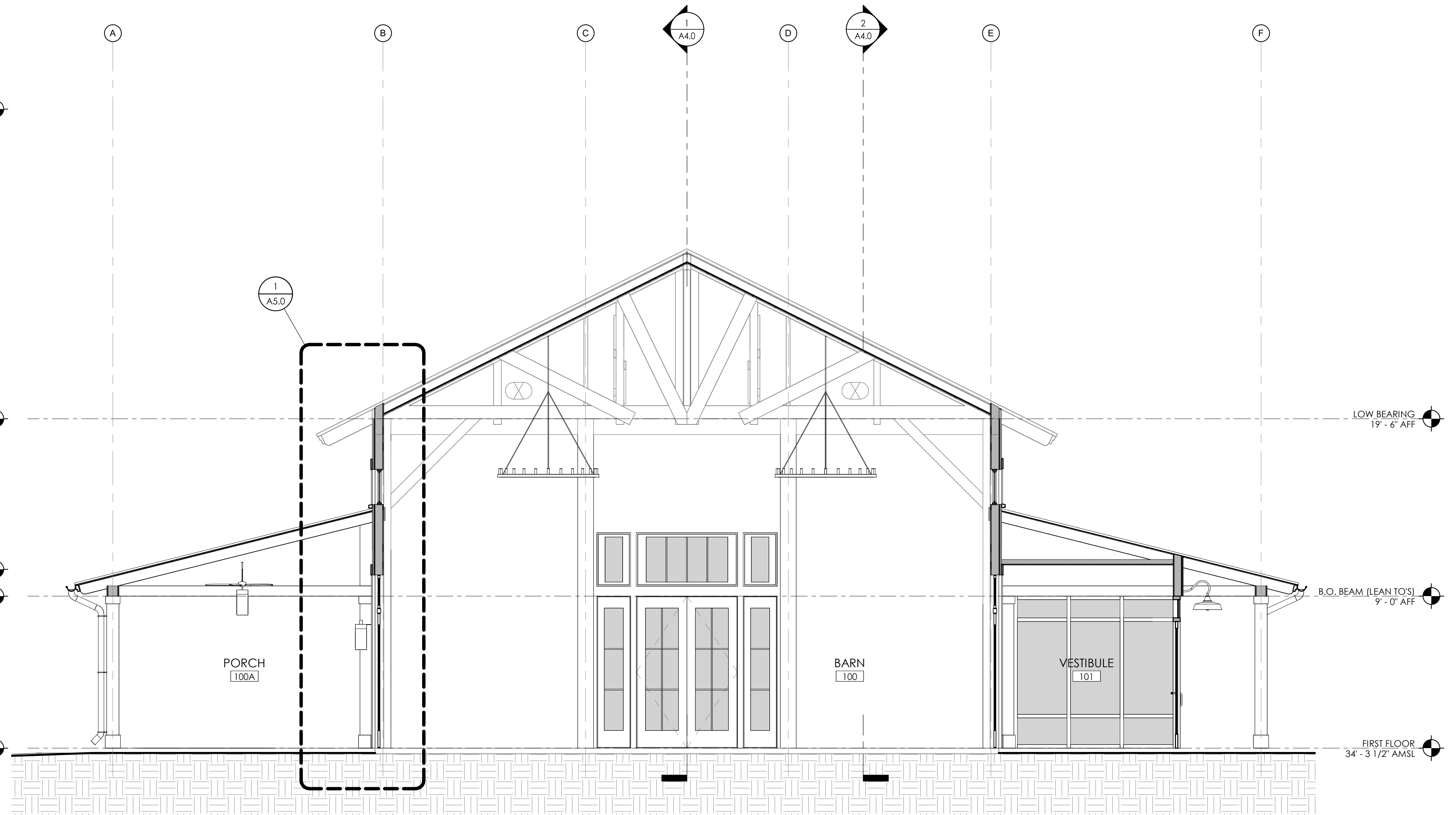
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BUILDING
SECTIONS

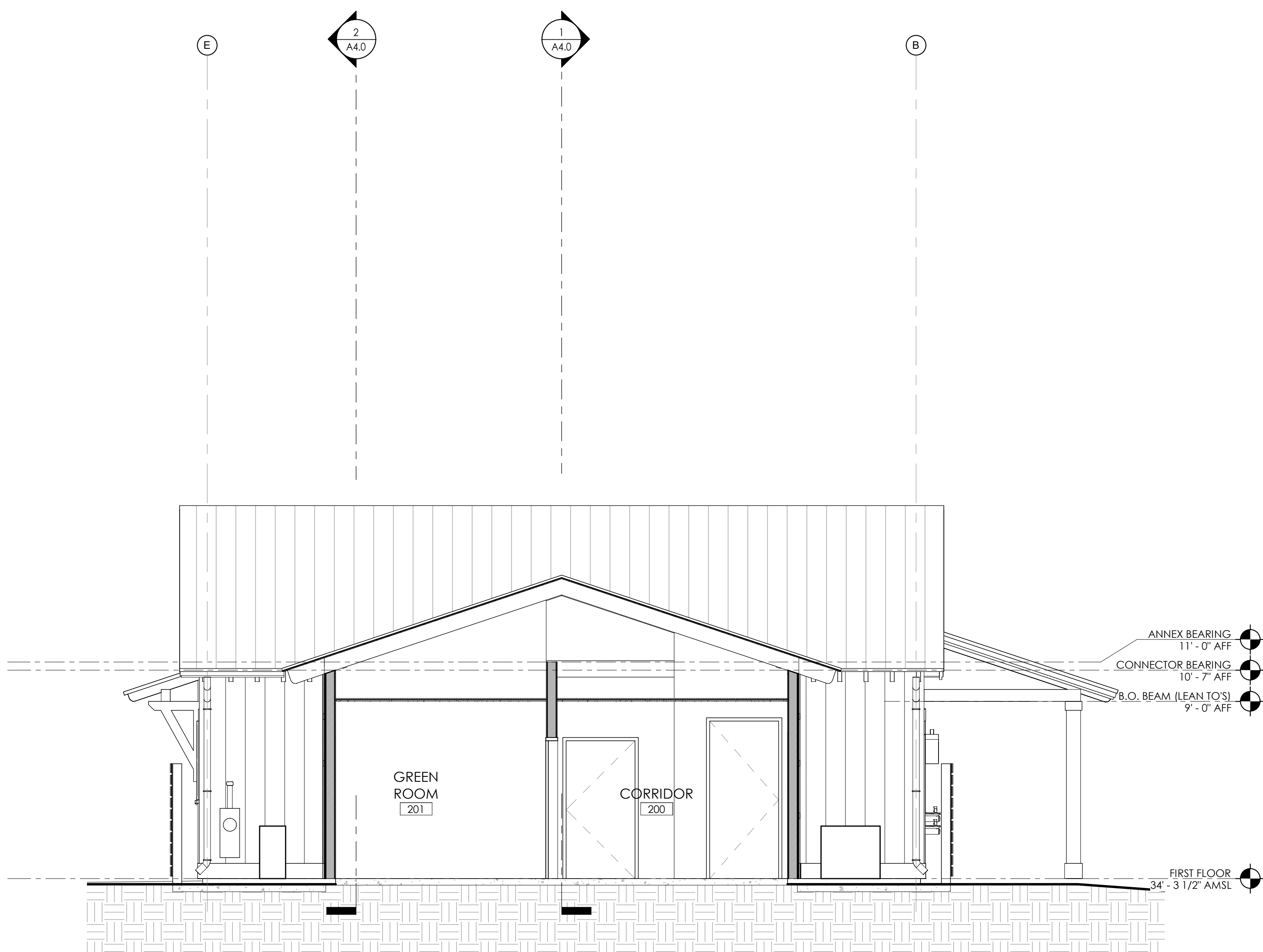
A4.1



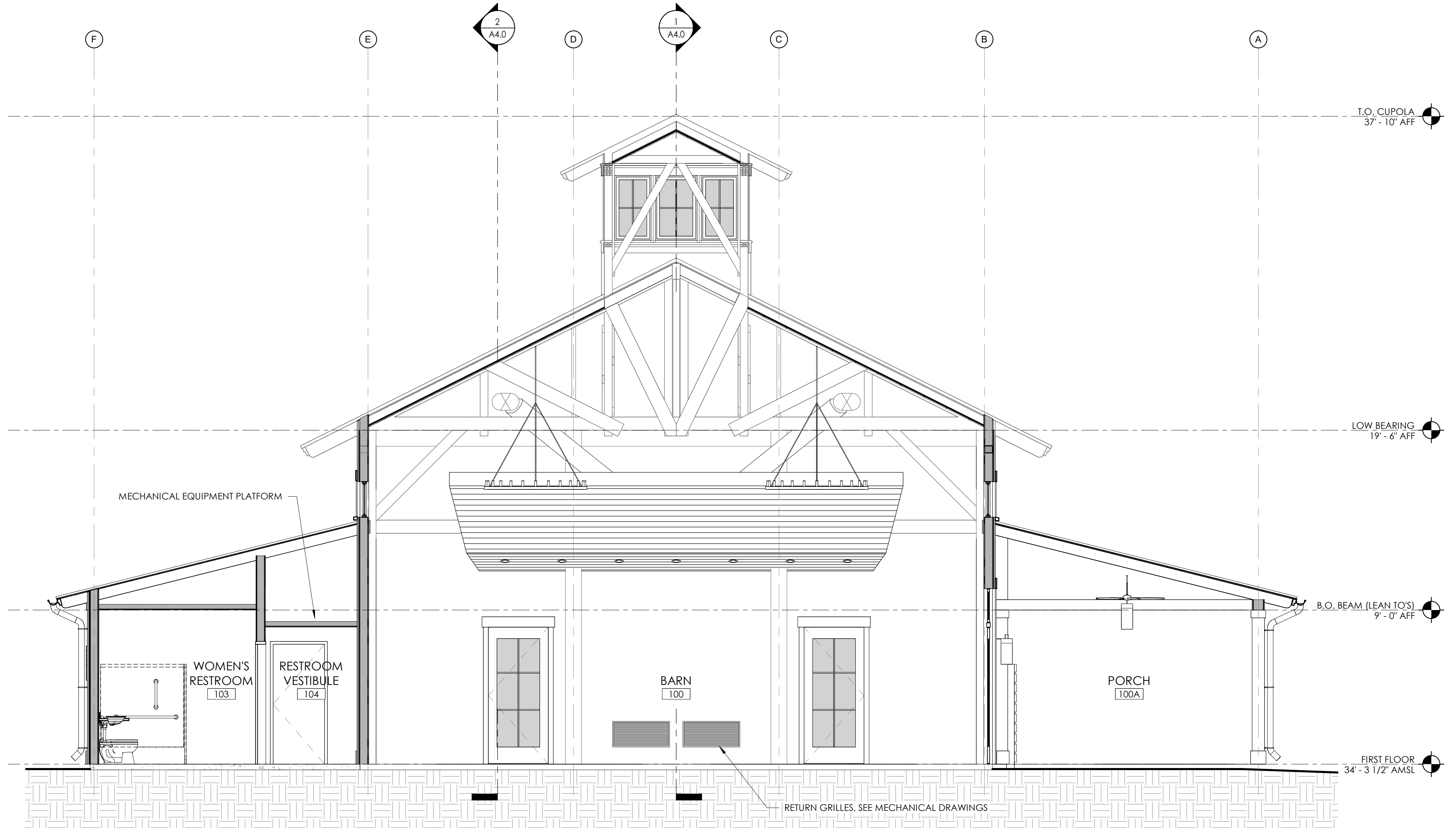
4 BUILDING SECTION (CROSS 4)
A4.1 1/4" = 1'-0"



2 BUILDING SECTION (CROSS 2)
A4.1 1/4" = 1'-0"



3 BUILDING SECTION (CROSS 3)
A4.1 1/4" = 1'-0"



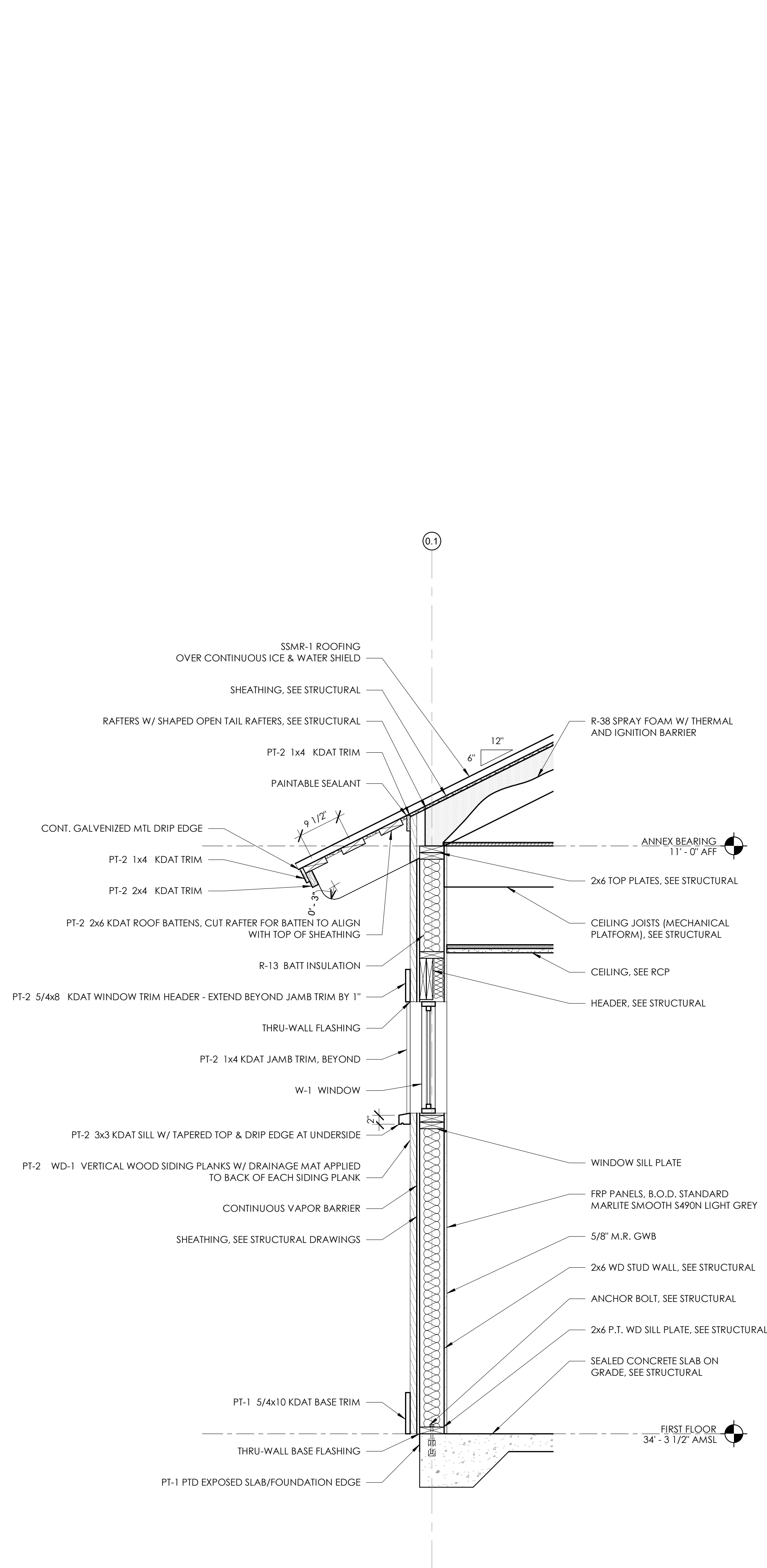
1 BUILDING SECTION (CROSS)
A4.1 1/4" = 1'-0"



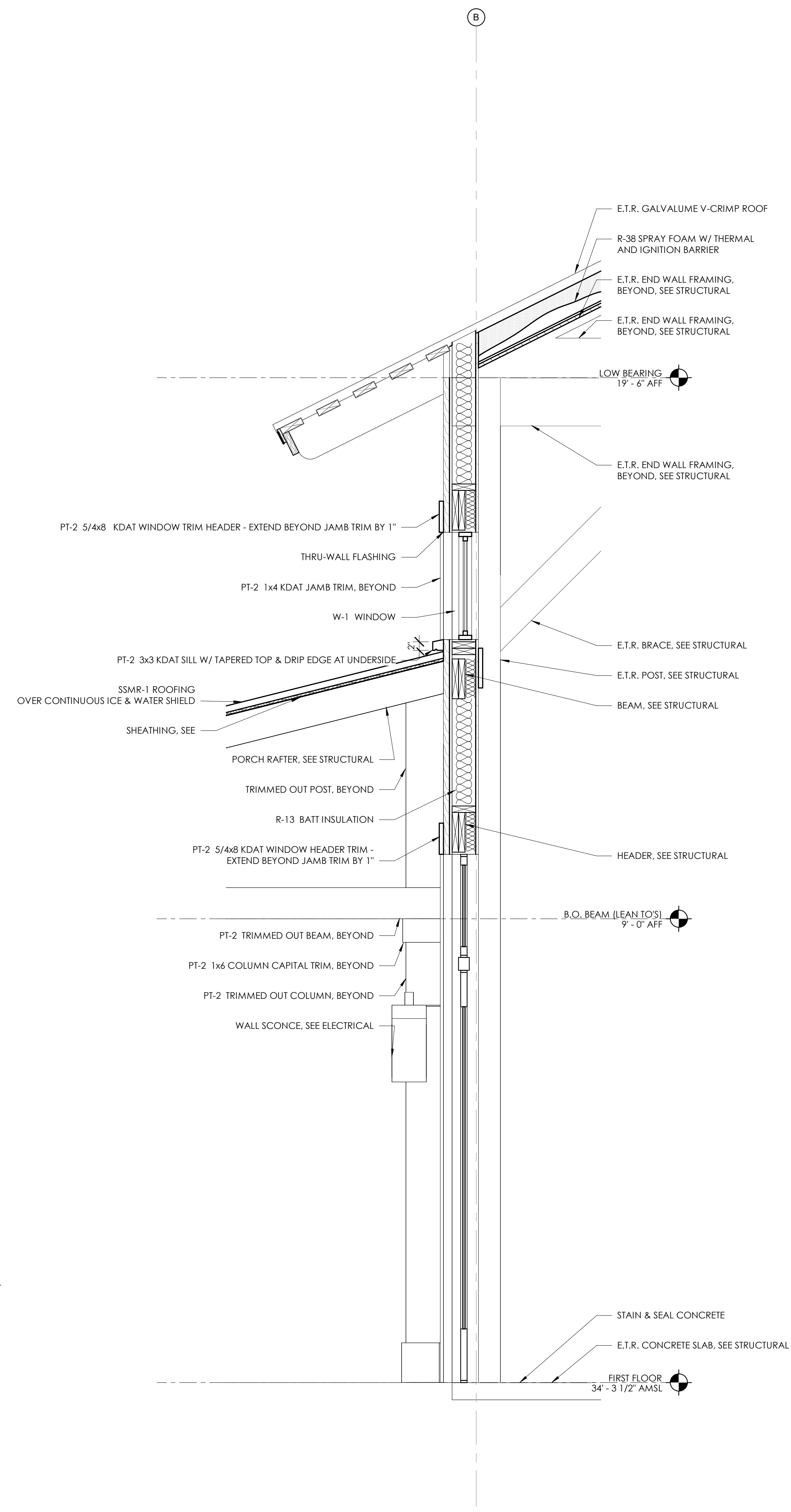
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2 WALL SECTION @ WARMING KITCHEN 203
A5.0 3/4" = 1'-0"



1 WALL SECTION @ BARN 100
A5.0 3/4" = 1'-0"

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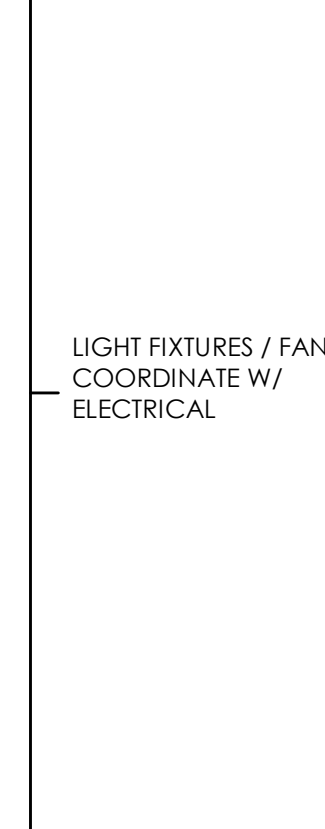
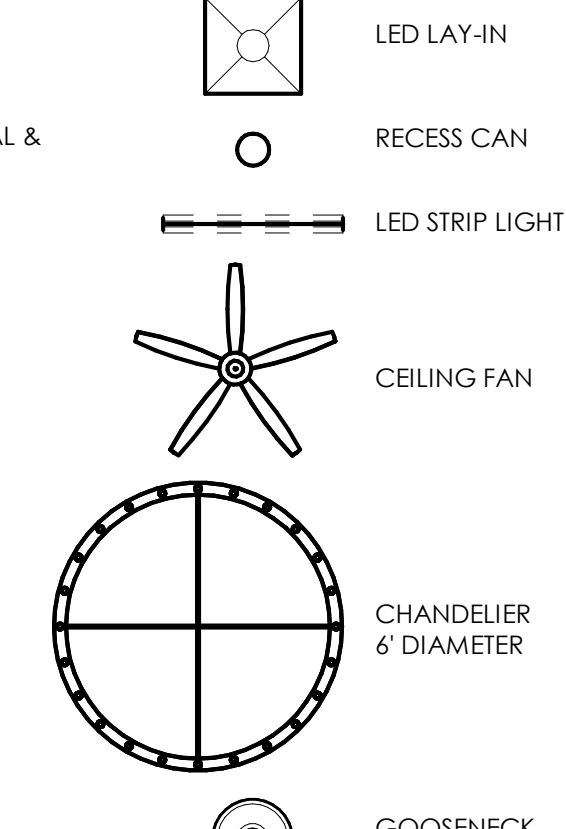
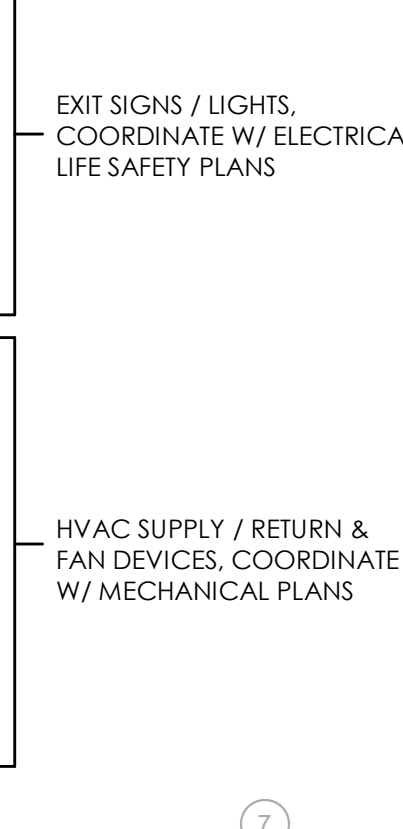
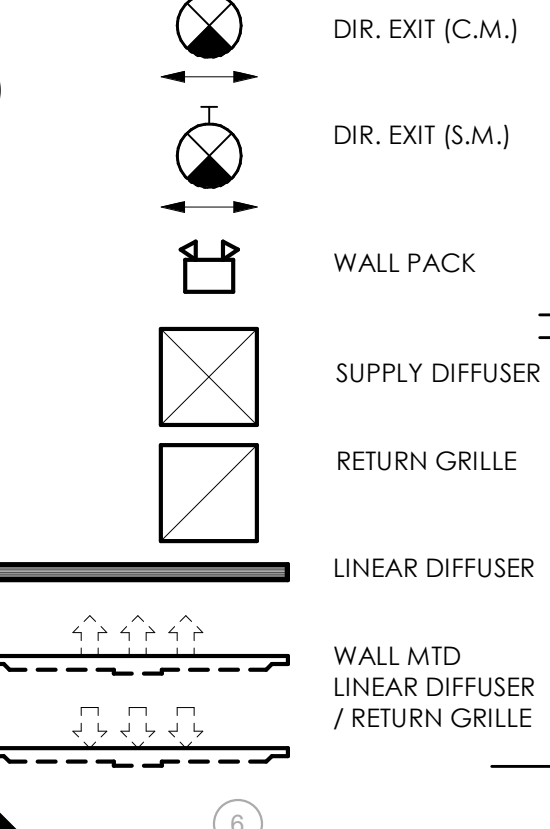
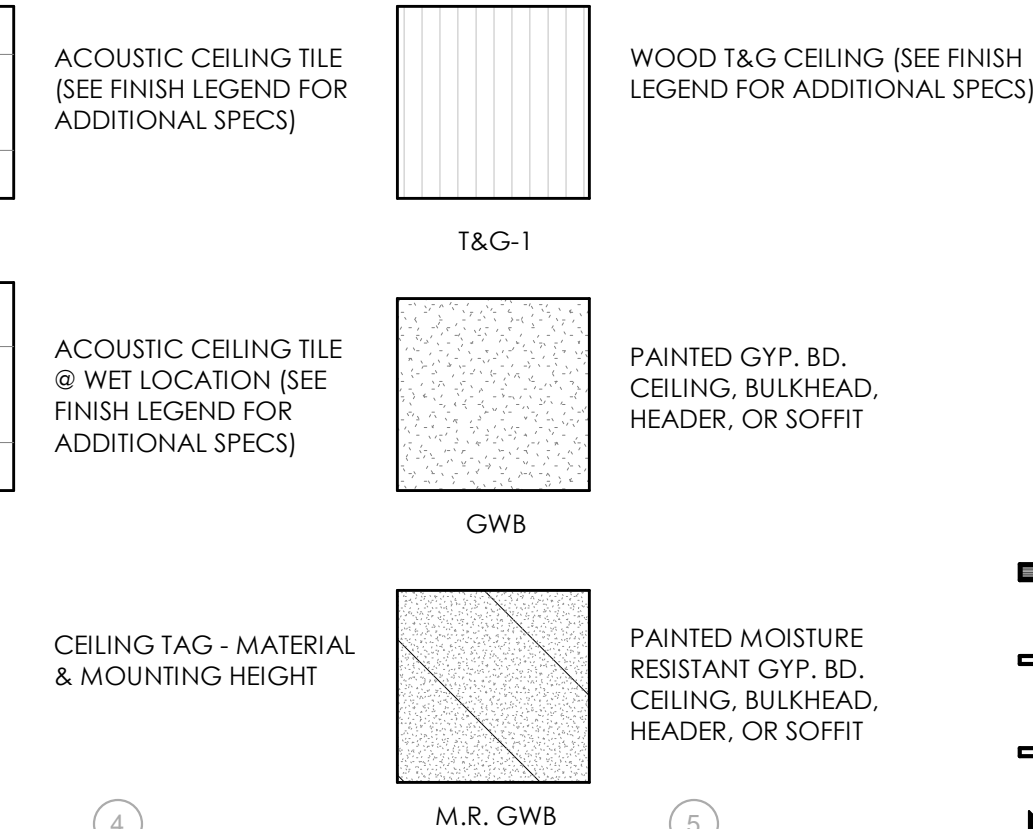
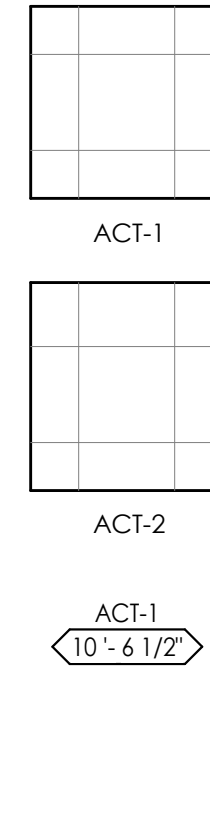
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SHEET TITLE

WALL SECTIONS
A5.0

GENERAL REFLECTED CEILING PLAN NOTES:

- A. THIS DRAWING INDICATES THE GENERAL LOCATION OF FIXTURES, ARCHITECTURAL DETAILS AND FINISHES. REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS.
- B. SEE FINISH SCHEDULE, FINISH PLANS, AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- C. PROVIDE ACT HOLD DOWN CLIPS WITHIN 20'-0" OF ENTRY DOORS.
- D. ALL CEILING TILE TO BE CENTERED IN BOTH DIRECTIONS IN EACH ROOM OR SPACE U.N.O.
- E. REFER TO ELECTRICAL DRAWINGS FOR LIGHT FIXTURE TYPE & CIRCUITING. COORDINATE LAYOUT WITH ARCHITECTURAL & ELECTRICAL PLANS.
- F. ALL DOWN LIGHTS AND WALL WASHERS TO BE CENTERED IN CEILING TILE OR SOFFIT, U.N.O.
- G. SEE MECHANICAL DRAWINGS FOR DUCT AND EQUIPMENT LAYOUT. COORDINATE WITH ARCHITECTURAL PLANS.
- H. COORDINATE LOCATION OF ELECTRICAL FIXTURES, MECHANICAL GRILLES AND DIFFUSERS, SPRINKLER HEADS, AND OTHER CEILING MOUNTED ITEMS, NOTIFY ARCHITECT OF CONFLICTS PRIOR TO FINAL INSTALLATION.

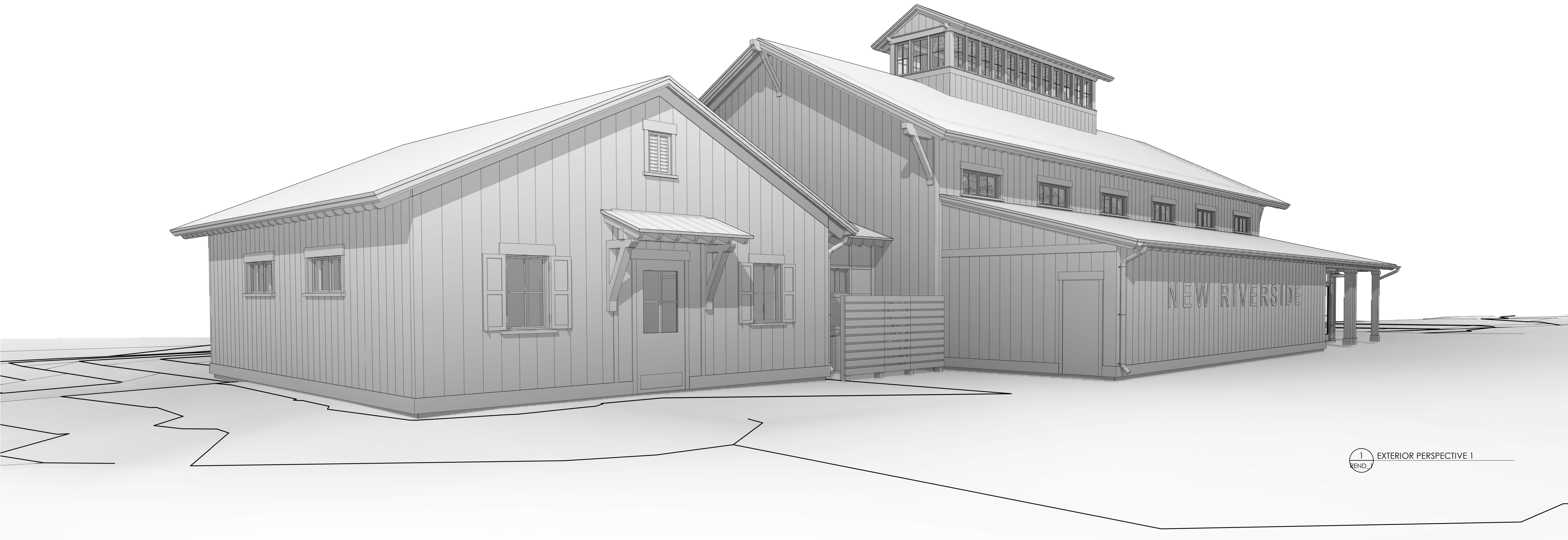




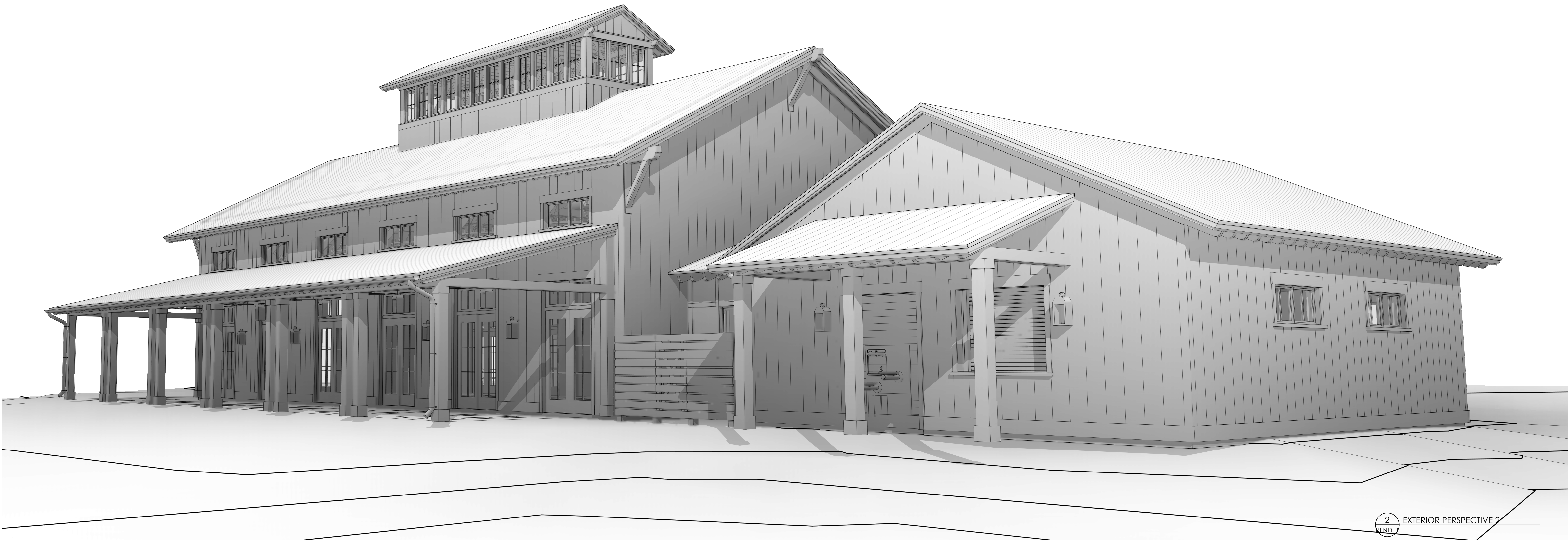
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1
REND 1
EXTERIOR PERSPECTIVE 1



2
REND 2
EXTERIOR PERSPECTIVE 2

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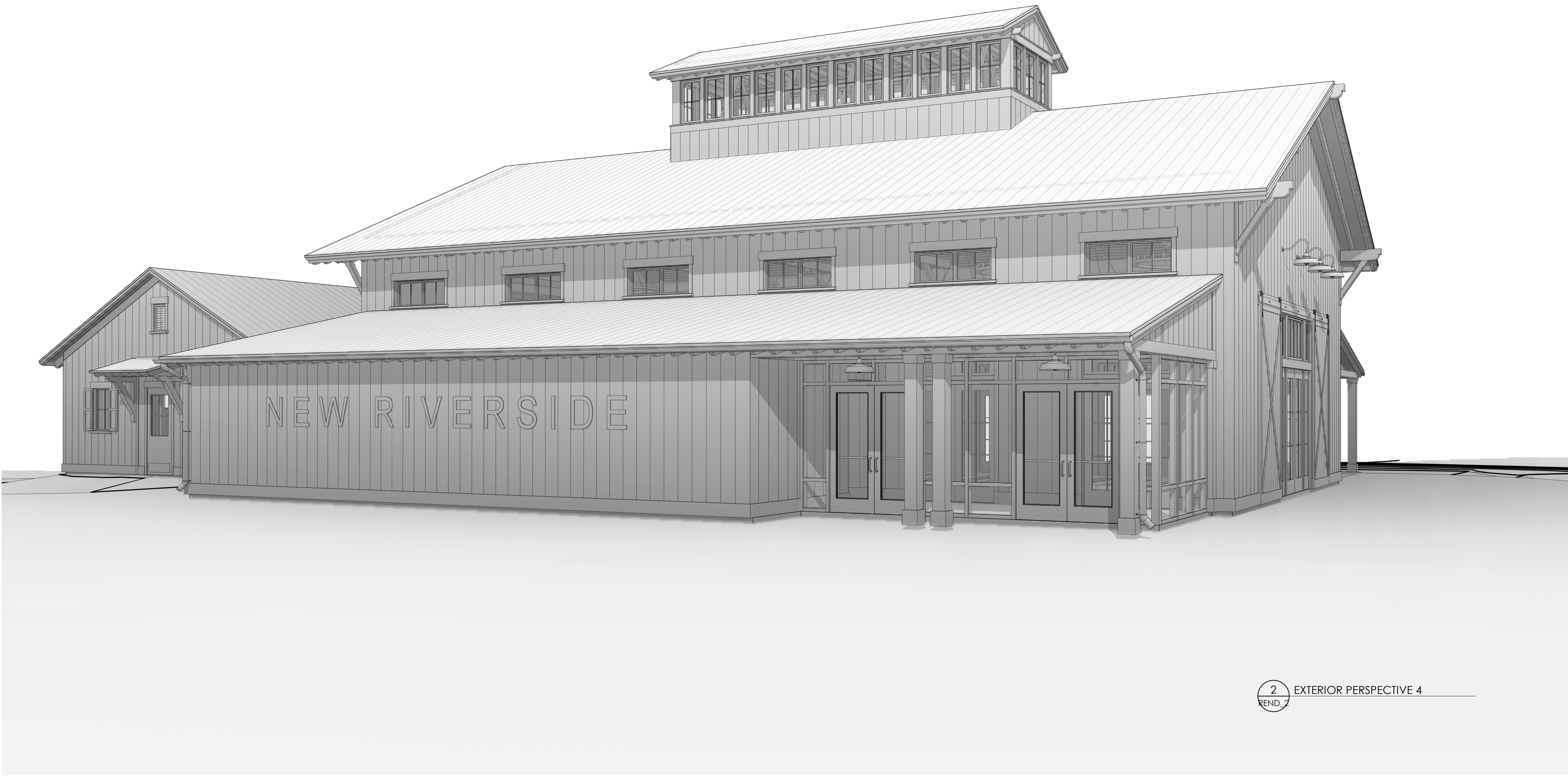
EXTERIOR
PERSPECTIVES
REND_1



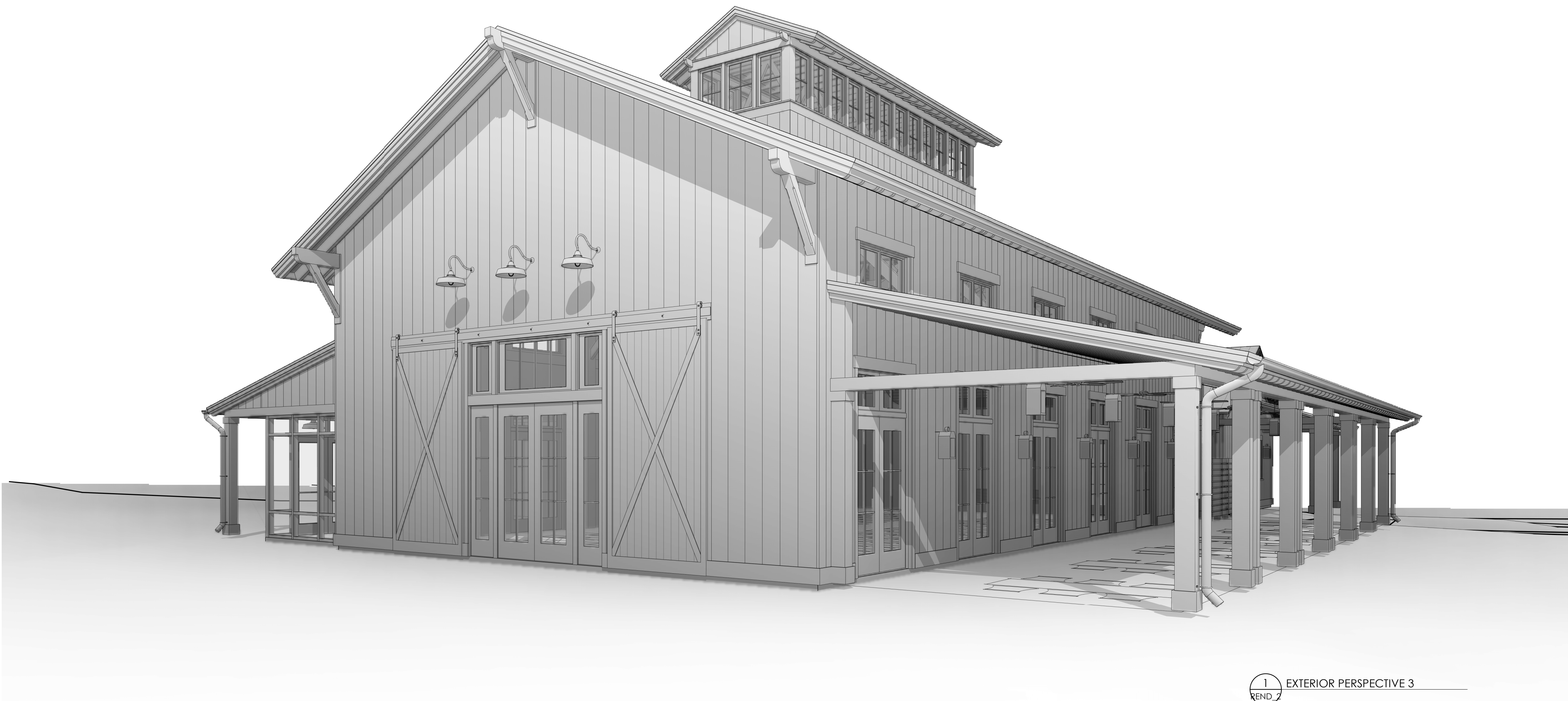
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2
REND 2 EXTERIOR PERSPECTIVE 4



1
REND 2 EXTERIOR PERSPECTIVE 3

New Riverside Park Barn
30 RED BARN DRIVE, BLUFFTON, SOUTH CAROLINA 29910

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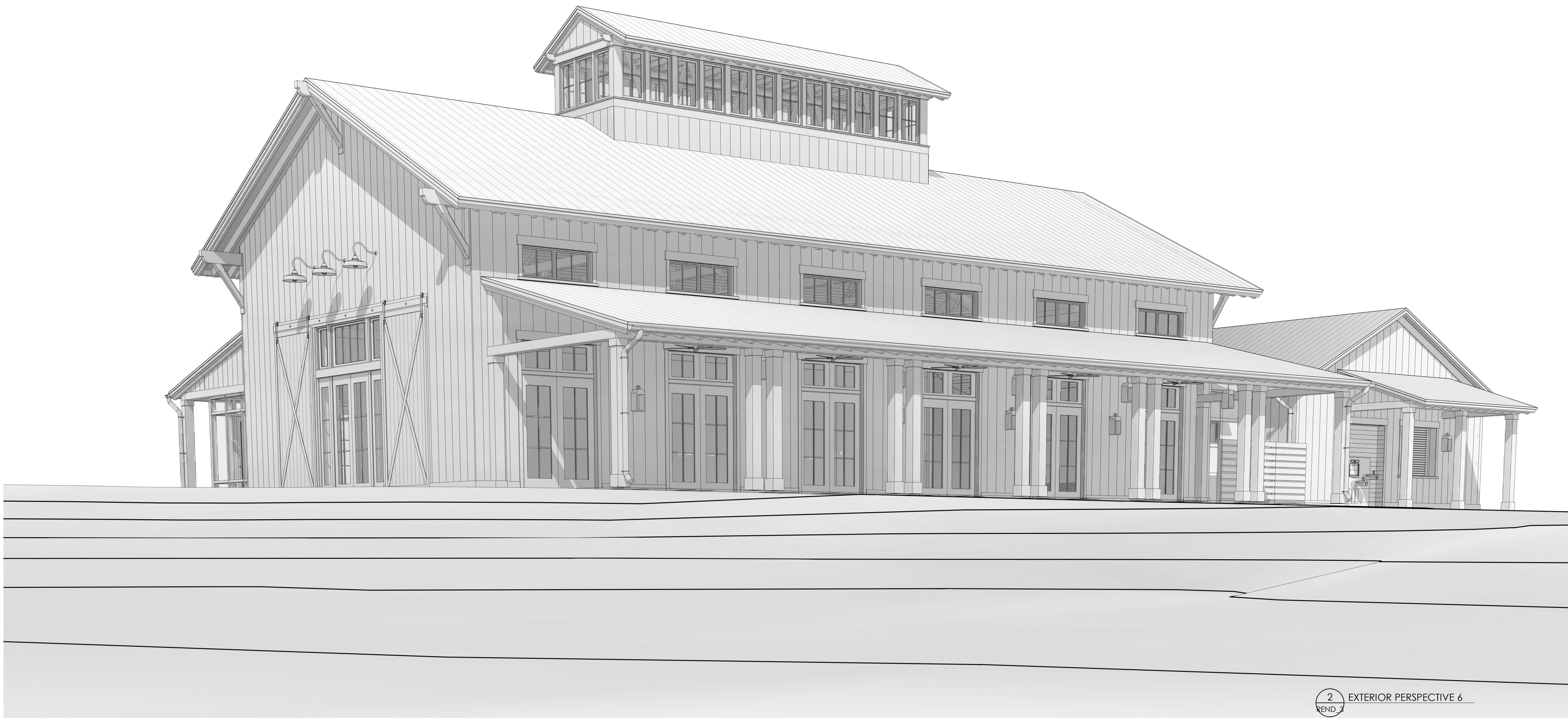
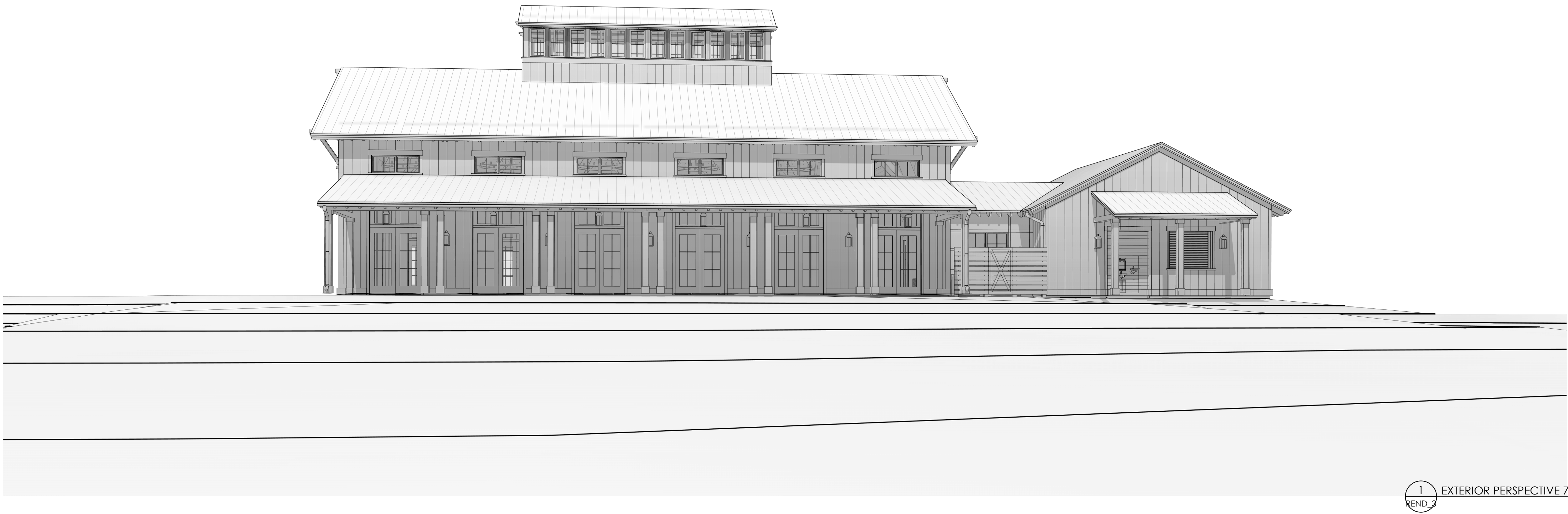
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22-077

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EXTERIOR
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REND_3