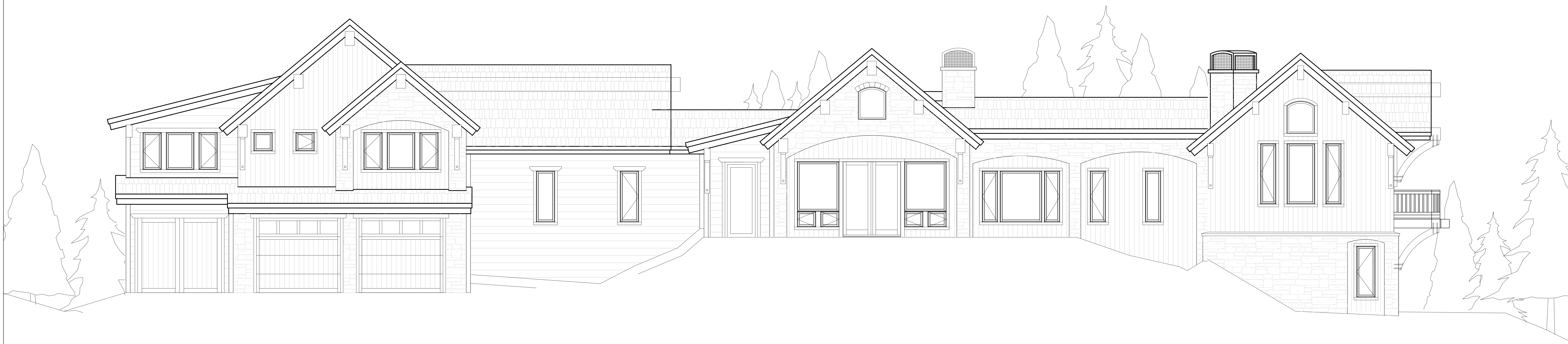




G2 Designs LLC
Silverthorne, Colorado
720-982-7425
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LASSA RESIDENCE



LASSA RESIDENCE
SUBMISSION
TOWN OF BLUE RIVER, SUMMIT COUNTY, COLORADO

TITLE: COVER SHEET

ISSUE:
PERMIT

DATE:
07/11/2023

Project #
2309

C.S.



G2 Design LLC
Silverthorne, Colorado
720-982-7425
g2designsllc@outlook.com

ARCHITECTURAL ABBREVIATIONS

Table with 2 columns: Abbreviation and Full Name. Includes terms like AFF ABOVE FINISHED FLOOR, ACQ ACOUSTICAL, ADD ADDENDA, etc.

GENERAL NOTES

- A. CONTRACTOR'S RESPONSIBILITIES
1. THE CONTRACTOR SHALL VERIFY THAT THE BUILDING CODE REQUIREMENTS...
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS...
3. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EQUIPMENT SIZES...
4. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF FIRE MITIGATION...
5. THE CONTRACTOR MUST VERIFY THE BUILDING LAYOUT...
6. THE CONTRACTOR MUST VERIFY THAT ALL DOORS, WALLS AND CEILING...
7. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL FRESH GRADES...
8. THE CONTRACTOR MUST VERIFY THAT FIREPLACE AND/OR WOODSTOVE...
9. CONTRACTOR SHALL SUBMIT A LIST OF SUBCONTRACTORS...
10. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS...
11. THE CONTRACTOR AND OTHER SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLETING ALL WORK...
12. CONTRACTOR TO PROVIDE SMOKE DETECTORS IN ACCORDANCE WITH LOCAL APPLICABLE CODES...
13. CONTRACTOR TO PROVIDE ALL NECESSARY BRACKETS, BACKING, AND FRAMING FOR LIGHT FIXTURES...
14. ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STAGED AND PROTECTED...
15. PROVIDE ALL ACCESS PANELS AS REQUIRED BY GOVERNING CODES...
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING THE DRAWINGS AND OBTAINING THE PERMITS...
17. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION...
18. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION...
19. THE GENERAL CONTRACTOR AND OWNER ARE RESPONSIBLE FOR RADON TESTING...
20. MORTUARY IS THE PREVALENT CAUSE OF MOOD GROWTH...
21. ANY CHANGES IN THE FIELD TO THE STRUCTURAL PLANS...
22. SHOULD A CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS...
23. ANY DISCREPANCIES FOUND WITHIN THESE DOCUMENTS SHALL BE REPORTED TO THE DESIGNER IMMEDIATELY...

SHEET INDEX

Table with 2 columns: Code and Description. Includes CS COVER SHEET, INFO 1 INFO 2 INFORMATION SHEET, CM CONSTRUCTION MANAGEMENT PLAN, etc.

BUILDING AREA CALCULATIONS

Table with 3 columns: Area Type, Finished, Unfinished, Total. Rows include GARAGE, LOWER FLOOR, MAIN FLOOR, TOTAL.

SITE CALCULATIONS

SITE AREA: 969 ACRES OR 42,207 SQUARE FEET
FOOTPRINT WITH DECKS, PATIOS & OVERHANGS: 4,456 SQUARE FEET
PAVED DRIVEWAY AREA: 2,928 SQUARE FEET
SNOWSTACK AREA: 732 SQUARE FEET (25%-MIN.)

ARCHITECTURAL SYMBOLS

SYMBOL LEGEND. Includes symbols for SPOT ELEVATION, TEST BORING, TOP OF ELEVATION, NEW CONTOUR, EXISTING CONTOUR, CENTERLINE, HIDDEN LINE (ABOVE) (B), HIDDEN LINE (BELOW) (A), SETBACK LINE, PROPERTY LINE, BREAK LINE, WINDOW TYPE, DETAIL NUMBER, SHEET NUMBER, BUILDING SECTION, WALL SECTION OR, REVISIONS, ROOM NAME, ROOM NUMBER.

SITE NOTES

- 1. A TOPOGRAPHIC MAP OF THIS SITE WAS OBTAINED FROM RANGE WEST ENGINEERS & SURVEYORS INC. DATED: 16 JUNE 2006, PROJECT NUMBER: 1933.
2. THE CONTRACTOR IS TO VERIFY LOCATIONS OF ALL UTILITIES PRIOR TO ANY EXCAVATION.
3. ANY EXISTING LANDSCAPING OUTSIDE OF THE LIMIT OF DISTURBANCE AND ANY TREES DESIGNATED TO REMAIN ARE TO BE FLAGGED AND PROTECTED DURING ALL CONSTRUCTION.
4. FINISH GRADE IS TO PROVIDE DRAINAGE AWAY FROM THE FOUNDATION VIA SWALES, DRAINS, ETC... AT ALL LOCATIONS.
5. PROTECT ALL TOPSOIL WHEN EXCAVATING AND REAPPLY TO ALL DISTURBED SOIL AREAS AFTER CONSTRUCTION IS COMPLETE.
6. ALL TREES TO REMAIN ARE SOLID. TREES WHICH MAY BE REMOVED ARE DASHED. SAVE ANY TREE OR LARGER NATURAL VEGETATION WHENEVER POSSIBLE.

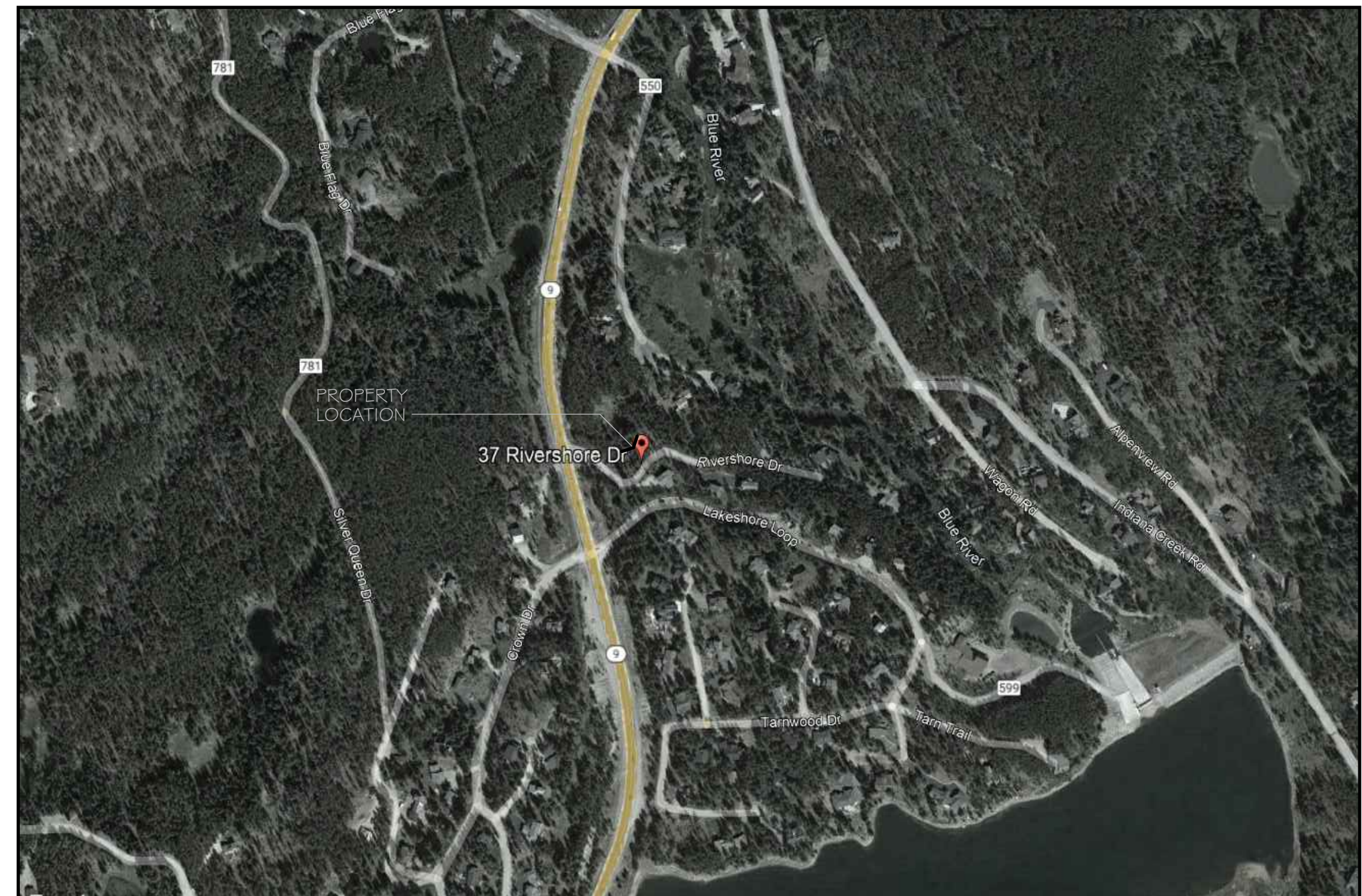
PLAN & SECTION MATERIAL SYMBOLS

EARTH, MASONRY, WOOD, FINISH, CONCRETE, INSULATION, METAL. Includes symbols for COMPACTED FILL, PORDUS FILL, UNDISTURBED FILL, ROCK, CAST, GROUT, LIGHTWEIGHT CONCRETE, STEEL, CONCRETE BLOCK, BRICK, STONE, GLASS BLOCK, BATT, RIGID, FINISH, ROUGH DIMENSION LUMBER, BLOCKING, GLU-LAM, PLYWOOD.

PROJECT DIRECTORY

Table with 2 columns: Role and Name/Address. Includes DESIGN (G2 DESIGNS LLC), STRUCTURAL ENGINEER (BACKCOUNTRY STRUCTURAL ENGINEERING), GENERAL CONTRACTOR (TBD), OWNER (STEVE LASSA), SURVEYOR (RANGE WEST ENGINEERS & SURVEYORS, INC.), GEOTECHNICAL ENGINEER (WALTER O SHULTZ, P.E.).

VICINITY MAP



LASSA RESIDENCE
SUBDIVISION:
LOT 16, HAYMAKER STREET
TOWN OF BLUE RIVER, SUMMIT COUNTY, COLORADO
TITLE:
INFORMATION SHEET

Table with 2 columns: ISSUE/PERMIT and DATE. Includes date 07/11/2023.

Project # 2309
INFO

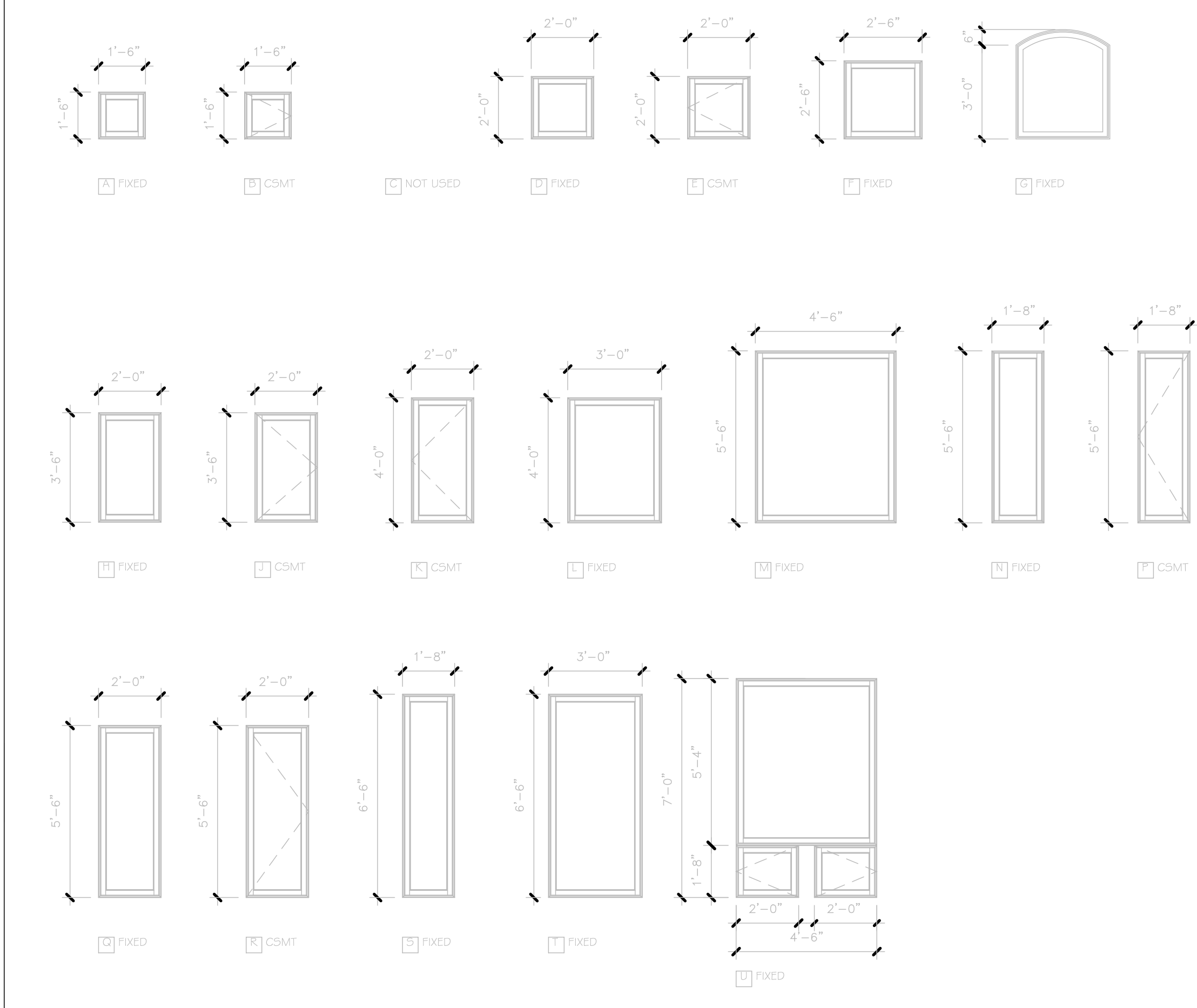
EXTERIOR MATERIALS SCHEDULE

ITEM	FORM	COLOR	DESCRIPTION
011	ROOF		8.6 PRESTIGE COOL COLOR 40 YEAR ACRYLIC FINISH (SEE SPEC SHEET)
012	FASCIA		2x6 CEDAR TO BE STAINED W/ SUPERDEK 'CAPE BLACKWOOD'
013	SOFFIT		8.6 LIKE TAG CEDAR, STAIN W/ SUPERDEK 'MATURE COASTAL GRAY'
014	VERTICAL SIDING		1x6 SHED (VERTICAL) PINE BOARD & BOND - STAIN W/ SUPERDEK 'COASTAL GRAY'
015	HORIZONTAL SIDING (BY CORNER TRIM & WINDY CORNER)		2x10 CEDAR (HP BOARD) - STAIN W/ SUPERDEK 'NEW DARK RED'
016	DOOR/WINDOW		8.6/8.7 WEN PREMIUM ALUMINUM CLAD - 'DARK CHOCOLATE'
017	DOOR/WINDOW TRIM		8.6 HORIZONTAL SIDING - USE SUPERDEK 'CAPE BLACKWOOD' (BY 2x6 CEDAR PER DETAIL)
018	STONE VENEER		SALESON CORPORATION 'TELLURIDE STAINED FACE'
019	PATIO		2" 3/8" FLAGSTONE & SPOURED AGGREGATE CONCRETE PER PLAN
020	CHIMNEY CAP		FLAT STEEL - NATURAL FINISH
021	EXPOSED POST/BEAM		8.6/8.7 FINISH PER PLAN - STAIN W/ SUPERDEK 'TRUCKEE WOODS'
022	GARAGE DOORS		8.6/8.7 PER DETAIL (SUBSTITUTION STAINED W/ SUPERDEK, STAIN COMBINATION OF 'CAPE BLACKWOOD' & 'COASTAL GRAY')
023	FLASHING, GUTTERS & DOWNPOUTS		8.6/8.7 EXPOSED METAL FLASHING, GUTTERS & DOWNPOUTS TO BE DARK BRONZE

NOTE: ALL EXPOSED METAL INCLUDING, BUT NOT LIMITED TO: FLASHING, DRIP EDGE, VENT STACKS, FLEE PIPES, ETC. SHALL BE DARK BRONZE.

WINDOW SCHEDULE

NOTES:
1. REFER TO FLOOR PLANS FOR WINDOW LOCATIONS.
2. REFER TO ELEVATIONS FOR WINDOW OPERATIONS.



WINDOW NOTES

- ALL WINDOWS TO BE ALUMINUM CLAD - PER EXTERIOR MATERIALS SCHEDULE.
- ALL INTERIOR WOOD AT THE WINDOWS TO BE PINE OR OTHER PER OWNER.
- ALL GLAZING TO BE 2 PANE, LOW E2 AT SOUTH & WEST FACING WINDOWS, DUAL SEALED AND RATED FOR HIGH ALTITUDES.
- ALL HARDWARE TO BE CHOSEN BY OWNER.
- VERIFY ALL WINDOW AND ROUGH OPENINGS W/ MANUFACTURER.
- WINDOW OPERATION IS SHOWN ON THE ELEVATIONS.
- ALL CUSTOM WINDOWS MUST BE FIELD VERIFIED W/ FRAMED ROUGH OPENINGS PRIOR TO ORDERING.
- ALL WINDOW OPENINGS TO BE WRAPPED WITH TYVEK PER MFR'S SPECIFICATIONS PRIOR TO SETTING WINDOWS.
- ALL GLAZING AT HAZARDOUS LOCATIONS TO BE GLAZED WITH SAFETY MATERIAL PER LOCAL CODE.

DOOR NOTES

- ALL DOOR HARDWARE TO BE CHOSEN BY OWNER.
- INSULATE ALL EXTERIOR DOOR SHIM SPACES.
- PROVIDE WEATHERSTRIPPING AND THRESHOLDS AT ALL EXTERIOR DOORS.
- ALL DOOR OPENINGS TO BE WRAPPED WITH TYVEK PRIOR TO SETTING DOOR JAMBS.
- ALL EXTERIOR DOORS (EXCEPT FRONT DOOR) TO BE ALUMINUM CLAD PER EXTERIOR MATERIALS SCHEDULE.

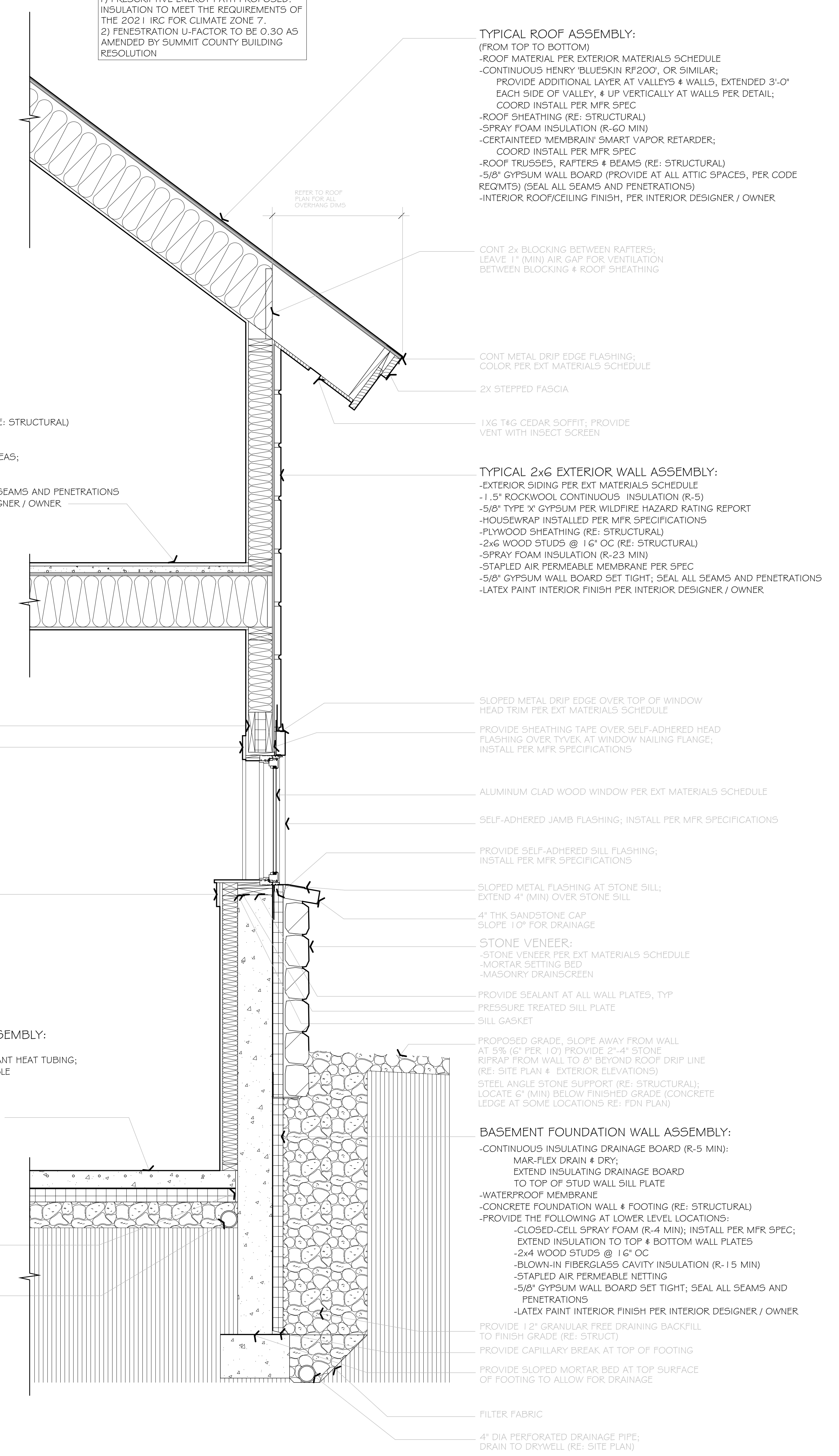
INTERIOR FINISH NOTES

- ALL MANUFACTURERS' INSTALLATION SPECIFICATIONS AND INSTRUCTIONS ARE TO BE FOLLOWED.
- TYPICAL WALL BASE TRIM: PER OWNER.
- TYPICAL INTERIOR DOOR CASING: PER OWNER.
- TYPICAL INTERIOR WINDOW CASING/TRIM: PER OWNER.
- TYPICAL WALLS AND CEILINGS TO RECEIVE 1/2" GYP BOARD, UNLESS NOTED OTHERWISE. ALL GYP BOARD TO RECEIVE TAPE, THREE COATS OF MUD LIGHT HAND TROWELED TEXTURE, PRIMER, AND TWO COATS OF PAINT UNLESS NOTED OTHERWISE. SAMPLES OF TEXTURE TO BE SUPPLIED ON SITE & SELECTED BY OWNER AND DESIGNER AT THAT TIME. ROUND CORNER BEAD TO BE USED THROUGHOUT.
- KITCHEN CABINETS AND LAUNDRY CABINETS PER OWNER.
- PROVIDE 1/2" CERAMITIC TILE BACKER UNDERLAYMENT AT ALL CERAMIC TILE AND WITHIN 2'-0" OF ANY WATER SOURCE.
- ALL PLUMBING FIXTURES PER INTERIOR SPECIFICATIONS.
- ALL VANITY CABINETS TO BE PER OWNER, 36" HIGH, WIDTH PER FLOOR PLANS.
- ALL FLOORING PER OWNER.
- ALL INTERIOR WALLS TO HAVE R-11 BATT INSULATION FOR SOUNDPROOFING.

MECHANICAL/PLUMBING NOTES

- HEATING SYSTEM: IN-FLOOR RADIANT HEAT
- HEATING SYSTEM AT GARAGE: IN-SLAB RADIANT HEAT
- IN-FLOOR RADIANT HEAT PIPING TO COME WITH A 20 YEAR WARRANTY, MINIMUM - TO BE APPROVED BY G.C.
- BOILER TO BE SIZED BY MECHANICAL COMPANY IN BID AND APPROVED BY GC.
- MECHANICAL CONTRACTOR TO PROVIDE VENT PIPES PER TOWN STANDARDS FOR ALL VENTS INCLUDING, BUT NOT LIMITED TO: KITCHEN HOODS, DRYER VENTS, BATH VENTS, UTILITY VENTS, ECT... THE VENTS ARE TO BE SIZED PER THE MANUFACTURERS SPECIFICATIONS.
- ALL PLUMBING TO BE INSTALLED PER THE APPLICABLE CODE.
- WET PLUMBING DROPS FROM SECOND TO FIRST FLOOR TO BE ABS. ALL OTHER DRAIN VENT PIPES TO BE ABS.
- MECHANICAL CONTRACTOR TO PROVIDE GAS CHIMNEY FOR BOILER.
- ALL WATER PIPE TO BE COPPER AND SIZED TO ALLOW AN ADEQUATE SUPPLY TO EACH FIXTURE.
- HOT WATER RECIRCULATING SYSTEM AND PUMP TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
- WATER HEATER TO BE SIZED TO ALLOW TWO TUBS TO BE USED SIMULTANEOUSLY.
- EXTERIOR FROST-FREE HOSE BIBBS TO BE PLACED PER FLOOR PLANS.
- INSTALL BALL VALVE SHUT-OFF AT MECHANICAL ROOM.
- INSTALL BALL VALVE AT HOT AND COLD WATER AT WATER HEATER.
- PLUMBER TO SUPPLY ROOF JACKS AND GAS CHIMNEY FOR HOT WATER HEATER AS REQUIRED.
- 3/4" COPPER PIPE TO EACH SHOWER FIXTURE, TYPICAL (PER CONTRACTOR).

NOTES: BUILDING ENERGY COMPLIANCE
1) PRESCRIPTIVE ENERGY PATH PROPOSED. INSULATION TO MEET THE REQUIREMENTS OF THE 2021 IRC FOR CLIMATE ZONE 7.
2) FENESTRATION U-FACTOR TO BE 0.30 AS AMENDED BY SUMMIT COUNTY BUILDING RESOLUTION



TYPICAL ROOF ASSEMBLY:
(FROM TOP TO BOTTOM)
-ROOF MATERIAL PER EXTERIOR MATERIALS SCHEDULE
-CONTINUOUS HENRY 'BLUESKIN R2000' OR SIMILAR;
-PROVIDE ADDITIONAL LAYER AT VALLEYS & WALLS, EXTENDED 3'-0" EACH SIDE OF VALLEY, & UP VERTICALLY AT WALLS PER DETAIL; COORD INSTALL PER MFR SPEC
-ROOF SHEATHING (RE: STRUCTURAL)
-SPRAY FOAM INSULATION (R-60 MIN)
-CERTAINTED MEMBRAIN SMART VAPOR RETARDER; COORD INSTALL PER MFR SPEC
-ROOF TRUSSES, RAFTERS & BEAMS (RE: STRUCTURAL)
-5/8" GYPSUM WALL BOARD (PROVIDE AT ALL ATTIC SPACES, PER CODE REQMTS) (SEAL ALL SEAMS AND PENETRATIONS)
-INTERIOR ROOF/CEILING FINISH, PER INTERIOR DESIGNER / OWNER

TYPICAL 2x6 EXTERIOR WALL ASSEMBLY:
-EXTERIOR SIDING PER EXT MATERIALS SCHEDULE
-1.5" ROCKWOOL CONTINUOUS INSULATION (R-5)
-5/8" TYPE 'X' GYPSUM PER WILDFIRE HAZARD RATING REPORT
-HOUSEWRAP INSTALLED PER MFR SPECIFICATIONS
-PLYWOOD SHEATHING (RE: STRUCTURAL)
-2x6 WOOD STUDS @ 16" OC (RE: STRUCTURAL)
-SPRAY FOAM INSULATION (R-23 MIN)
-STAPLED AIR PERMEABLE MEMBRANE PER SPEC
-5/8" GYPSUM WALL BOARD SET TIGHT; SEAL ALL SEAMS AND PENETRATIONS
-LATEX PAINT INTERIOR FINISH PER INTERIOR DESIGNER / OWNER

BASEMENT FOUNDATION WALL ASSEMBLY:
-CONTINUOUS INSULATING DRAINAGE BOARD (R-5 MIN); MAR-FLEX DRAIN & DRY; EXTEND INSULATING DRAINAGE BOARD TO TOP OF STUD WALL SILL PLATE
-WATERPROOF MEMBRANE
-CONCRETE FOUNDATION WALL & FOOTING (RE: STRUCTURAL)
-PROVIDE THE FOLLOWING AT LOWER LEVEL LOCATIONS:
-CLOSED-CELL SPRAY FOAM (R-4 MIN); INSTALL PER MFR SPEC; EXTEND INSULATION TO TOP & BOTTOM WALL PLATES
-2x4 WOOD STUDS @ 16" OC
-BLOW-IN FIBERGLASS CAVITY INSULATION (R-15 MIN)
-STAPLED AIR PERMEABLE NETTING
-5/8" GYPSUM WALL BOARD SET TIGHT; SEAL ALL SEAMS AND PENETRATIONS
-LATEX PAINT INTERIOR FINISH PER INTERIOR DESIGNER / OWNER

TYPICAL WALL SECTION
SCALE: NOT TO SCALE

TYPICAL FLOOR/CEILING ASSEMBLY:
-FLOOR FINISH PER PLANS & FLOOR DETAILS
-GYP-CRETE (THICKNESS PER FLOOR DETAILS)
-1x6 PLYWOOD SUBFLOOR, GLUED & SCREWED (RE: STRUCTURAL)
-FLOOR JOISTS (RE: STRUCTURAL)
-SPRAY FOAM INSULATION (R-60 MIN) AT CANTILEVER, GARAGE, & CRAWL SPACE AREAS; PROVIDE SOUND INSULATION ELSEWHERE
-STAPLED AIR PERMEABLE NETTING
-5/8" GYPSUM WALL BOARD SET TIGHT; SEAL ALL SEAMS AND PENETRATIONS
-LATEX PAINT INTERIOR FINISH PER INTERIOR DESIGNER / OWNER

TYPICAL HEATED CONCRETE SLAB ASSEMBLY:
-FLOOR FINISH PER PLANS & FLOOR DETAILS
-CONCRETE SLAB (RE: STRUCTURAL) W/ 1/2" RADIANT HEAT TUBING; SLOPE TO FLOOR DRAIN, WHERE APPLICABLE (RE: FLOOR PLANS)
-UNDER-SLAB VAPOR BARRIER
-3" XPS RIGID INSULATION (R-15)
-WASHED ROCK OR SAND BED (RE: STRUCTURAL)

PROVIDE 1/2" EXPANSION JOINT (RE: STRUCTURAL)

RADON MITIGATION PIPE; SYSTEM BY OTHERS

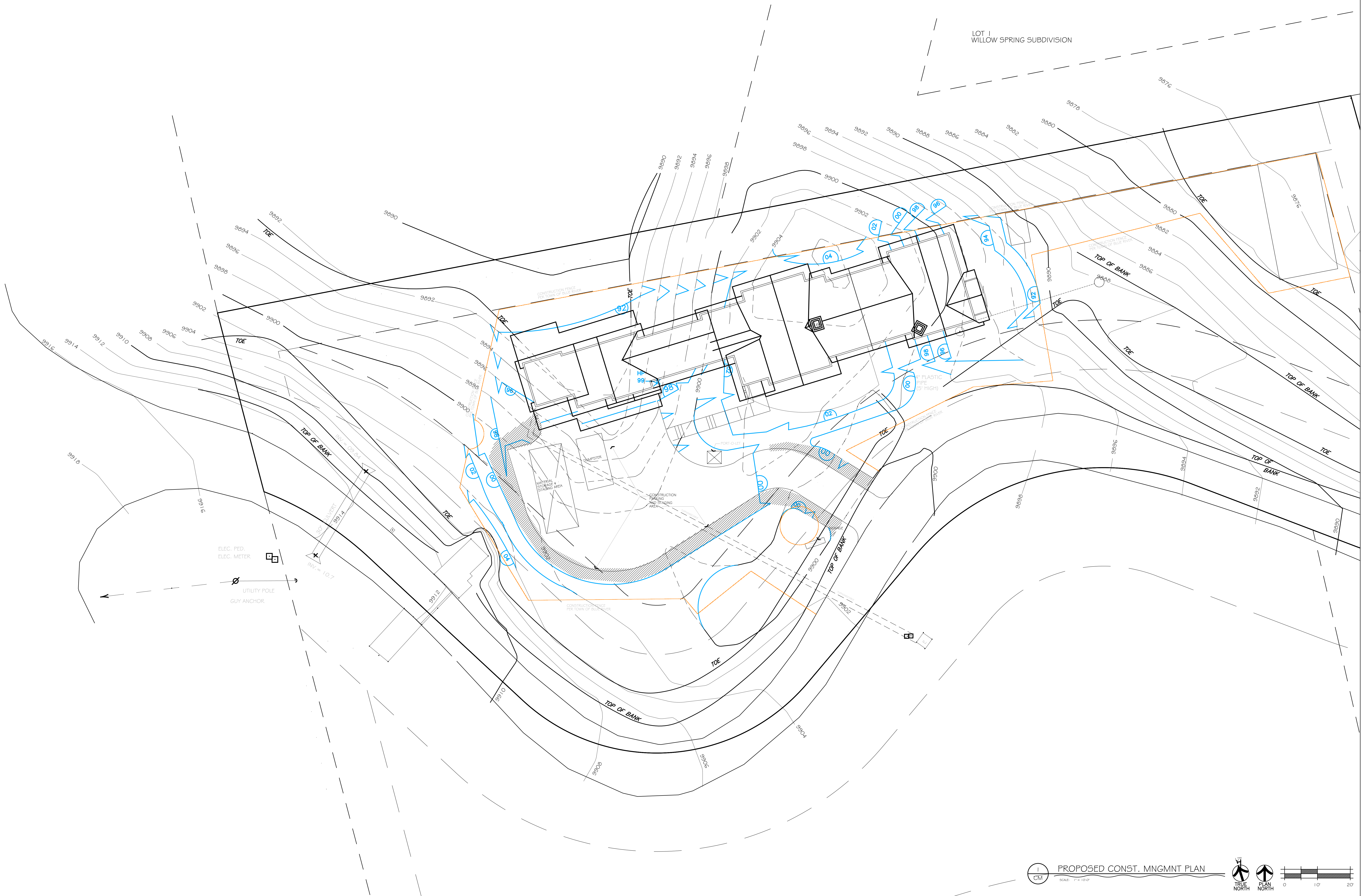
ISSUE: PERMIT
DATE: 07/11/2023

Project # 2309

INFO #2



G2 Designs LLC
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g2designsllc@outlook.com



LASSA RESIDENCE

ISSUE:	DATE:
PERMIT	07/11/2023

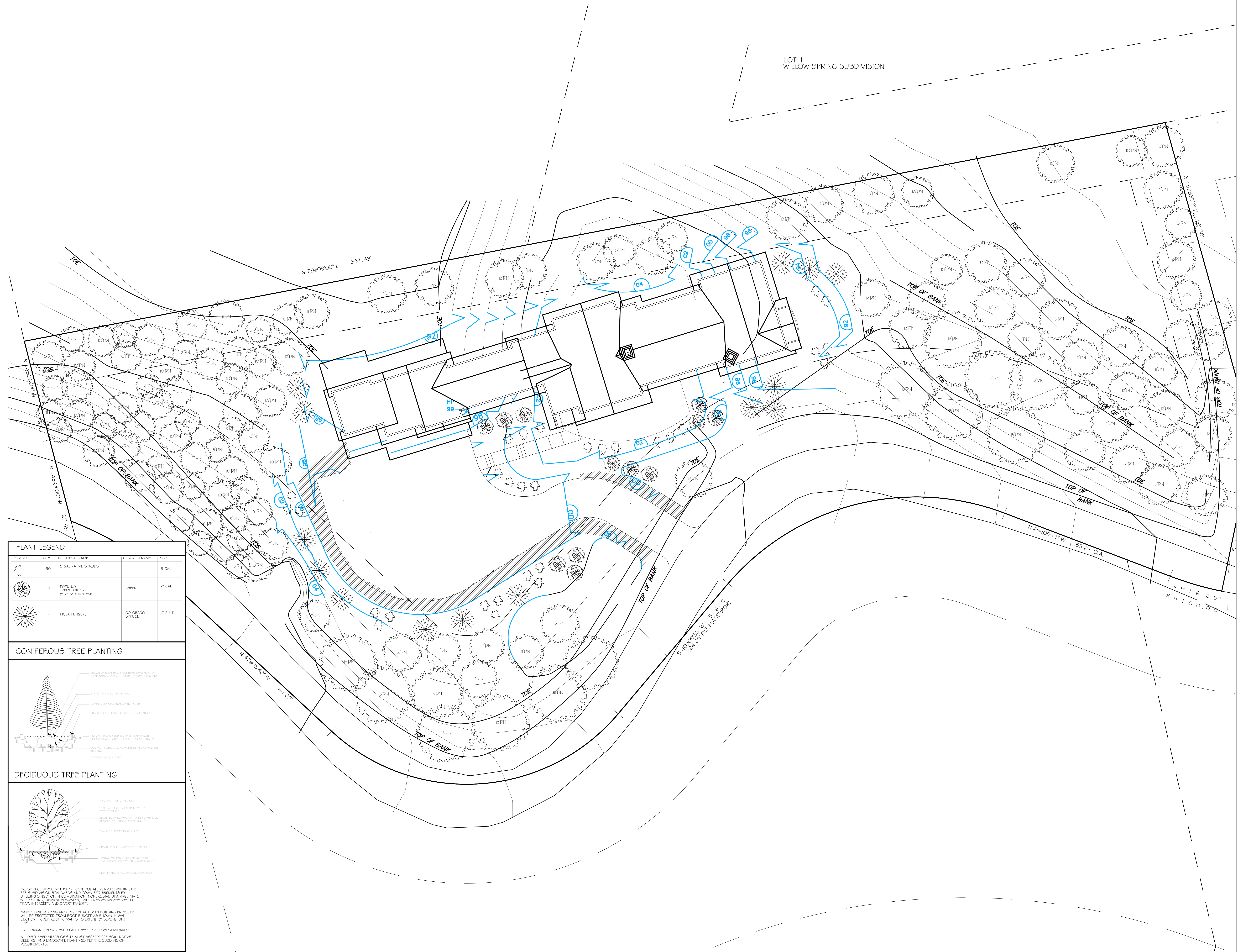
Project #
2309

CM

PROPOSED LANDSCAPE PLAN



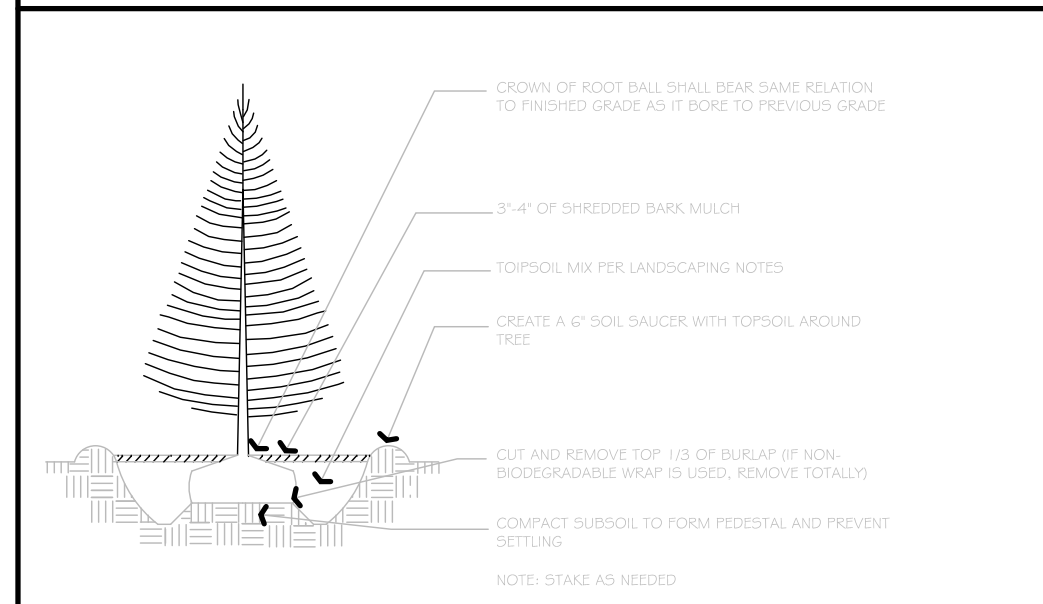
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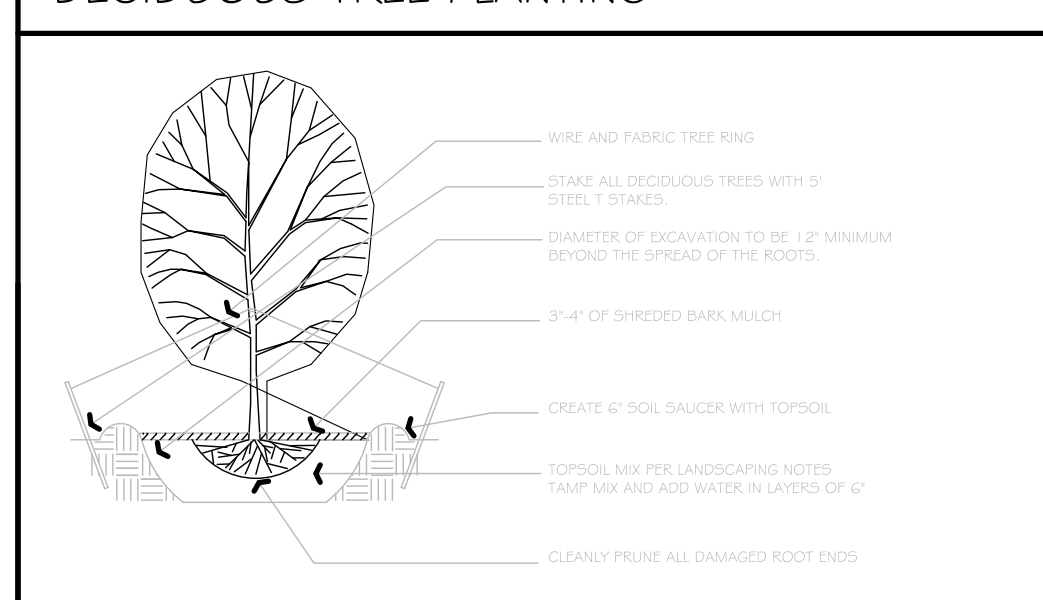
PLANT LEGEND

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	30	5 GAL NATIVE SHRUBS		5 GAL
	12	POPULUS TREMULOIDES (50% MULTISTEM)	ASPEN	2" CAL
	14	PIZZA PUNGENS	COLORADO SPRUCE	6" @ HT

CONIFEROUS TREE PLANTING



DECIDUOUS TREE PLANTING



EROSION CONTROL METHODS: CONTROL ALL RUN-OFF WITHIN SITE PER SUBDIVISION STANDARDS AND TOWN REQUIREMENTS TO BE UTILIZED: SWALE, CURB OR CURB/CHANNEL, NONROCKY DRAINAGE MATS, Silt Fencing, DIVERSION SWALES, AND Dikes AS NECESSARY TO TRAP, INTERCEPT, AND DIVERT RUNOFF.

NATIVE LANDSCAPING AREA IN CONTACT WITH BUILDING ENVELOPE SHALL BE PROTECTED FROM ROOT KIRKING AS PROVIDED IN WALL SECTION. RIVER ROCK KIRKING IS TO EXTEND 8' BEYOND DRIF LINE.

DRIP IRRIGATION SYSTEM TO ALL TREES PER TOWN STANDARDS. ALL DISTURBED AREAS OF SITE MUST RECEIVE TOP SOIL, NATIVE SEEDING, AND LANDSCAPE PLANTINGS PER THE SUBDIVISION REQUIREMENTS.

LASSA RESIDENCE
LOT 1, WILLOW SPRING SUBDIVISION
TOWN OF BLUE RIVER, SUMMIT COUNTY, COLORADO

ISSUE: PERMIT

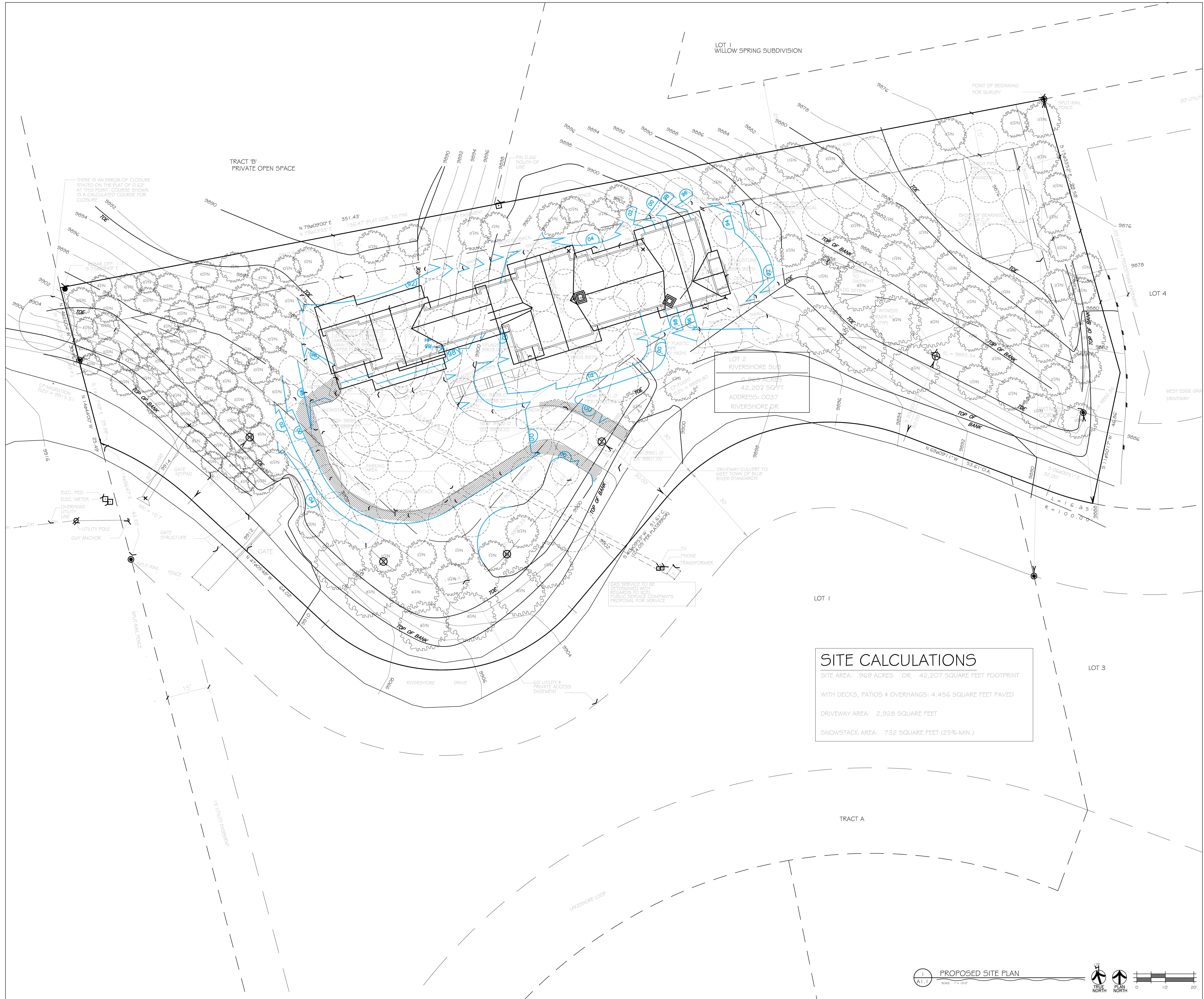
DATE: 07/11/2023

Project #
2309

L1



G2 Designs LLC
Silverthorne, Colorado
720-982-7425
g2designsllc@outlook.com



LOT 2
RIVERSHORE SUB
0.325 ACRES
42,207 SQ. FT.
ADDRESS: 0037
RIVERSHORE DR.

SITE CALCULATIONS

SITE AREA: 0.325 ACRES OR 42,207 SQUARE FEET FOOTPRINT
WITH DECKS, PATIOS & OVERHANGS: 4,456 SQUARE FEET PAVED
DRIVEWAY AREA: 2,928 SQUARE FEET
SNOWSTACK AREA: 732 SQUARE FEET (25%-MIN.)

LASSA RESIDENCE
LOT 2, RIVERSHORE SUBDIVISION
TOWN OF BLUE RIVER, SUMMIT COUNTY, COLORADO

PROPOSED SITE PLAN

ISSUE:	DATE:
PERMIT	07/11/2023

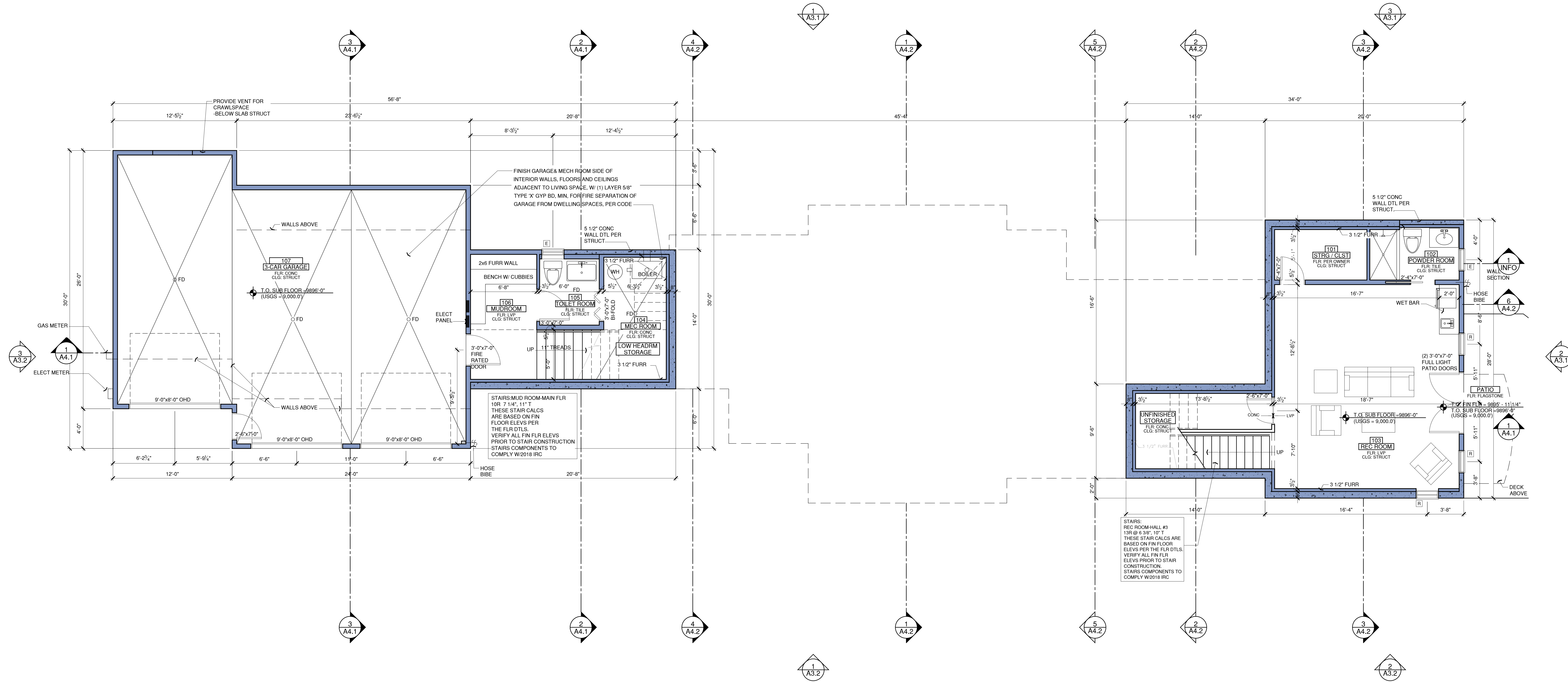
Project #
2309

A1.1



G2 Designs LLC
Silverthorne, Colorado
720-982-7425
g2designsllc@outlook.com

- FLOOR PLAN NOTES:**
- CHASES TO BE 1-HOUR RATED PER CODE WHERE NECESSARY
 - VIF UTILITY METER LOCATION WITH SERVICE PROVIDER
 - LOCATE INTERIOR DOORS 6" (MIN) FROM NEAREST PERPENDICULAR WALL, OR CENTERED IN WALL UNLESS NOTED OTHERWISE
 - REFER TO TYP EXTERIOR WALL SECTION (1)INFO FOR EXTERIOR WALLS SPECIFICATIONS
 - G.C. & ELECTRICIAN TO INSTALL ALL THE NECESSARY PRE-WIRE FOR FUTURE SOLAR PANELS PER OWNER AND CODE
 - ALL CEILING TO BE FINISH PER OWNER AT STRUCTURE UNLESS NOTED OTHERWISE
 - REFER TO EXTERIOR ELEVATIONS AND EXTERIOR MATERIAL SCHEDULE FOR ALL EXT. MATERIALS & FINISHES
 - PROVIDE SMOKE & CARBON MONOXIDE DETECTORS PER CODE
 - ALL INTERIOR FINISHES TO BE COORDINATED WITH OWNER
 - SPRINKLER SYSTEM TO BE INSTALLED PER LOCAL CODE.
 - G.C. & ELECTRICIAN TO INSTALL ALL THE NECESSARY PRE-WIRE FOR FUTURE SOLAR PANELS PER OWNER AND CODE



LASSA RESIDENCE
SUBMISSION
LOT 14, PINE HOLLOW
TOWN OF BLUE RIVER, SUMMIT COUNTY, COLORADO

TITLE: LOWER FLOOR PLAN

ISSUE:	DATE:
PERMIT	07/11/2023

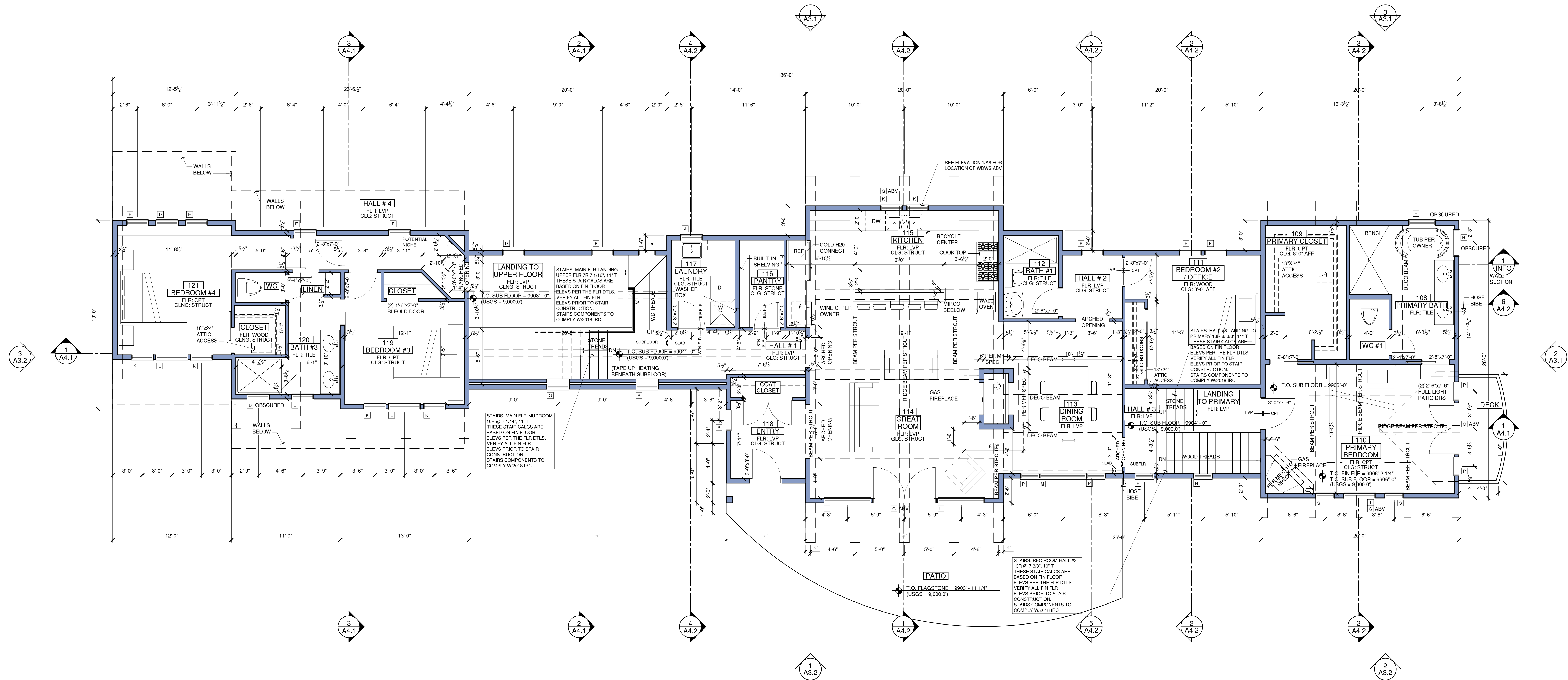
Project #
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A2.1



G2 Designs LLC
Silverthorne, Colorado
720-982-7425
g2designsllc@outlook.com

- FLOOR PLAN NOTES:
- CHASES TO BE 1-HOUR RATED PER CODE WHERE NECESSARY
 - VIF UTILITY METER LOCATION WITH SERVICE PROVIDER
 - LOCATE INTERIOR DOORS 6" (MIN) FROM NEAREST PERPENDICULAR WALL, OR CENTERED IN WALL UNLESS NOTED OTHERWISE
 - REFER TO TYP EXTERIOR WALL SECTION (11/10/20) FOR EXTERIOR WALLS SPECIFICATIONS
 - G.C. & ELECTRICIAN TO INSTALL ALL THE NECESSARY PRE-WIRE FOR FUTURE SOLAR PANELS PER OWNER AND CODE
 - ALL CEILINGS TO BE FINISH PER OWNER AT STRUCTURE UNLESS NOTED OTHERWISE
 - REFER TO EXTERIOR ELEVATIONS AND EXTERIOR MATERIAL SCHEDULE FOR ALL EXT. MATERIALS & FINISHES
 - PROVIDE SMOKE & CARBON MONOXIDE DETECTORS PER CODE
 - ALL INTERIOR FINISHES TO BE COORDINATED WITH OWNER
 - SPRINKLER SYSTEM TO BE INSTALLED PER LOCAL CODE.
 - G.C. & ELECTRICIAN TO INSTALL ALL THE NECESSARY PRE-WIRE FOR FUTURE SOLAR PANELS PER OWNER AND CODE



LASSA RESIDENCE
SUBDIVISION
LOT 14, PARCELS 10-14
TOWN OF BLUE RIVER, SUMMIT COUNTY, COLORADO

TITLE:
MAIN FLOOR PLAN

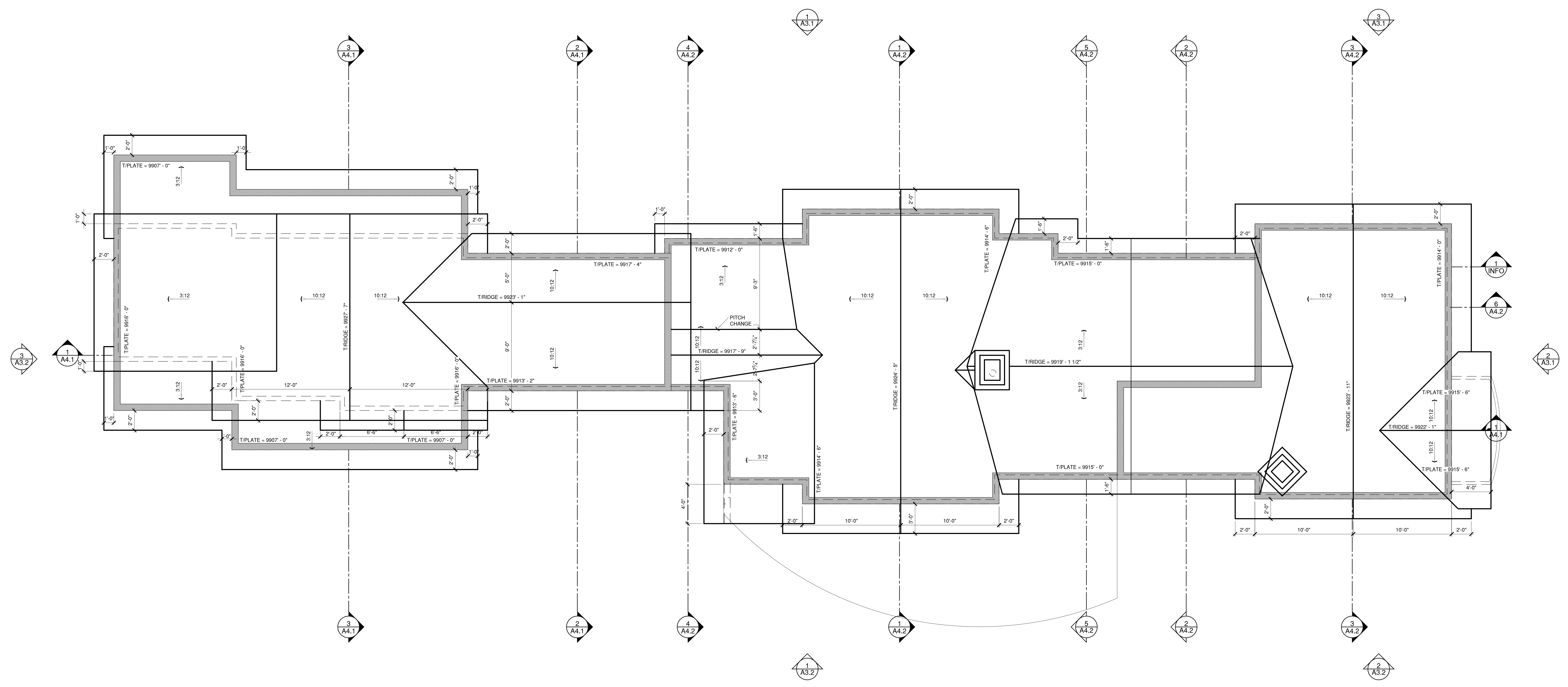
ISSUE:
PERMIT

DATE:
07/11/2023

Project #
2309

A2.2

ROOF PLAN NOTES:
 - G.C. TO INSTALL SNOW GUARDS, GUTTERS, DOWNSPOUTS AND HEAT TAPE ABOVE ALL DECKS, PATIO, WALKWAYS, AND DRIVEWAYS. SNOW GUARD DESIGN AND LAYOUT FOR ROOF TO BE ENGINEERED BY TRA SNOW & SUN INC. OR SIMILAR (SNOW GUARDS SHOWN ON ROOF PLAN ONLY FOR PRELIMINARY BIDDING PURPOSE)
 - INSTALL SOFFIT MOUNTED RECEPTACLES PER OWNER AND LOCAL CODE
 - REFER TO EXTERIOR ELEVATIONS AND EXTERIOR MATERIAL SCHEDULE FOR ALL EXT. MATERIALS & FINISHES
 - EXTEND DOWNSPOUTS ENDS 4' MIN FROM FOUNDATION WALLS OR AS REQUIRED FOR DRAINAGE
 - G.C. & ELECTRICIAN TO INSTALL ALL THE NECESSARY PRE-WIRE FOR FUTURE SOLAR PANELS PER OWNER AND CODE



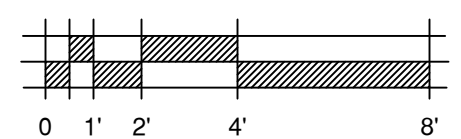
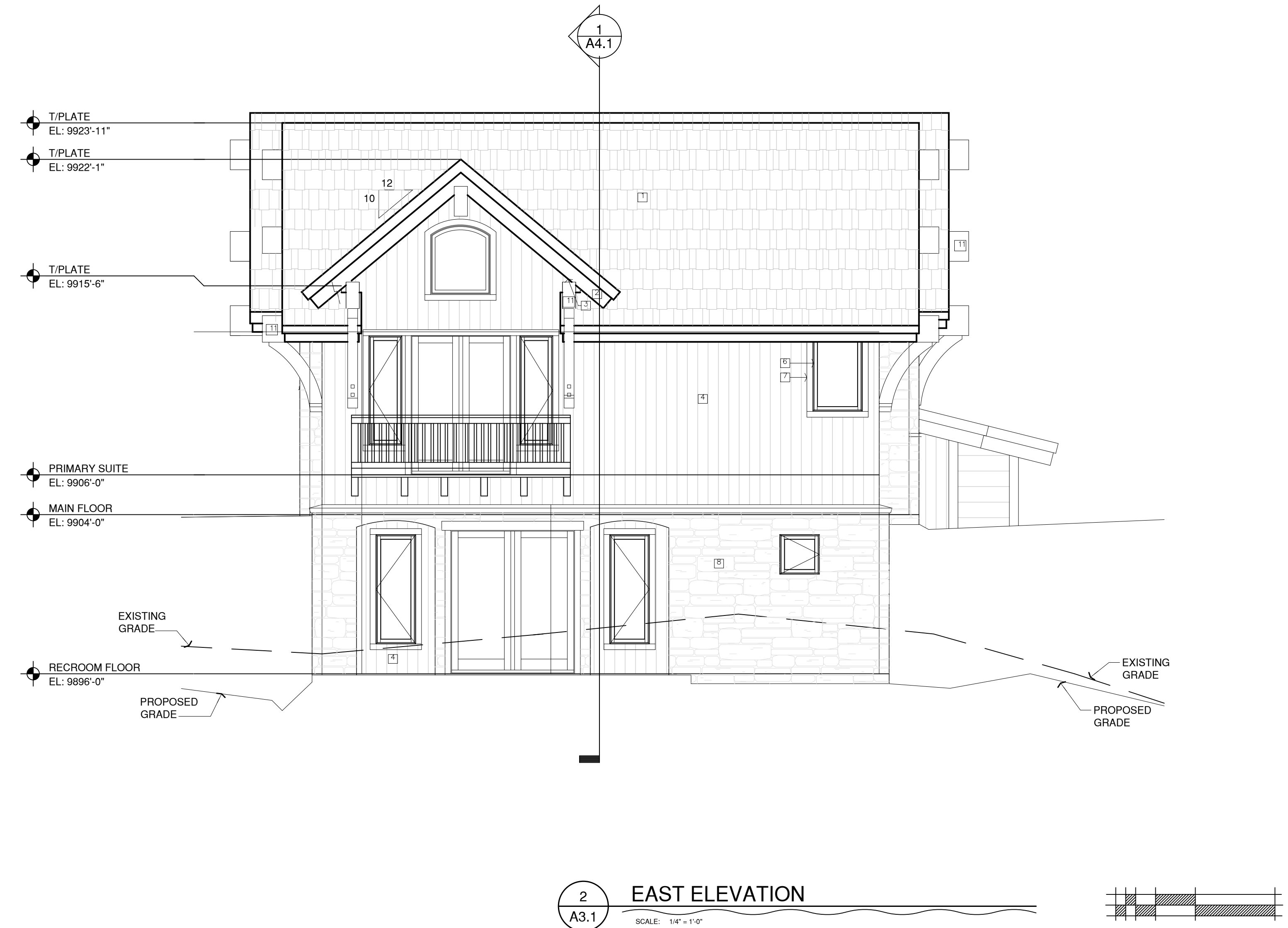
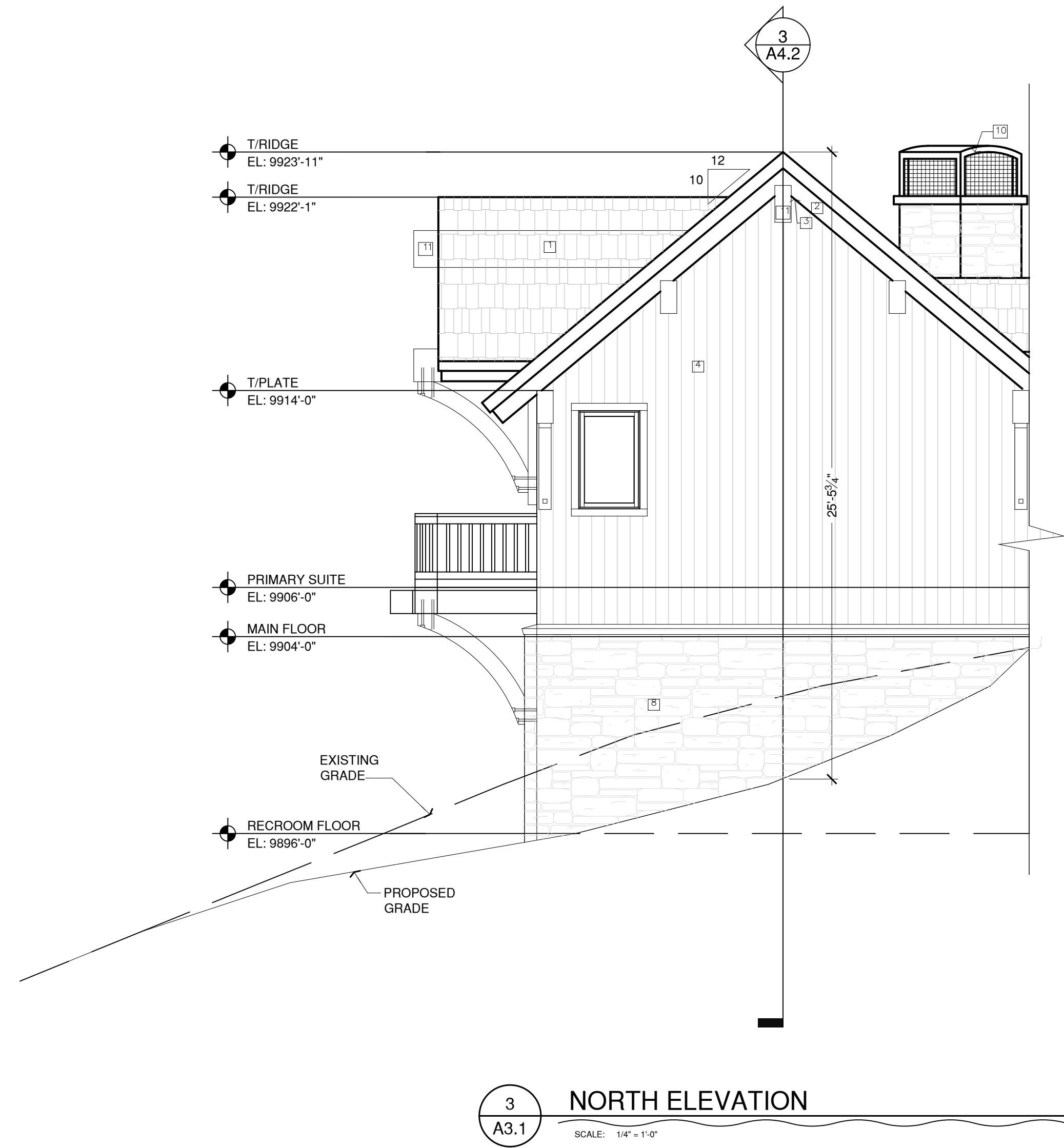
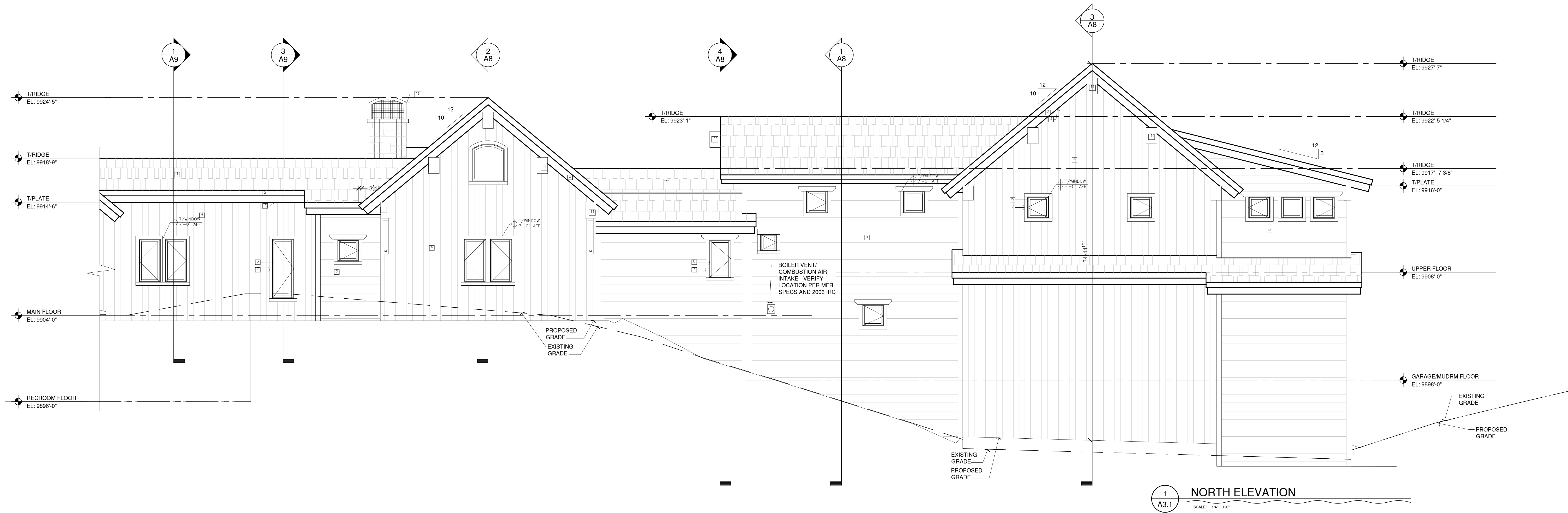
LASSA RESIDENCE
 SUBDIVISION
 LOT 16, PARSENY
 TOWN OF BLUE RIVER, SUMMIT COUNTY, COLORADO

ROOF PLAN

ISSUE:	DATE:
PERMIT	07/11/2023

Project #
2309

A2.3



LASSA RESIDENCE
SUBDIVISION
LOT 14, BLUE RIVER, SUMMIT COUNTY, COLORADO

EXTERIOR ELEVATIONS

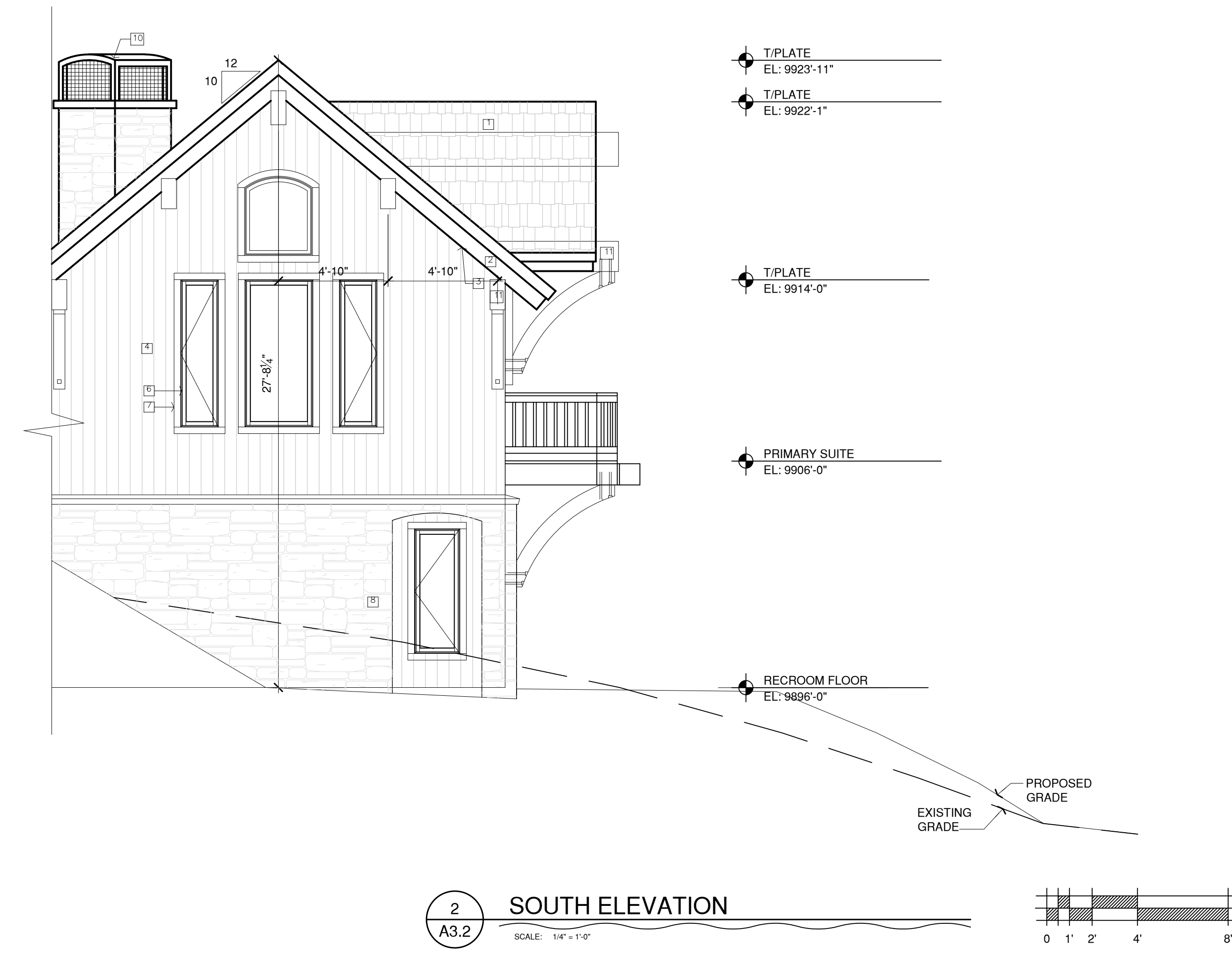
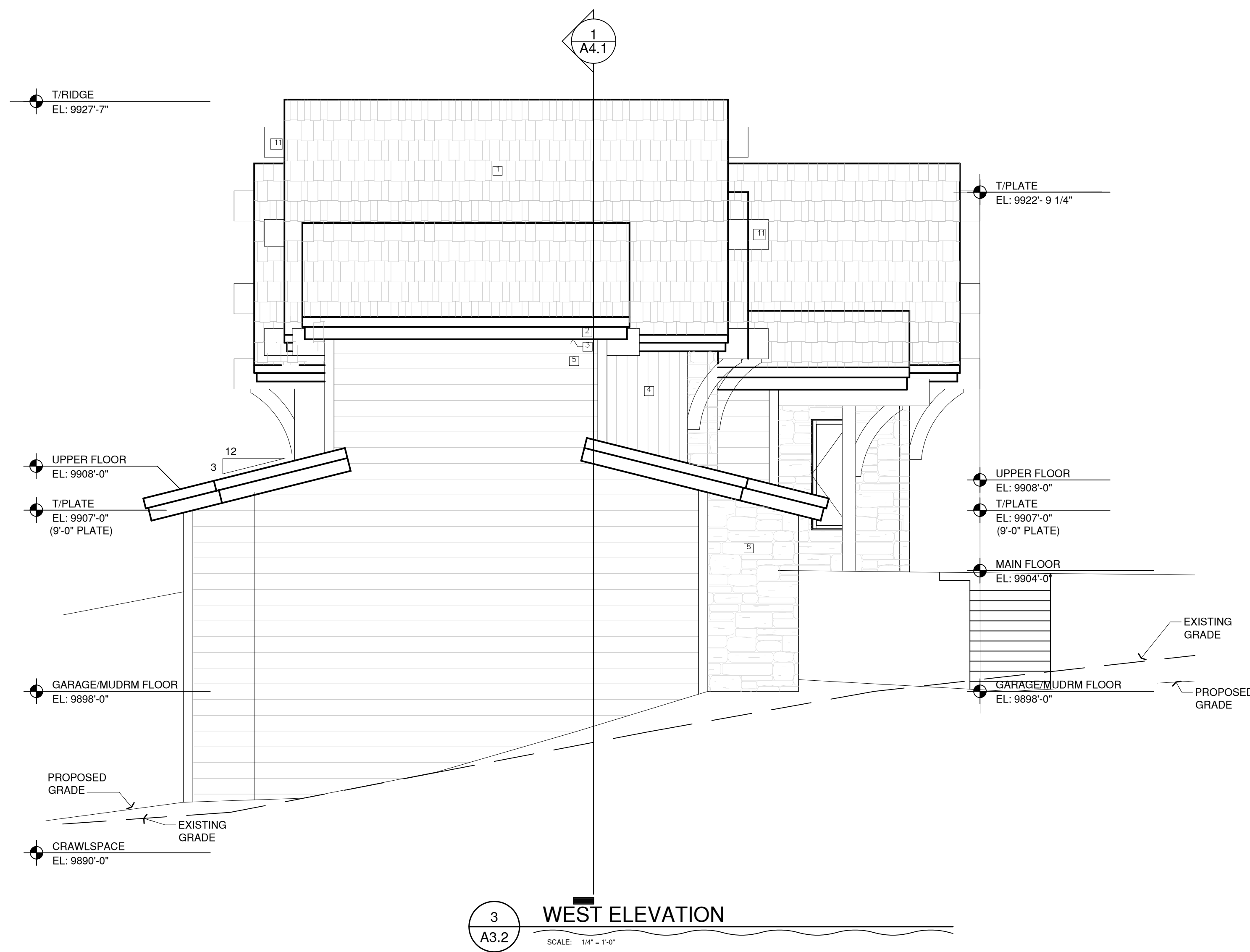
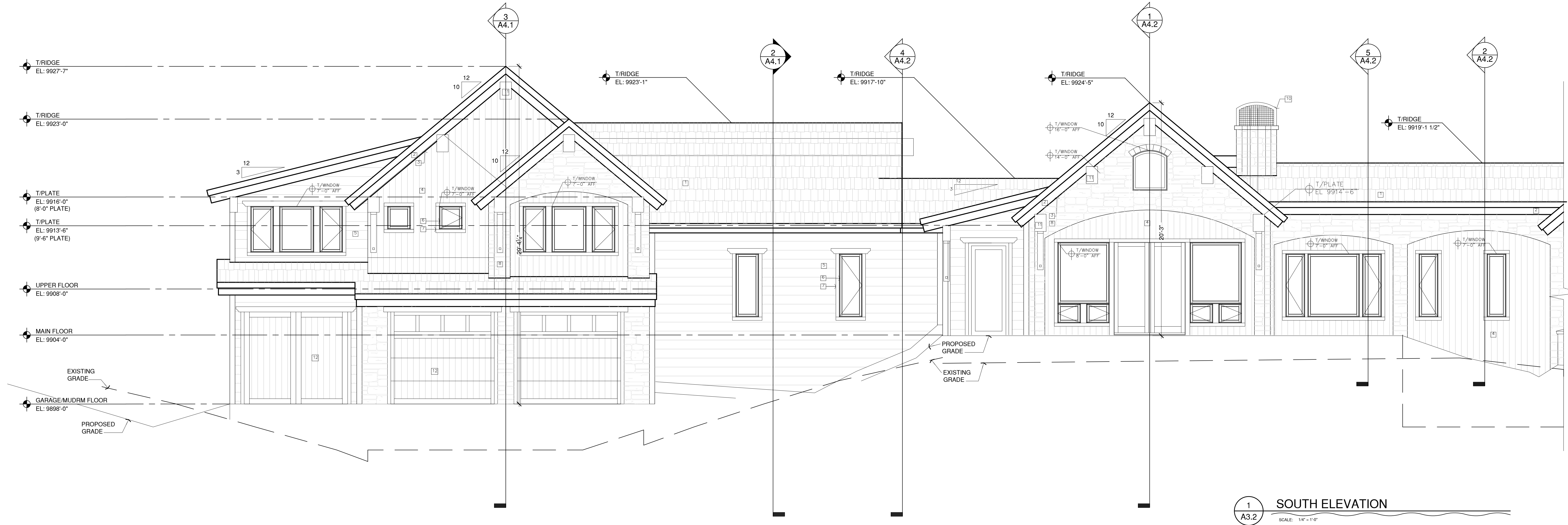
ISSUE: PERMIT
DATE: 07/11/2023

Project # 2309

A3.1



G2 Designs LLC
 Silverthorne, Colorado
 720-982-7425
 g2designsllc@outlook.com



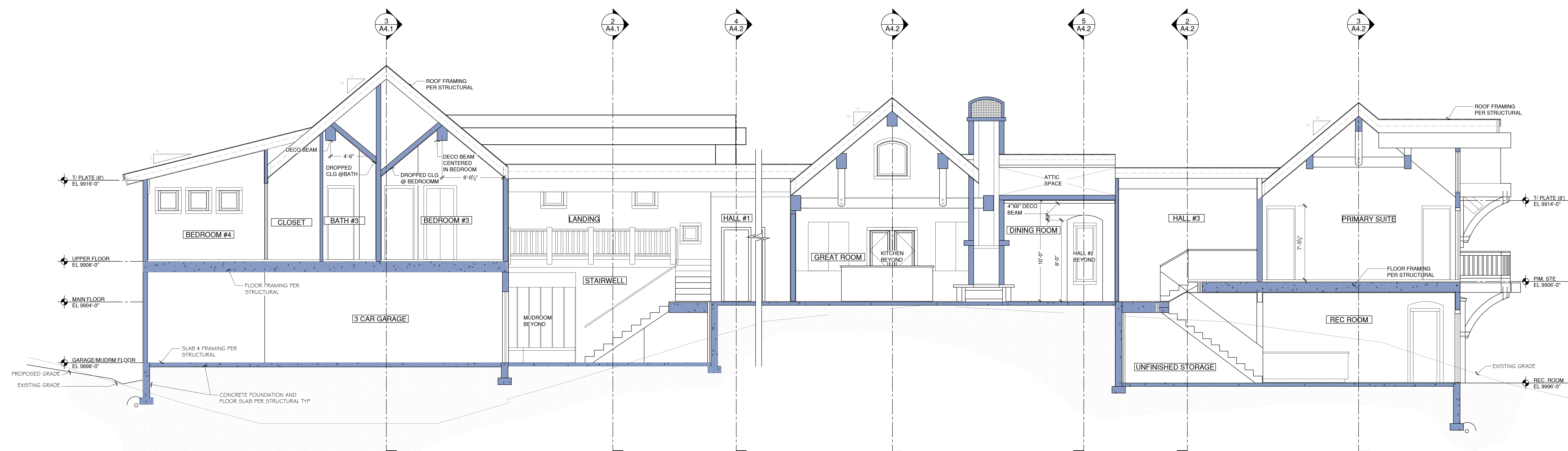
LASSA RESIDENCE
 LOT 16, BLUE RIVER, SUMMIT COUNTY, COLORADO

EXTERIOR ELEVATIONS

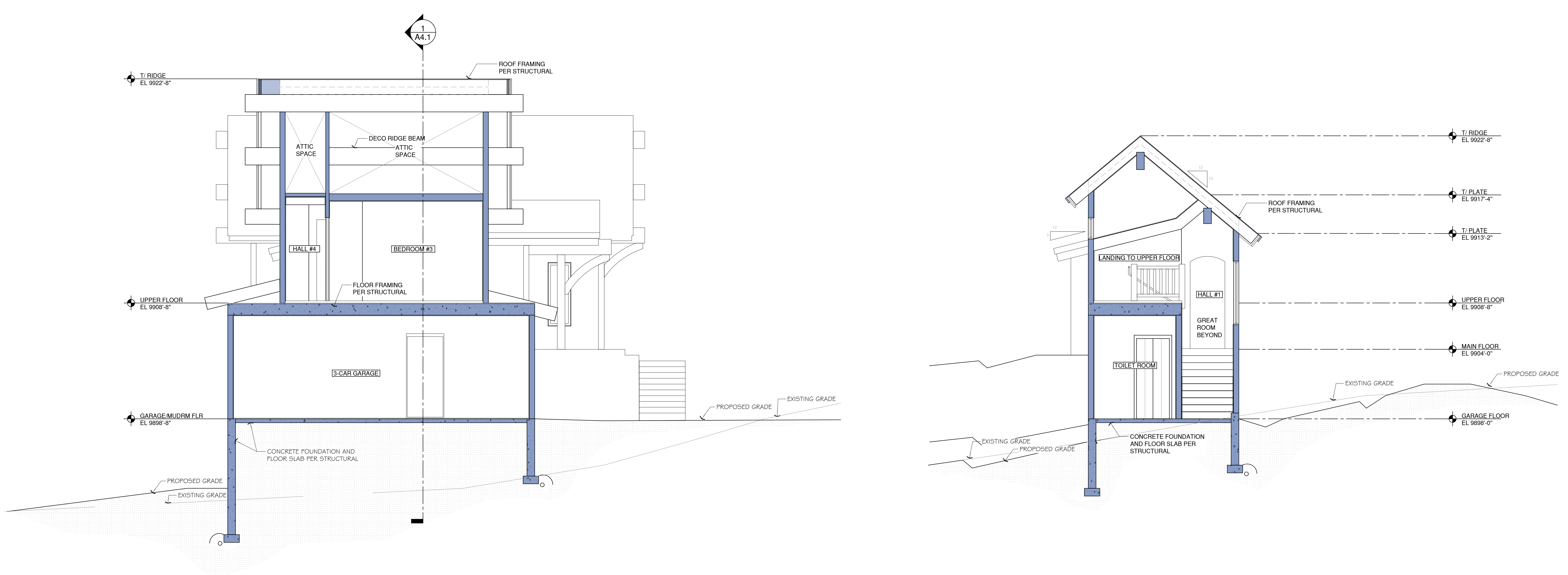
ISSUE:	DATE:
PERMIT	07/11/2023

Project #
 2309

A3.2

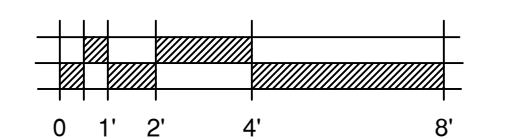


1 BUILDING SECTION
SCALE: 1/4" = 1'-0"

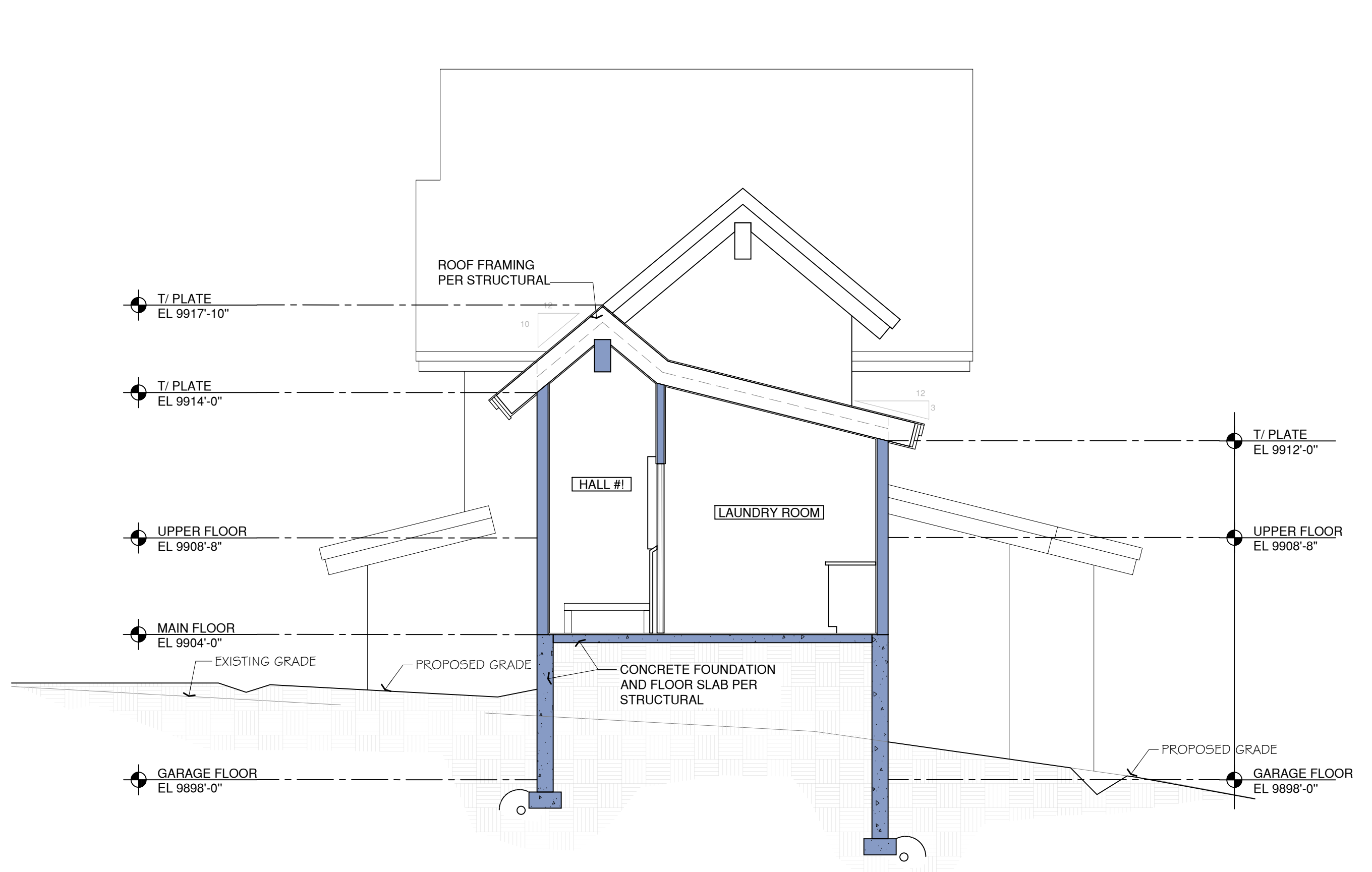


3 BUILDING SECTION
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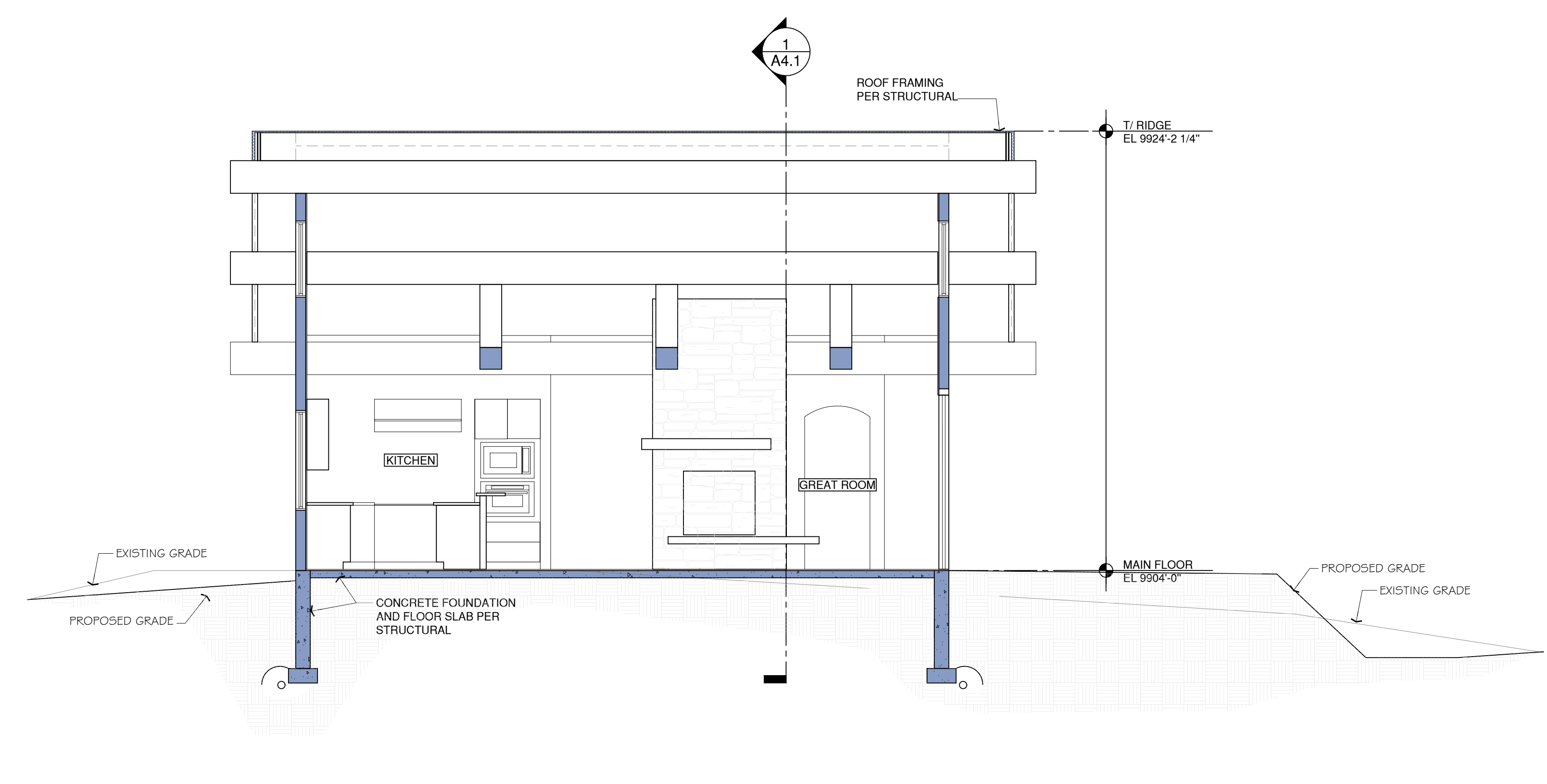
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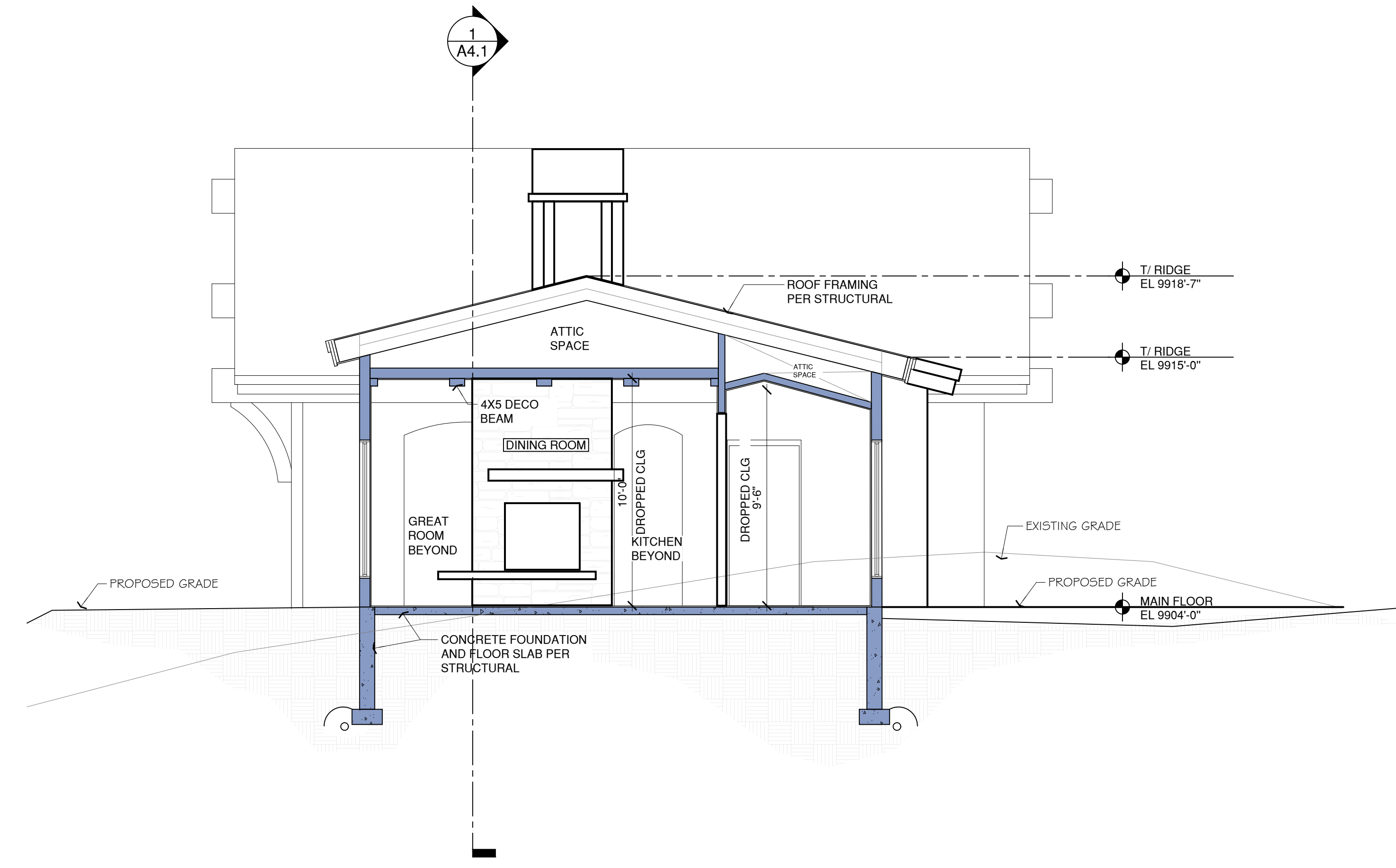
ISSUE:	DATE:
PERMIT	07/11/2023



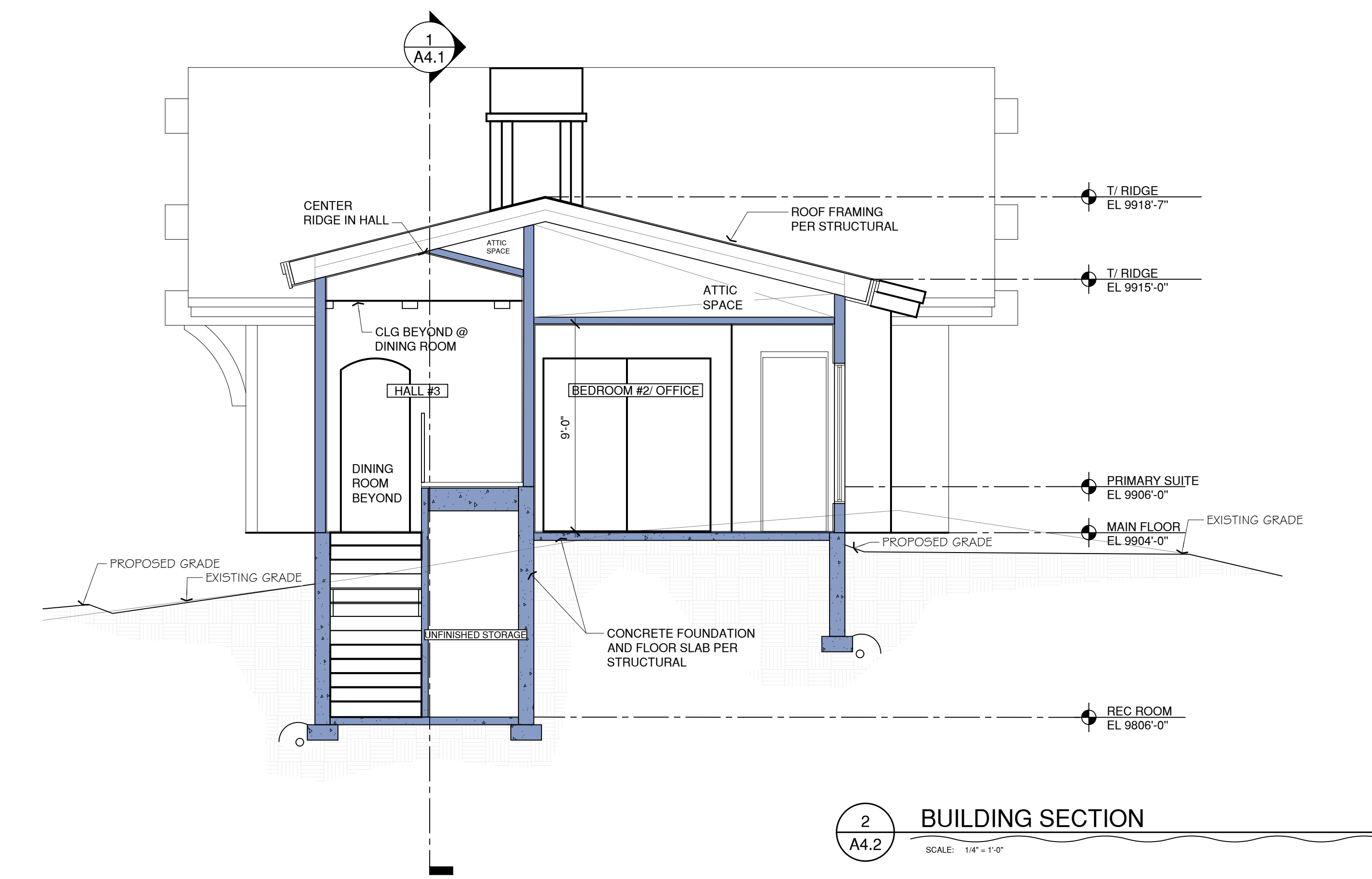
4 BUILDING SECTION
A4.2 SCALE: 1/4" = 1'-0"



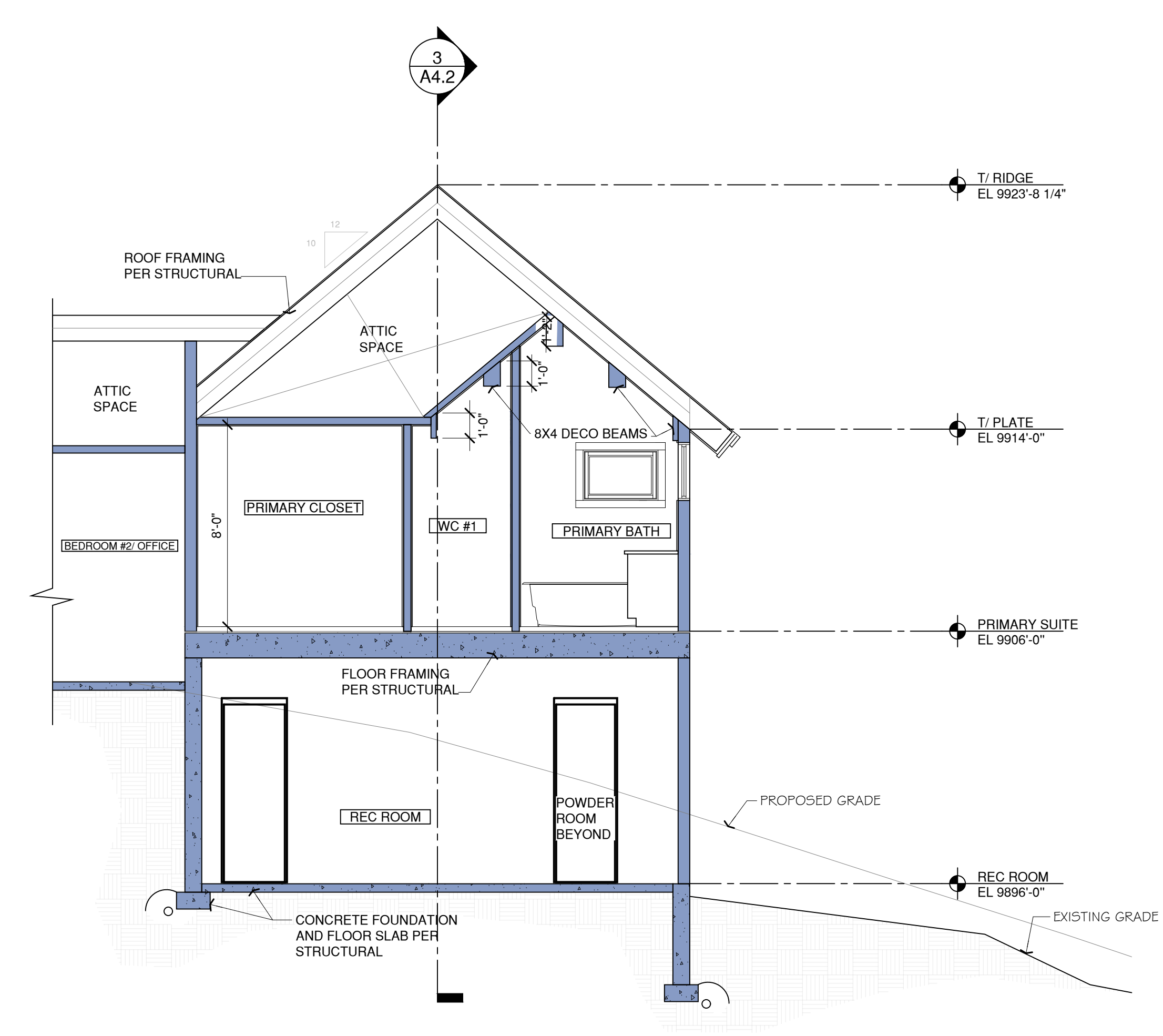
1 BUILDING SECTION
A4.2 SCALE: 1/4" = 1'-0"



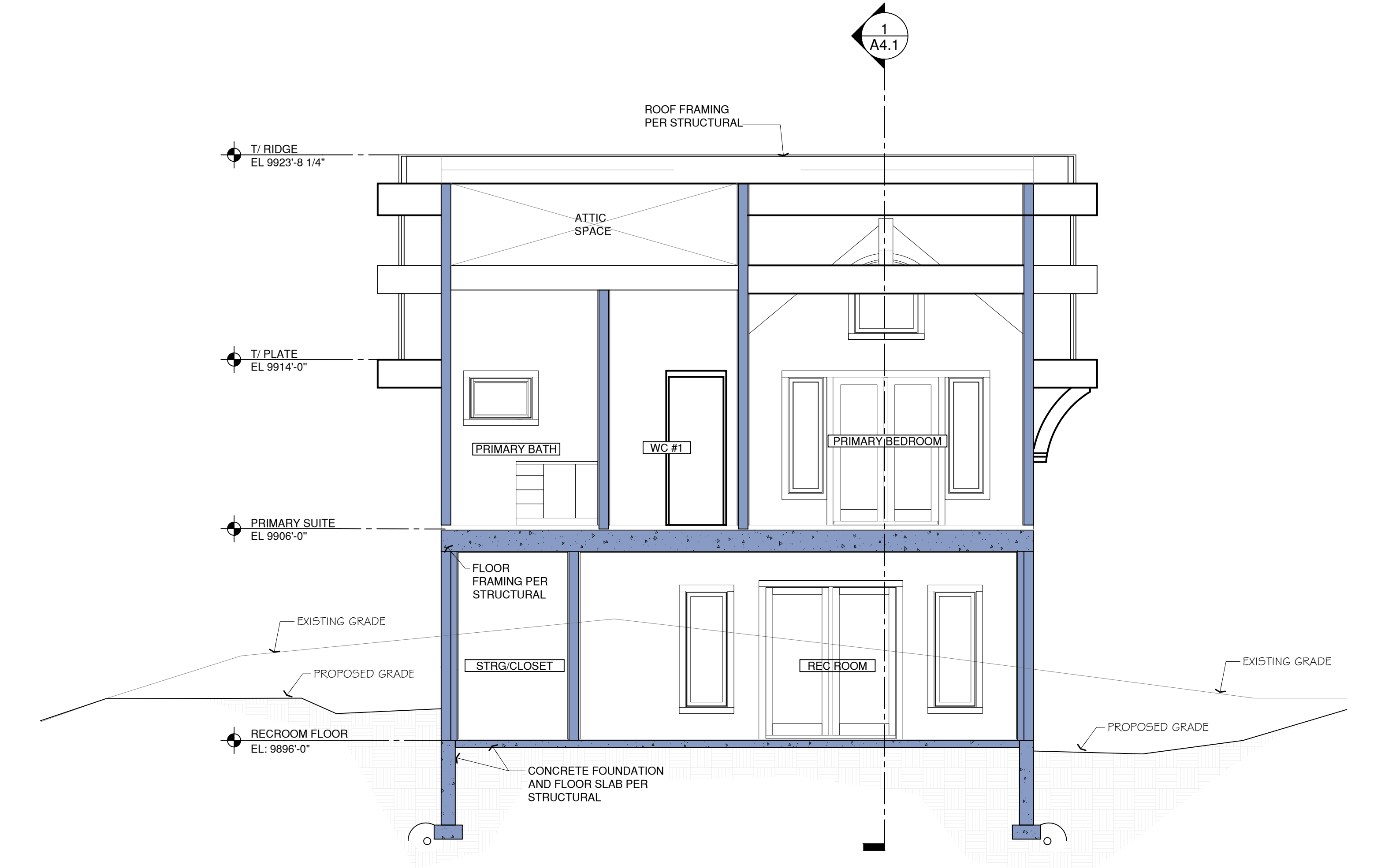
5 BUILDING SECTION
A4.2 SCALE: 1/4" = 1'-0"



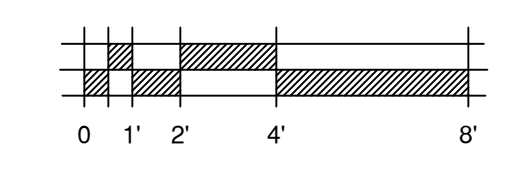
2 BUILDING SECTION
A4.2 SCALE: 1/4" = 1'-0"



6 BUILDING SECTION
A4.2 SCALE: 1/4" = 1'-0"



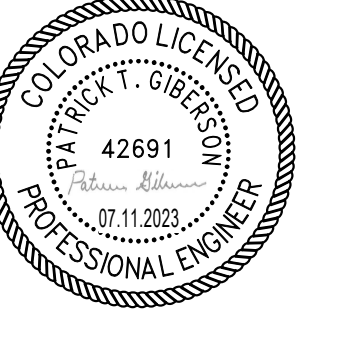
3 BUILDING SECTION
A4.2 SCALE: 1/4" = 1'-0"



ISSUE:	DATE:
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LASSA RESIDENCE
LOT 2 - RIVERSHORE SUBDIVISION
TOWN OF BLUE RIVER - SUMMIT COUNTY COLORADO
TYPICAL DETAILS

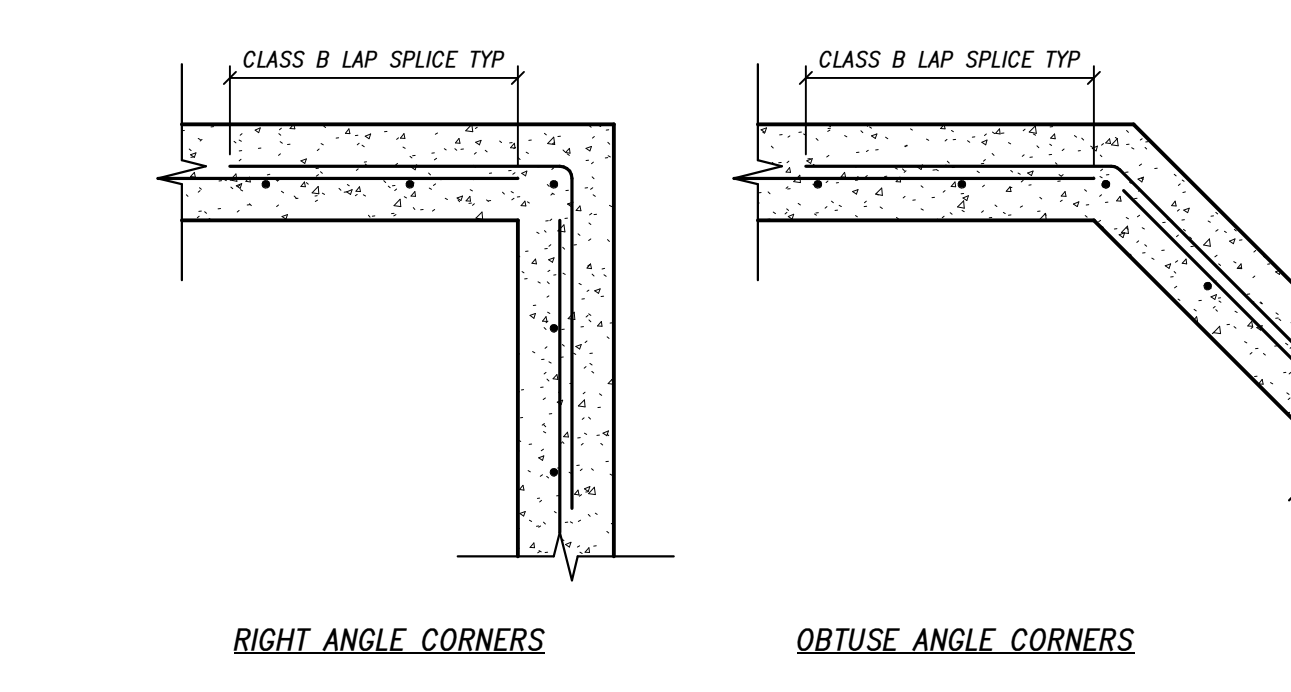
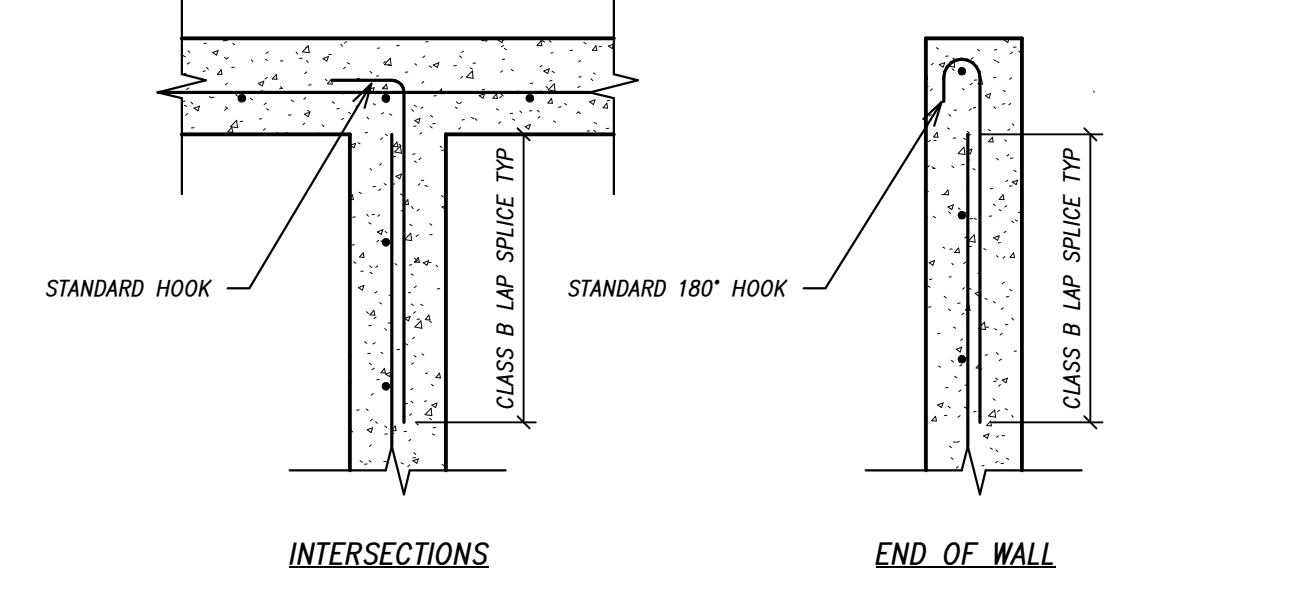
ISSUE	DATE
STRUC REVIEW	6 JUN 2023
PERMIT	11 JUL 2023

PROJECT # A0727

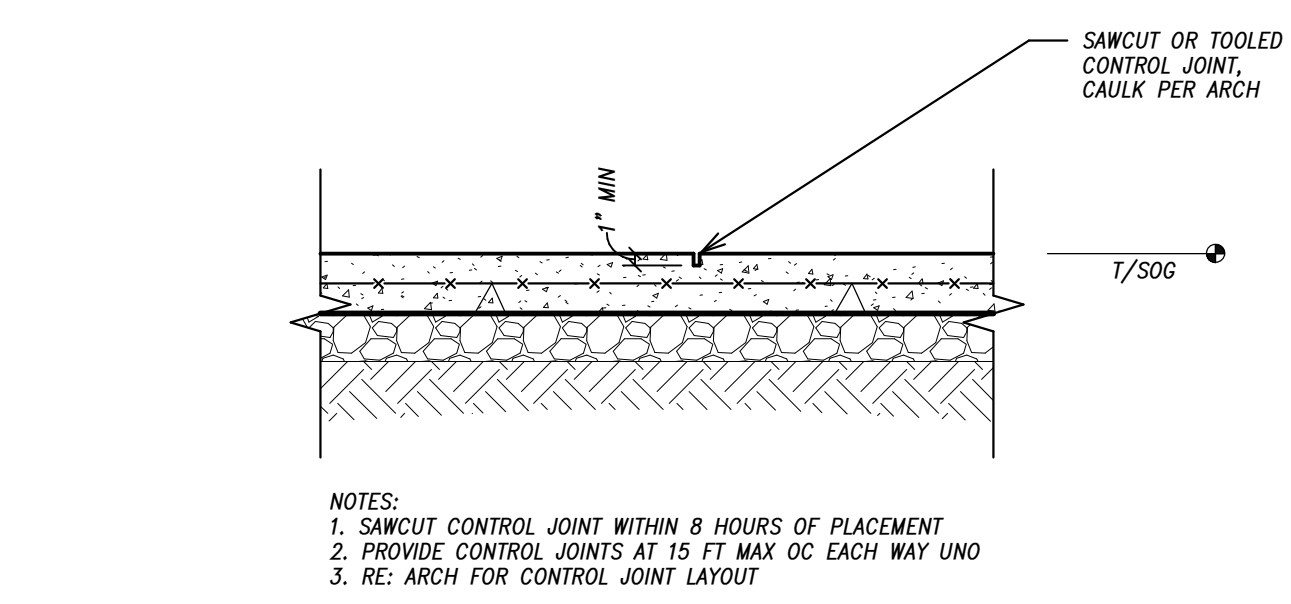
S2

TYPICAL IBC MINIMUM NAILING REQUIREMENTS		
CONNECTION	COMMON NAILS	LOCATION
1. JOIST OR RAFTERS AT ALL BEARINGS	3-8d	TOENAIL
2. BRIDGING TO JOIST	2-8d	TOE NAIL EA END
3. 1"x6" SUBFLOOR OR LESS TO EA JOIST	2-8d	FACE NAIL
4. WIDER THAN 1"x6" SUBFLOOR TO EA JOIST	3-8d	FACE NAIL
5. 2" SUBFLOOR TO JOIST OR GIRDER	2-16d	BLIND AND FACE
6. SOLE PLATE TO JOIST OR BLOCKING	16d@16" OC	FACE NAIL
7. TOP PLATE TO STUD	2-16d	END NAIL
8. STUD TO SOLE PLATE	4-8d OR 2-16d	TOE NAIL
9. DOUBLE STUDS	16d@24" OC	FACE NAIL
10. DOUBLE TOP PLATES	16d@16" OC	FACE NAIL LAP SPICE FACE NAIL
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	3-8d	TOE NAIL
12. BLOCKING BETWEEN STUDS	2-10d	TOE NAIL
13. RM JOIST TO TOP PLATE	8d@6" OC	TOE NAIL
14. CONTINUOUS HEADER, TWO PIECES	16d@16" OC	ALONG EA EDGE
15. CEILING JOIST TO TOP PLATE	3-8d	TOE NAIL
16. CONTINUOUS HEADER TO STUD	4-8d	TOE NAIL
17. CEILING JOISTS, LAPS OVER PARTITIONS	3-16d	FACE NAIL
18. CEILING JOISTS TO PARALLEL RAFTERS	3-16d	FACE NAIL
19. 1" DIAGONAL BRACE TO EACH STUD AND PLATE	2-8d	FACE NAIL
20. 1"x8" SHEATHING TO EACH BEARING	3-8d	FACE NAIL
21. WIDER THAN 1"x8" SHEATHING TO EACH BEARING	3-8d	FACE NAIL
22. BUILT-UP CORNER STUDS	16d@24" OC	FACE NAIL
23. BUILT-UP GIRDER AND BEAMS	20d@12" OC	FACE NAIL T&B STAGGER OPPOSITE SIDES FACE NAIL AT ENDS AND AT EA SPICE
24. 2" PLANKS	16d @ EA BEARING	FACE NAIL
25. WOOD STRUCTURAL PANELS	---	SEE GENERAL NOTES AND TYPICAL DETAILS

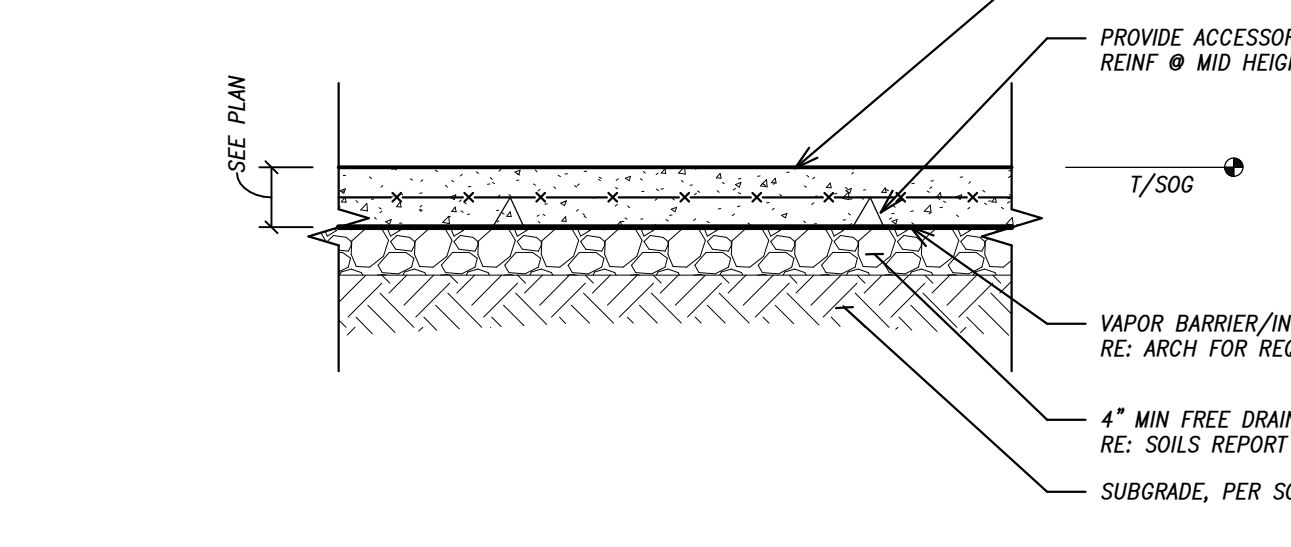
4 TYP MIN NAILING REQMENTS
3/4" = 1'-0"



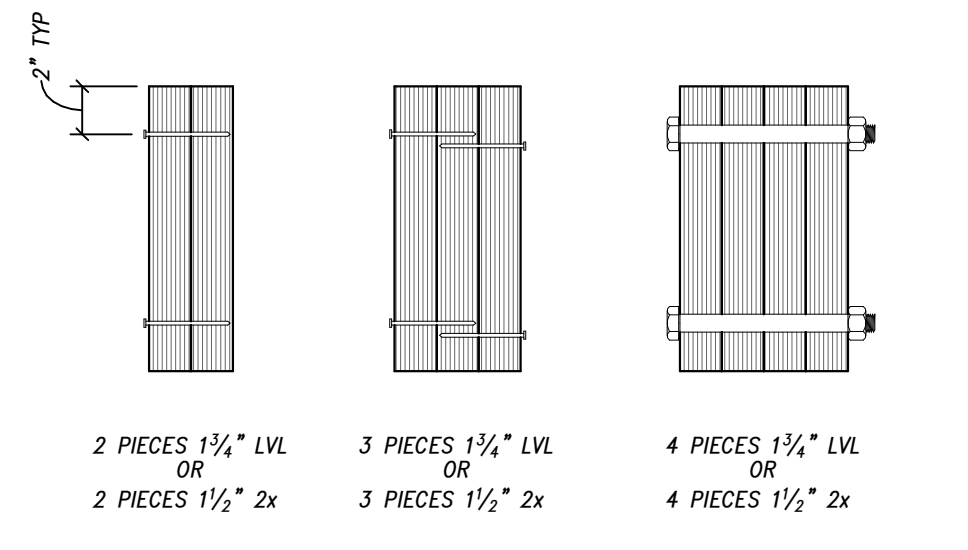
3 TYP WALL CORNER REINF - SNGL LINE OF REINF
3/4" = 1'-0"



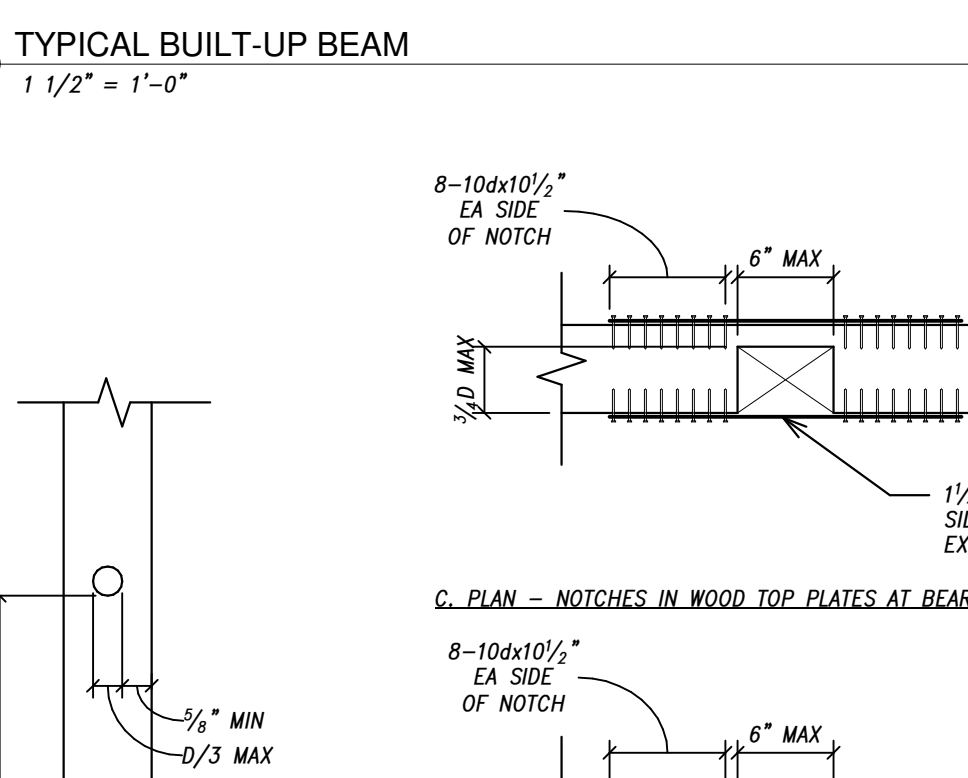
2 TYP SOG CONTROL JOINT
3/4" = 1'-0"



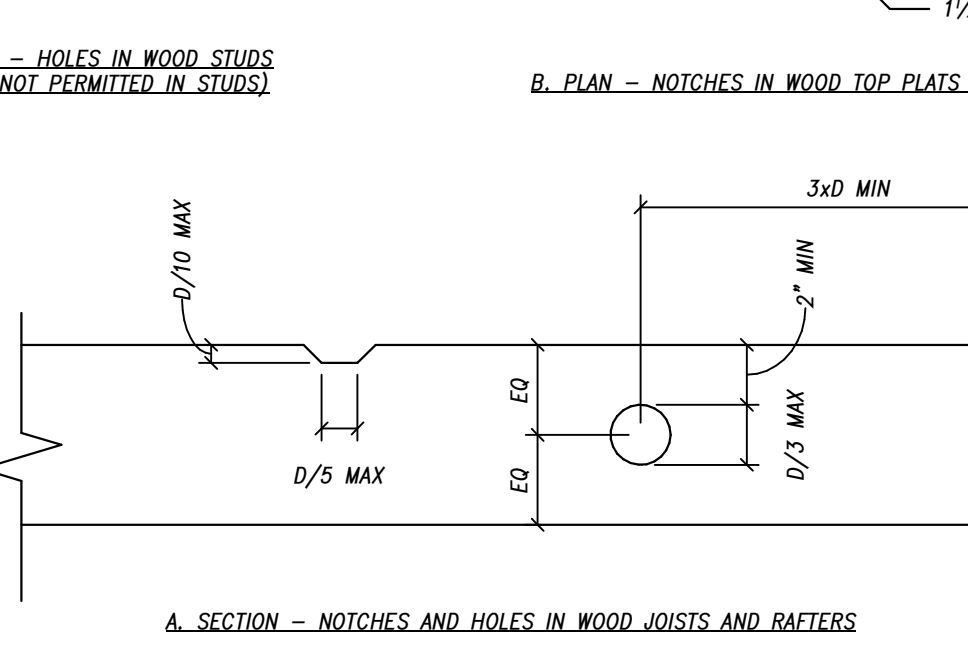
1 TYP SOG
3/4" = 1'-0"



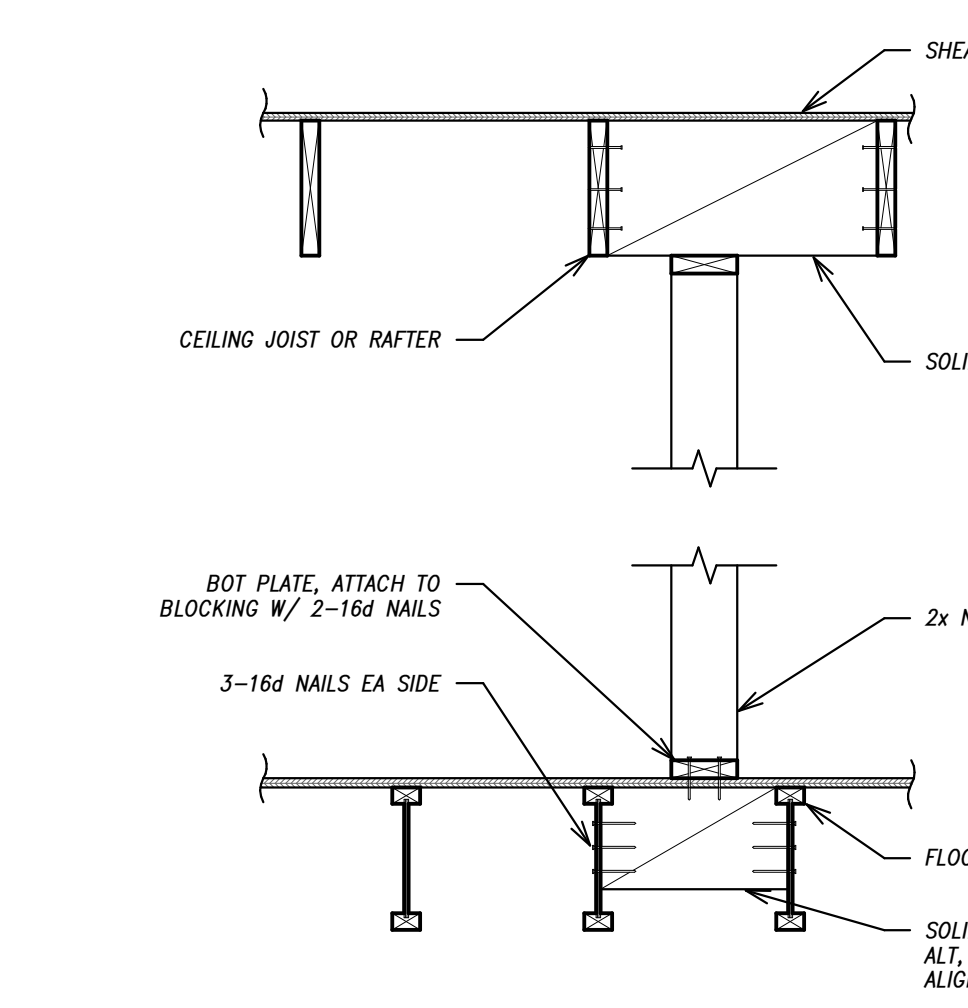
8 TYPICAL BUILT-UP BEAM
1 1/2" = 1'-0"



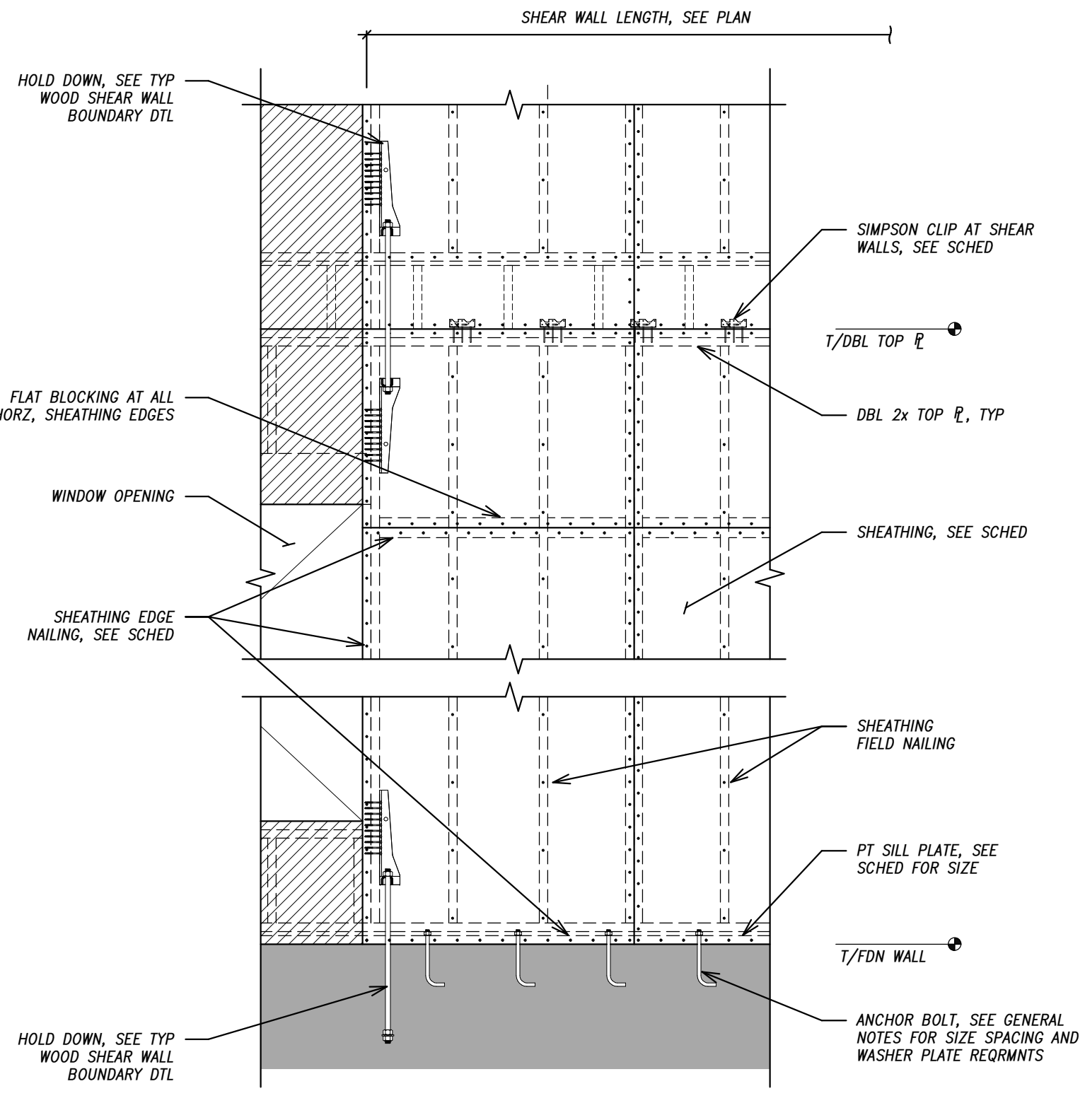
7 WOOD 05 - TYP REQMENTS FOR HOLES & NOTCHES IN WOOD MEM.
1" = 1'-0"



6 TYP NON-BEARING PARTITION
3/4" = 1'-0"



5 TYP
3/4" = 1'-0"

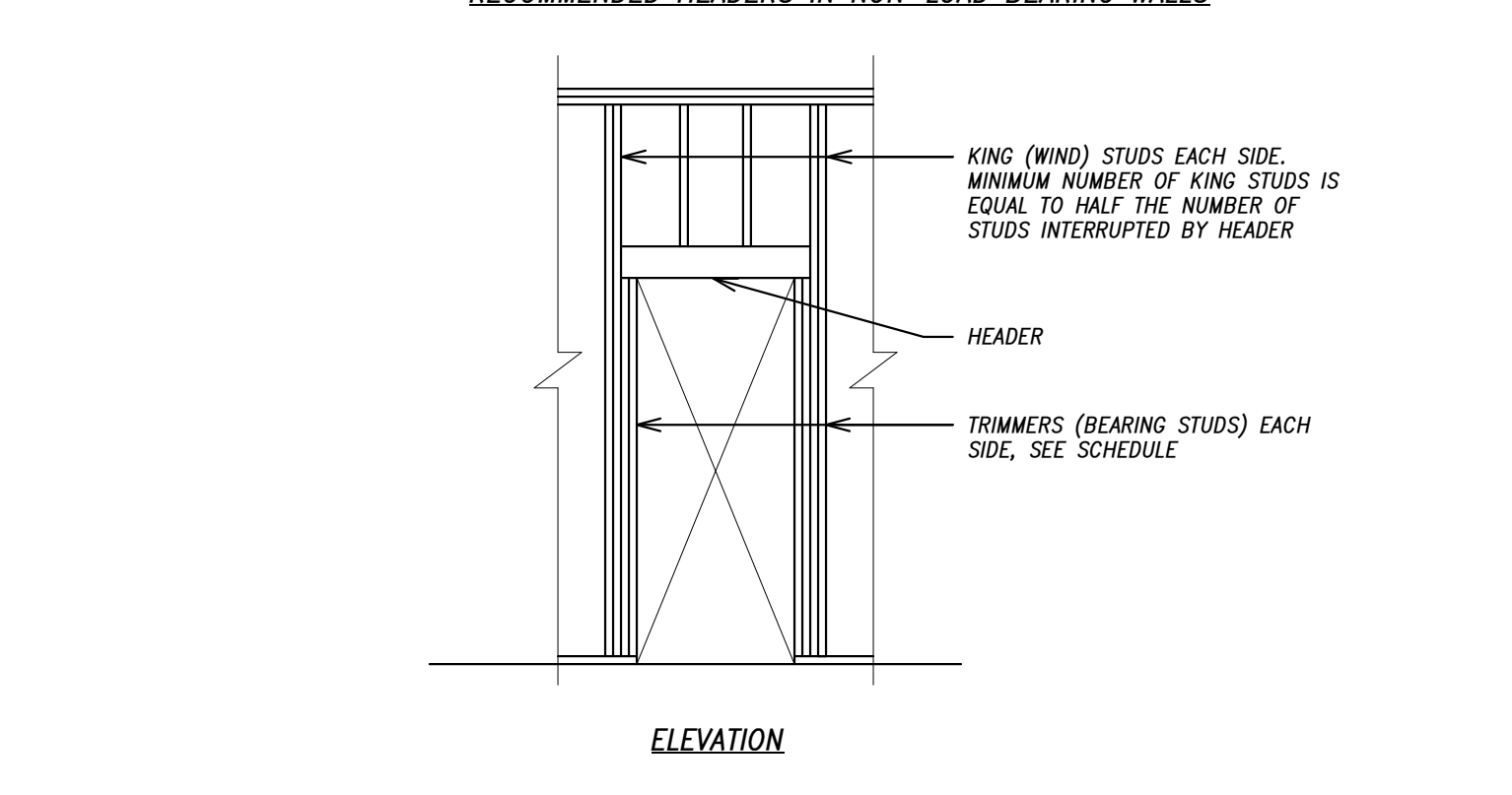


SHEAR WALL SCHEDULE						
SHEAR WALL TYPE	SHEATHING	PANEL EDGE FRAMING	SILL PLATE	PANEL EDGE NAILING	PANEL FIELD NAILING	RM JOIST OR BLOCKING CONN TO TOP PLATE
A	15/32" APA ONE-SIDED	SINGLE 2x	SINGLE PT 2x	10d @ 4" OC (0.148"x3")	10d @ 12" OC (0.148"x3")	SIMPSON A35 @ 16" OC
B	15/32" APA ONE-SIDED	DBL 2x OR SINGLE 3x	SINGLE PT 2x	10d @ 3" OC (0.148"x3")	10d @ 12" OC (0.148"x3")	SIMPSON A35 @ 8" OC
C	15/32" APA TWO-SIDED	DBL 2x OR SINGLE 3x	SINGLE PT 2x	10d @ 3" OC (0.148"x3")	10d @ 12" OC (0.148"x3")	SIMPSON A35 @ 8" OC, @ RM SIMPSON LTR @ 12" OC, @ BLKING

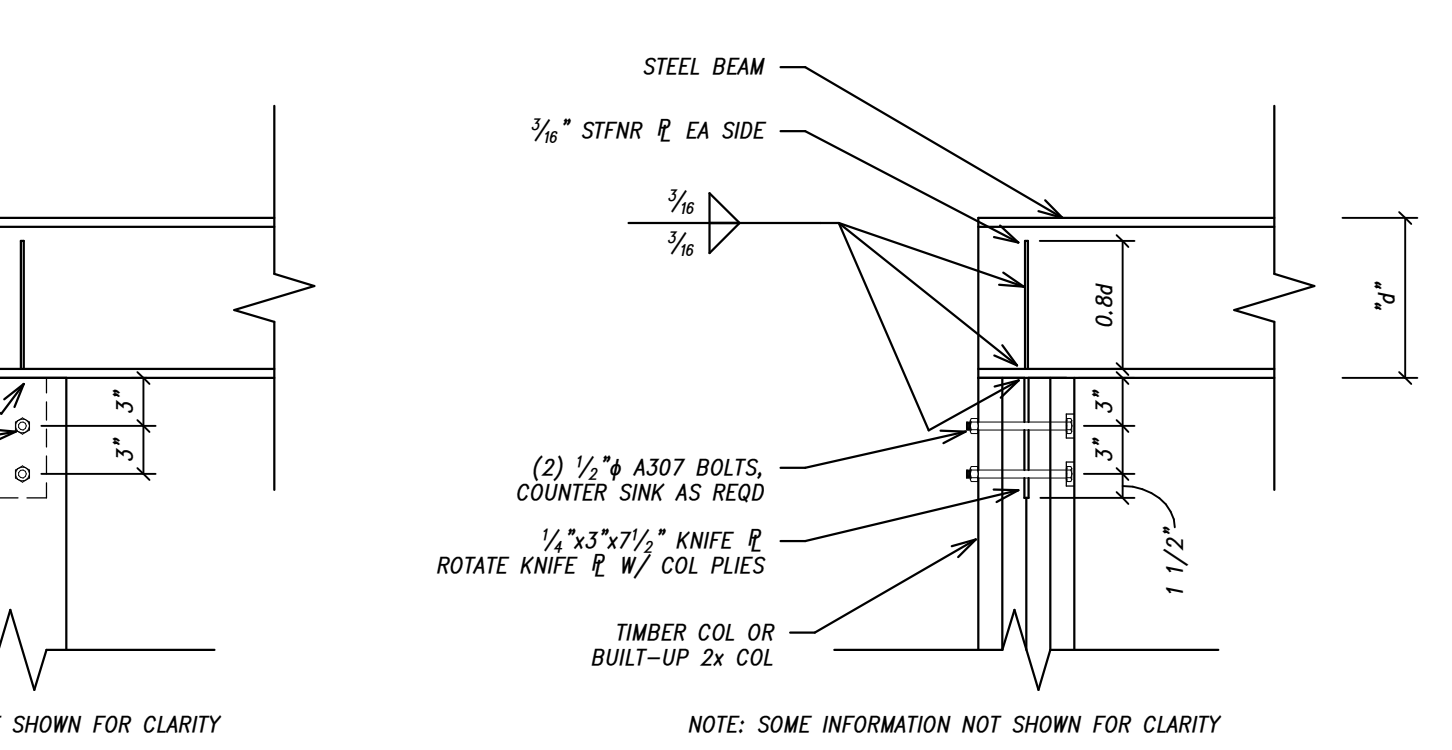
10 TYP WOOD SHEAR WALLS SCHED
1/2" = 1'-0"

SPAN	DIMENSIONED LUMBER		LVL ALTERNATES	NO. OF BEARING STUDS AT EACH END
	HEMP-FIR			
3'-0"	(2) 2x10 or (3) 2x8	(2) 1 1/2"x5 1/2" or (3) 1 1/2"x5 1/2"	2	
4'-0"	(2) 2x12 or (3) 2x12	(2) 1 1/2"x7 1/4" or (3) 1 1/2"x5 1/2"	2	
5'-0"	N/A	(3) 2x12	(2) 1 1/2"x7 1/4" or (3) 1 1/2"x7 1/4"	2
6'-0"	N/A	N/A	(2) 1 1/2"x8 1/2" or (3) 1 1/2"x7 1/4"	2
7'-0"	N/A	N/A	(2) 1 1/2"x11 1/4" or (3) 1 1/2"x8 1/2"	3
8'-0"	N/A	N/A	(2) 1 1/2"x11 1/4" or (3) 1 1/2"x8 1/2"	3
9'-0"	N/A	N/A	(2) 1 1/2" x 14" or (3) 1 1/2"x11 1/4"	3
10'-0"	N/A	N/A	(2) 1 1/2" x 16" or (3) 1 1/2"x11 1/4"	3

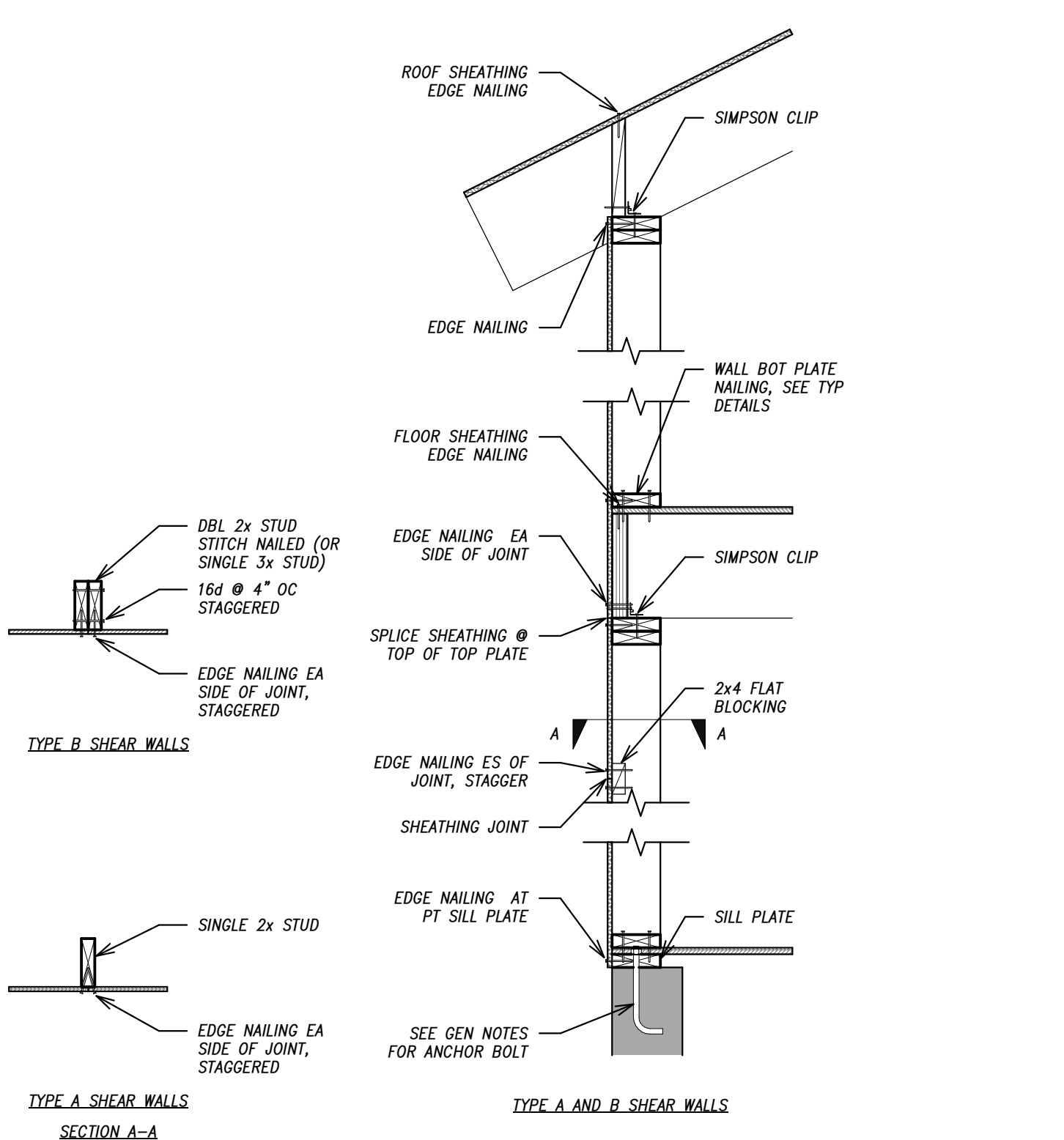
HEADERS IN LOAD BEARING AND EXTERIOR WALLS				
SPAN	DIMENSIONED LUMBER		LVL ALTERNATES	NO. OF BEARING STUDS AT EACH END
	HEMP-FIR			
3'-0"	(2) 2x4 or (3) 2x4	(2) 1-3/4"x5-1/2" or (3) 1-3/4"x5-1/2"	1	
4'-0"	(2) 2x6 or (3) 2x4	(2) 1-3/4"x5-1/2" or (3) 1-3/4"x5-1/2"	1	
5'-0"	(2) 2x6 or (3) 2x6	(2) 1-3/4"x5-1/2" or (3) 1-3/4"x5-1/2"	1	
6'-0"	(2) 2x8 or (3) 2x6	(2) 1-3/4"x5-1/2" or (3) 1-3/4"x5-1/2"	1	
7'-0"	(2) 2x10 or (3) 2x8	(2) 1-3/4"x5-1/2" or (3) 1-3/4"x5-1/2"	1	
8'-0"	(2) 2x10 or (3) 2x8	(2) 1-3/4"x5-1/2" or (3) 1-3/4"x5-1/2"	1	
9'-0"	(2) 2x12 or (3) 2x10	(2) 1-3/4"x5-1/2" or (3) 1-3/4"x5-1/2"	1	
10'-0"	N/A	(3) 2x12	(2) 1-3/4"x5-1/2" or (3) 1-3/4"x5-1/2"	1



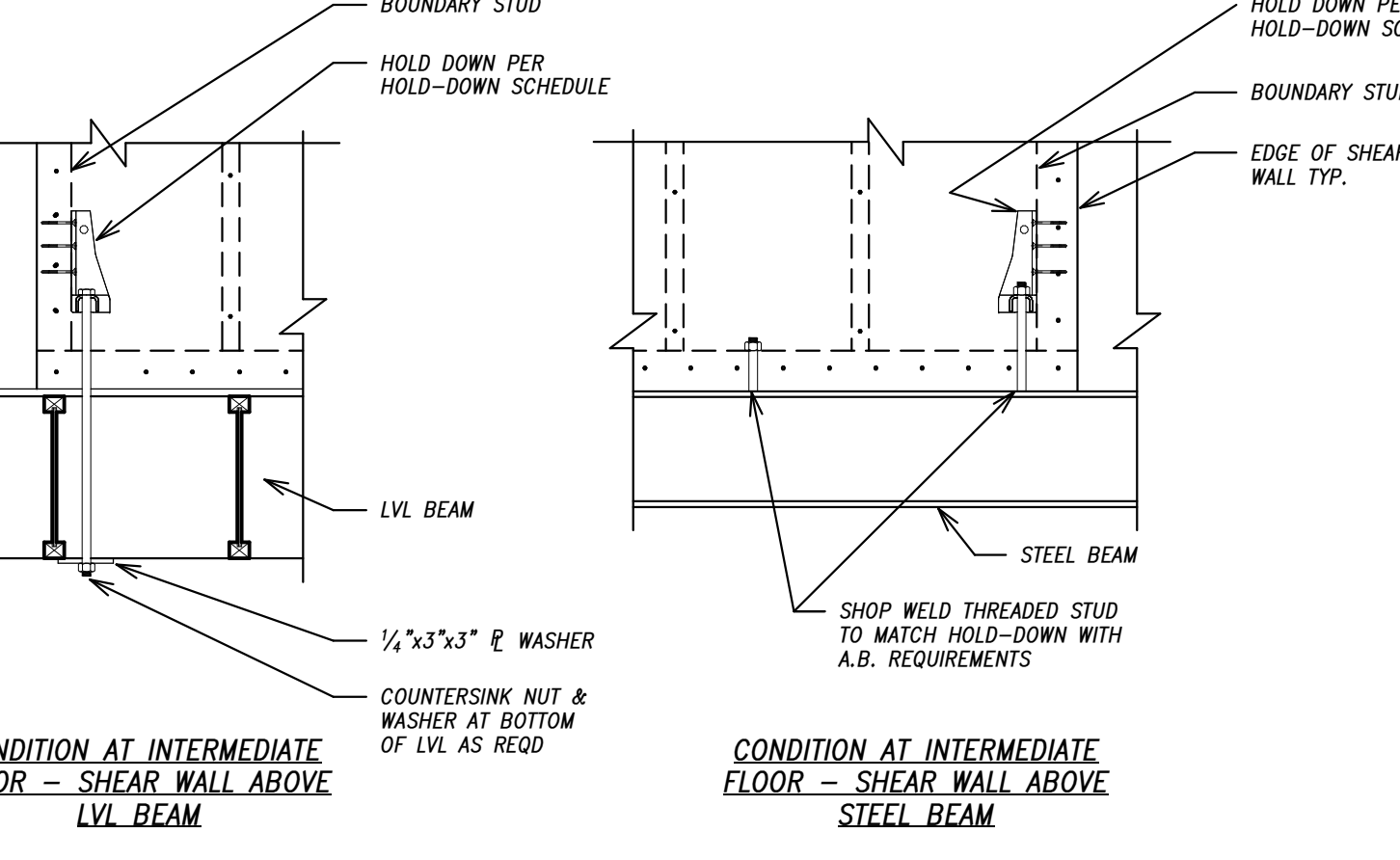
9 TYP WOOD HEADER SCHED
1" = 1'-0"



13 TYP STEEL BEAM TO WOOD COL CONN
1" = 1'-0"



12 TYP WOOD SHEAR WALL DTLS
3/4" = 1'-0"



HOLD DOWN SCHEDULE				
SHEAR WALL TYPE	ANCHOR BOLT DIA.	SIMPSON HOLD-DOWN	SDS SCREWS	NO. OF BRNRY STUDS
A	3/8"	H02	6-SDS 1/4"x2 1/2"	2
B	1/2"	H08	20-SDS 1/4"x2 1/2"	3

ANCHOR BOLT EMBEDMENT	
ANCHOR BOLT TYPE AND DIAMETER	EMBEDMENT DEPTH
3/8" EMBEDDED ANCHOR BOLT	12"
1/4" EPOXY ANCHOR BOLT	12"
1/2" EMBEDDED ANCHOR BOLT	14"
1/2" EPOXY ANCHOR BOLT	14"

EPOXY ANCHOR BOLTS SHALL BE SECURED WITH HLTI HY150 INJECTION ADHESIVE OR EQUIVALENT

11 TYP WOOD WALLS - BOUNDARY DTL
3/4" = 1'-0"

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LASSA RESIDENCE
LOT 2 - RIVERSHORE SUBDIVISION
TOWN OF BLUE RIVER - SUMMIT COUNTY COLORADO
LOWER LEVEL/FOUNDATION PLAN
TITLE: _____
PROJECT # A0727

ISSUE	DATE
STRUC REVIEW	6 JUN 2023
PERMIT	11 JUL 2023

PROJECT # A0727

PLAN LEGEND

CONCRETE CONSTRUCTION

- CIP CONCRETE WALL ABOVE
- CIP CONCRETE WALL ABOVE W/ WINDOW
- CIP CONCRETE WALL ABOVE W/ DOOR
- CIP/PC WALL BELOW
- PC CONCRETE COLUMN ABOVE
- CIP/PC CONCRETE COLUMN BELOW

STEEL CONSTRUCTION

- BEAM / GIRDER
- COLUMN ABOVE
- COLUMN BELOW

WOOD CONSTRUCTION

- FRAME WALL ABOVE
- FRAME WALL ABOVE W/ WINDOW
- FRAME WALL ABOVE W/ DOOR
- FRAME WALL BELOW
- TRUSS
- BEAM / GIRDER
- JOIST
- COLUMN ABOVE
- COLUMN BELOW

PLAN KEYS

- FOOTING NOTATION
FB = FTG TYPE PER SCHEDULE
97'-0" = 1/2' FOOTING ELEVATION
- FOOTING / FOUNDATION STEP
- TRANSFER LOAD (K)
- BEAM POCKET
- HT = JOIST HANGER TYPE
SEE JOIST HANGER SCHEDULE

LATERAL ELEMENTS

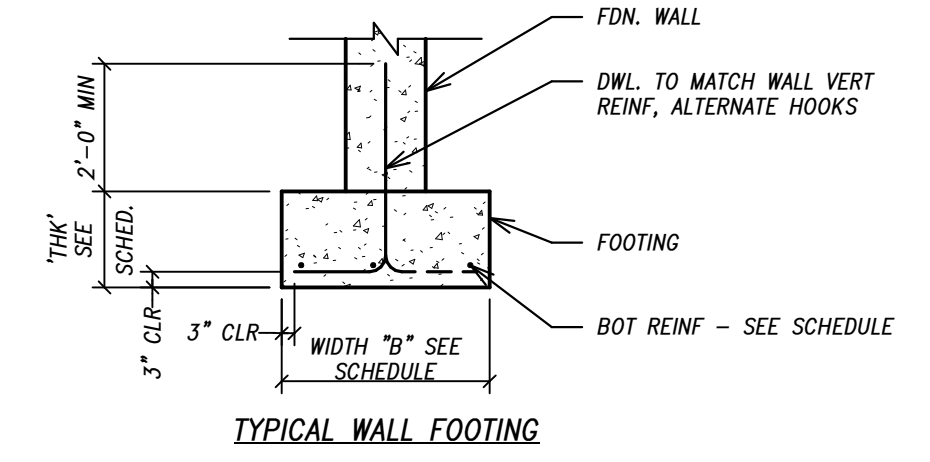
- LATERAL ELEMENT ABOVE
- LATERAL ELEMENT BELOW
- LATERAL ELEMENT ABOVE & BELOW
- WOOD SHEAR WALL DESIGNATION AND MINIMUM REQUIRED LENGTH
SEE SHEAR WALL SCHEDULE
- HOLD DOWN FOR WOOD SHEAR WALL
SEE HOLD DOWN SCHEDULE

ISOLATED FOOTING SCHEDULE

MARK	WIDTH "B"	LENGTH "L"	THICKNESS	REINFORCEMENT	COMMENT
F1	5'-0"	7'-8"	1'-0"	#5 @ 12" OC BOT EW	
FS02	2'-0"	2'-0"	1'-0"	(3) #5 EW BOT	
FS03	3'-0"	3'-0"	1'-0"	(3) #5 EW BOT	

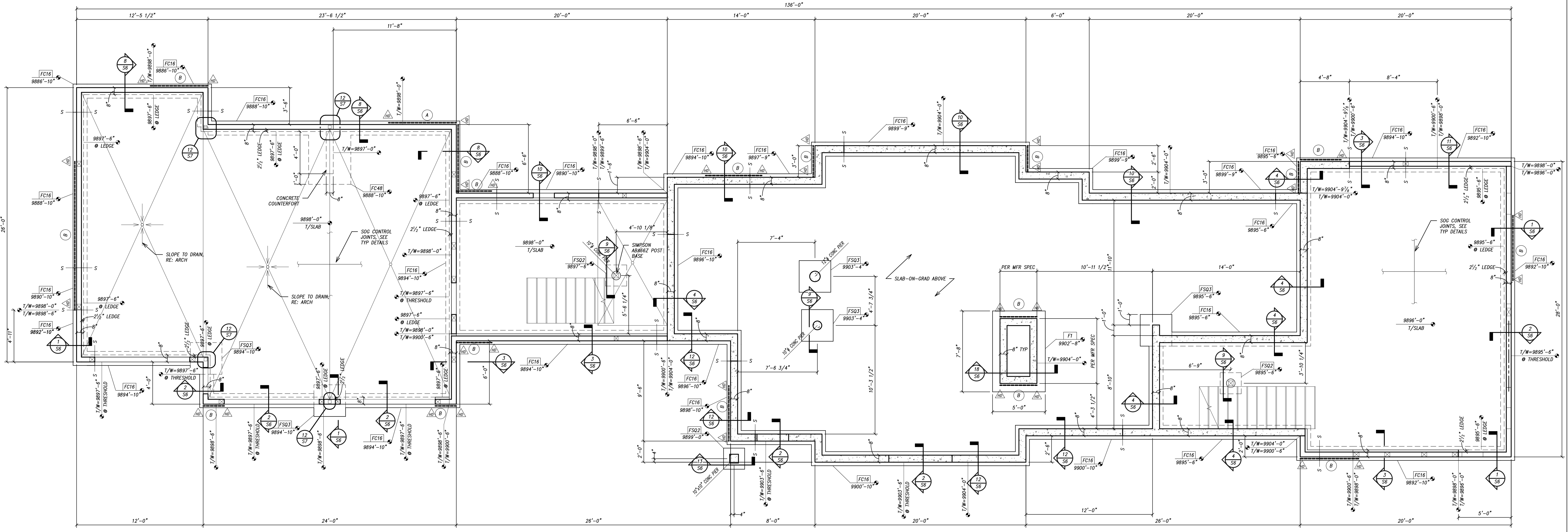
CONTINUOUS FOOTING SCHEDULE

MARK	WIDTH "B"	THICKNESS	REINFORCEMENT ENT	COMMENT
FC16	1'-4"	10"	(2) #5 CONT.	
FC48	4'-0"	10"	#5 @ 12" OC TOP EW	



- FOOTING NOTES:**
- FOOTINGS SHALL BEAR ON PROOF ROLLED NATIVE SOIL OR COMPACTED FILL AS SPECIFIED IN THE SOILS REPORT.
 - ALL BEARING MATERIAL SHALL BE INSPECTED BY THE GEOTECHNICAL ENGINEER PRIOR TO CONCRETE PLACEMENT. THE GEOTECHNICAL ENGINEER SHALL BE THE SOLE JUDGE AS TO THE SUITABILITY OF THE BEARING MATERIAL.
 - FOOTINGS DESIGNED FOR ALLOWABLE BEARING PRESSURE OF 4000 PSF.
 - CENTER CONTINUOUS FOOTING UNDER WALLS U.N.D. COLUMN FOOTINGS ARE CENTERED UNDER COLUMNS, U.N.D.
 - BEARING ELEVATIONS ARE SUBJECT TO ADJUSTMENT AS REQUIRED BY SUITABILITY OF BEARING MATERIAL.
 - DOWELS TO MATCH VERTICAL WALL AND PLASTER REIN. U.N.D. EXTEND DOWLS 24" MIN. ABOVE FTG. U.N.D.
 - SEE COLUMN SCHEDULE AND WALL DETAILS FOR FOOTING DOWELS.
 - SEE GENERAL NOTES FOR ADDITIONAL INFORMATION.

② FOOTING SCHEDULE
1/2" = 1'-0"

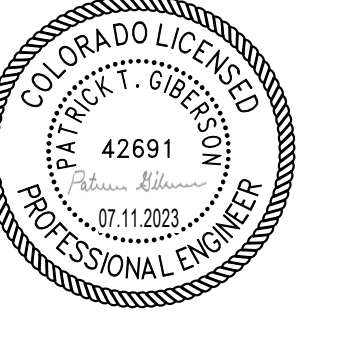


① LOWER LEVEL
1/4" = 1'-0"

- FOUNDATION PLAN NOTES:**
- TYPICAL FOUNDATION IS CONCRETE WALLS ON SPREAD FOOTINGS.
 - LOWER LEVEL FLOOR IS 4" SOG OVER 4" FREE DRAINAGE GRANULAR BASE MATERIAL REIN. WITH 600MM-WX14-WAY CHAIRED AT MID HEIGHT OF SLAB OR #3 @ 16" OC EA WAY CHAIRED AT MID HEIGHT OF SLAB FOR INCREASED CRACK CONTROL.
 - TYPICAL WOOD STUD WALL IS 2x8 W/ STUDS @ 16" OC.
 - TYPICAL BUILT-UP COLUMN IS (3) PART 2x8 HF No. 2, SHOWN AS THIS UNO.
 - SEE PLANS FOR FOOTING, WALL, AND SOG ELEVATIONS. GC TO VERIFY FOOTING AND WALL ELEVATIONS WITH GRADE REQUIREMENTS. CONTACT THE STRUCTURAL ENGINEER WITH ANY ELEVATION CHANGES PRIOR TO CONSTRUCTION.
 - SEE S1 FOR GENERAL NOTES AND LEGEND.
 - SEE S2 FOR TYPICAL DETAILS.
 - SEE PLAN FOR FOUNDATION SCHEDULE.

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PLAN LEGEND

CONCRETE CONSTRUCTION

- CIP CONCRETE WALL ABOVE
- CIP CONCRETE WALL ABOVE W/ WINDOW
- CIP CONCRETE WALL ABOVE W/ DOOR
- CIP/PC WALL BELOW
- PC CONCRETE COLUMN ABOVE
- CIP/PC CONCRETE COLUMN BELOW

STEEL CONSTRUCTION

- BEAM / GIRDER
- COLUMN ABOVE
- COLUMN BELOW

WOOD CONSTRUCTION

- FRAME WALL ABOVE
- FRAME WALL ABOVE W/ WINDOW
- FRAME WALL ABOVE W/ DOOR
- FRAME WALL BELOW
- TRUSS
- BEAM / GIRDER
- JOIST
- COLUMN ABOVE
- COLUMN BELOW

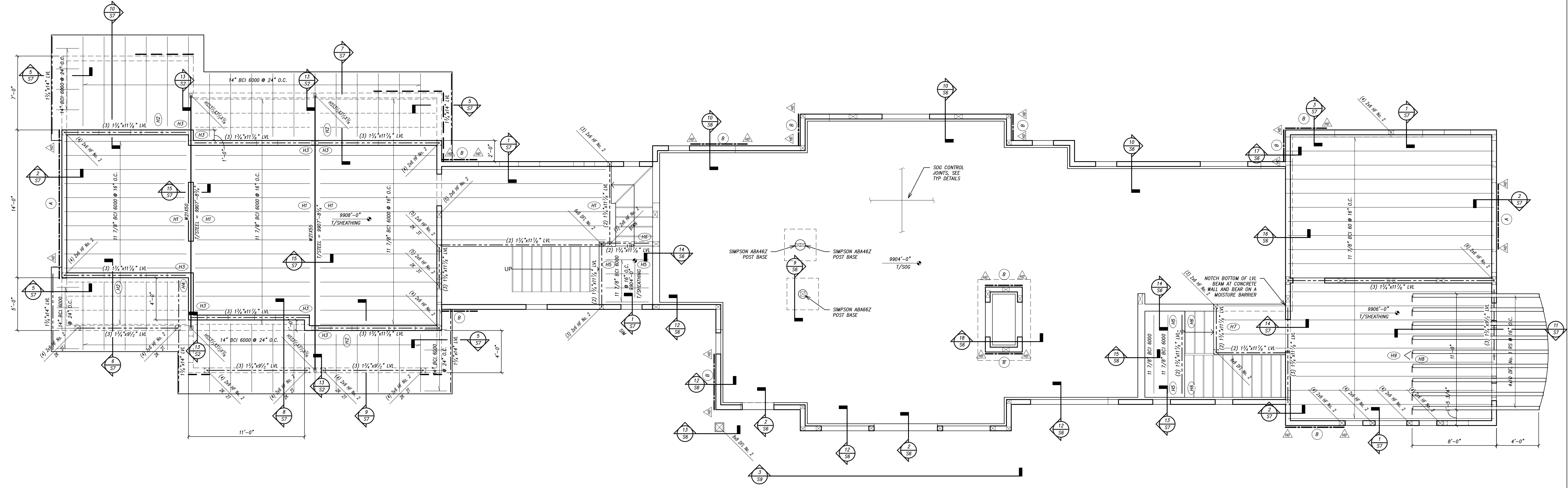
PLAN KEYS

- FOOTING NOTATION
FS = FTG TYPE PER SCHEDULE
97'-0" = 1/7' FOOTING ELEVATION
- FOOTING / FOUNDATION STEP
- TRANSFER LOAD (K)
- BEAM POCKET
- HT = JOIST HANGER TYPE
SEE JOIST HANGER SCHEDULE
- LATERAL ELEMENTS
- LATERAL ELEMENT ABOVE
- LATERAL ELEMENT BELOW
- LATERAL ELEMENT ABOVE & BELOW
- WOOD SHEAR WALL DESIGNATION AND MINIMUM REQUIRED LENGTH
SEE SHEAR WALL SCHEDULE
- HOLD DOWN FOR WOOD SHEAR WALL
SEE HOLD DOWN SCHEDULE

JOIST & BEAM HANGER SCHEDULE

MARK	SIMPSON HANGER	FASTENERS		MEMBERS		ALLOWABLE LOADS		COMMENTS	
		TOP FLANGE	FACE	JOIST/BEAM	SUPPORTED	SUPPORTING	LOAD (LBS)		UPLIFT (LBS)
(HT)	ITS2.37/11.88	4-10d x 1.5	2-10d x 1.5	2-STRONG-GRIP	11 1/2" I-JOIST	3x DFL NALER	1265	75	---
(H2)	LSSU435	---	10-10d	7-10d x 1.5	14" I-JOIST	LVL	1140	710	WEB STFN'R REQ'D
(H3)	HWIS.50/11.875	4-16d x 2.5	4-16d x 2.5	6-10d	(3) 11 1/2" LVL	3x DFL NALER	5430	970	---
(H4)	LSSU25	---	10-10d	7-10d x 1.5	14" LVL	LVL	1140	710	---
(H5)	IUS2.37/11.88	---	10-10d x 1.5	2-STRONG-GRIP	11 1/2" I-JOIST	LVL	970	75	---
(H6)	HUC412	---	16-10d x 1.5	6-10d	(2) 11 1/2" LVL	LVL	1630	760	---
(H7)	US310/14	---	14-10d	6-10d x 1.5	11 1/2" I-JOIST	LVL	1705	730	WEB STFN'R REQ'D
(HB)	U410R	---	14-16d	6-16d	4x10 ROUGH	LVL	1555	865	---
(HB)	U4	---	14-16d	6-10d x 1.5	11 1/2" LVL	11 1/2" I-JOIST	2015	730	WEB STFN'R REQ'D
(HD)	US310/14	---	14-10d x 1.5	6-10d x 1.5	14" I-JOIST	LVL	1385	730	WEB STFN'R REQ'D
(HT)	HUC0812-SDS	---	14-SDS 1/4 x 2 1/2	16-SDS 1/4 x 2 1/2	(3) 11 1/2" LVL	COLUMN	5315	2340	---

2 HANGER SCHEDULE
1/4" = 1'-0"



1 MAIN LEVEL
1/4" = 1'-0"

- MAIN LEVEL FRAMING PLAN NOTES:**
- TYPICAL FLOOR FRAMING IS 1 1/2" GYPCRETE TOPPING OVER 3/4" SHEATHING SUPPORTED BY WOOD I-JOIST FRAMING UNO.
 - GREAT ROOM FLOOR IS 4" SOG OVER RIGID INSULATION AND 4" FREE DRAINAGE GRANULAR BASE MATERIAL. REINFC WITH 6x6xW1.4xW1.4 WWF CHAIRED AT MID HEIGHT OF SLAB OR #3 @ 18" OC EA WAY CHAIRED AT MID HEIGHT OF SLAB FOR INCREASED CRACK CONTROL.
 - SEE PLAN FOR 1/SHEATHING AND 1/SOG ELEVATIONS.
 - TYPICAL WOOD STUD WALL IS 2x6 HF STUDS @ 16" OC.
 - TYPICAL BUILT-UP COLUMN IS (2) 2x6 HF No. 2, SHOWN AS THUS UNO.
 - SEE THE BCI BUILDERS GUIDE FOR ALLOWABLE JOIST AND LVL BEAM PENETRATIONS. FOR ALL OTHER BEAM PENETRATIONS NOT SHOWN ON PLAN CONTACT THE STRUCTURAL ENGINEER FOR GUIDANCE.
 - SEE S1 FOR GENERAL NOTES AND LEGEND.
 - SEE S2 FOR TYPICAL DETAILS AND HEADER SCHEDULE.
 - SEE PLAN FOR HANGER SCHEDULE.

LASSA RESIDENCE
LOT 2 . RIVERSHORE SUBDIVISION
TOWN OF BLUE RIVER . SUMMIT COUNTY COLORADO
TITLE: **MAIN LEVEL FRAMING PLAN**

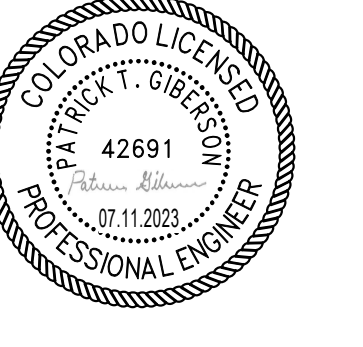
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PROJECT # A0727

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PLAN LEGEND

CONCRETE CONSTRUCTION

- CIP CONCRETE WALL ABOVE
- CIP CONCRETE WALL ABOVE W/ WINDOW
- CIP CONCRETE WALL ABOVE W/ DOOR
- CIP/PC WALL BELOW
- PC CONCRETE COLUMN ABOVE
- CIP/PC CONCRETE COLUMN BELOW

STEEL CONSTRUCTION

- BEAM / GIRDER
- COLUMN ABOVE
- COLUMN BELOW

WOOD CONSTRUCTION

- FRAME WALL ABOVE
- FRAME WALL ABOVE W/ WINDOW
- FRAME WALL ABOVE W/ DOOR
- FRAME WALL BELOW
- TRUSS
- BEAM / GIRDER
- JOIST
- COLUMN ABOVE
- COLUMN BELOW

PLAN KEYS

FOOTING NOTATION
F6 = FTG TYPE PER SCHEDULE
97'-0" = 1/2' FOOTING ELEVATION

FOOTING / FOUNDATION STEP

TRANSFER LOAD (K)

BEAM POCKET

HT = JOIST HANGER TYPE
SEE JOIST HANGER SCHEDULE

LATERAL ELEMENTS

- LATERAL ELEMENT ABOVE
- LATERAL ELEMENT BELOW
- LATERAL ELEMENT ABOVE & BELOW

WOOD SHEAR WALL DESIGNATION AND MINIMUM REQUIRED LENGTH
SEE SHEAR WALL SCHEDULE

HOLD DOWN FOR WOOD SHEAR WALL
SEE HOLD DOWN SCHEDULE

JOIST & BEAM HANGER SCHEDULE

MARK	SIMPSON HANGER	FASTENERS			MEMBERS		ALLOWABLE LOADS		COMMENTS
		TOP FLANGE	FACE	JOIST/BEAM	SUPPORTED	SUPPORTING	LOAD (LBS)	UPLIFT (LBS)	
(HT)	ITS2.37/11.88	4-10d x 1.5	2-10d x 1.5	2-STRONG-GRIP	1 1/2" I-JOIST	3x DFL MAILER	1285	75	--
(H2)	LSS3U35	--	10-10d	7-10d x 1.5	14" I-JOIST	LVL	1140	710	WEB STIFNR REQD
(H3)	HWUS.55/11.875	4-16d x 2.5	4-16d x 2.5	6-10d	(3) 1 1/2" LVL	3x DFL MAILER	5430	970	--
(H4)	LSS3U25	--	10-10d	7-10d x 1.5	14" LVL	LVL	1140	710	--
(HS)	ITS2.37/11.88	--	10-10d x 1.5	2-STRONG-GRIP	1 1/2" I-JOIST	LVL	970	75	--
(HB)	HUC412	--	16-10d x 1.5	6-10d	(2) 1 1/2" LVL	LVL	1830	780	--
(HT)	US310/14	--	14-10d	6-10d x 1.5	1 1/2" I-JOIST	LVL	1705	730	WEB STIFNR REQD
(HB)	U410R	--	14-18d	6-18d	4x10 ROUGH	LVL	1555	865	--
(HB)	U14	--	14-18d	6-10d x 1.5	1 1/2" LVL	1 1/2" I-JOIST	2015	730	WEB STIFNR REQD
(HT)	US310/14	--	14-10d x 1.5	6-10d x 1.5	14" I-JOIST	LVL	1385	730	WEB STIFNR REQD
(HT)	HUC0812-SDS	--	14-SDS 1/2 x 2 1/2	16-SDS 1/2 x 2 1/2	(3) 1 1/2" LVL	COLUMN	5315	2340	--

FRAMING MEMBER

MAX SPAN

SPACING = 16" O.C. SPACING = 24" O.C.

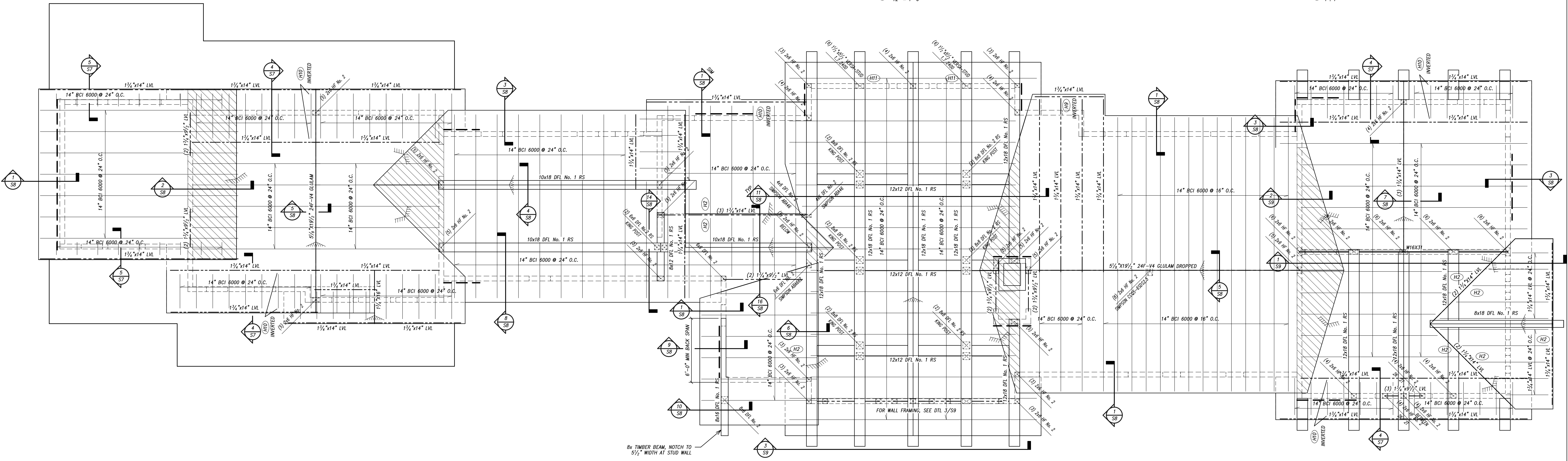
2x4 HF-No.2	4'-0"	3'-0"
2x6 HF-No.2	6'-0"	5'-0"
2x8 HF-No.2	8'-0"	6'-0"
2x10 HF-No.2	10'-0"	8'-0"
2x12 HF-No.2	12'-0"	9'-0"

NOTES:

- OVER FRAMING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- THE SCHEDULE ABOVE IS INTENDED TO AID THE GENERAL CONTRACTOR IN SELECTION OF FRAMING MEMBERS FOR VARIOUS SIZE AND SPACING. OVER FRAME SPANS SHOULD BE LIMITED TO THOSE ABOVE.
- FRAMING MEMBERS DESIGNED FOR 15 PSF DL & 14.4 PSF (FLAT ROOF SNOW). OVER FRAMING USUALLY OCCURS AT INTERSECTIONS OF ROOF PLANES. THE 43R INCREASE ACCOUNTS FOR DRIFTING SNOW USUALLY SEEN IN THESE AREAS.
- DEFLECTION CRITERIA USED = L/180.

③ HANGER SCHEDULE
1/2" = 1'-0"

② TYP OVER FRAMING SCHED
1 : 1



① ROOF FRAMING PLAN
1/4" = 1'-0"

ROOF FRAMING PLAN NOTES:

- TYPICAL ROOF FRAMING IS 3/4" SHEATHING SUPPORTED BY WOOD I-JOISTS, AND TIMBER BEAMS, UNO.
- SEE ARCHITECTURAL DRAWINGS FOR SLOPES, TOP OF PLATE ELEVATIONS, AND RIDGE ELEVATIONS.
- SEE THE BCI BUILDERS GUIDE FOR ALLOWABLE JOIST AND LVL BEAM PENETRATIONS. FOR ALL OTHER BEAM PENETRATIONS NOT SHOWN ON PLAN CONTACT THE STRUCTURAL ENGINEER FOR GUIDANCE.
- SEE S1 FOR GENERAL NOTES AND LEGEND.
- SEE S2 FOR TYPICAL DETAILS AND HEADER SCHEDULE.
- SEE PLAN FOR HANGER SCHEDULE.
- SEE PLAN FOR OVER FRAMING SCHEDULE. OVER FRAMING DENOTED BY HATCHED REGIONS.

LASSA RESIDENCE
LOT 2 - RIVERSHORE SUBDIVISION
TOWN OF BLUE RIVER - SUMMIT COUNTY COLORADO
ROOF FRAMING PLAN

TITLE:

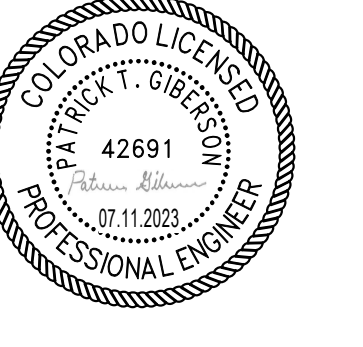
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S5

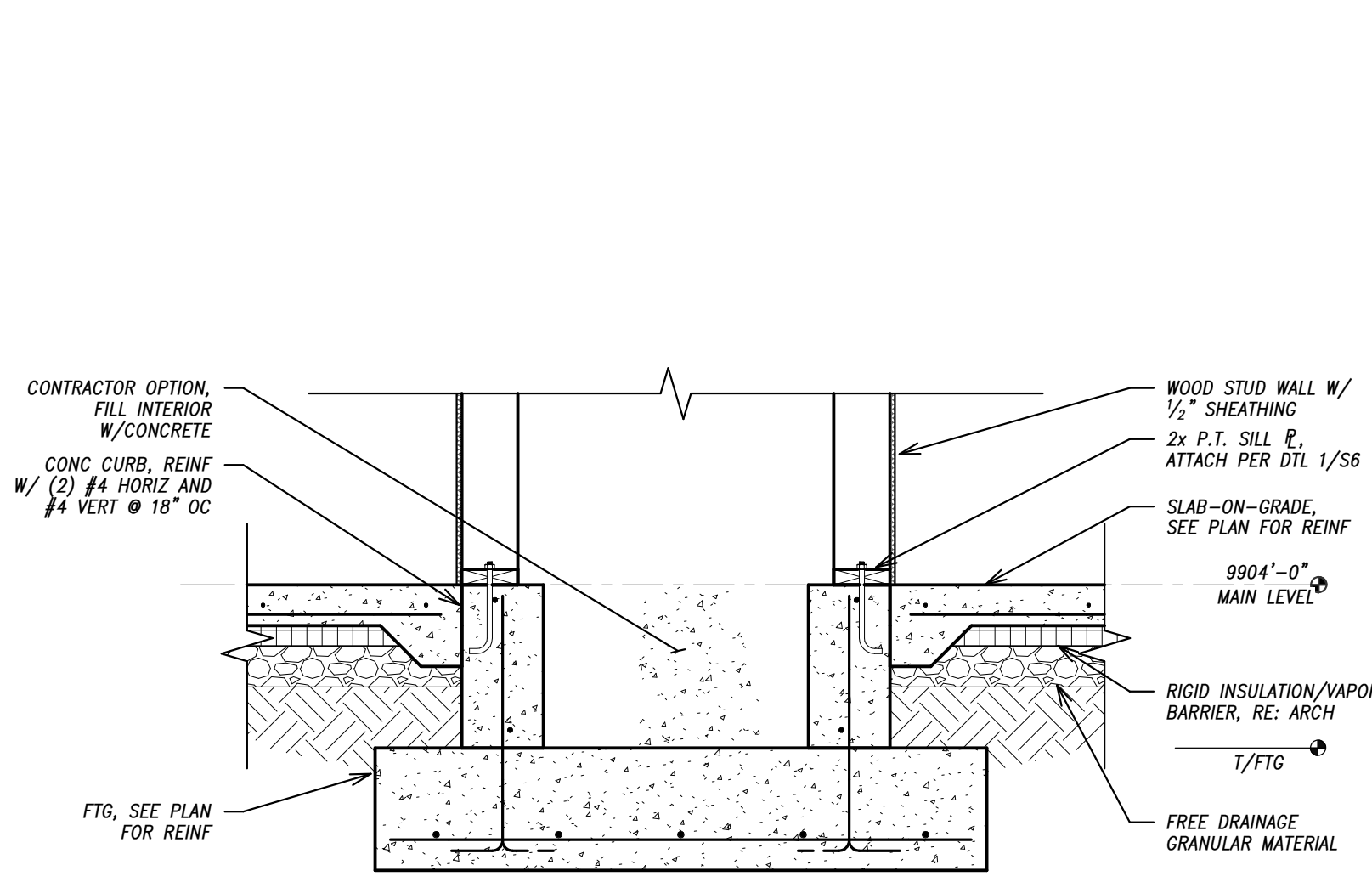
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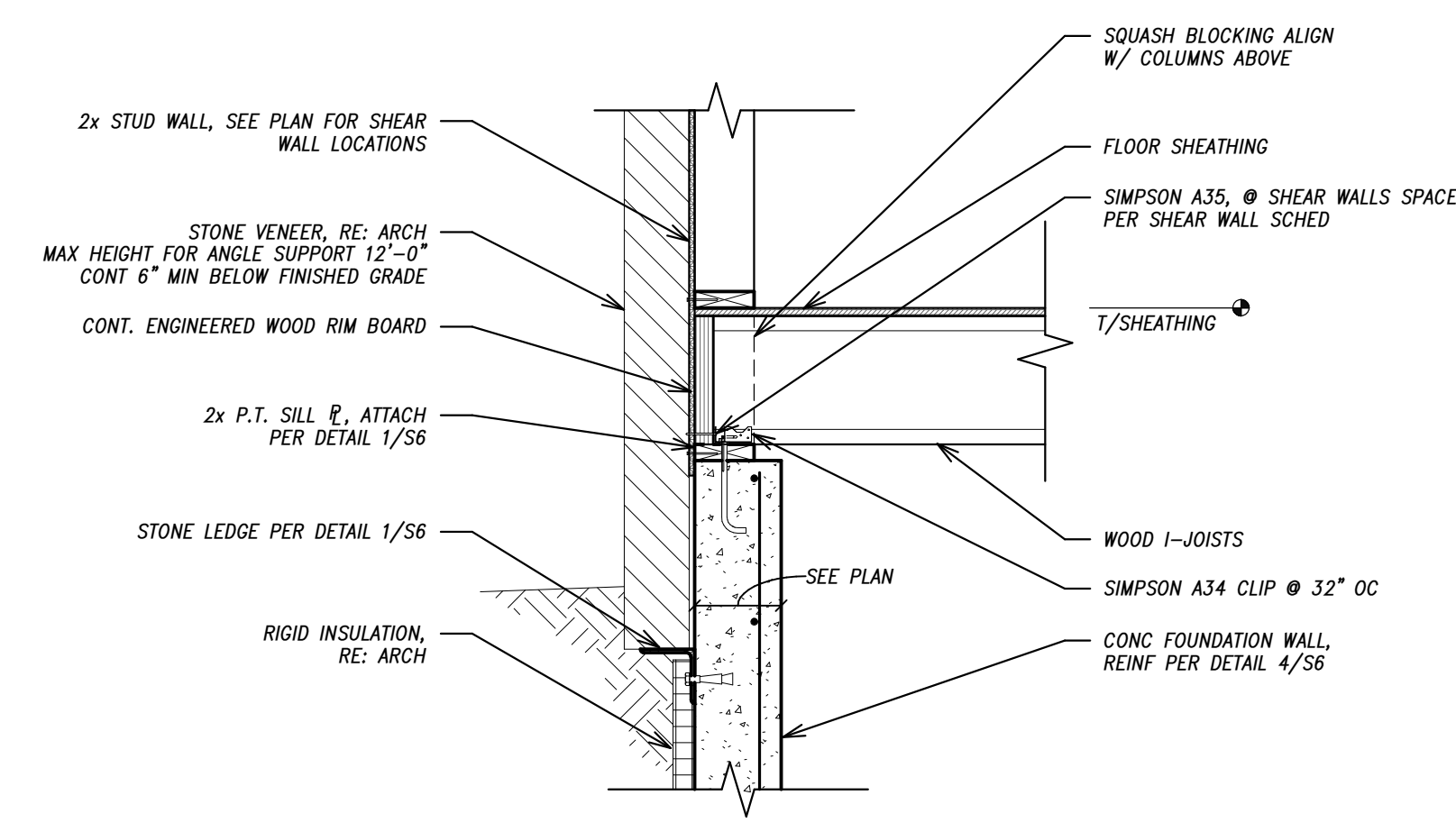


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LOT 2 - RIVERSHORE SUBDIVISION
TOWN OF BLUE RIVER - SUMMIT COUNTY COLORADO
DETAILS
TITLE: PROJECT # A0727

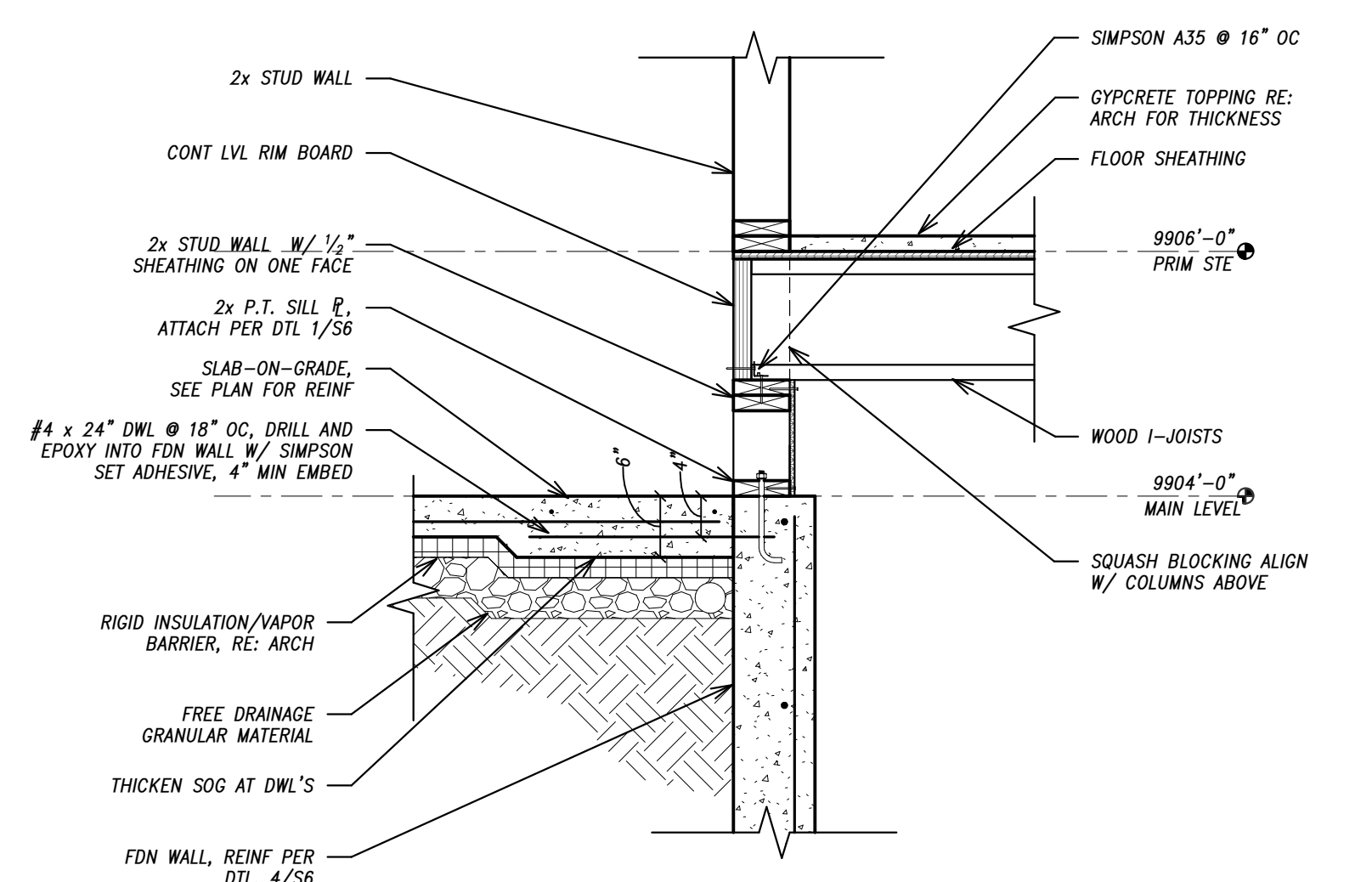
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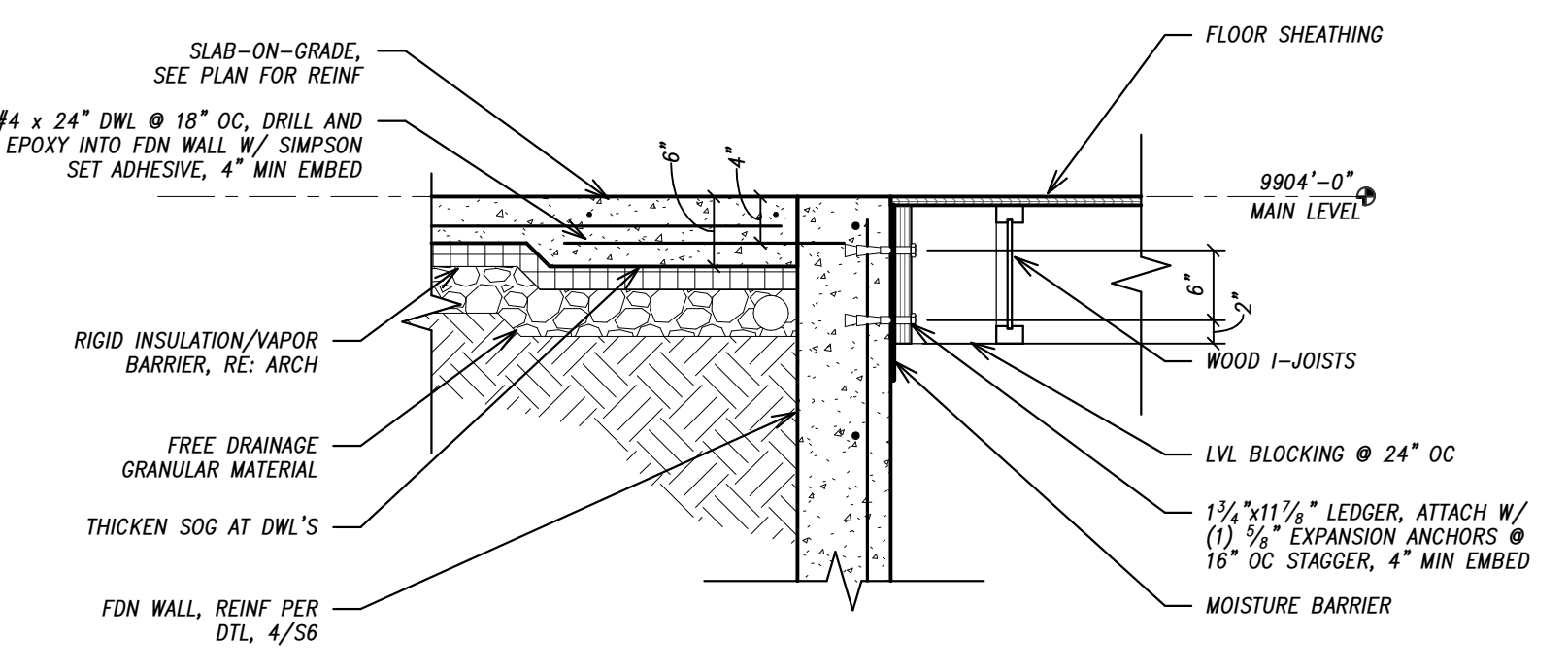
18 FOUNDATION DETAIL
3/4" = 1'-0"



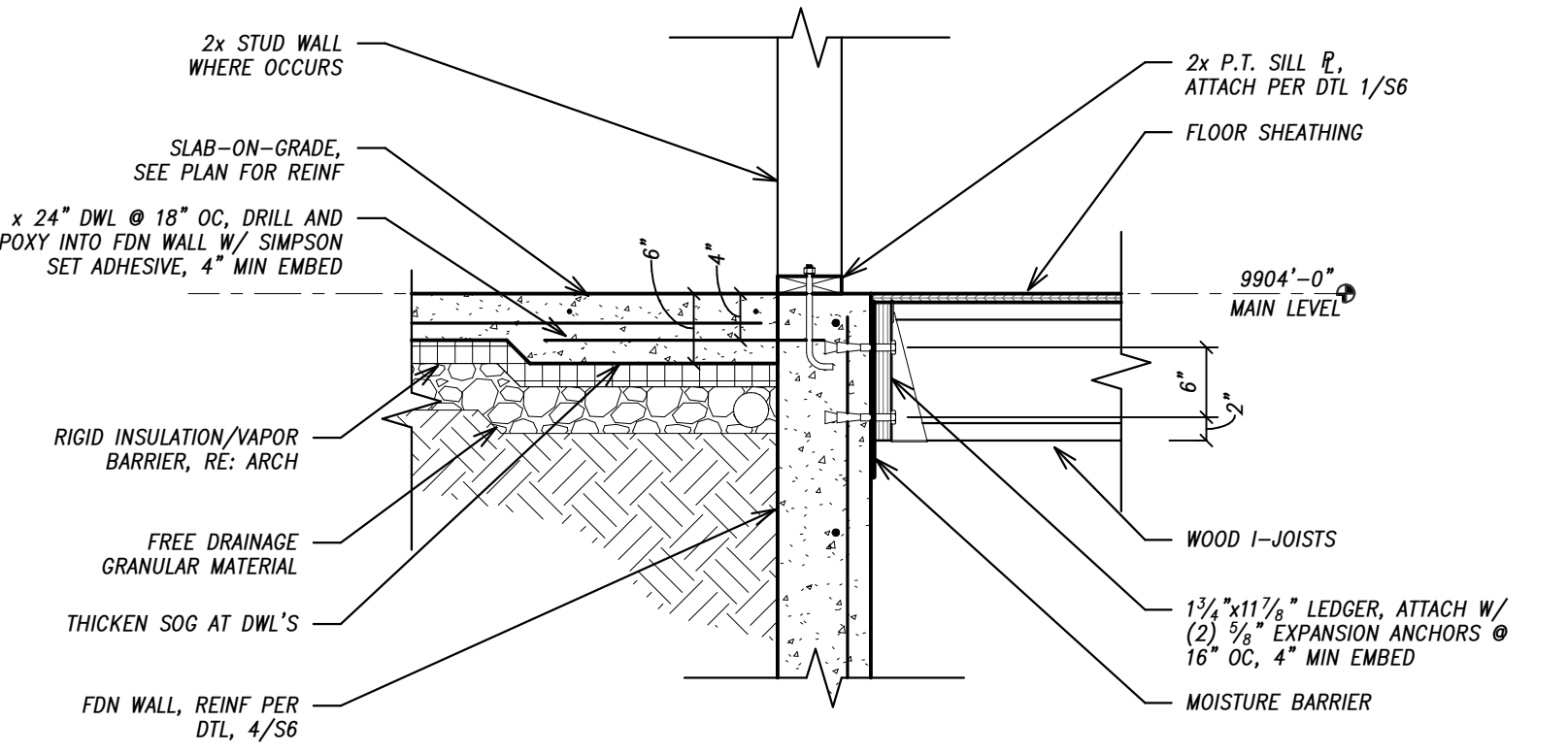
17 FOUNDATION DETAIL
3/4" = 1'-0"



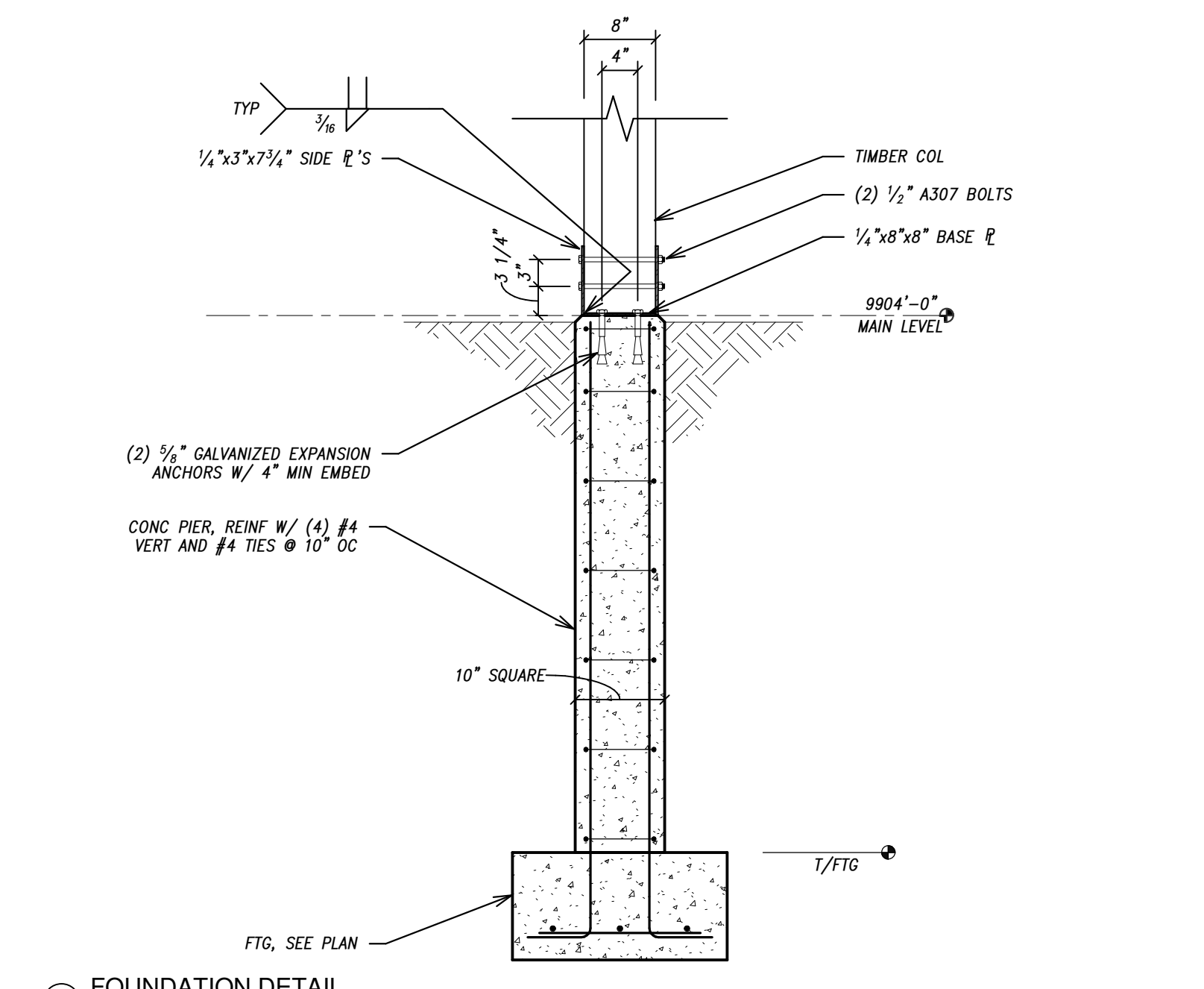
16 FOUNDATION DETAIL
3/4" = 1'-0"



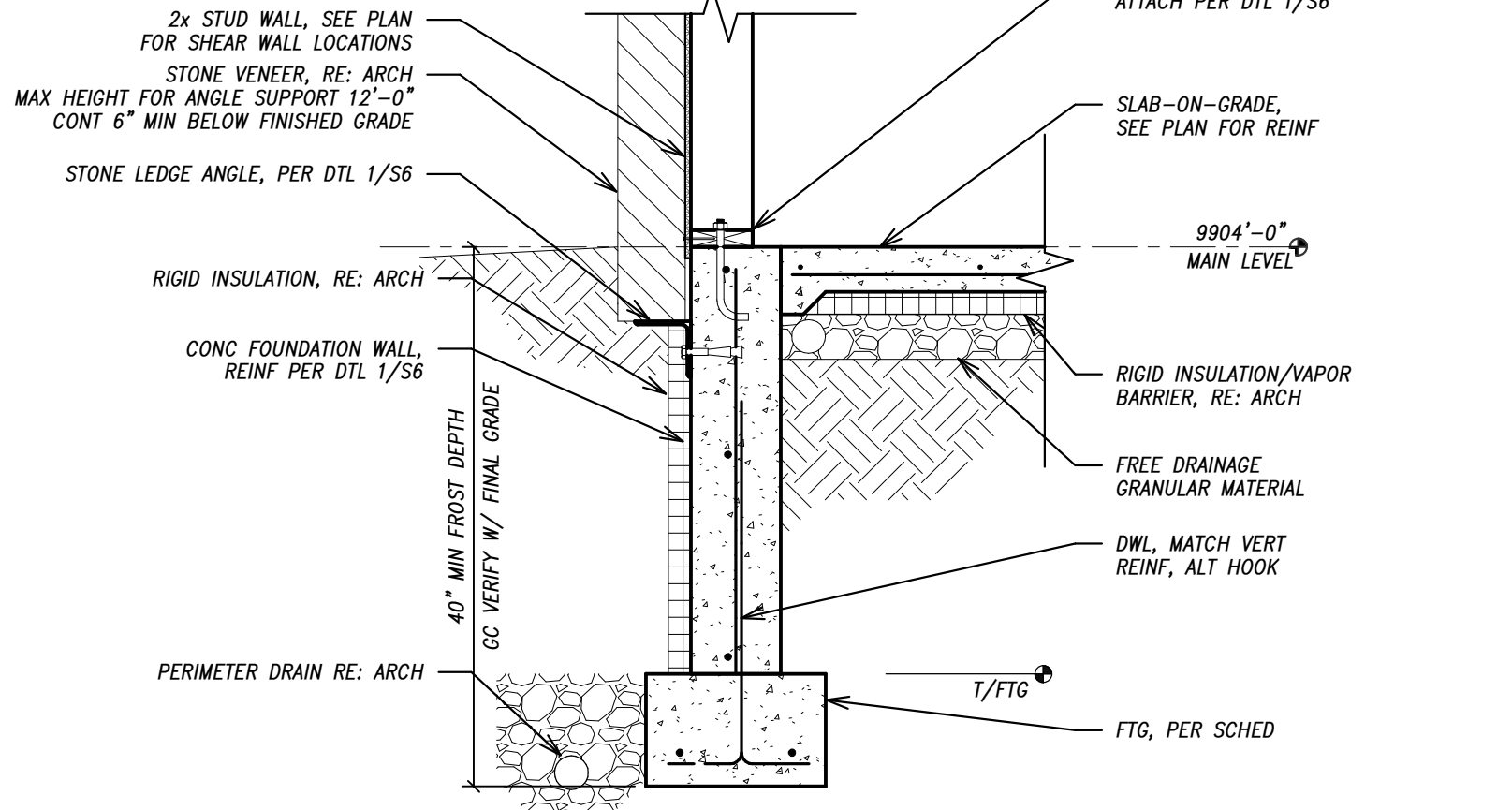
15 FOUNDATION DETAIL
3/4" = 1'-0"



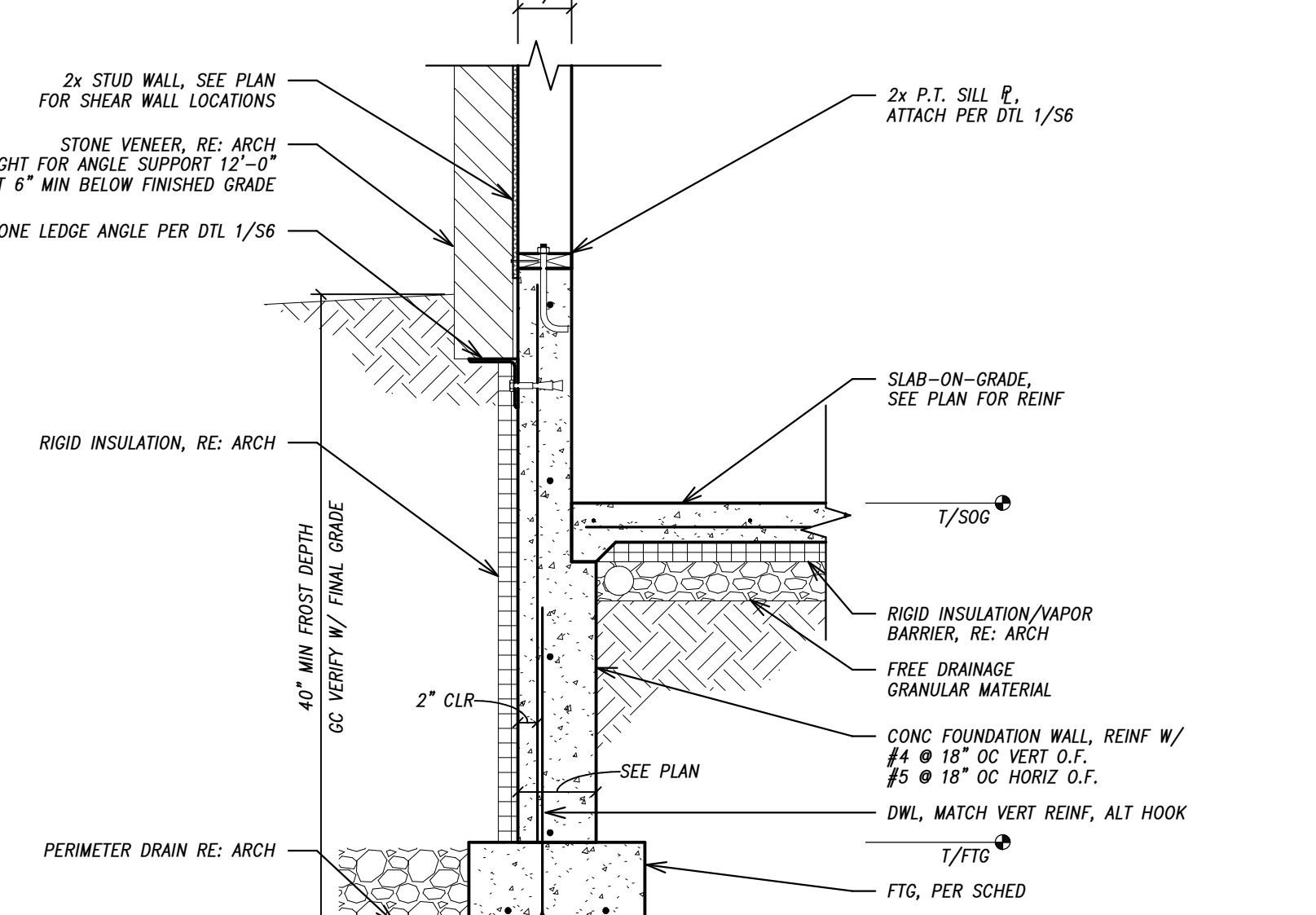
14 FOUNDATION DETAIL
3/4" = 1'-0"



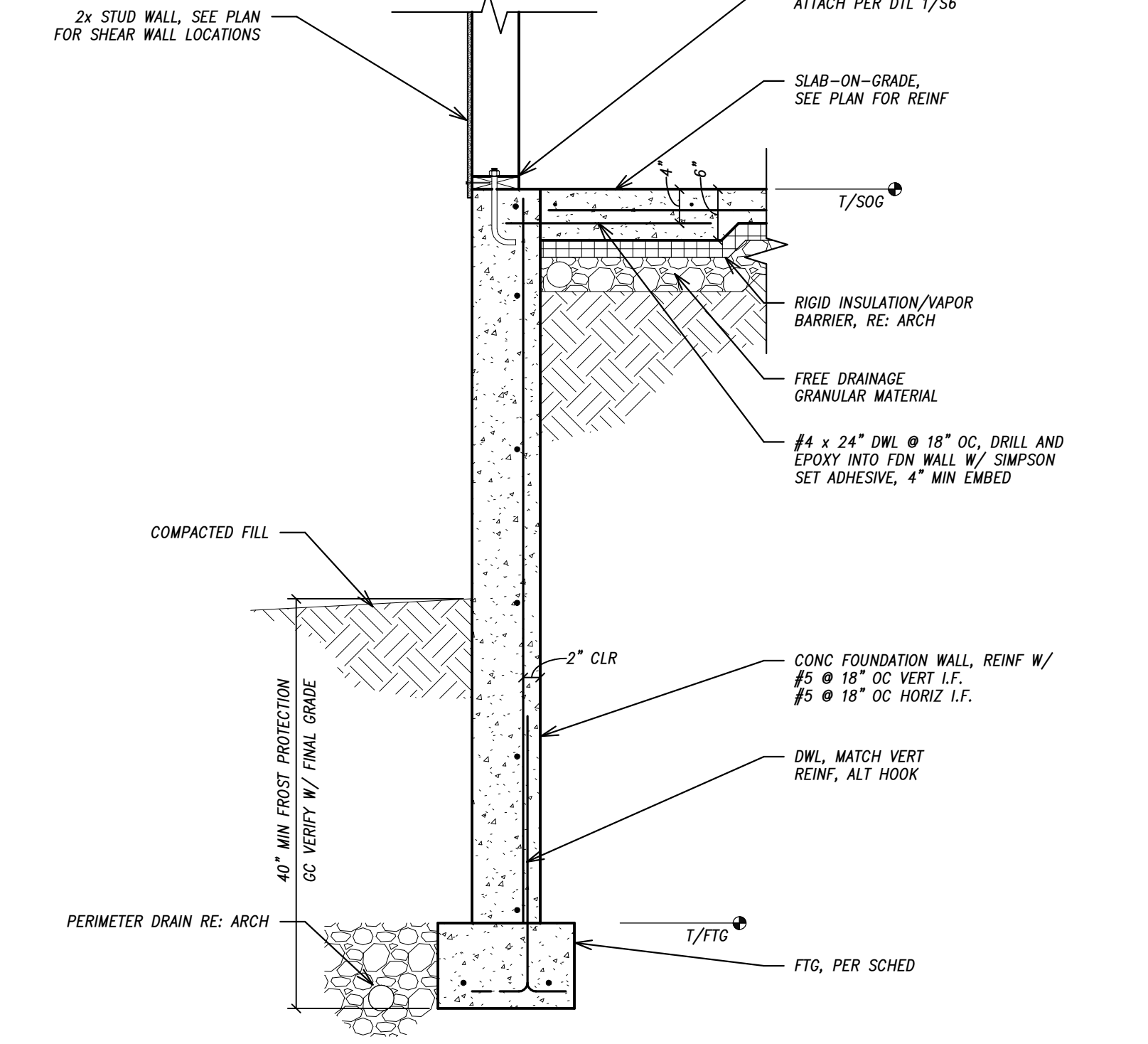
13 FOUNDATION DETAIL
3/4" = 1'-0"



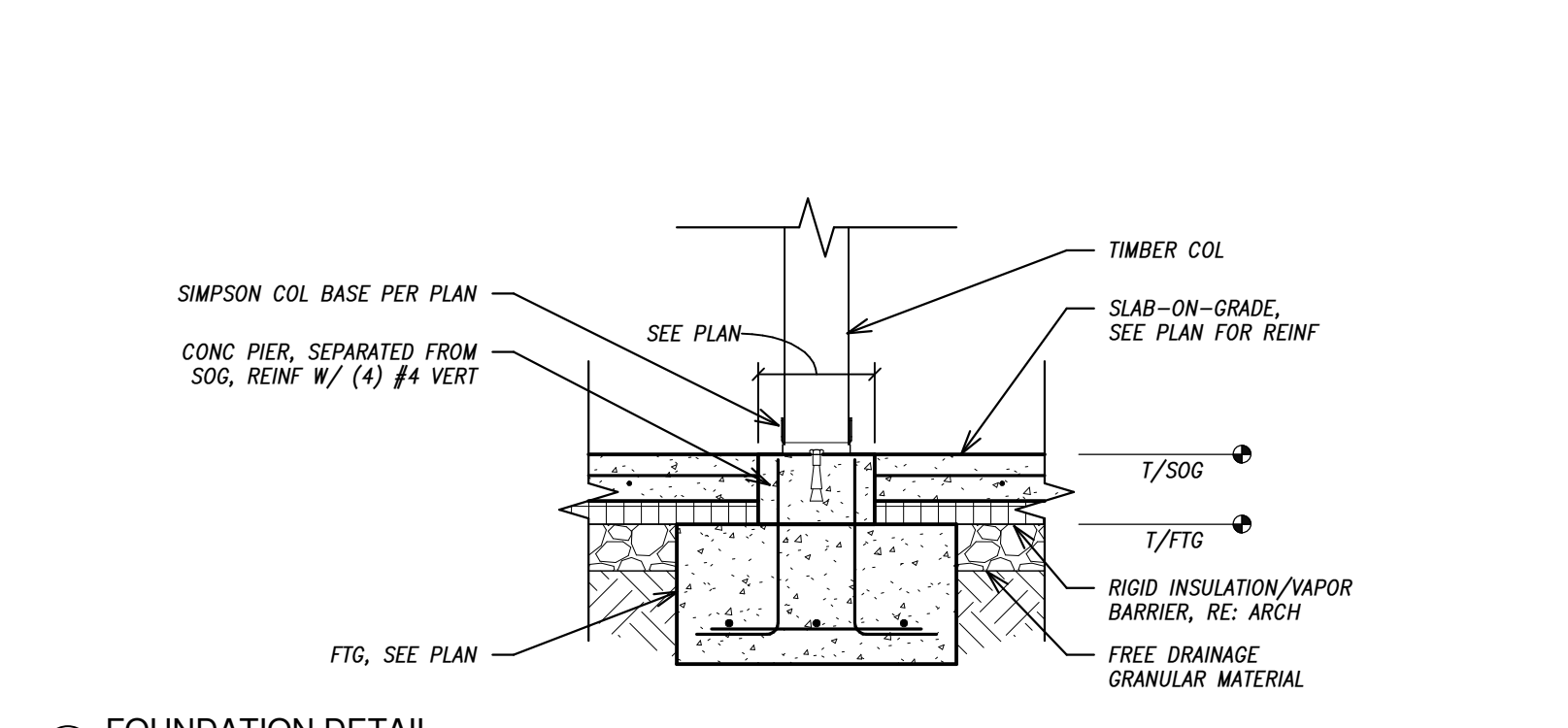
12 FOUNDATION DETAIL
3/4" = 1'-0"



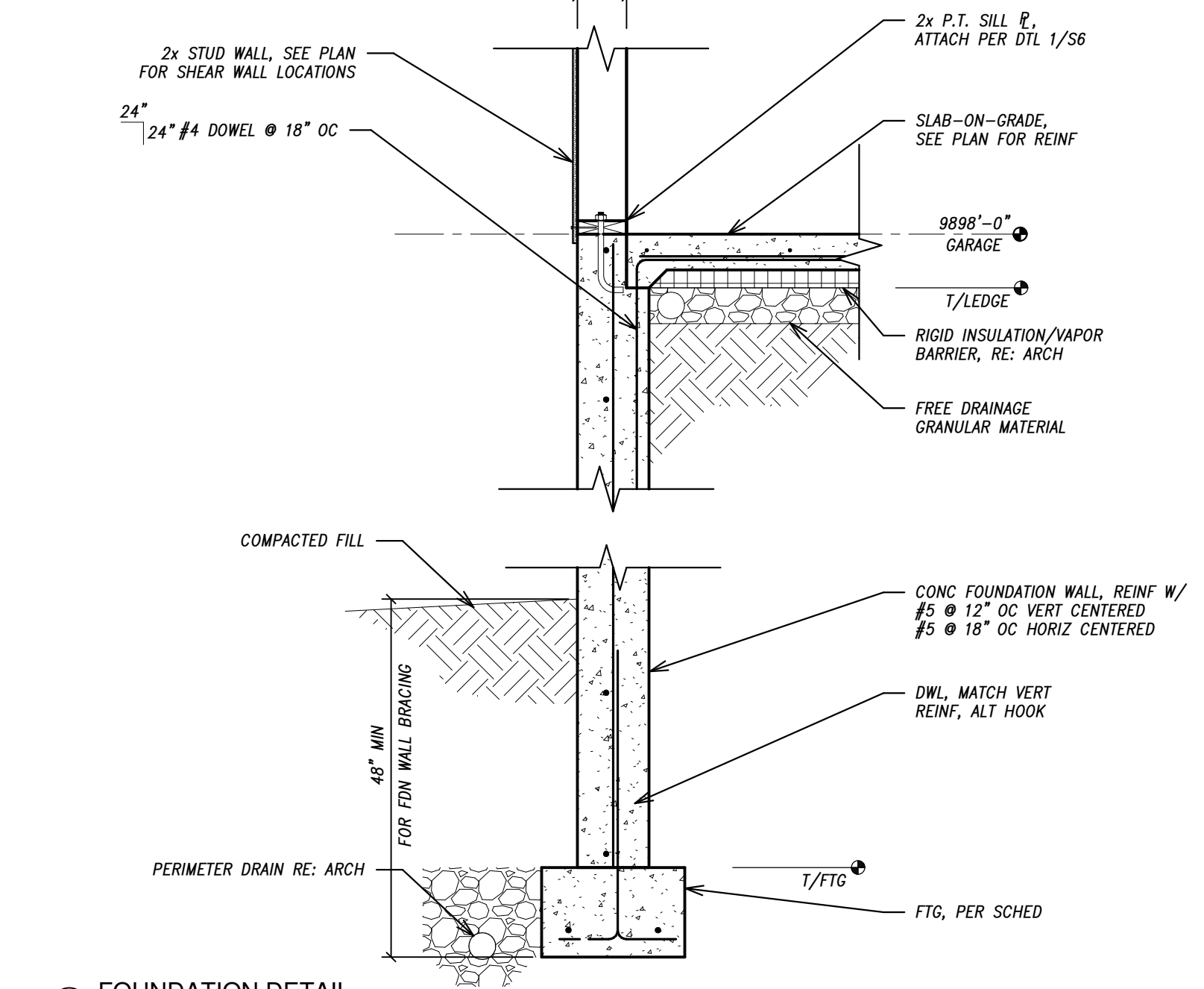
11 FOUNDATION DETAIL
3/4" = 1'-0"



10 FOUNDATION DETAIL
3/4" = 1'-0"



9 FOUNDATION DETAIL
3/4" = 1'-0"

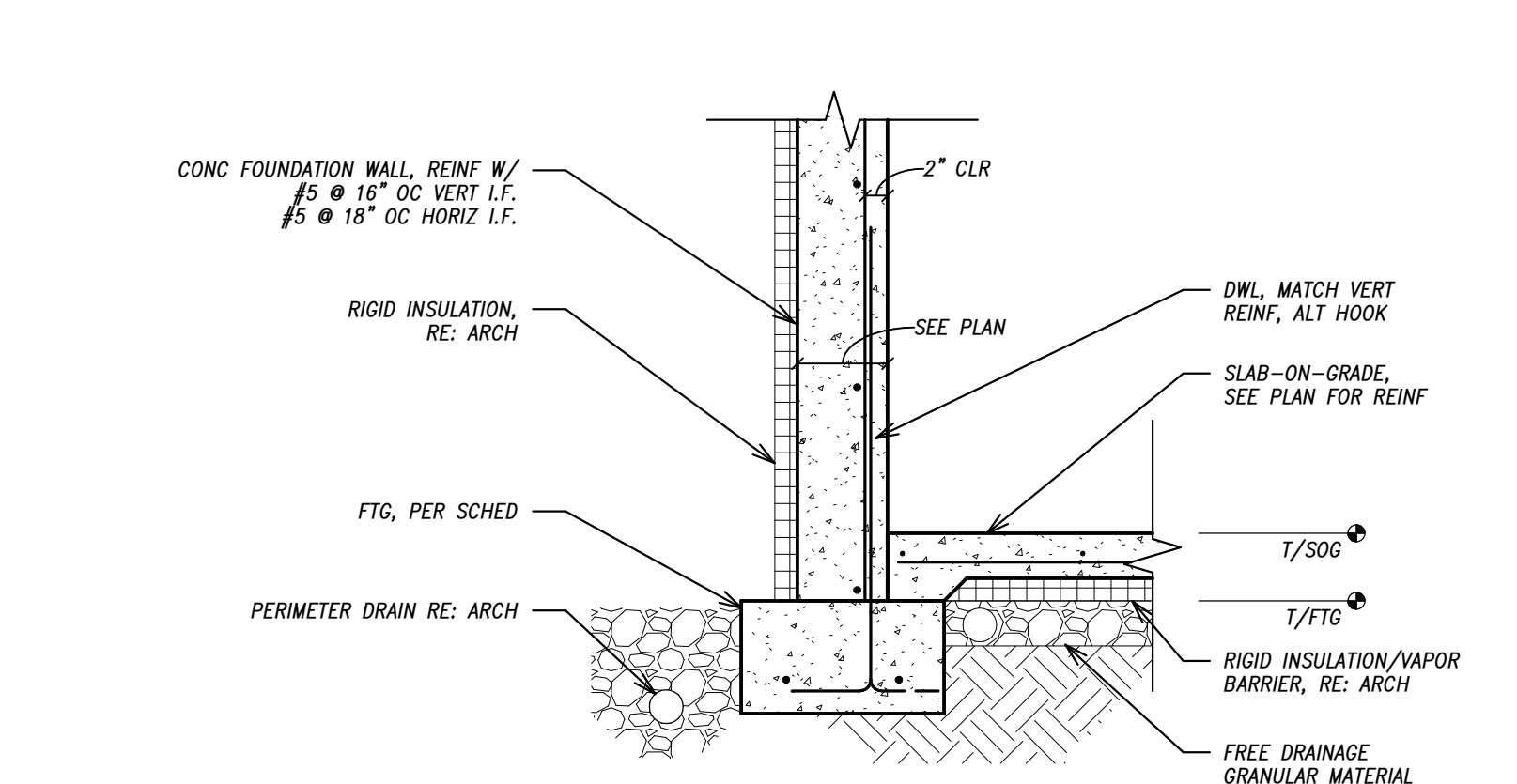


8 FOUNDATION DETAIL
3/4" = 1'-0"

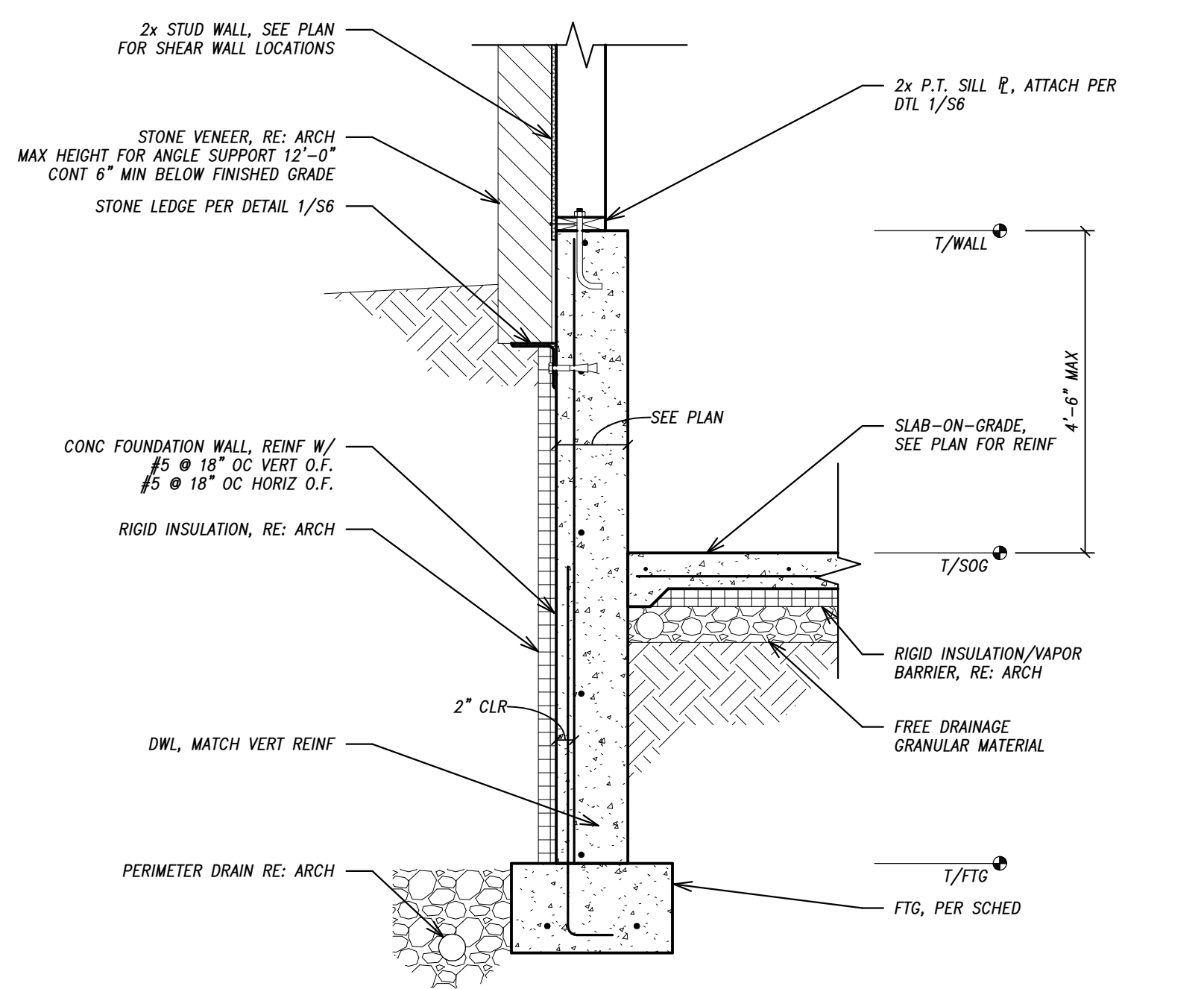
7 NOT USED
3/4" = 1'-0"

6 NOT USED
3/4" = 1'-0"

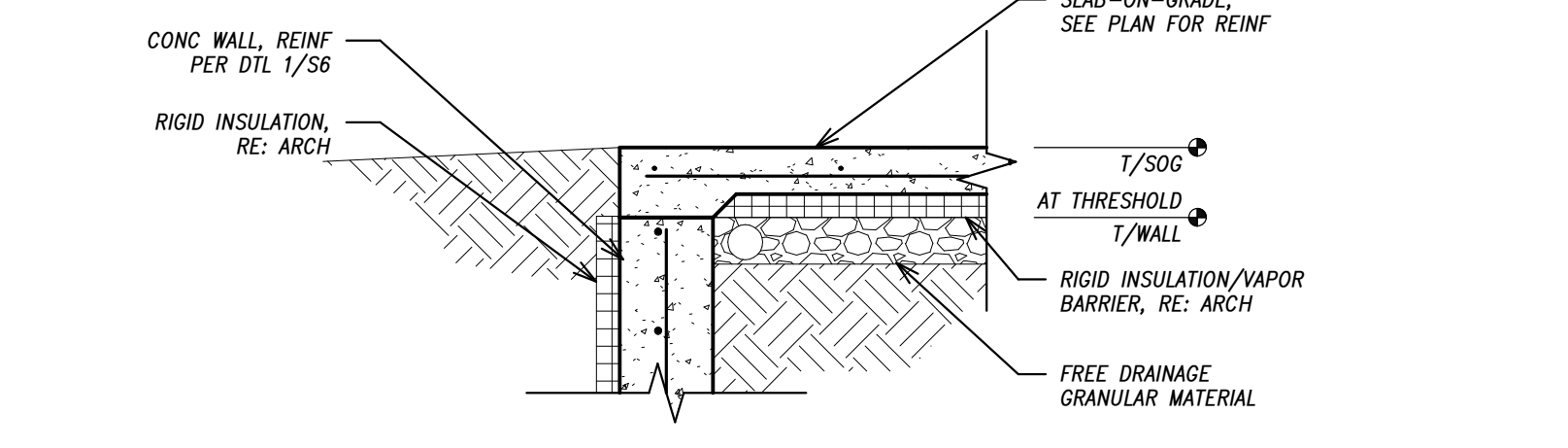
5 NOT USED
3/4" = 1'-0"



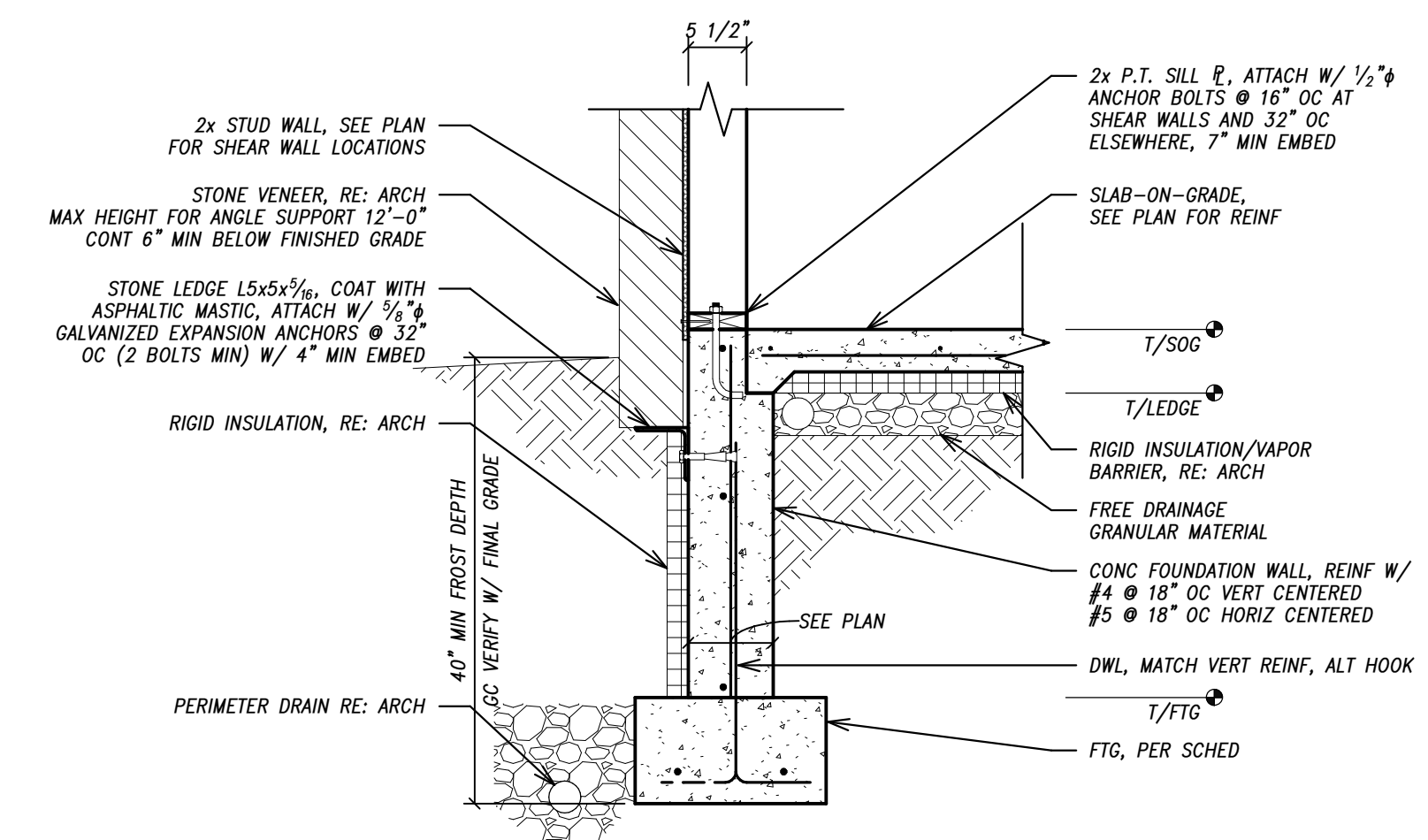
4 FOUNDATION DETAIL
3/4" = 1'-0"



3 FOUNDATION DETAIL
3/4" = 1'-0"



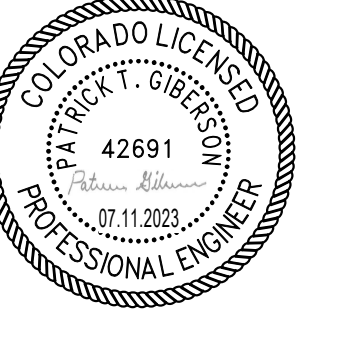
2 FOUNDATION DETAIL
3/4" = 1'-0"



1 FOUNDATION DETAIL
3/4" = 1'-0"

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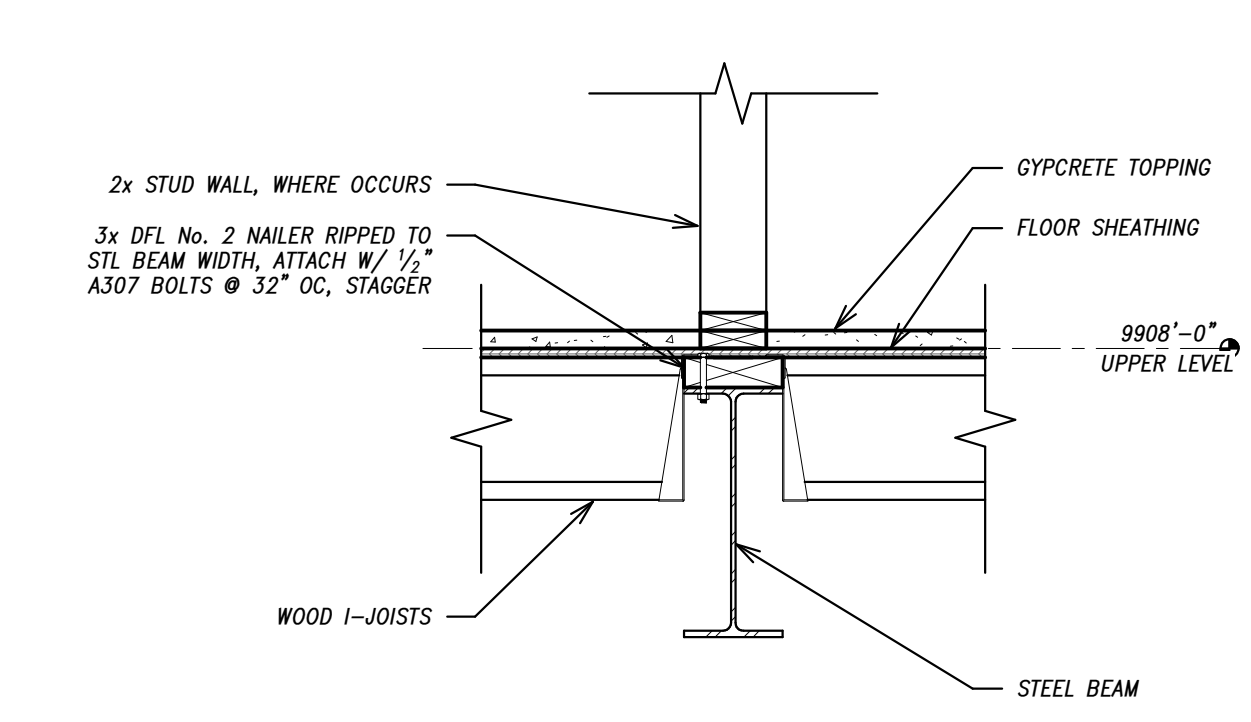
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LOT 2 - RIVERSHORE SUBDIVISION
TOWN OF BLUE RIVER - SUMMIT COUNTY COLORADO
DETAILS

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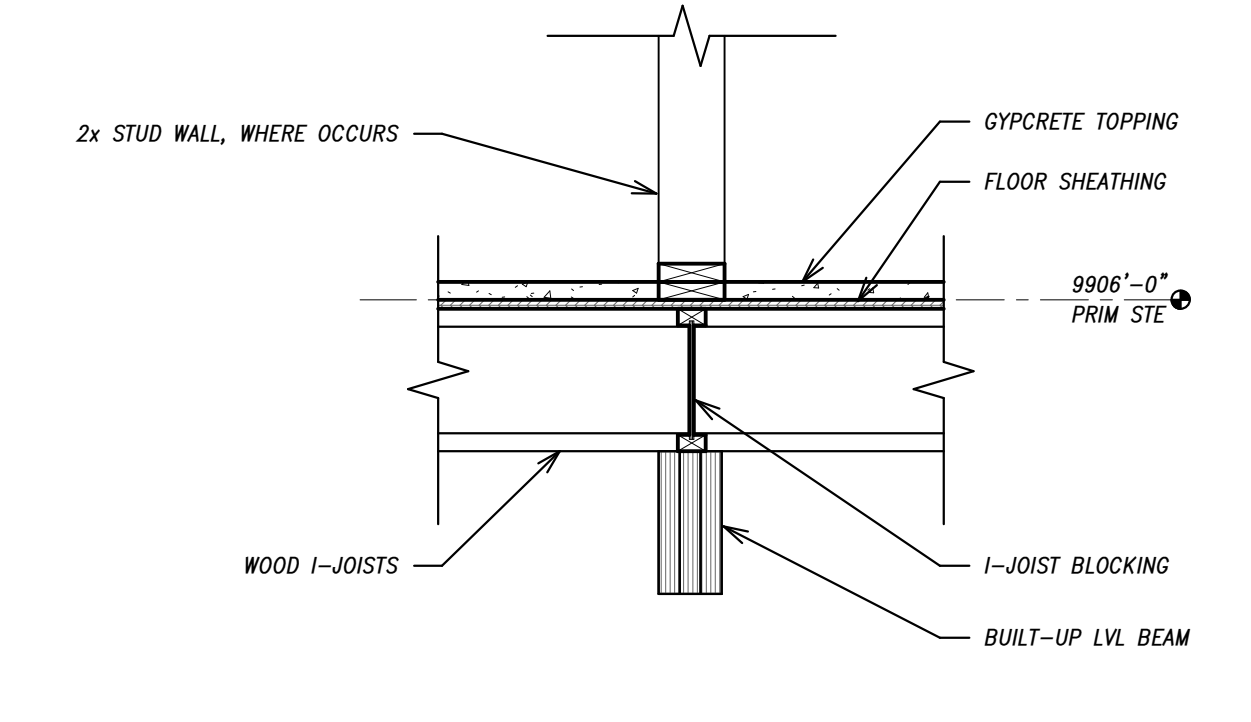
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S7

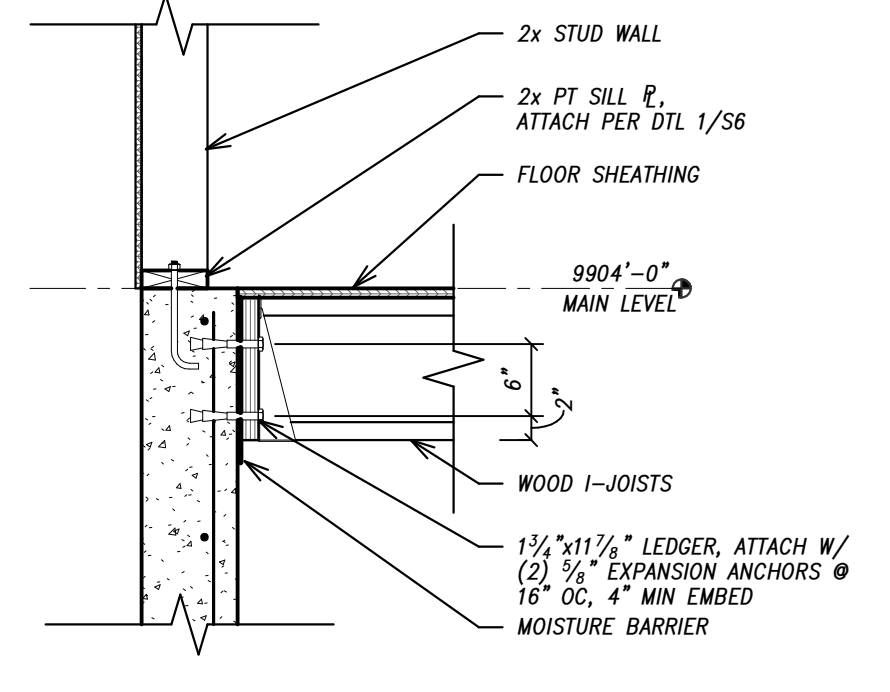
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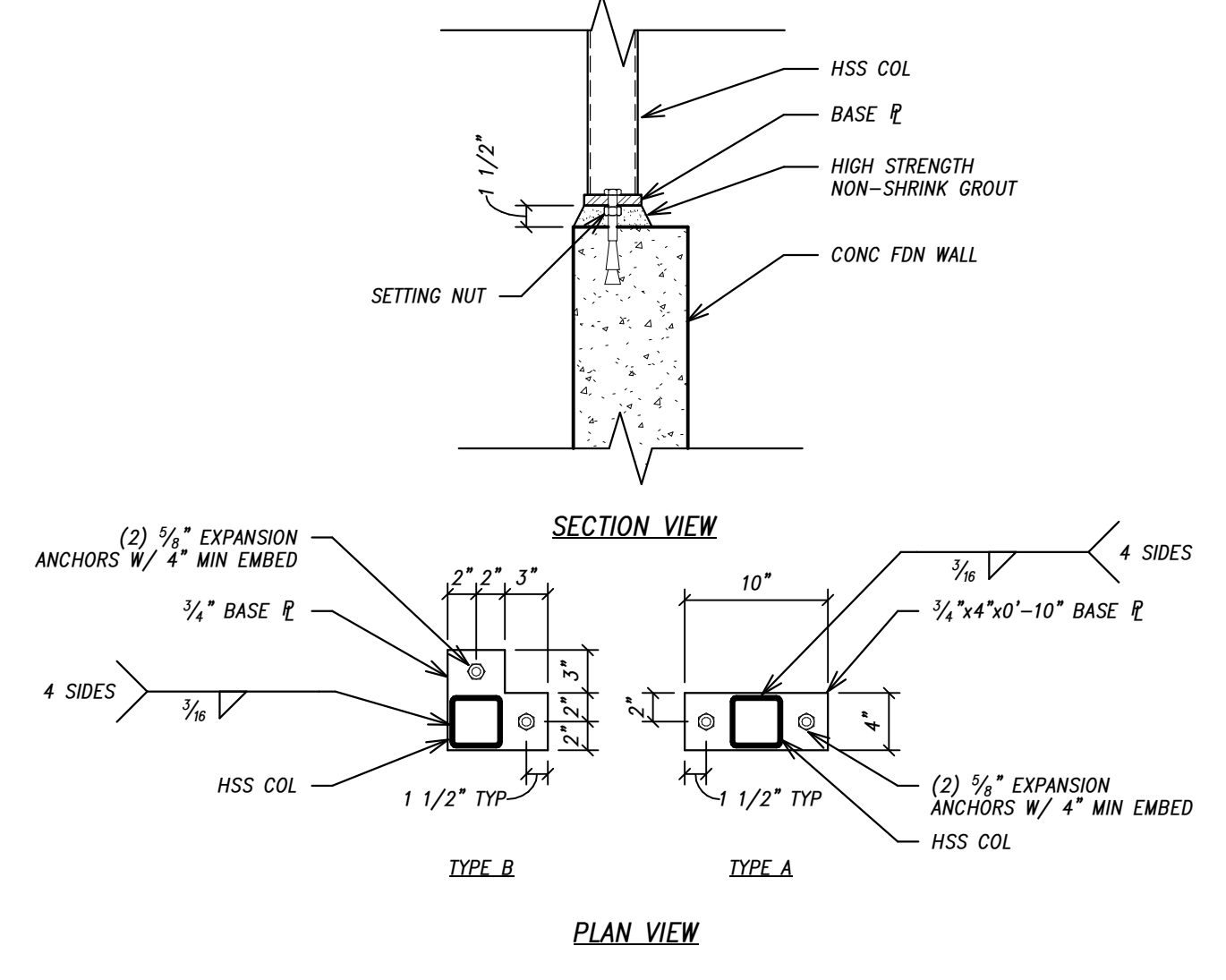
15 FRAMING DETAIL
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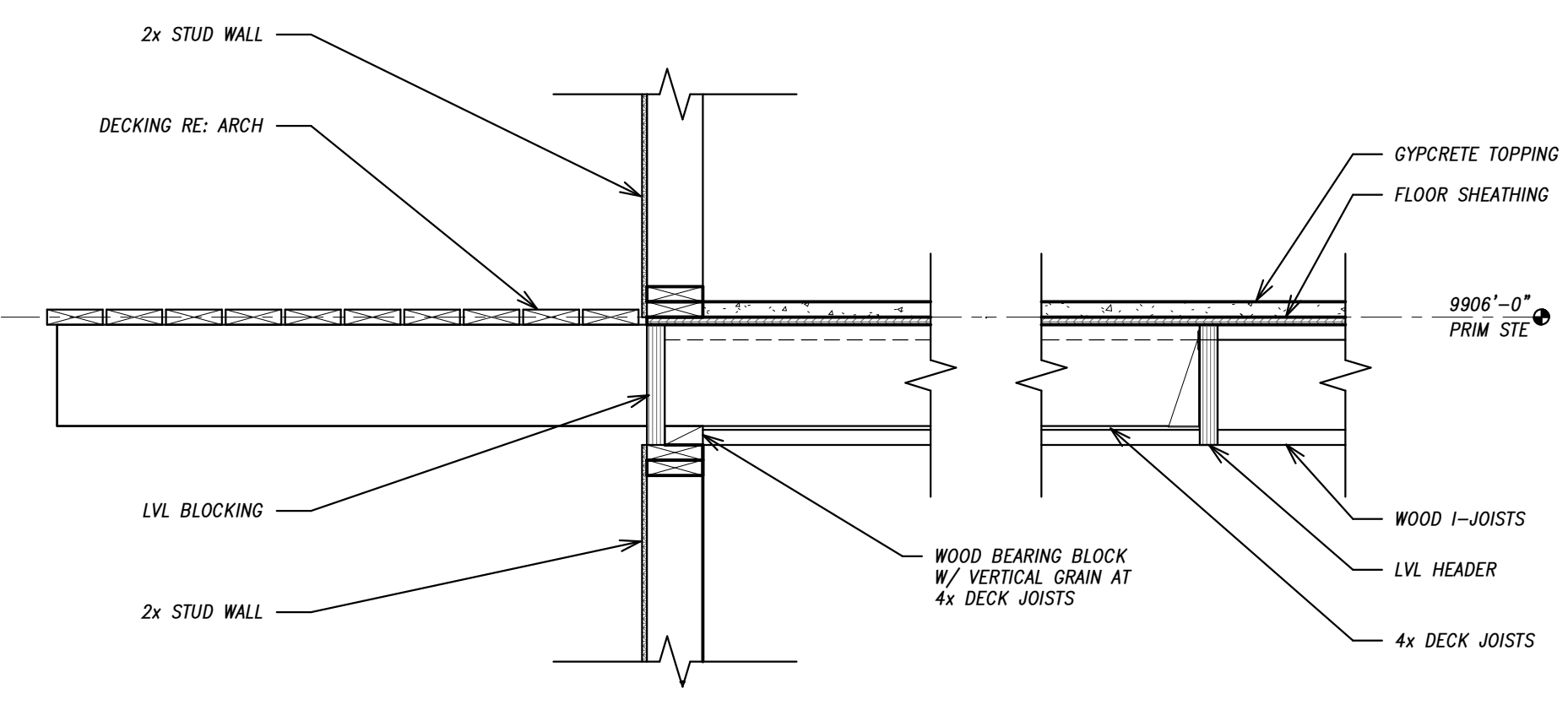
14 FRAMING DETAIL
3/4" = 1'-0"



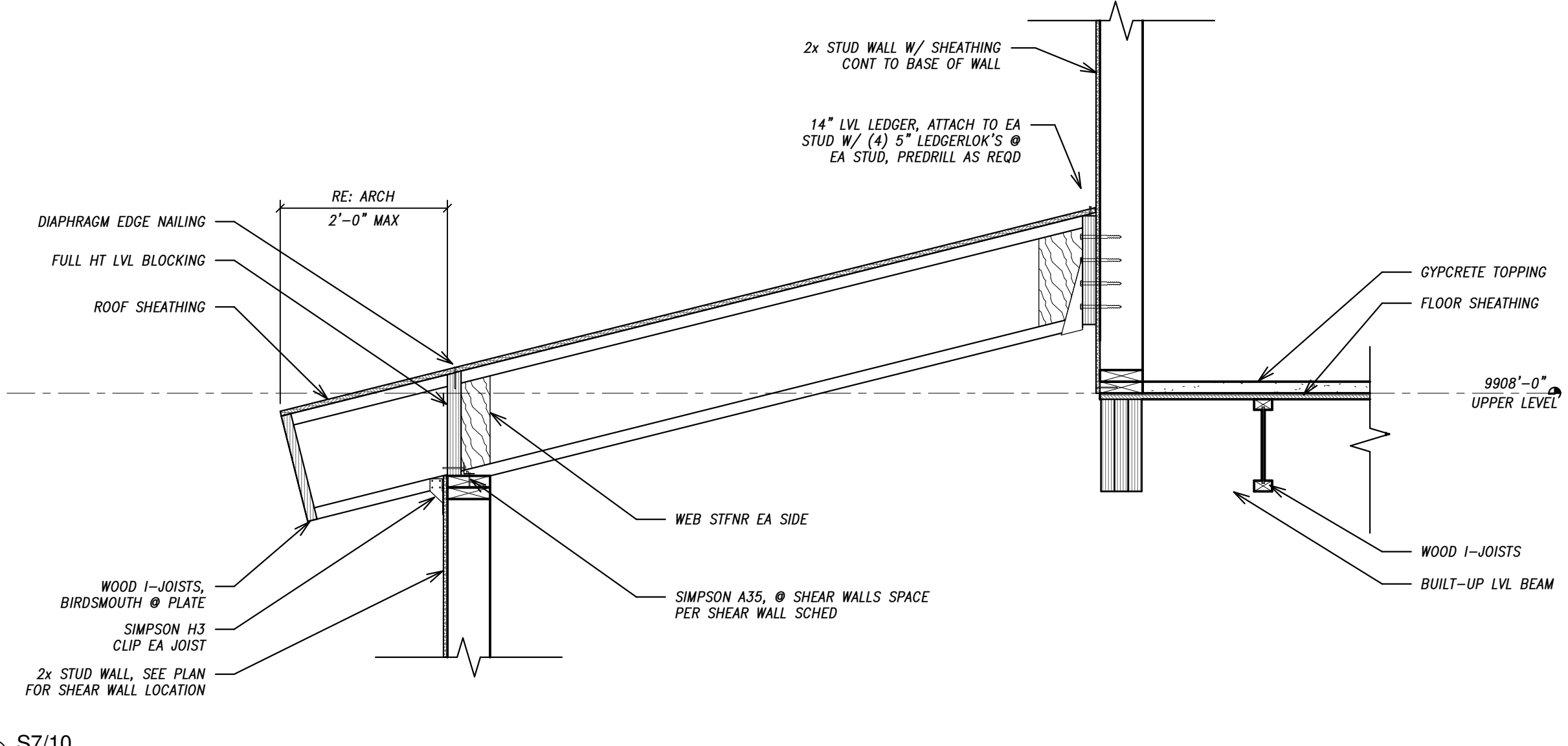
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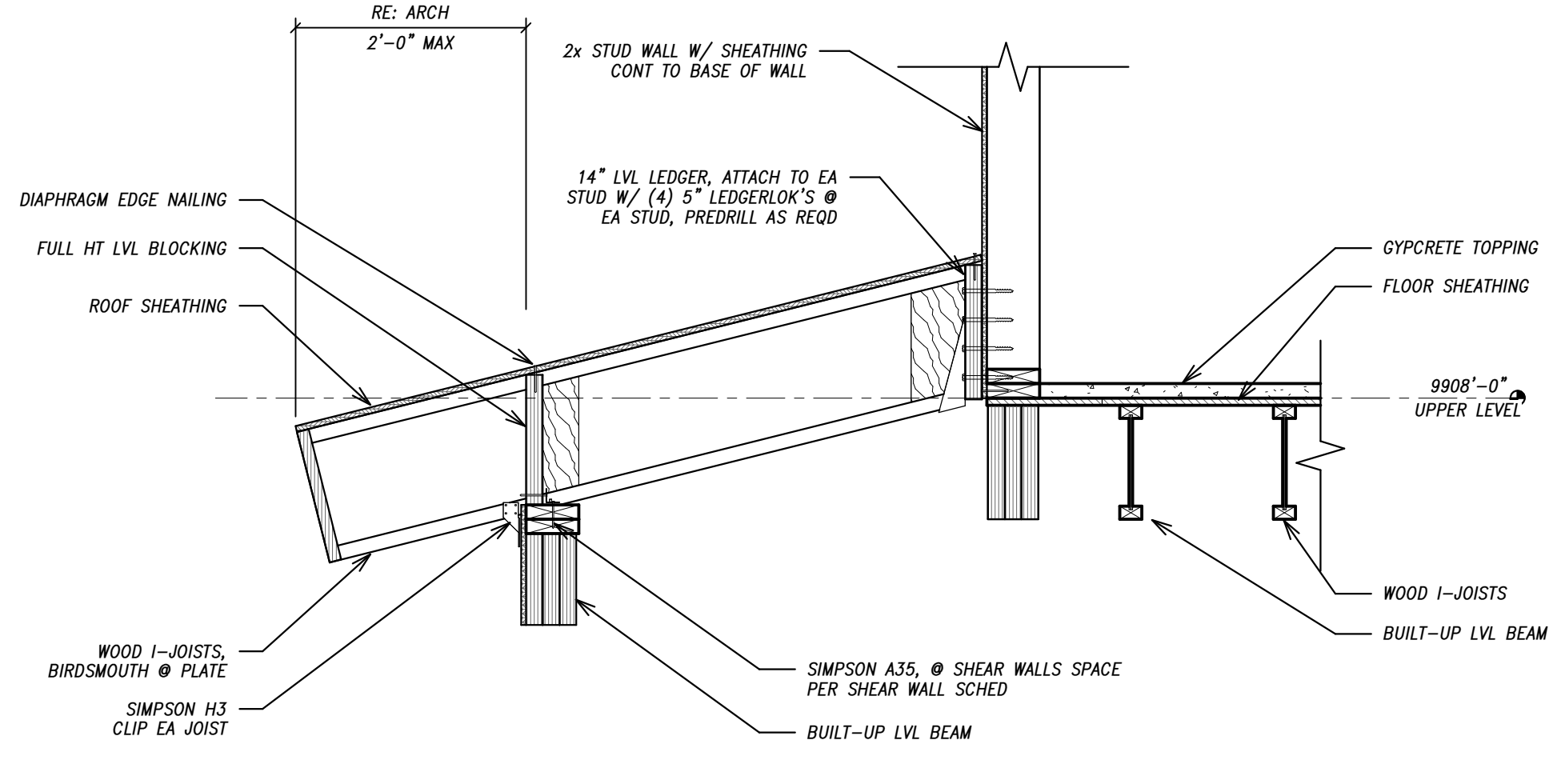
12 FRAMING DETAIL
1" = 1'-0"



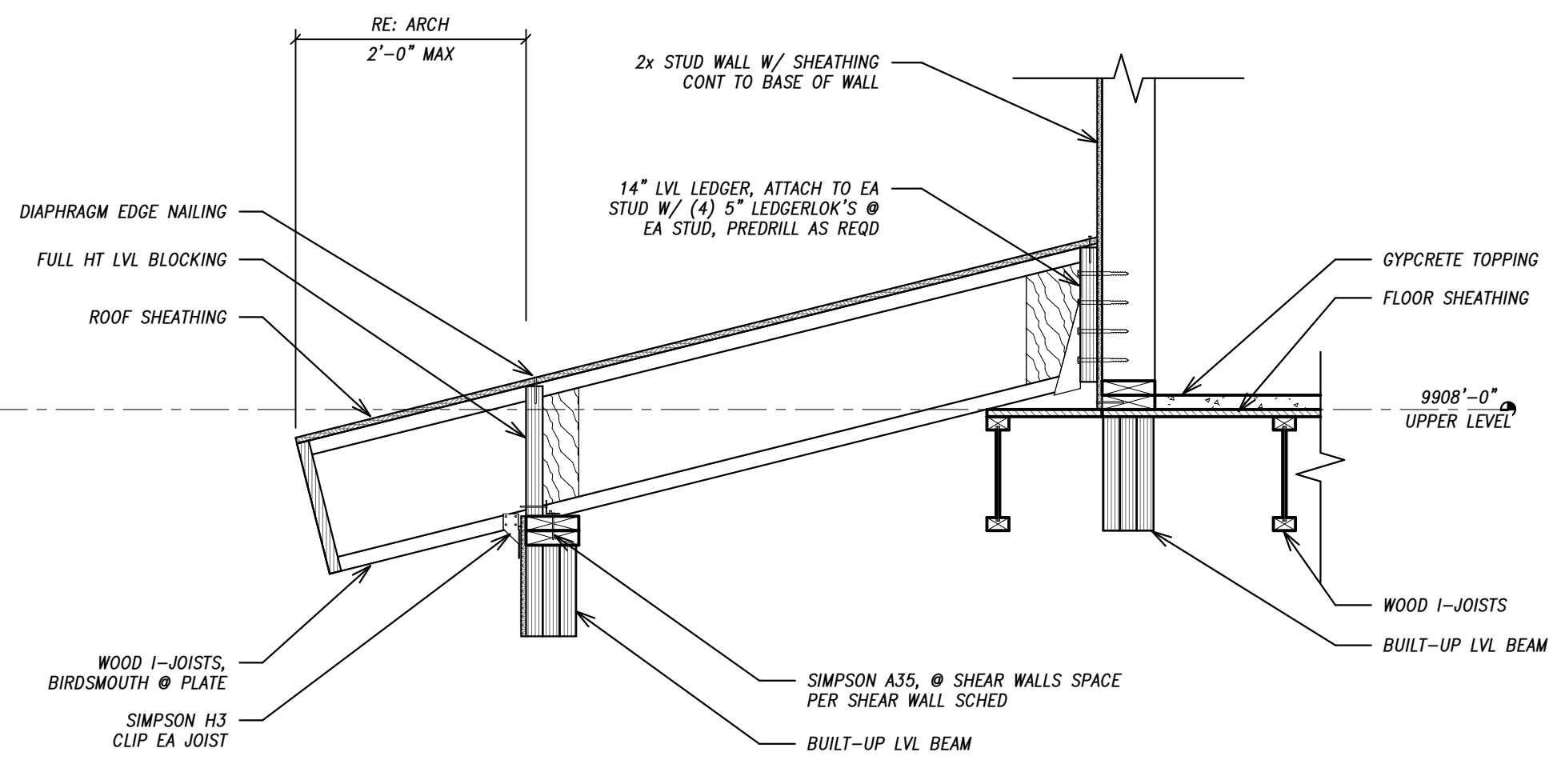
11 FRAMING DETAIL
3/4" = 1'-0"



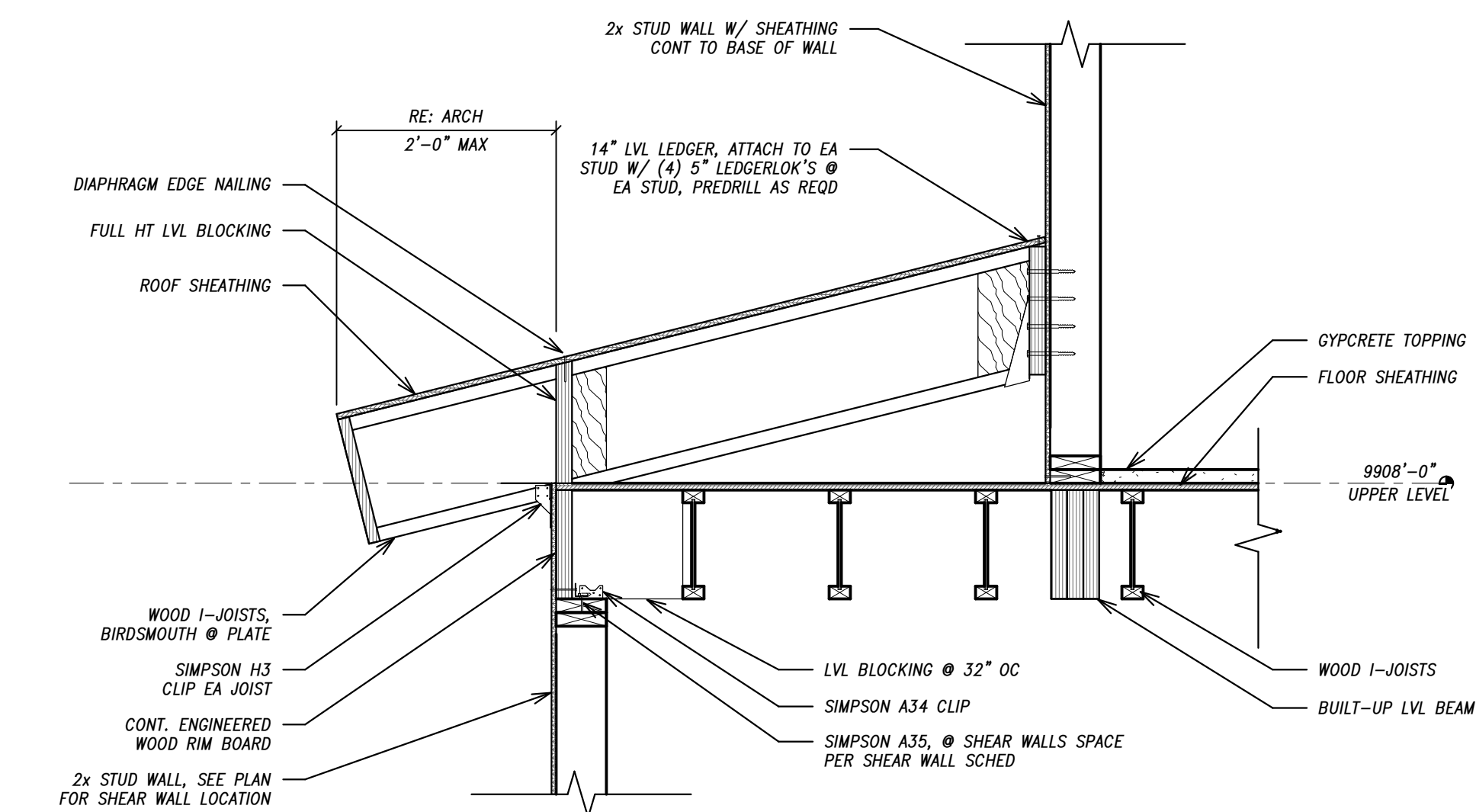
10 S7/10
3/4" = 1'-0"



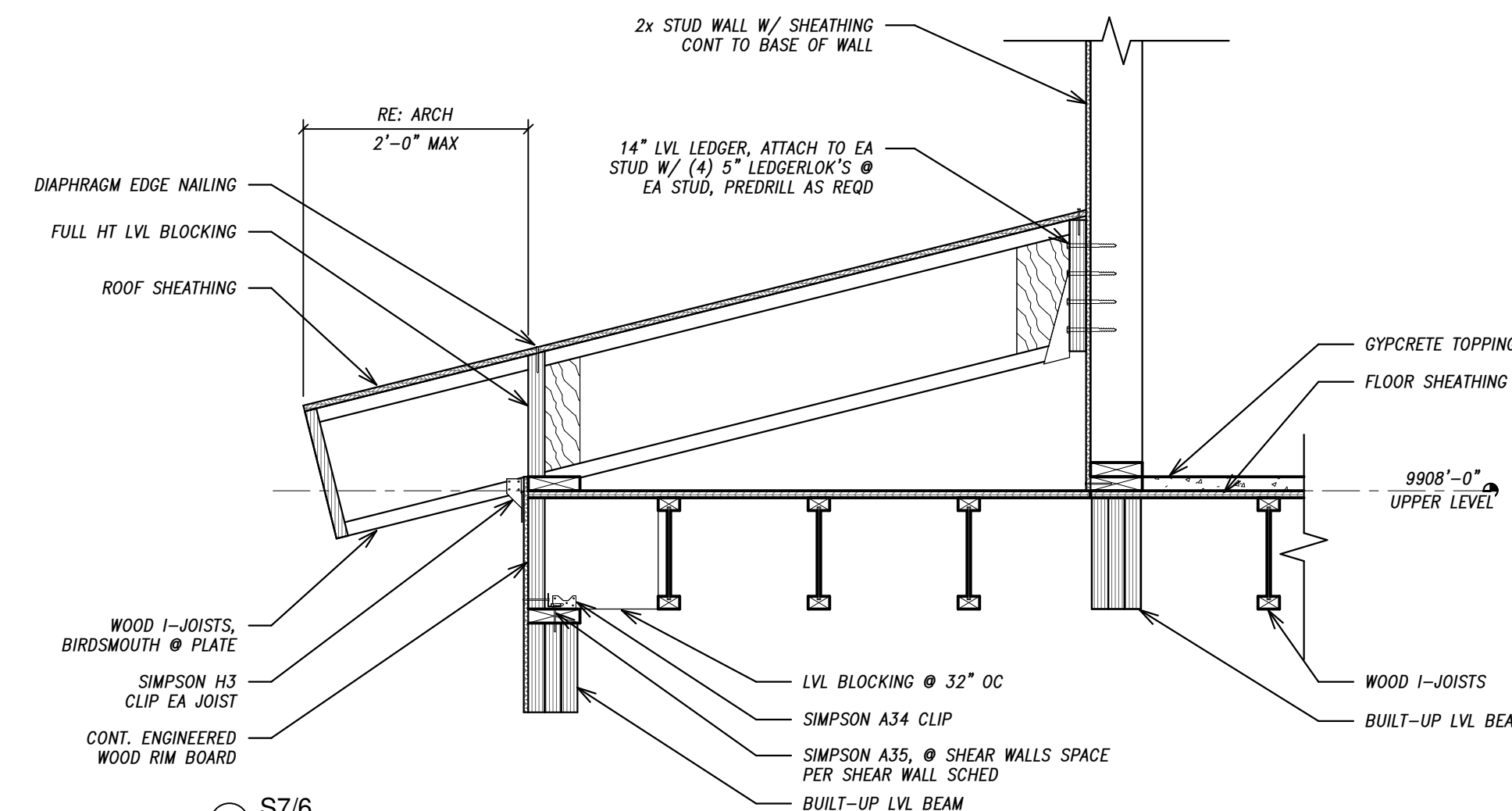
9 S7/9
3/4" = 1'-0"



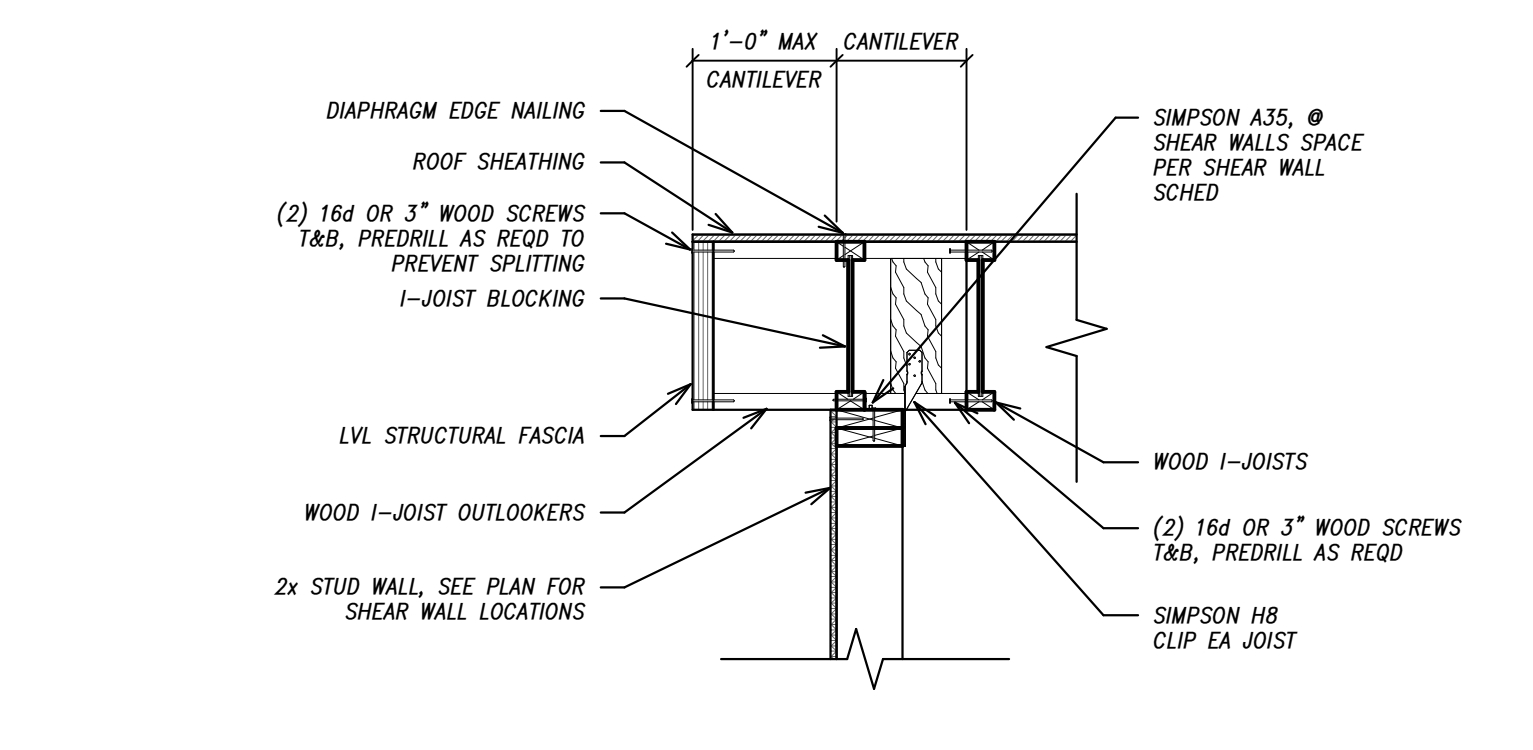
8 S7/8
3/4" = 1'-0"



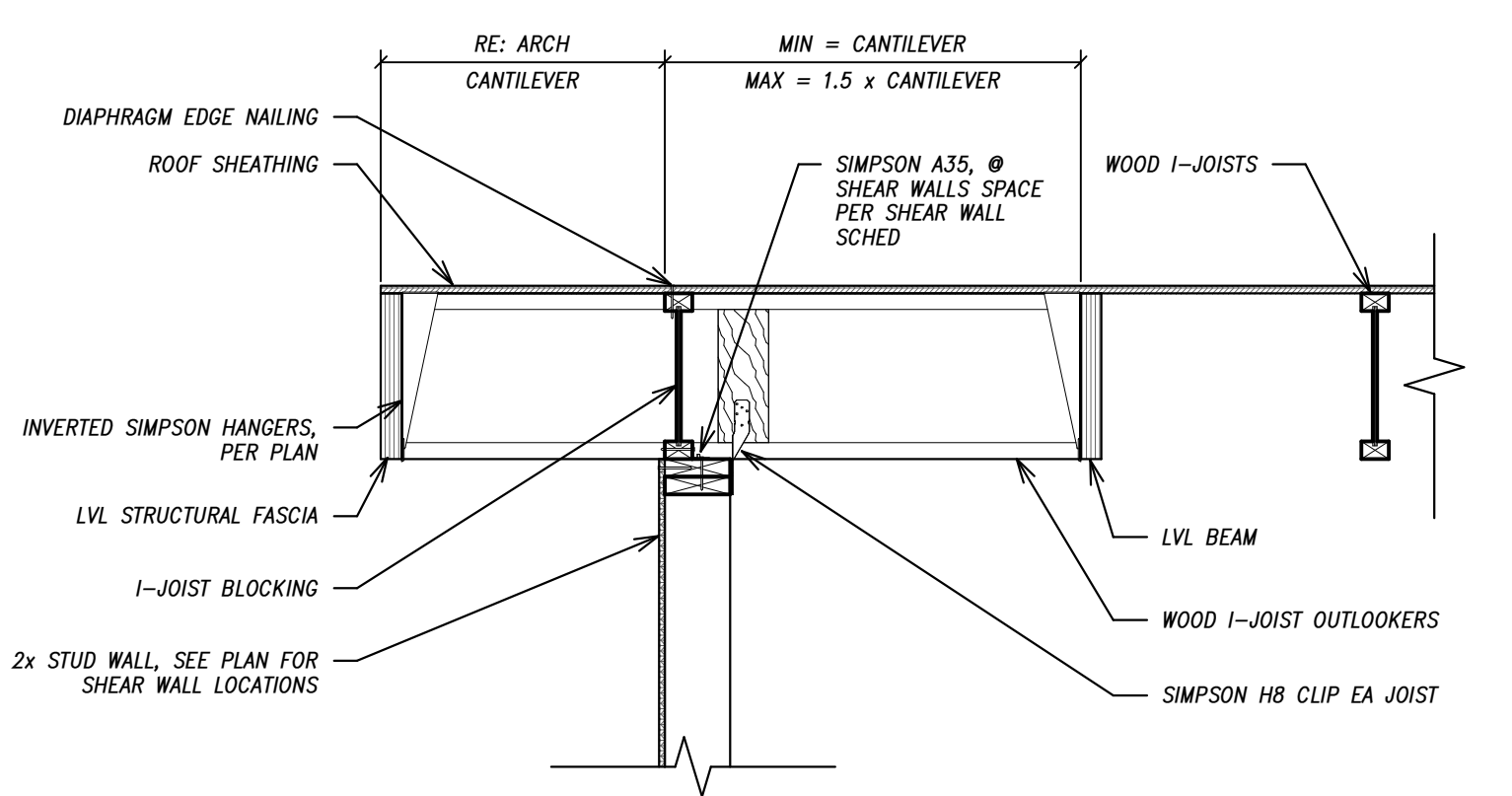
7 S7/7
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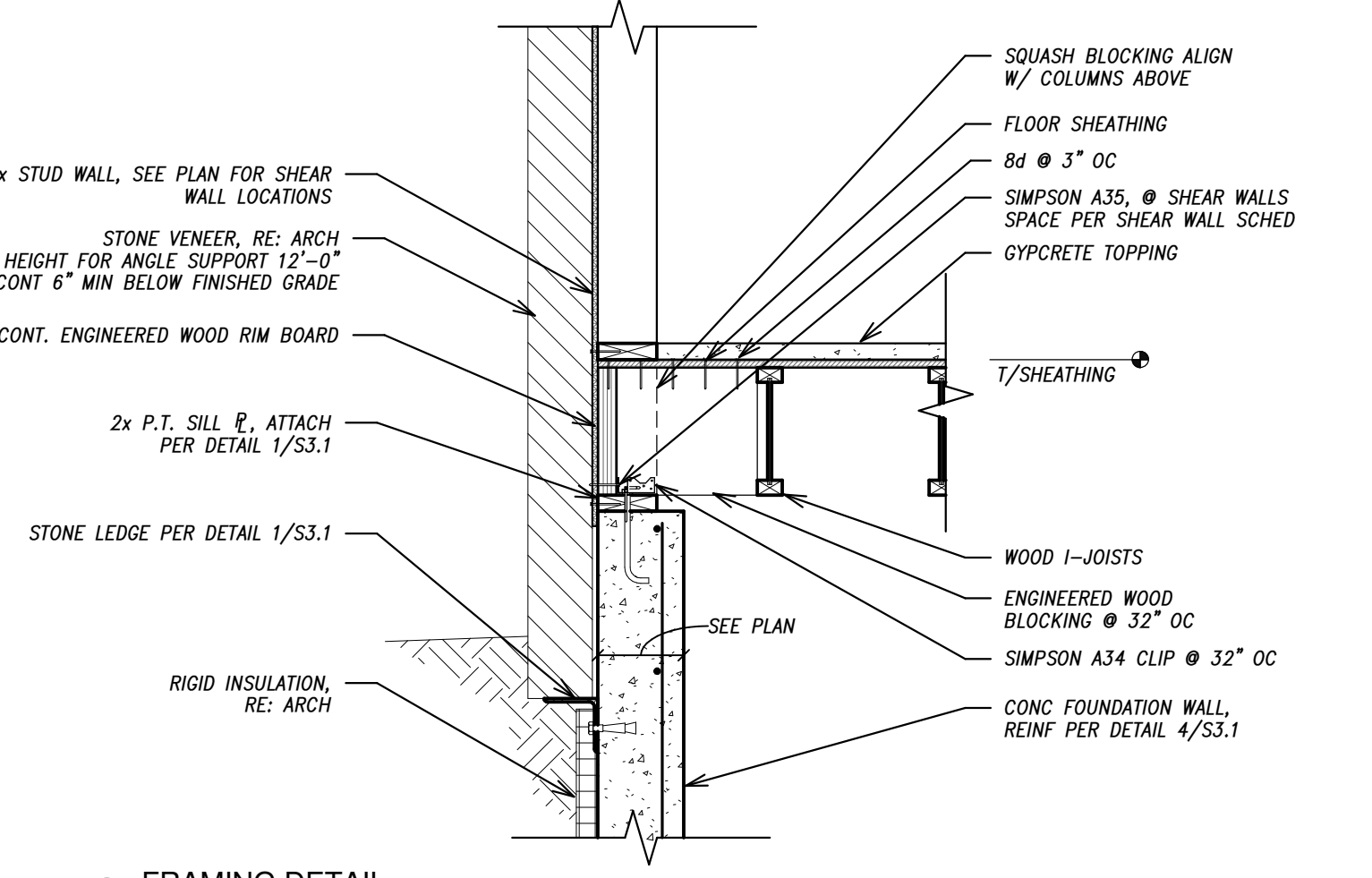
6 S7/6
3/4" = 1'-0"



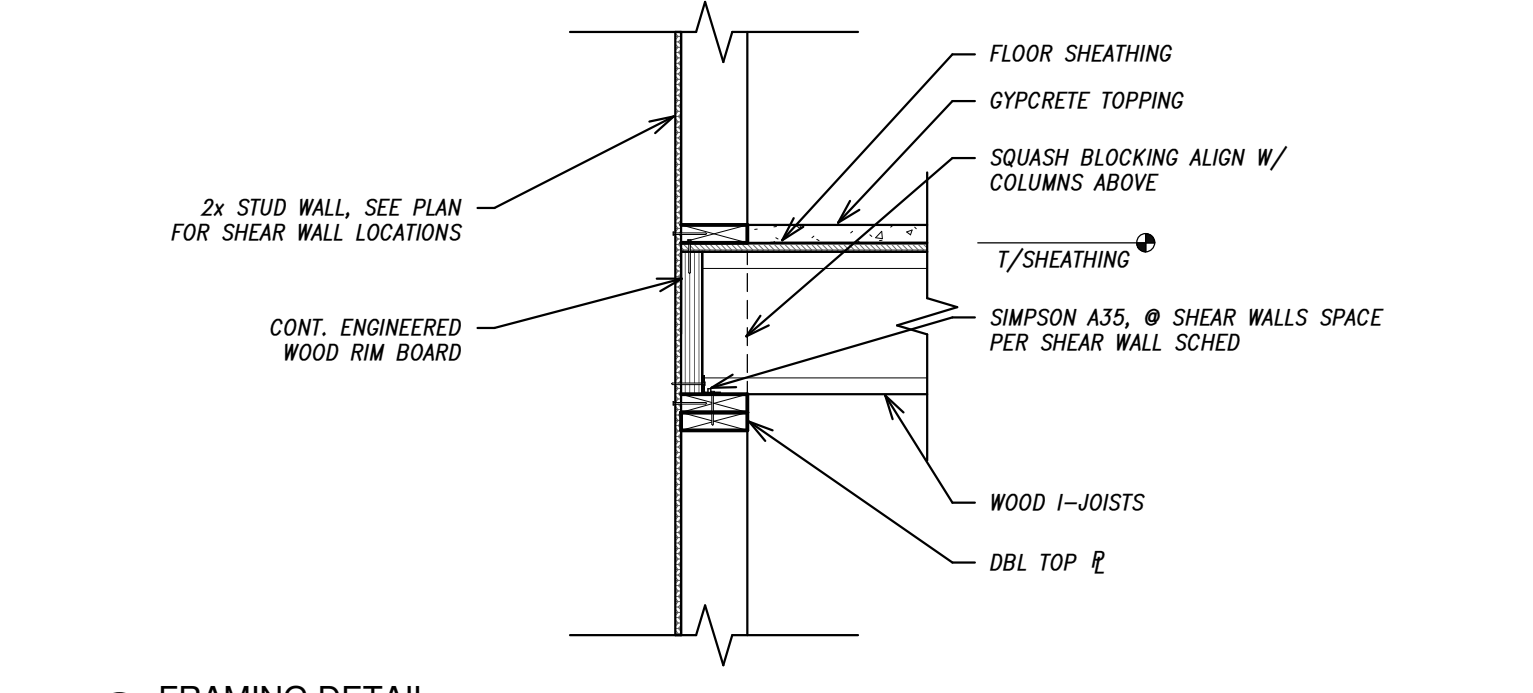
5 FRAMING DETAIL
3/4" = 1'-0"



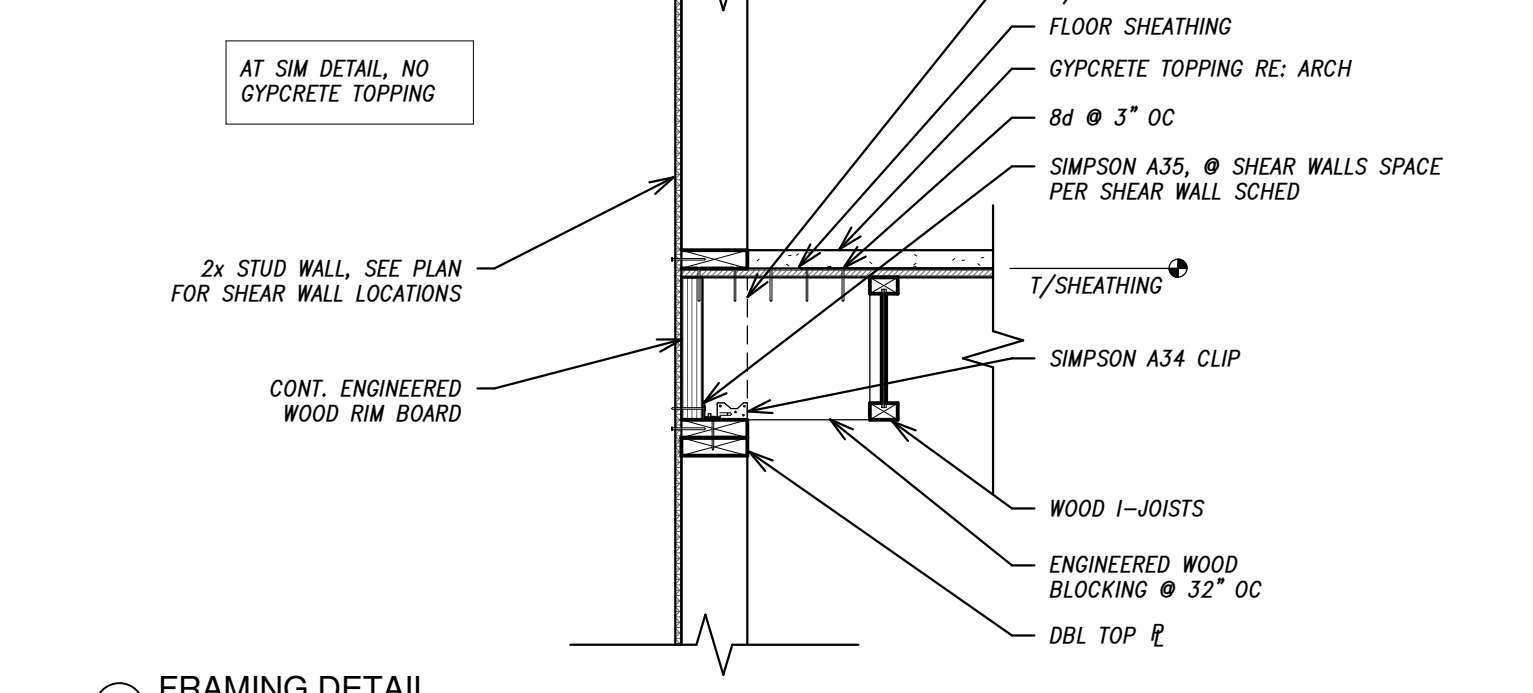
4 FRAMING DETAIL
3/4" = 1'-0"



3 FRAMING DETAIL
3/4" = 1'-0"



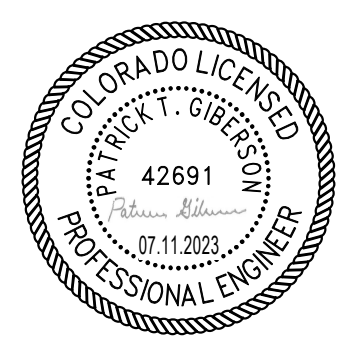
2 FRAMING DETAIL
3/4" = 1'-0"



1 FRAMING DETAIL
3/4" = 1'-0"

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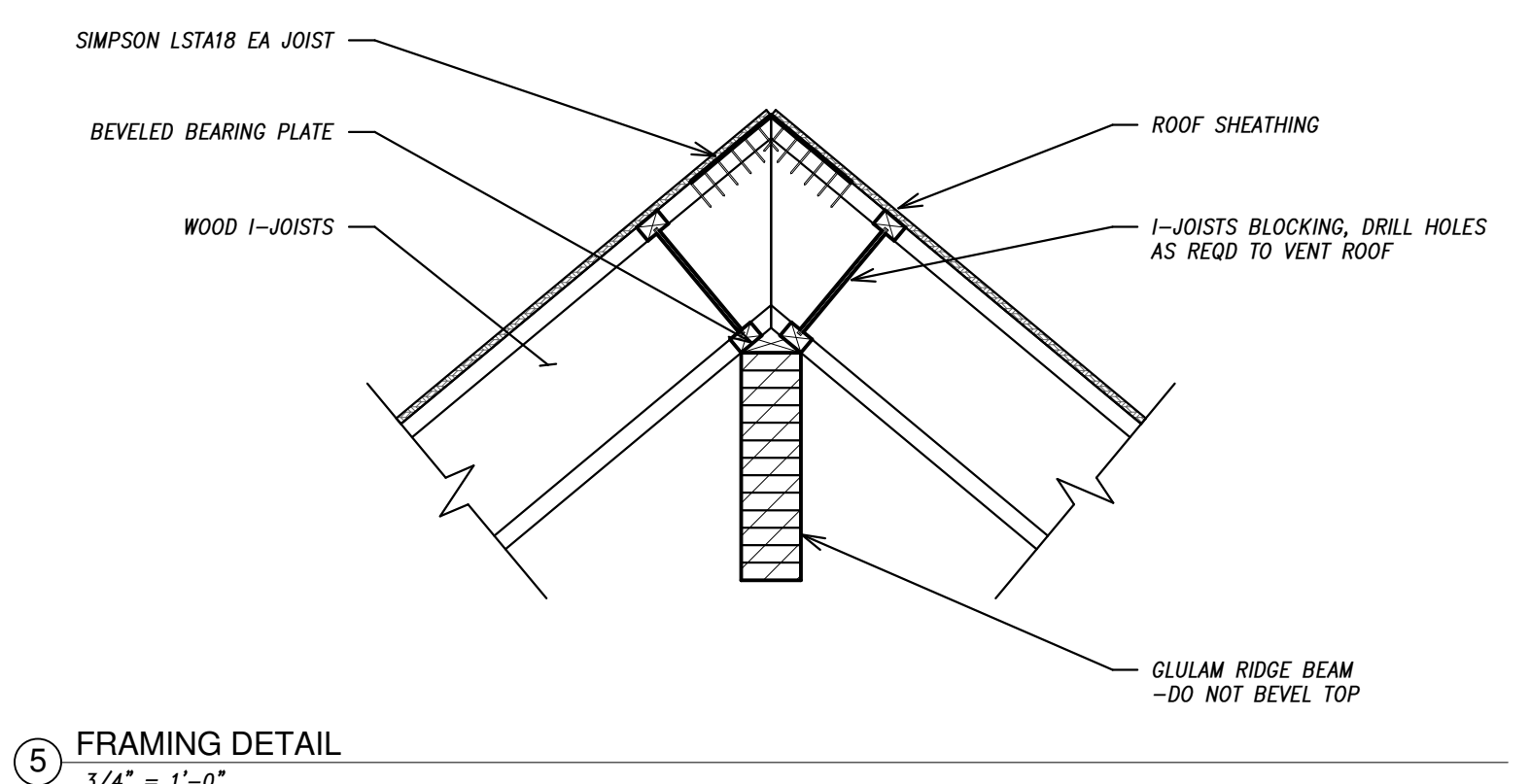
LASSA RESIDENCE
LOT 2 - RIVERSHORE SUBDIVISION
TOWN OF BLUE RIVER, SUMMIT COUNTY COLORADO

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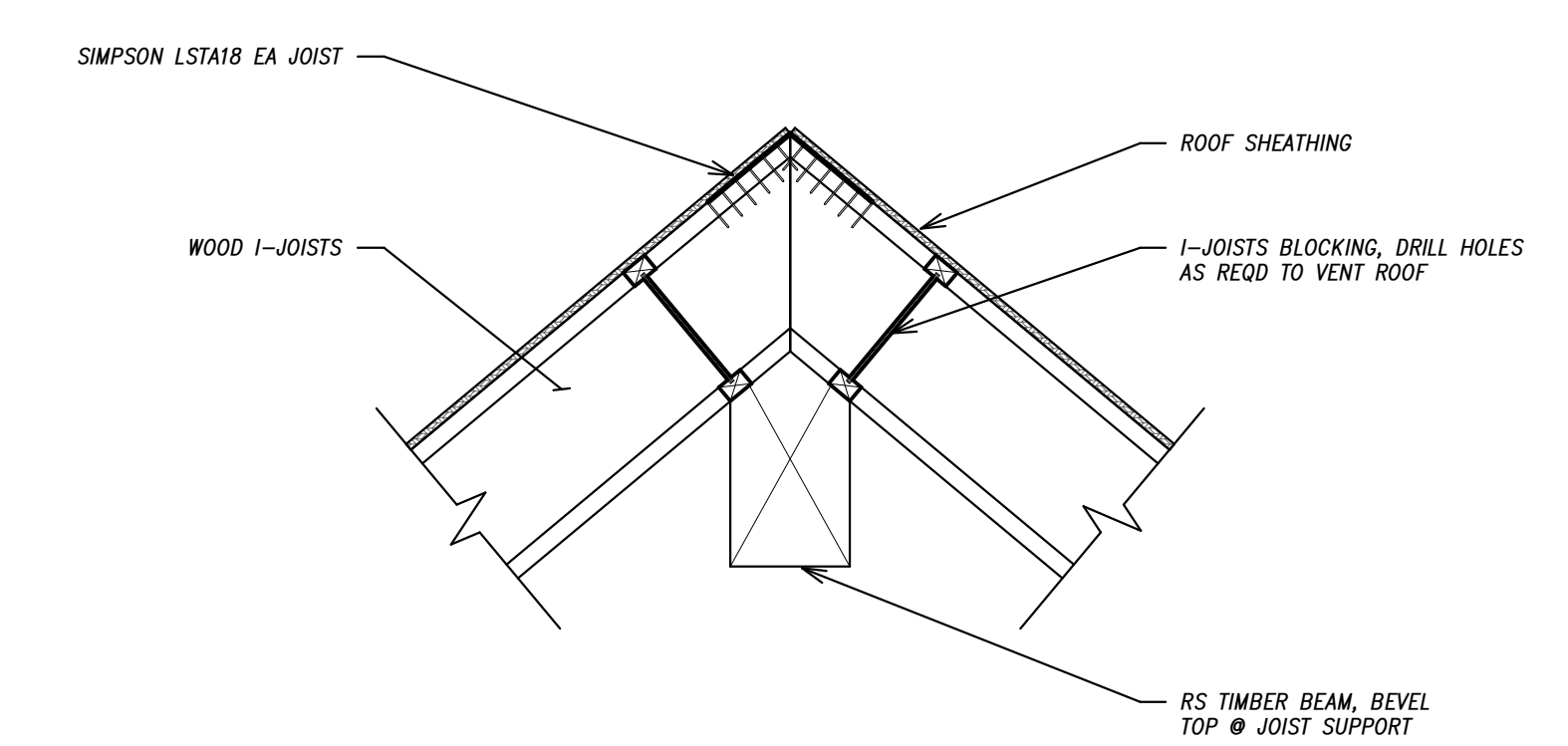
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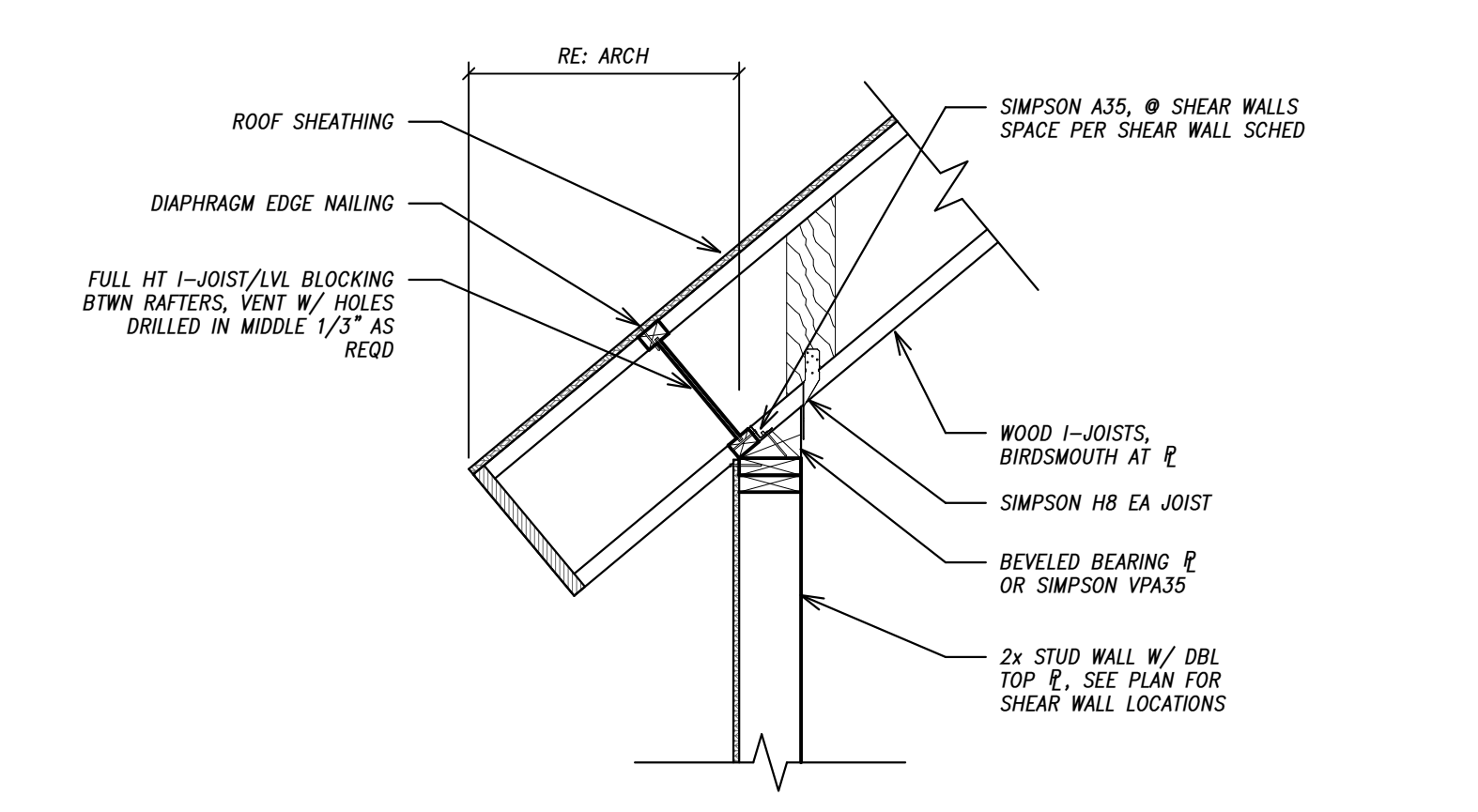
DETAILS



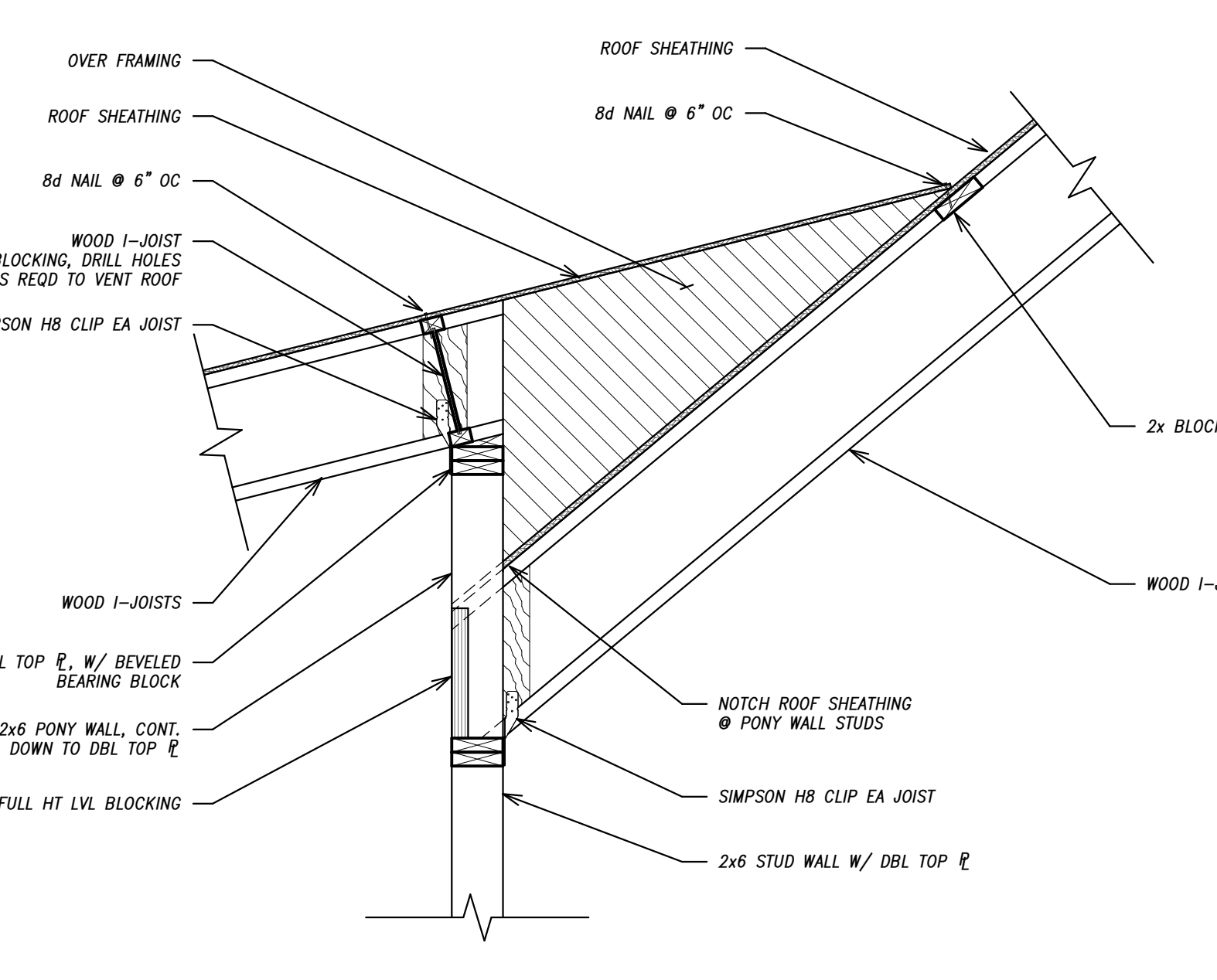
5 FRAMING DETAIL
3/4" = 1'-0"



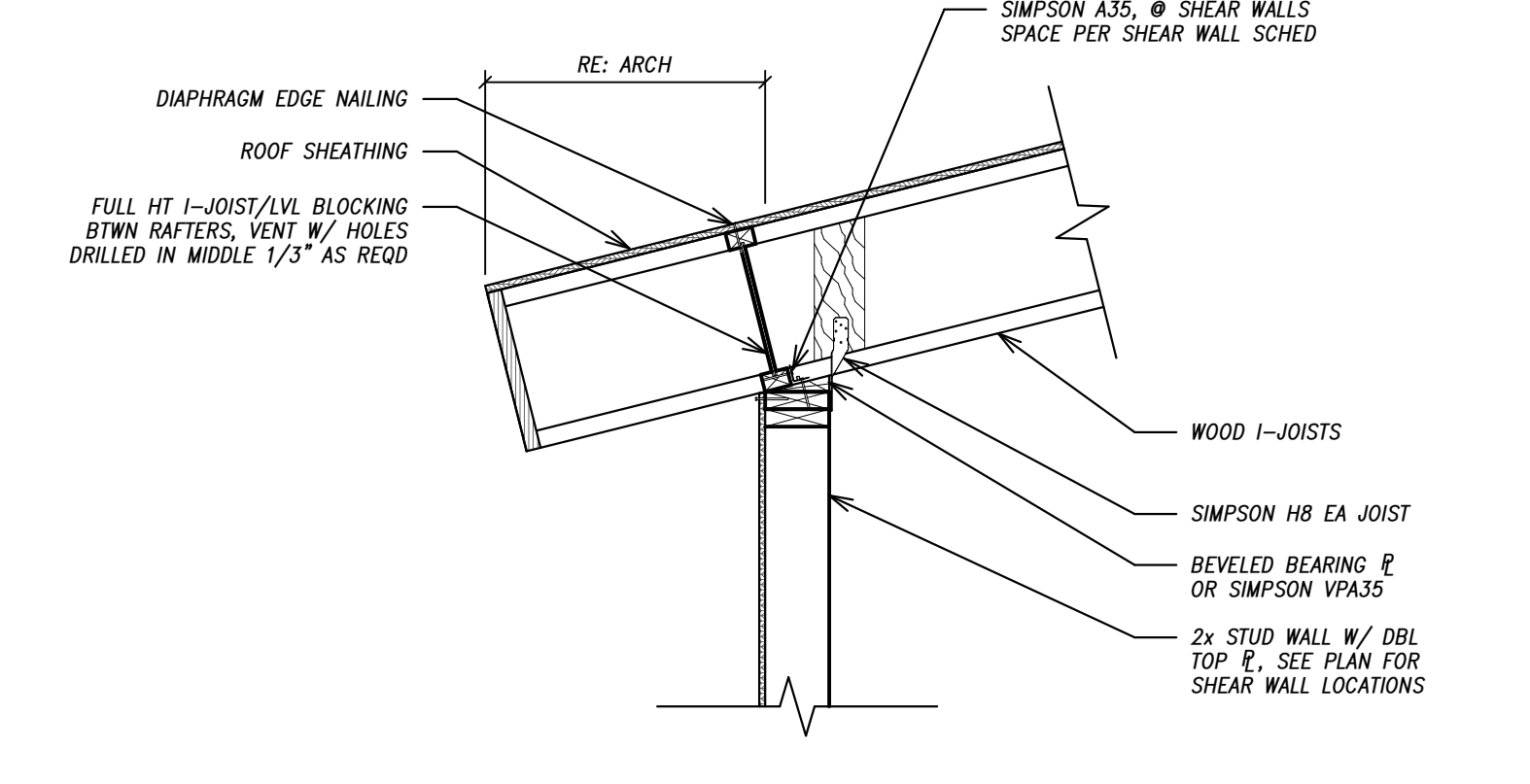
4 FRAMING DETAIL
3/4" = 1'-0"



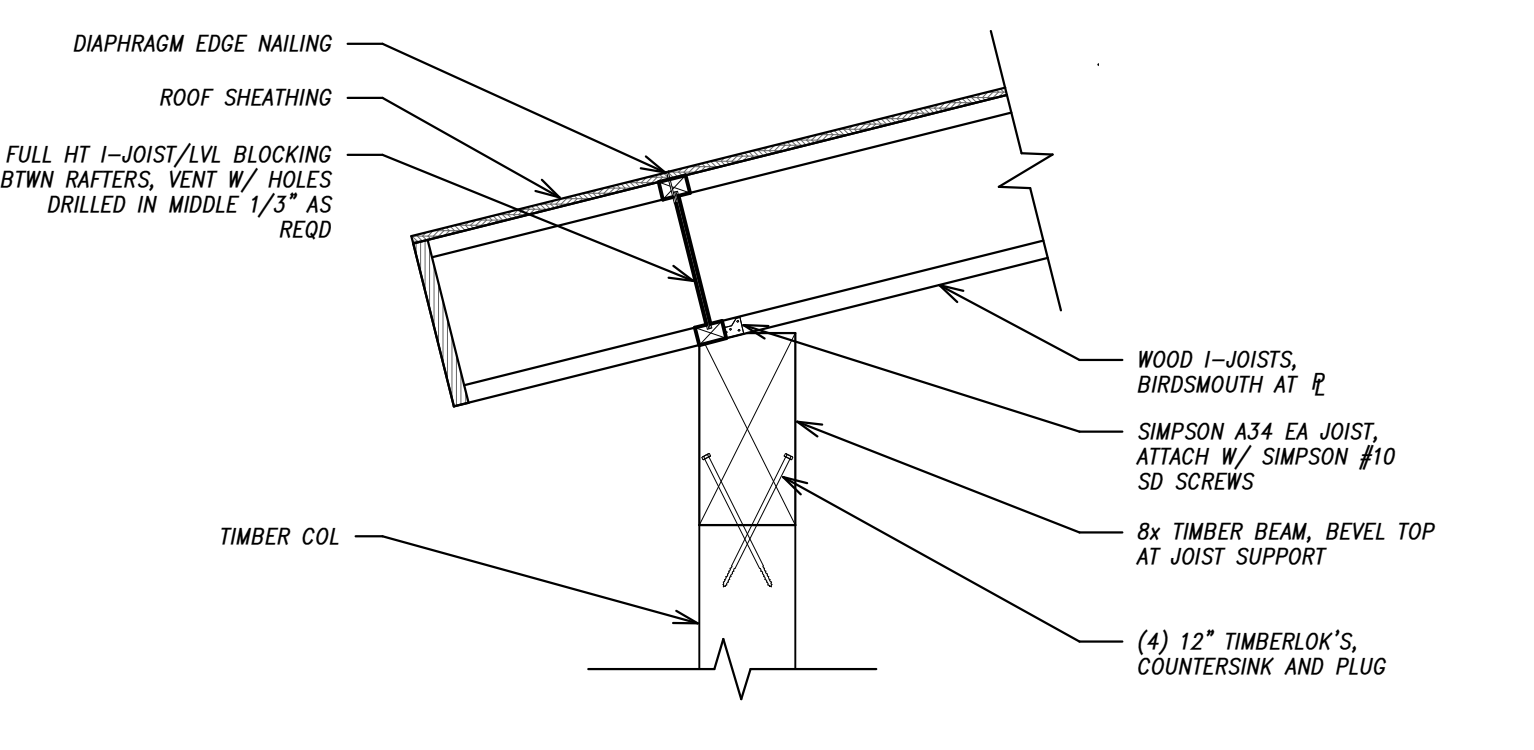
3 FRAMING DETAIL
3/4" = 1'-0"



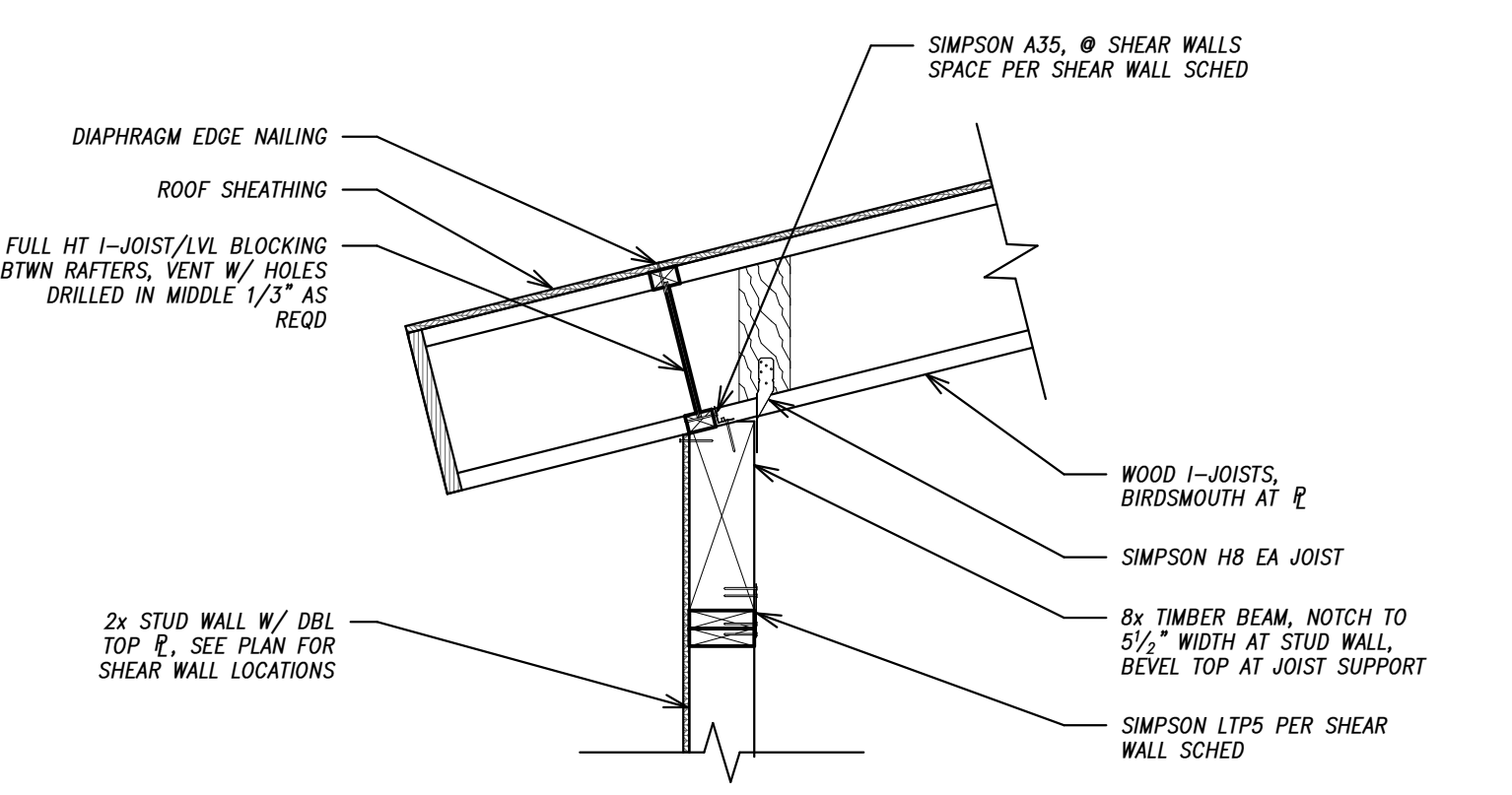
2 FRAMING DETAIL
3/4" = 1'-0"



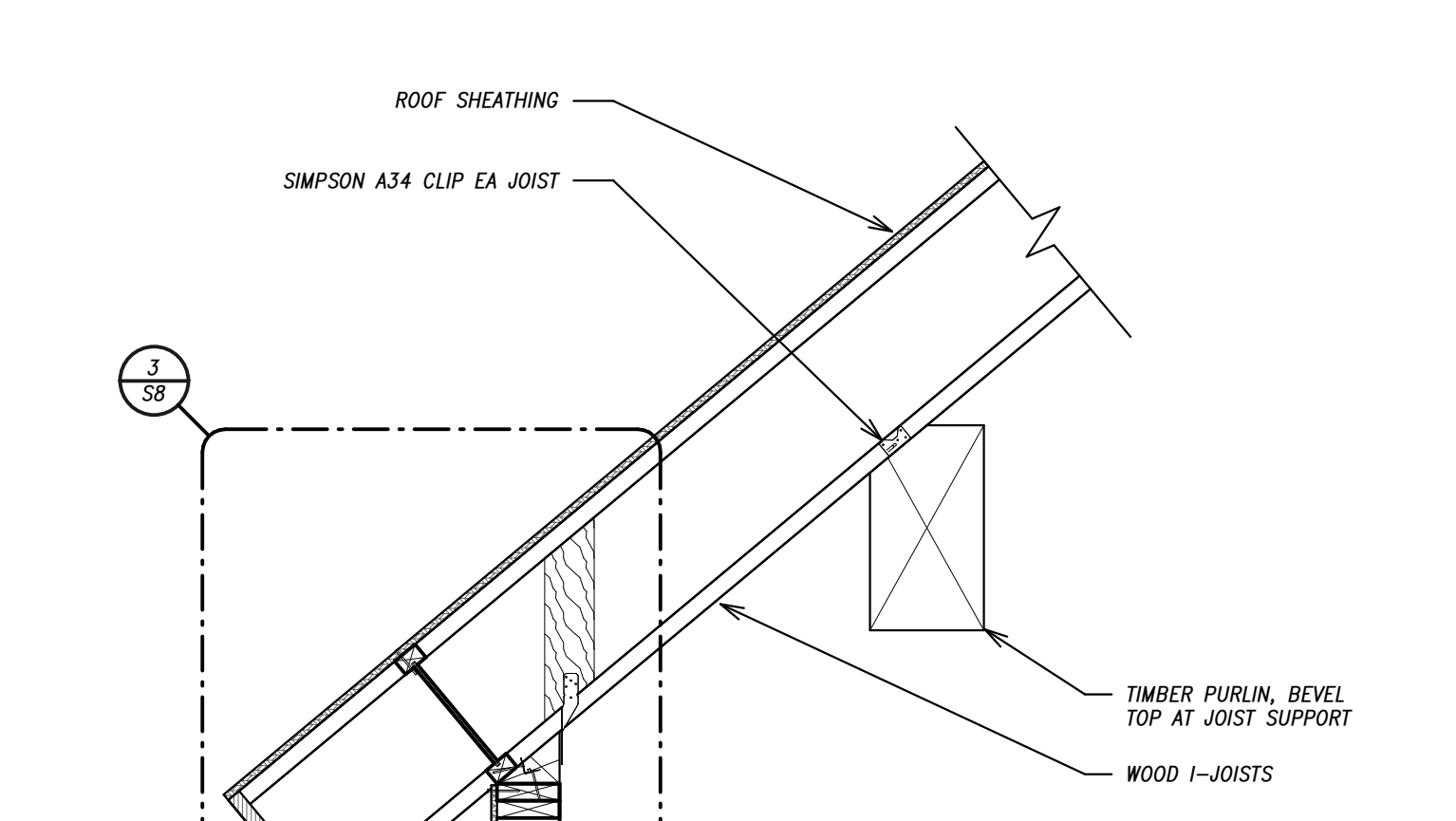
1 FRAMING DETAIL
3/4" = 1'-0"



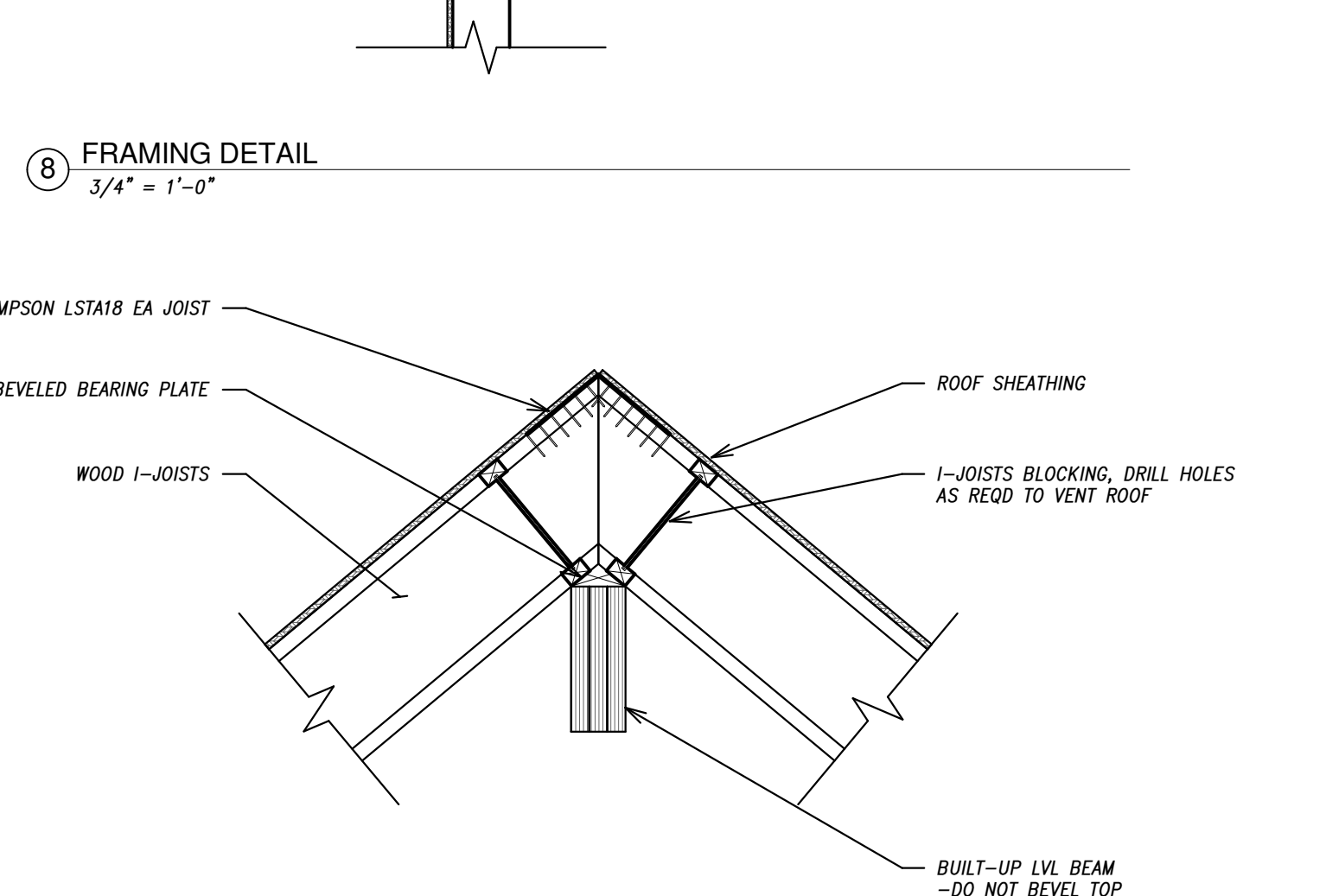
10 FRAMING DETAIL
3/4" = 1'-0"



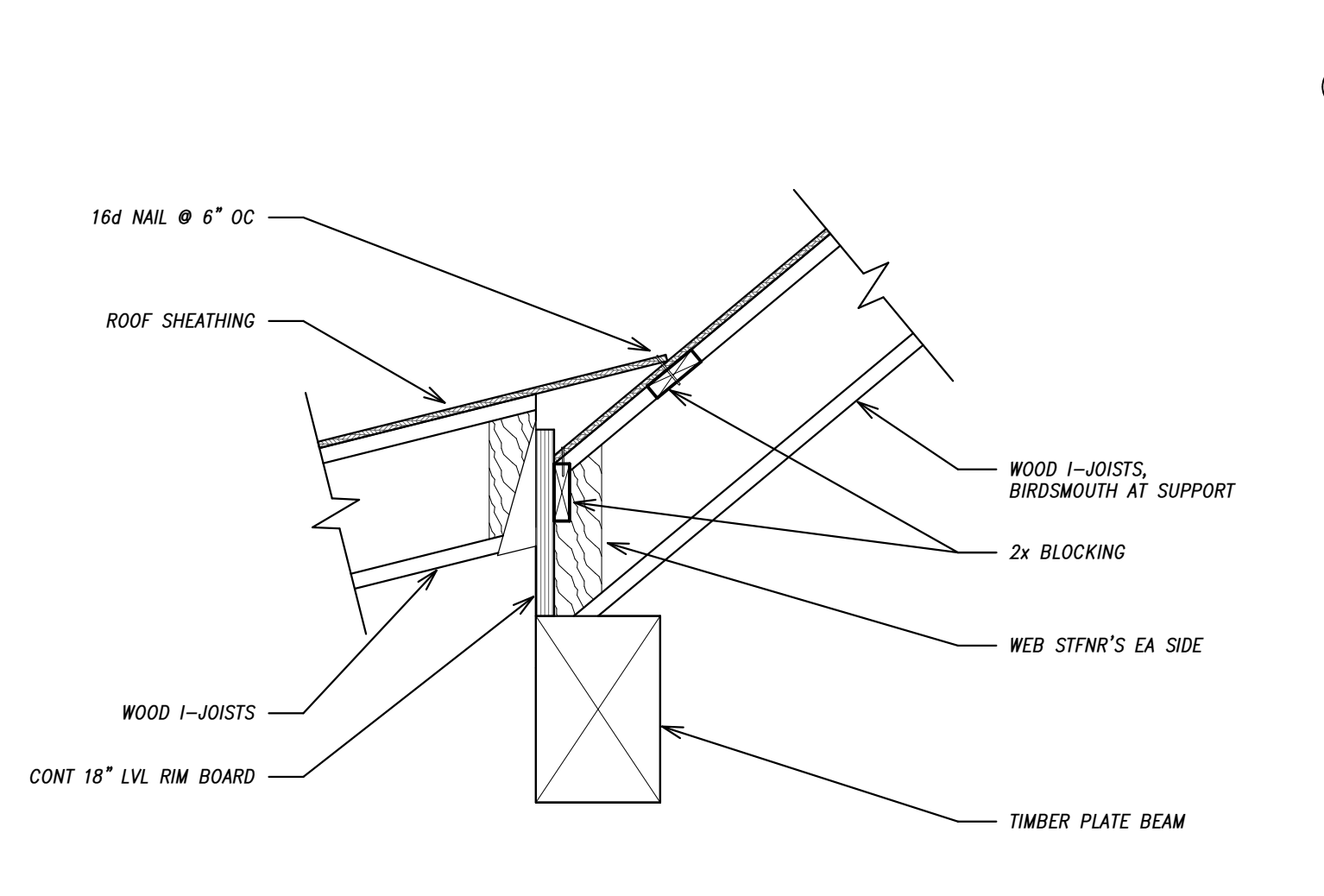
9 FRAMING DETAIL
3/4" = 1'-0"



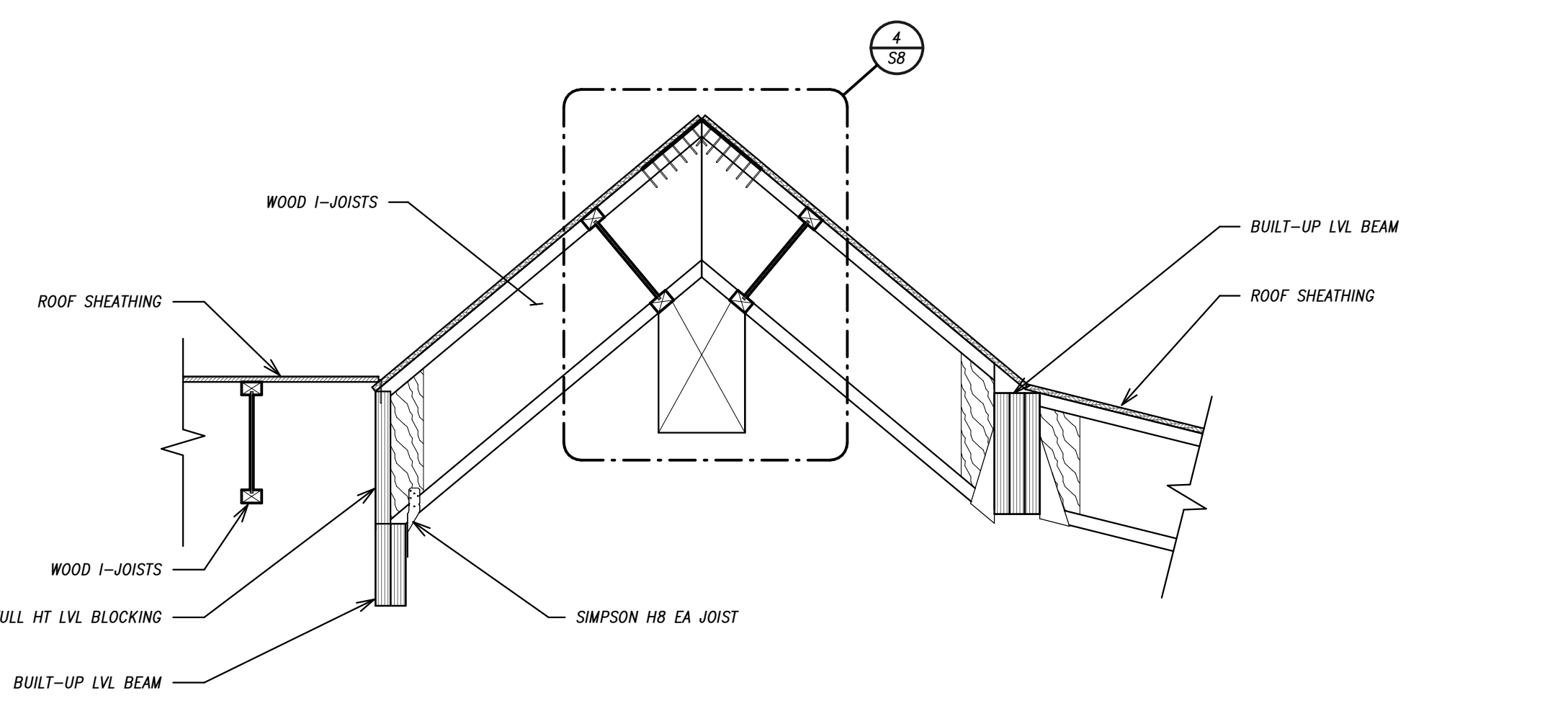
8 FRAMING DETAIL
3/4" = 1'-0"



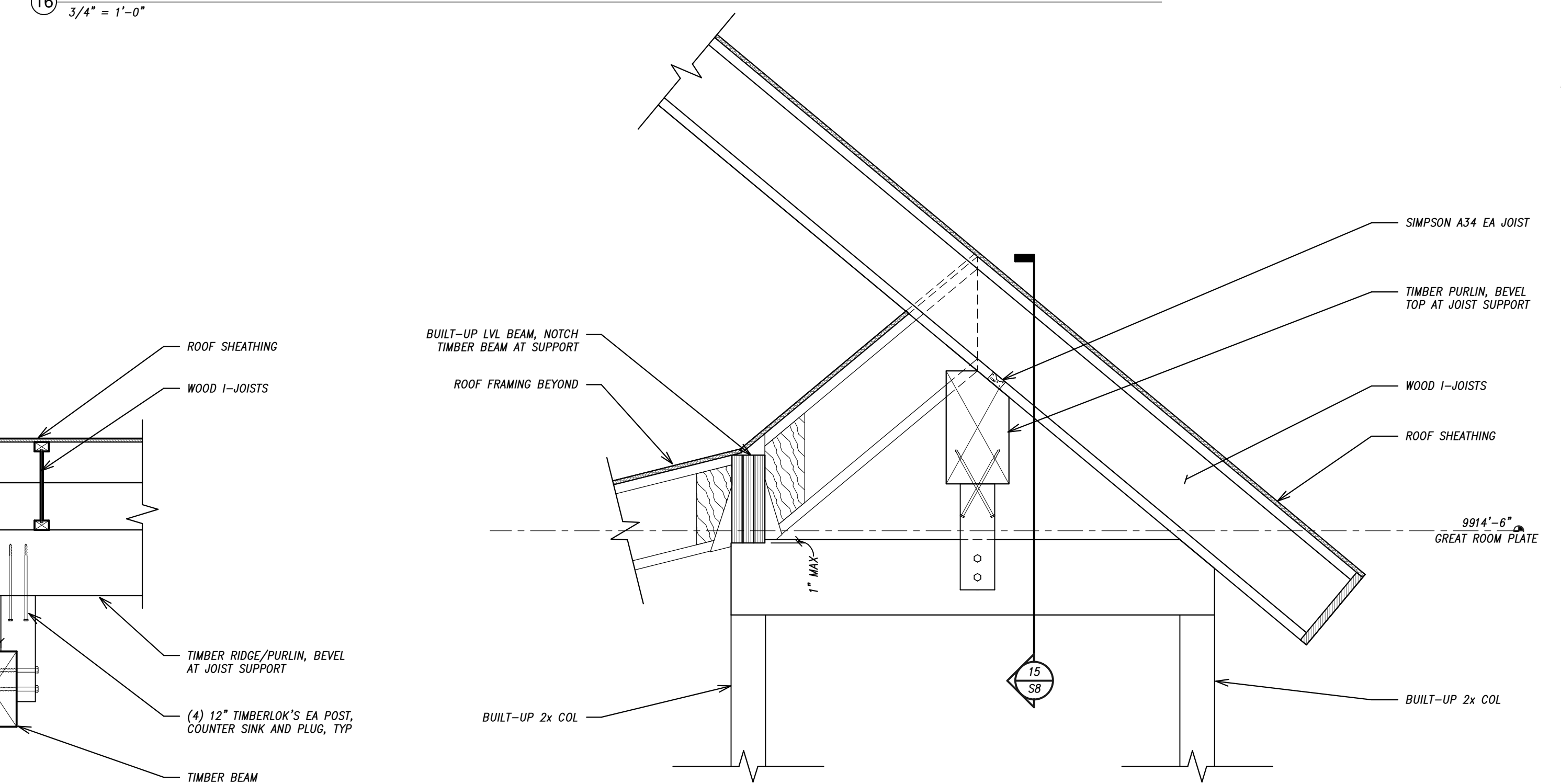
7 FRAMING DETAIL
3/4" = 1'-0"



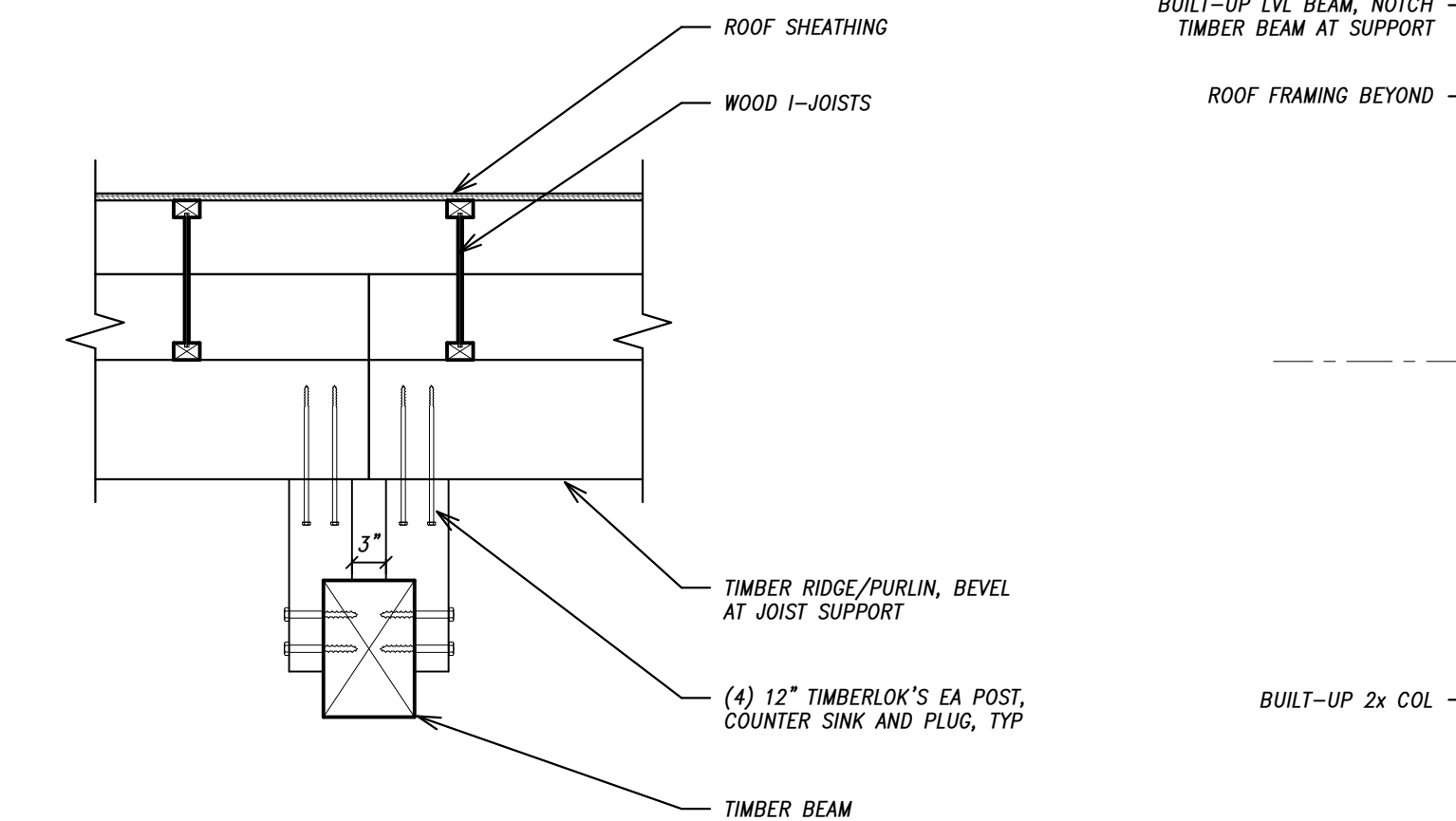
6 FRAMING DETAIL
3/4" = 1'-0"



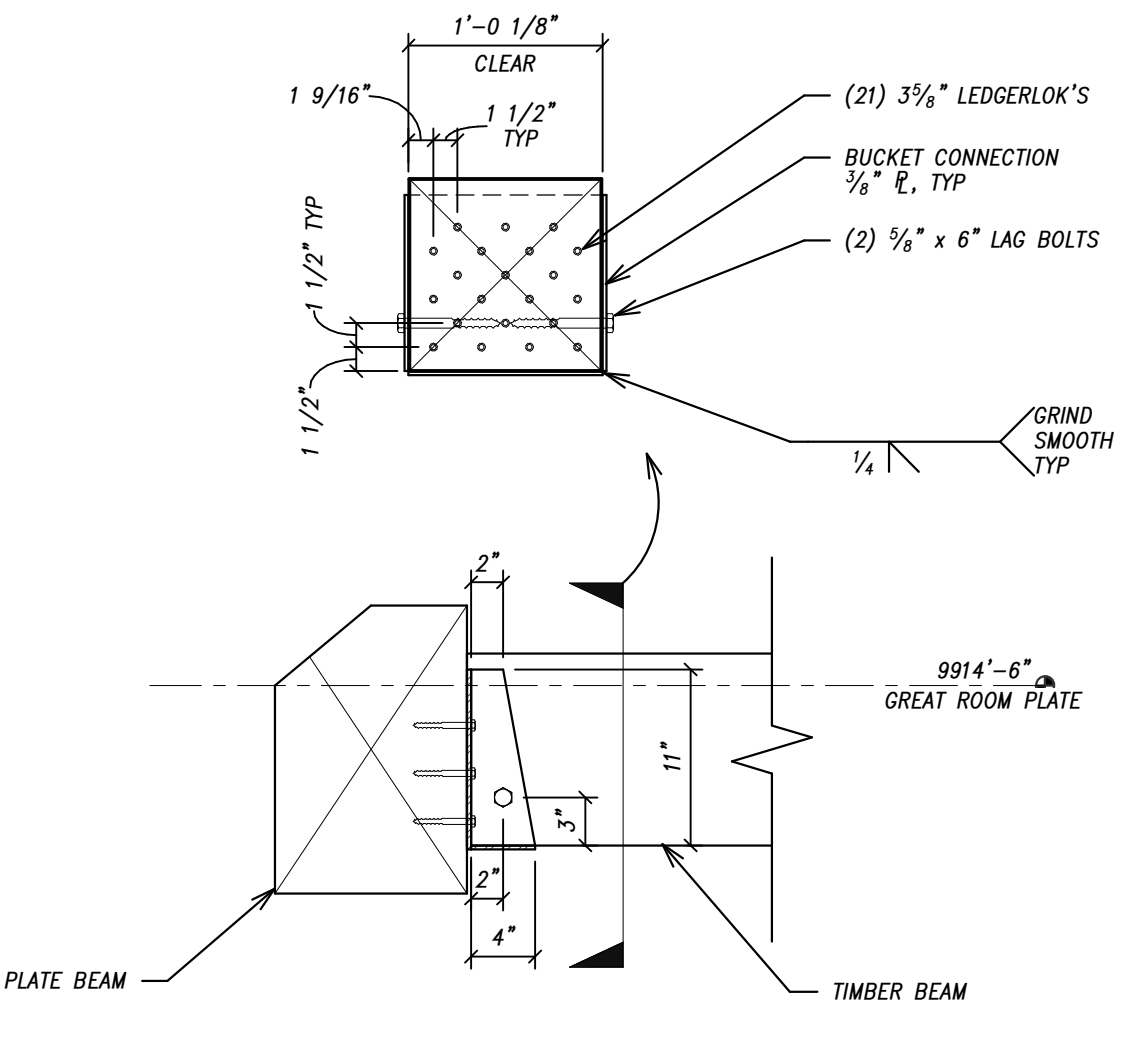
16 FRAMING DETAIL
3/4" = 1'-0"



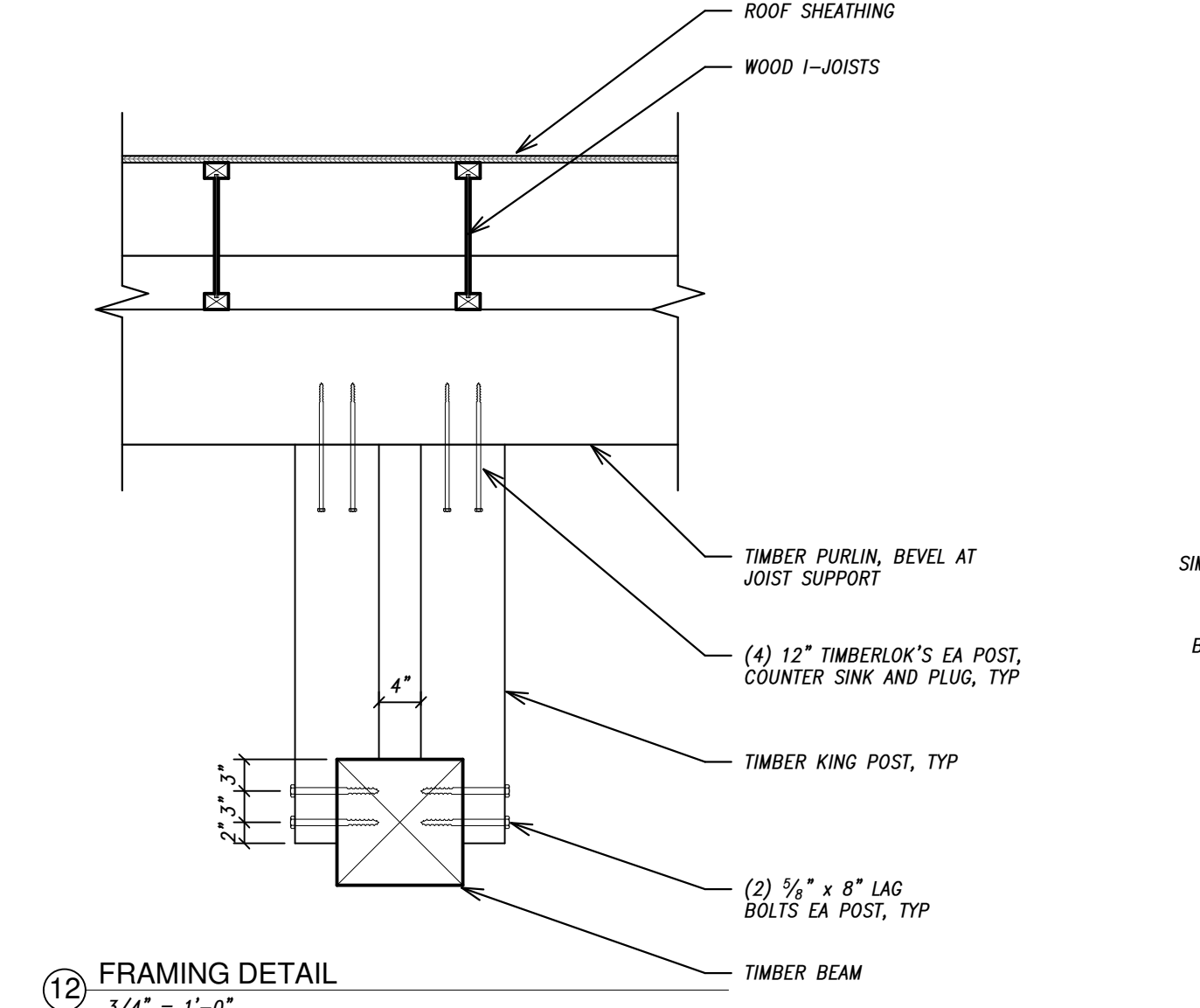
14 FRAMING DETAIL
3/4" = 1'-0"



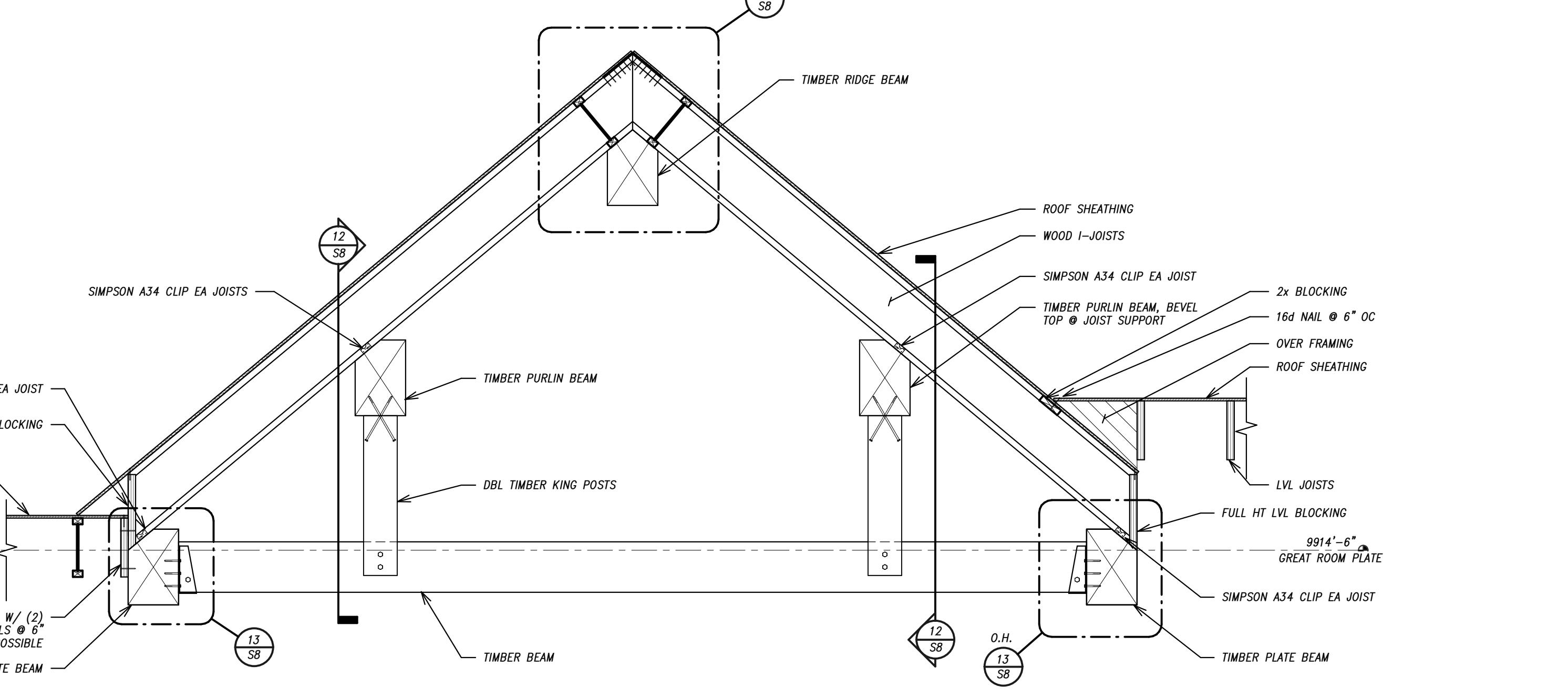
15 FRAMING DETAIL
3/4" = 1'-0"



13 FRAMING DETAIL
1" = 1'-0"



12 FRAMING DETAIL
3/4" = 1'-0"



11 FRAMING DETAIL
1/2" = 1'-0"

THE STRUCTURAL ENGINEER'S SEAL ON THIS DRAWING INDICATES THAT THE INFORMATION SHOWN AND THE CALCULATIONS PERTAINING TO THAT INFORMATION HAVE BEEN PREPARED BY QUALIFIED PEOPLE UNDER THE DIRECTION OF THE ENGINEER-OF-RECORD. THE SEAL DOES NOT IMPLY RESPONSIBILITY FOR INFORMATION PREPARED BY OTHERS NOR FOR ANY INFORMATION NOT SHOWN ON THIS DRAWING AND SUCH RESPONSIBILITY IS SPECIFICALLY DISCLAIMED. ON PHASED PROJECTS, DRAWINGS THAT ARE ISSUED BUT NOT SEALED SHALL BE CONSIDERED TO BE PRELIMINARY IN NATURE AND ARE ISSUED FOR INFORMATION ONLY.

THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE ARCHITECTURAL DRAWINGS ON THE PROJECT TO CLEARLY DEFINE ALL OF THE REQUIREMENTS FOR THE CONSTRUCTION. WHERE CONFLICTS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.



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LOT 2 - RIVERSHORE SUBDIVISION
TOWN OF BLUE RIVER - SUMMIT COUNTY COLORADO
DETAILS

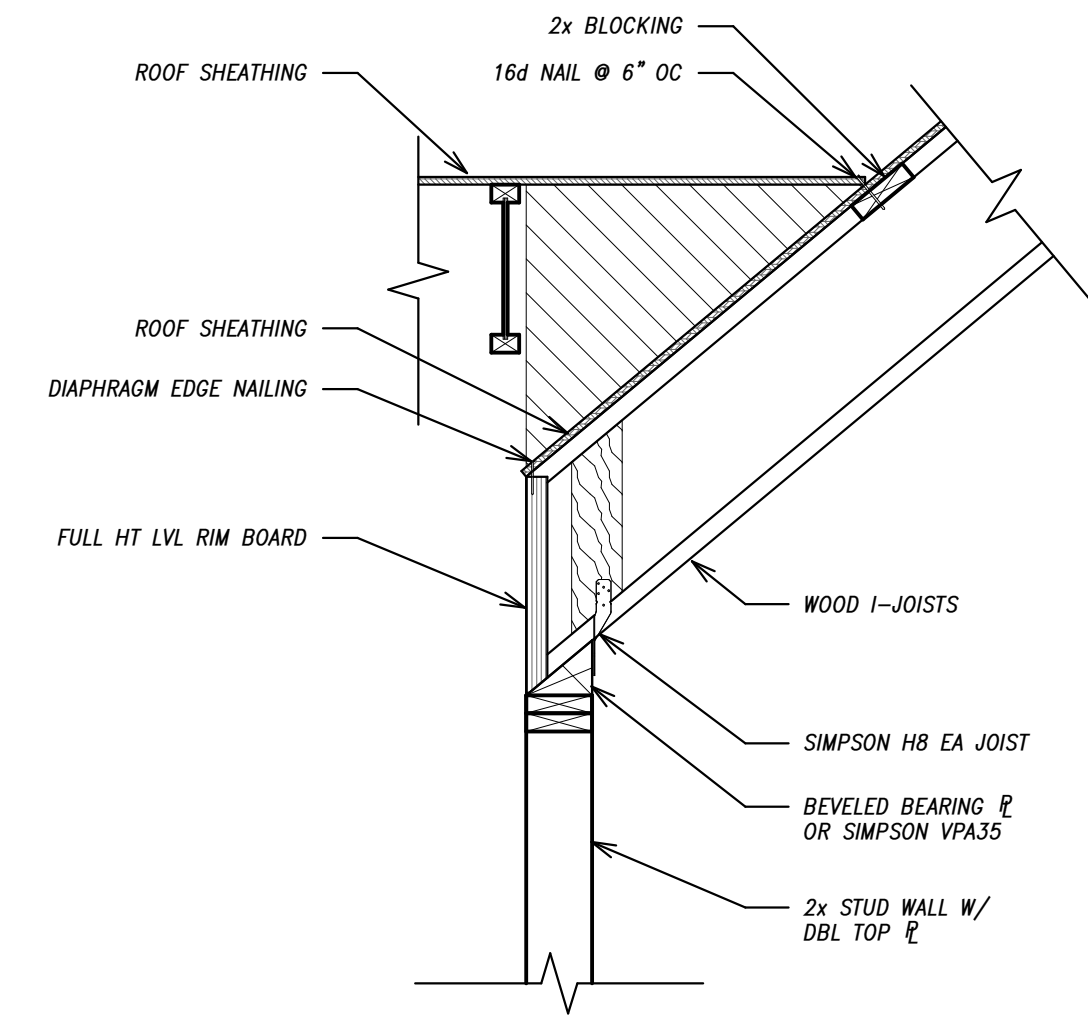
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ISSUE DATE

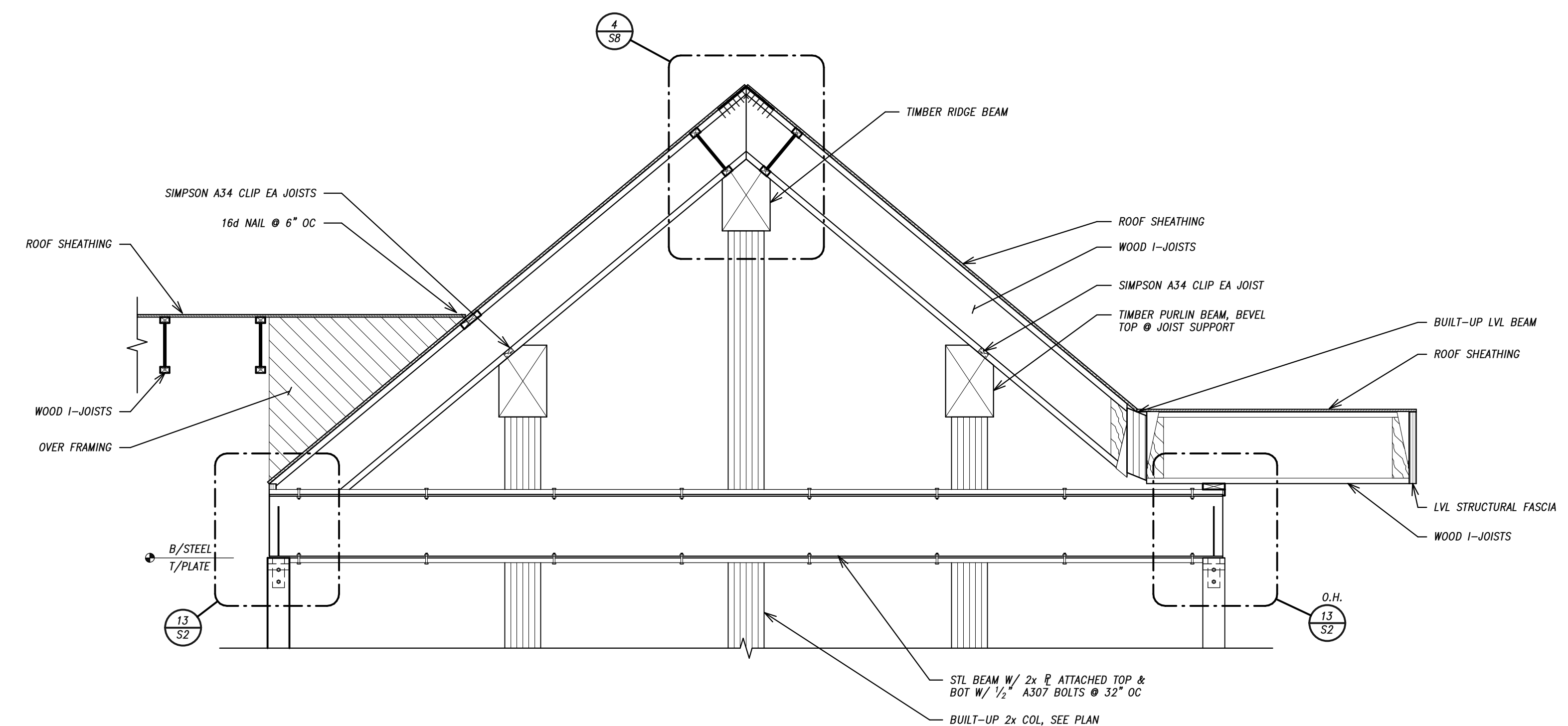
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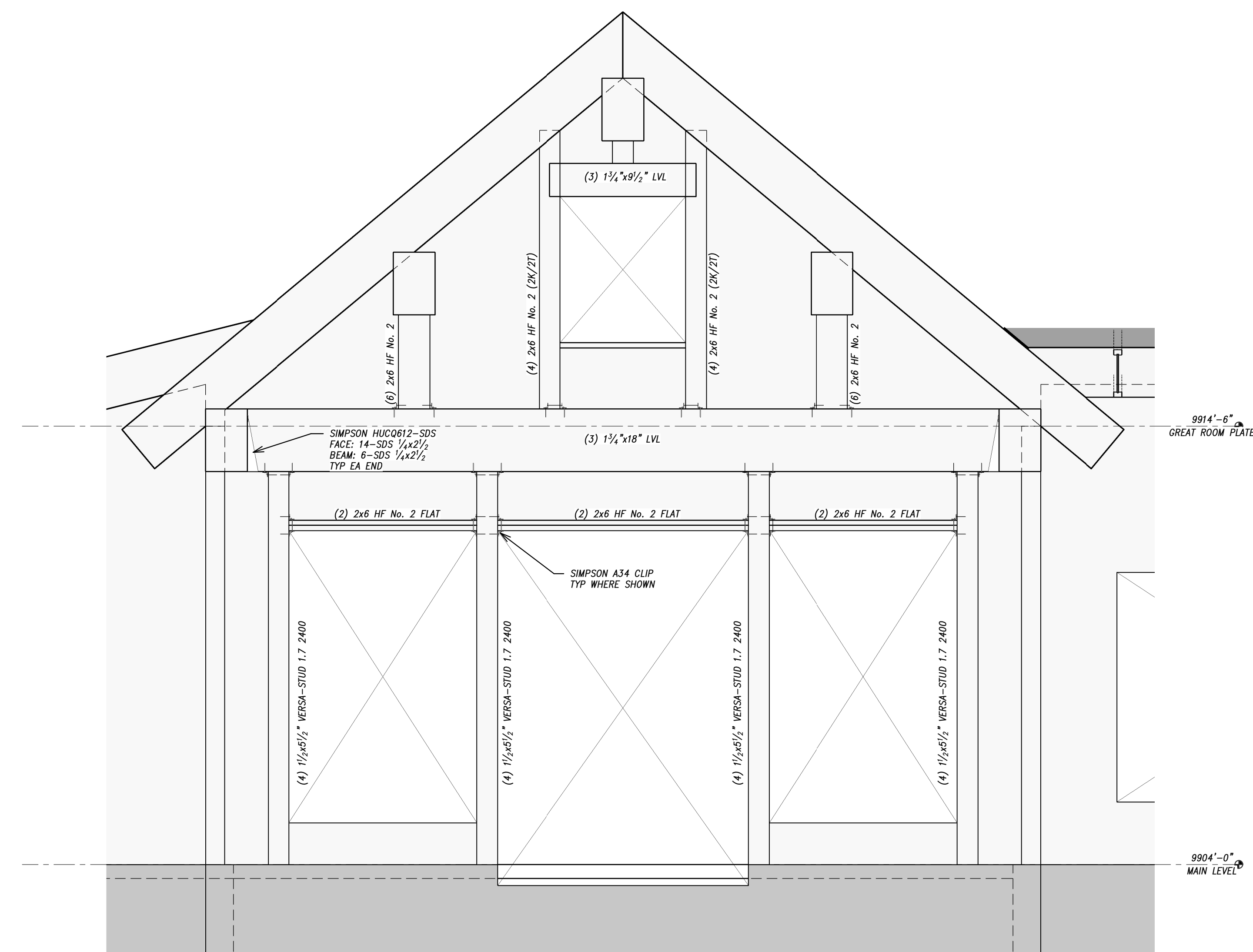
S9



② FRAMING DETAIL
3/4" = 1'-0"



① FRAMING DETAIL
1/2" = 1'-0"



③ ROOF FRAMING PLAN
1/2" = 1'-0"