

**GENERAL NOTES:**

- 1) ALL DRAWN AND WRITTEN DESIGNS SHOWN IN THESE DRAWINGS SHALL NOT BE USED, DUPLICATED, OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.
- 2) THIS PROJECT IS GOVERNED BY THE INTERNATIONAL RESIDENTIAL CODE, AS ADOPTED BY BLUE RIVER, COLORADO. IN ADDITION, A HOME ENERGY RATING CERTIFICATE TO BE PROVIDED-SEE PROJECTED REPORT. CODE COMPLIANCE IS MANDATORY. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR SATISFYING ALL APPLICABLE CODES AND OBTAINING ALL PERMITS AND REQUIRED APPROVALS.
- 3) WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. PLAN DIMENSIONS ARE TO THE FACE OF FRAMING MEMBERS, FACE OF WOOD FURRING OR FACE OF CONCRETE WALLS UNLESS OTHERWISE NOTED. SECTION OR ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD, OR TOP OF WALL PLATES OR BEAMS UNLESS OTHERWISE NOTED.
- 4) THE GENERAL CONTRACTOR SHALL THOROUGHLY REVIEW THE WORK AND NOTIFY THE ARCHITECT OF ANY CONFLICTS OR DISCREPANCIES FOUND IN THESE DRAWINGS FOR INTERPRETATION AND/OR CLARIFICATION.

- 5) CHANGES FROM THE PLANS OR SPECIFICATIONS MADE WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ANY AND ALL CONSEQUENCES RESULTING FROM SUCH CHANGES. ANY ITEMS DESCRIBED THAT IMPACT PROJECT BUDGET OR TIME SHALL BE REQUESTED FROM THE CONTRACTOR VIA A WRITTEN CHANGE ORDER.
- 6) THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR TO PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC., TO OBTAIN A COMPLETE JOB WITHIN THE RECOGNIZED STANDARDS OF THE INDUSTRY.
- 7) SUBSTITUTION OF "EQUAL" PRODUCTS WILL BE ACCEPTABLE WITH ARCHITECT'S WRITTEN APPROVAL.
- 8) THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.

- 9) THE GENERAL CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM SOILS ENGINEER FOR EXCAVATION AND INSPECTION OF THE SUBSURFACE CONDITIONS.
- 10) THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL FIELD COORDINATE AND OBTAIN APPROVAL FROM ARCHITECT/ENGINEER BEFORE ANY CUTTING, NOTCHING OR DRILLING OF ANY CAST-IN-PLACE CONCRETE, STEEL FRAMING, OR ANY OTHER STRUCTURAL ELEMENTS WHICH MAY AFFECT THE STRUCTURAL INTEGRITY OF THE BUILDING.
- 11) DUE TO THE HIGH ALPINE ENVIRONMENT HARSH WINTER CONDITIONS EXIST, ROOF AND DECK SURFACES MUST BE MAINTAINED REASONABLY FREE OF ICE AND SNOW TO ENSURE MINIMAL PROBLEMS WITH THESE SURFACES. ALL ROOFING, ROOFING MEMBRANES, AND WATERPROOFING SHALL BE APPROVED IN WRITING BY PRODUCT MANUFACTURER, PRIOR TO PROCEEDING WITH ANY WORK.



**VIEW FROM 97 CIRCLE**

**AREA CALCULATIONS:**

	FINISHED	UNFINISHED	TOTAL		DECKS/PATIO
MAIN	460'	658'	1118'		126'
UPPER	936'	0'	936'		128'
<b>TOTAL</b>	<b>1396'</b>	<b>658'</b>	<b>2054'</b>		<b>254'</b>

NOTE: SQUARE FOOTAGES ARE CALCULATED TO OUTSIDE OF WALL FOR CODE PURPOSES ONLY AND SHOULD BE RECALCULATED FOR ANY OTHER PURPOSES.

**INDEX:**

**OWNER:**

MONICA LEE AND MICHAEL DIPAULO  
2543 WEST 37 AVE  
DENVER, CO 80211

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BRETT A. CONFER  
230 EAST RABBIT COURT  
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970.389.7981 CELL  
B.CONFER@COMCAST.NET

**CONTRACTOR:**

**INTERIORS:**

**STRUCT'L ENGINEER:**

TBD

**SOILS:**

CTL THOMPSON, INC  
GREG CRUM  
PO BOX 4528  
BRECKENRIDGE, CO 80424  
970.453.2047

**SURVEYOR:**

SCHMIDT LAND SURVEYING, INC.  
LIZ SCHMIDT  
PO BOX 5761  
FRISCO, CO 80443  
970.406.9963

**ENERGY CONSULTANT:**

DEEPER GREEN CONSULTING  
MATT JANSING  
101 WEST MAIN STREET  
FRISCO, CO 80443  
970.471.4298

**LEGAL DESCRIPTION:**

LOT 384R 97 SUB  
RESUB LOTS 384 AND 385  
BLUE RIVER, COLORADO

**SHEET INDEX:**

T1.0	GENERAL NOTES/IMAGE
SP1.0	SITE/LANDSCAPE PLANS
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A1.2	ROOF PLAN
A2.0	ELEVATIONS
A2.1	ELEVATIONS
A2.2	IMAGES

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507 97 CIRCLE BLUE RIVER, COLORADO

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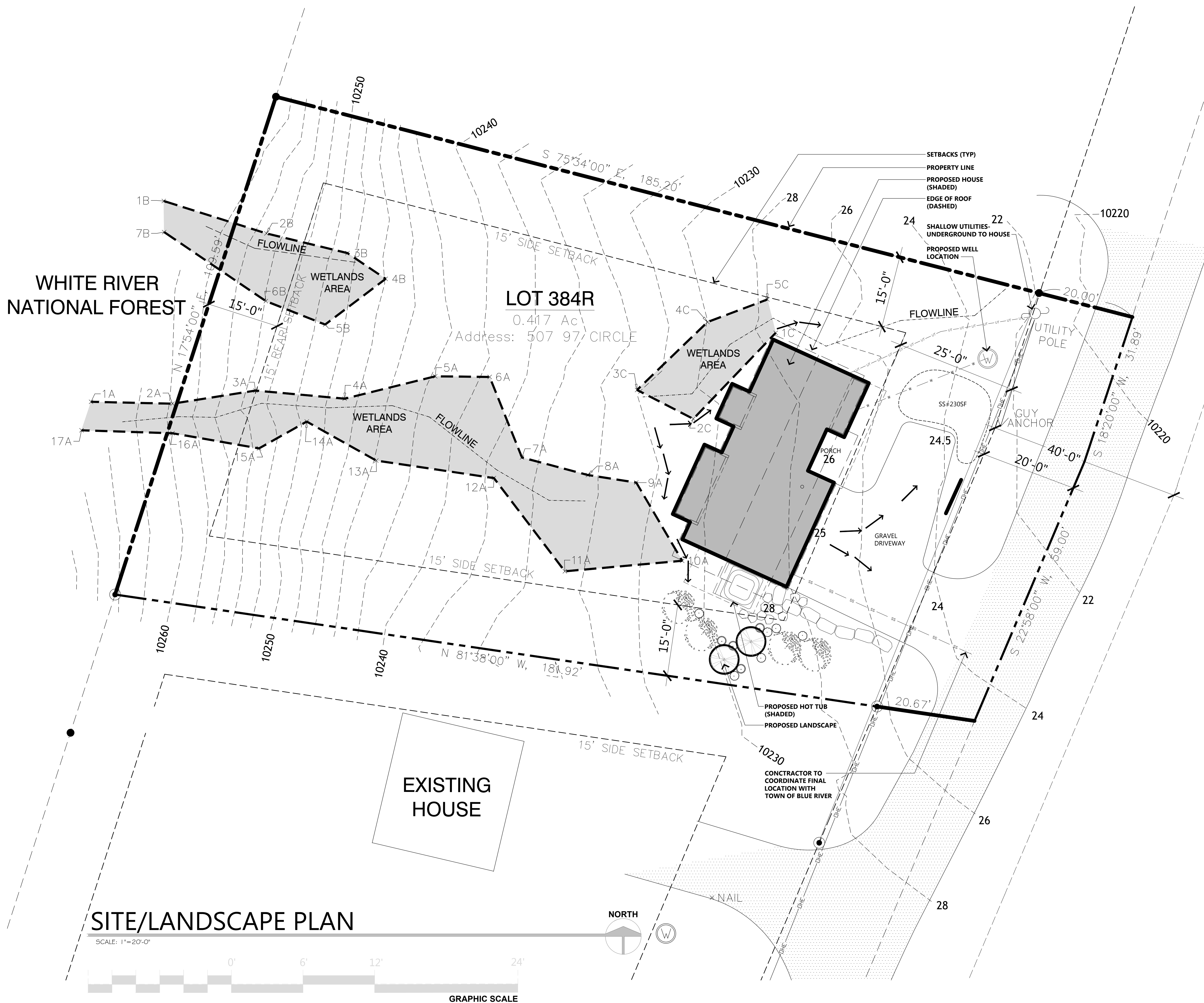
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**PLAN LEGEND:**

EXISTING MINOR CONTOUR	---
EXISTING MAJOR CONTOUR	---
PROPOSED CONTOUR	—
DRAINAGE ARROW	←
SPOT GRADE	+9772
	BOULDER WALL
	STONE PATH
	RIDGE HEIGHT POINT
	SNOW STORAGE

**BUILDING HEIGHT:**

POINT	NAT. GRADE ELEVATION	RIDGE HEIGHT (RIDGE+DATUM)	ROOF HEIGHT ABOVE DATUM	MEASURED FROM	CALCULATIONS (RIDGE-GRADE)	HEIGHT
A						
B						
C						
D						

**BUILDING INFORMATION:**

**BASE DATUM (ARCHITECTURAL 100'-0"=10226')**  
100'-0" (PROPOSED MAIN LEVEL)

MAXIMUM ALLOWED BUILDING HEIGHT IS 35'-0" TOWN OF BLUE RIVER. BUILDING HEIGHT WILL BE 35'-0" AS MEASURED FROM THE EXISTING GRADE TO THE HIGHEST ROOF DIRECTLY ABOVE. THE RIDGE HEIGHTS ARE DESIGNED ACCORDINGLY.

MEASUREMENTS ARE DERIVED FROM NATURAL GRADE DIRECTLY BELOW RIDGE POINT PER SITE PLAN WHICH IS MORE RESTRICTIVE THAN THE FINISHED GRADE.

PROJECT IS ZONED BLUE RIVER RURAL

FLOOD ZONE-AE-NO FLOOD HAZARD PER FEMA MAPPING

FIRE HAZARD MITIGATION-CONTRACTOR TO SCHEDULE AN ON-SITE REVIEW OF DEFENSIBLE SPACE WITH LOCAL FIRE DEPARTMENT

**LOT COVERAGE:**

LOT SIZE- .417 ACRES	18,164 SF	100%
LOT COVERAGE HOUSE/GARAGE (PROPOSED)	1118 SF	
DRIVE (PROPOSED)	890 SF	11%
TOTAL	2008 SF	
TOTAL OPEN SPACE		89%

**SNOW STACK:**

HARDSCAPE (PAVING-ASPHALT DRIVE)	890 SF
REQUIRED SNOWSTACK	X25%=223 SF
TOTAL SNOWSTACK PROVIDED	230 SF

**SITE/LANDSCAPE NOTES:**

- CONTRACTOR AND SURVEYOR ARE TO CONFIRM ALL PROPERTY BOUNDARIES AND SETBACKS PRIOR TO CONSTRUCTION AND TO STAKE HOUSE AND DRIVE FOR OWNER, ARCHITECT PRIOR TO ANY WORK.
- CONTRACTOR TO VERIFY ALL EXISTING UTILITY LOCATIONS AND COORDINATE ROUTING AND METERS WITH UTILITY COMPANIES. ALL UTILITIES TO BE UNDERGROUND WITH ELECTRIC, GAS, PHONE AND T.V. IN A COMMON TRENCH.
- PROVIDE DRAINAGE SWALES AS REQUIRED TO ALLOW POSITIVE DRAINAGE AWAY FROM BUILDING PERIMETER. (SLOPE MINIMUM 1:12) REFER TO BUILDING ELEVATIONS FOR FINISH GRADES.
- PROTECT ALL TREES AS NOTED, FLAG ALL TREES TO BE CUT AND STACK CUT TREES IN 8 FOOT LENGTHS, REMOVE ALL SLASH AND STUMPS.
- ALL LANDSCAPE TO BE INSTALLED PER TOWN OF BLUE RIVER GUIDELINES. OWNER TO CONSULT WITH A QUALIFIED LANDSCAPE PROFESSIONAL PRIOR TO INSTALLATION.
- PROVIDE RE-VEGETATION PER TOWN OF BLUE RIVER REQUIREMENTS. OWNER TO CONSULT WITH A QUALIFIED LANDSCAPE PROFESSIONAL PRIOR TO CONSTRUCTION.

**PLANTING LIST:**

KEY	COMMON	BOTANICAL	NO.	SIZE
<b>EXISTING TREES</b>				
	EXISTING	VARIES -	NA	SEE SITE PLAN
<b>EXISTING TREES TO BE REMOVED AND/OR TRANSPLANTED</b>				
	VARIES -	NONE -	NA	SEE SITE PLAN
<b>PROPOSED TREES</b>				
	BLUE SPRUCE	PICEA PUNGENS OR PICEA ENGELMANNI	1	6' TO 8' TALL
	BLUE SPRUCE	PICEA PUNGENS OR PICEA ENGELMANNI	1	8' TO 10' TALL
	ASPEN	POPULUS TREMULOIDES	4	3" CAL (GROUPS OF 3) 50% MULTI-STEM
<b>PROPOSED SHRUBS</b>				
	YELLOW CURRANT	RIBES AUREUM	10	5 GAL.
	HONEYSUCKLE	LONICERA INVOLURATE	10	5 GAL.
	NATIVE GROUND COVER AND PERENNIALS	PROVIDE SUBMITTAL	-	REVEGETATE ALL DISTURBED AREAS

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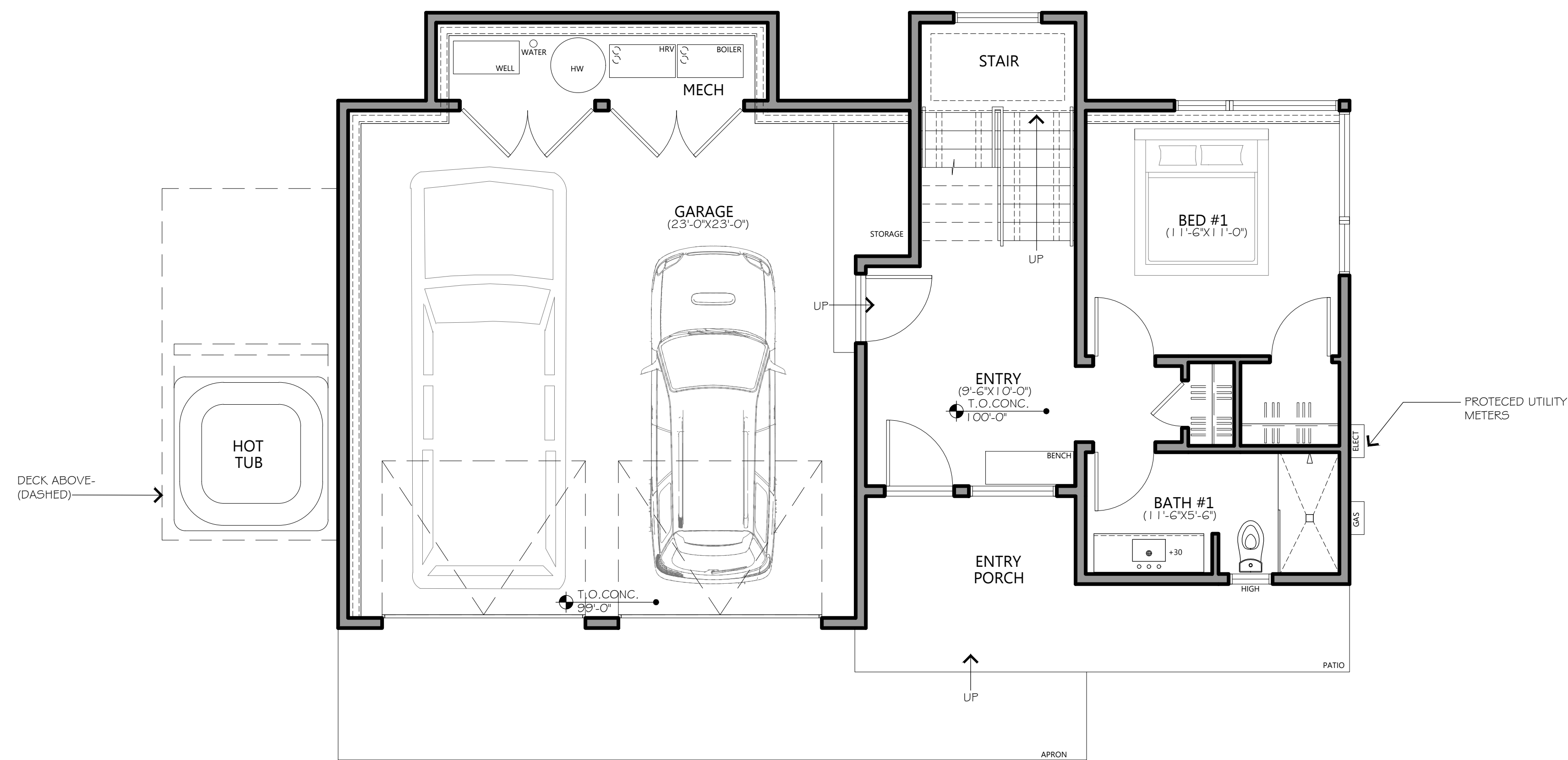
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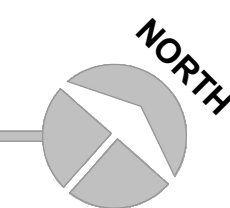
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# MAIN LEVEL PLAN

SCALE: 1/4" = 1'-0"



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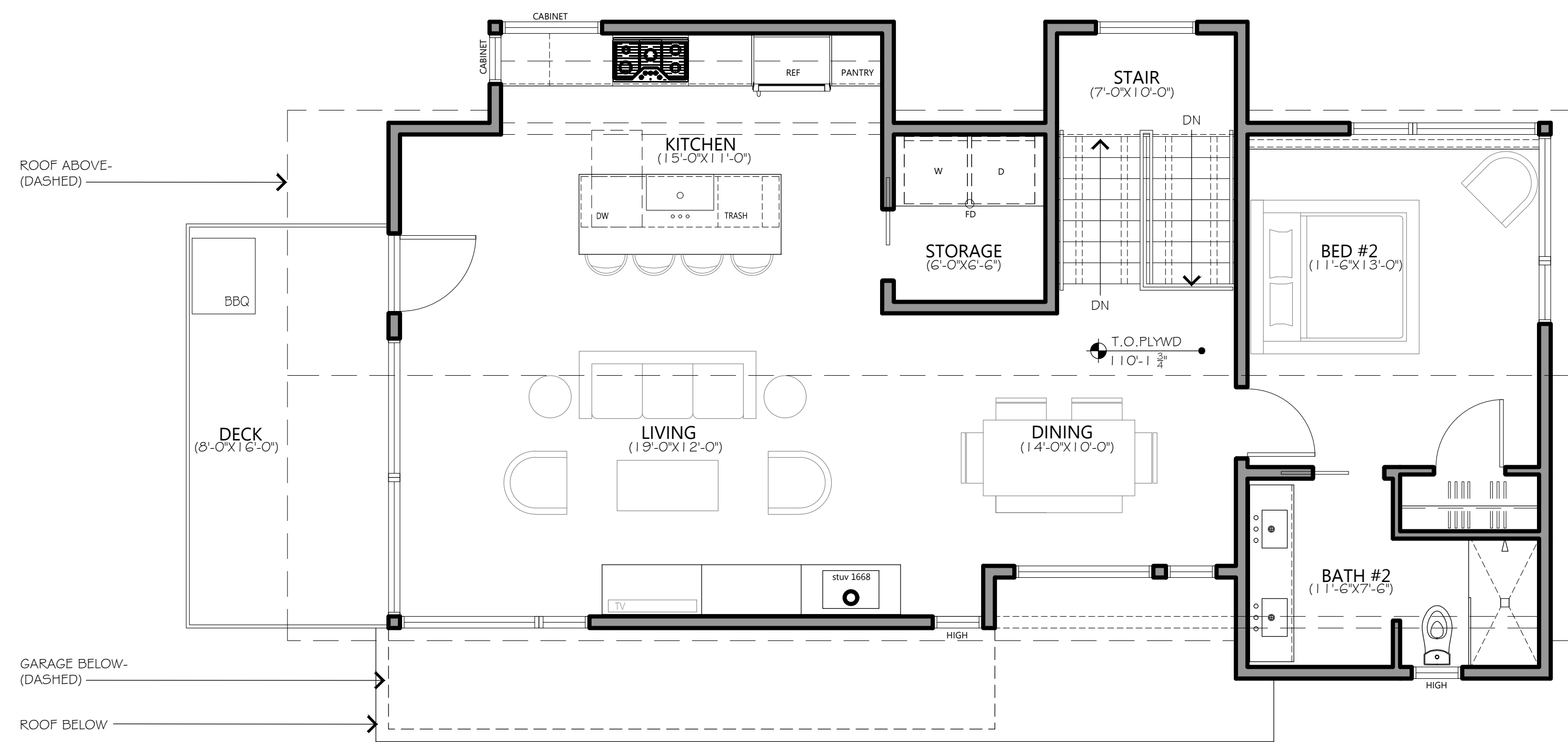
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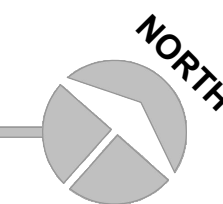
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# UPPER LEVEL PLAN

SCALE: 1/4" = 1'-0"



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5 OPEN RAKE  
A1.3 1/2" = 1'-0"

1 RIDGE  
A1.3 1/2" = 1'-0"

6 ROOF/WALL JUNCTURE  
A1.3 1/2" = 1'-0"

2 CLOSED FASCIA  
A1.3 1/2" = 1'-0"

7 ROOF/WALL JUNCTURE AT RAKE  
A1.3 1/2" = 1'-0"

3 CLOSED FASCIA  
A1.3 3" = 1'-0"

8 VALLEY  
A1.3 1/2" = 1'-0"

4 CLOSED RAKE  
A1.3 1/2" = 1'-0"

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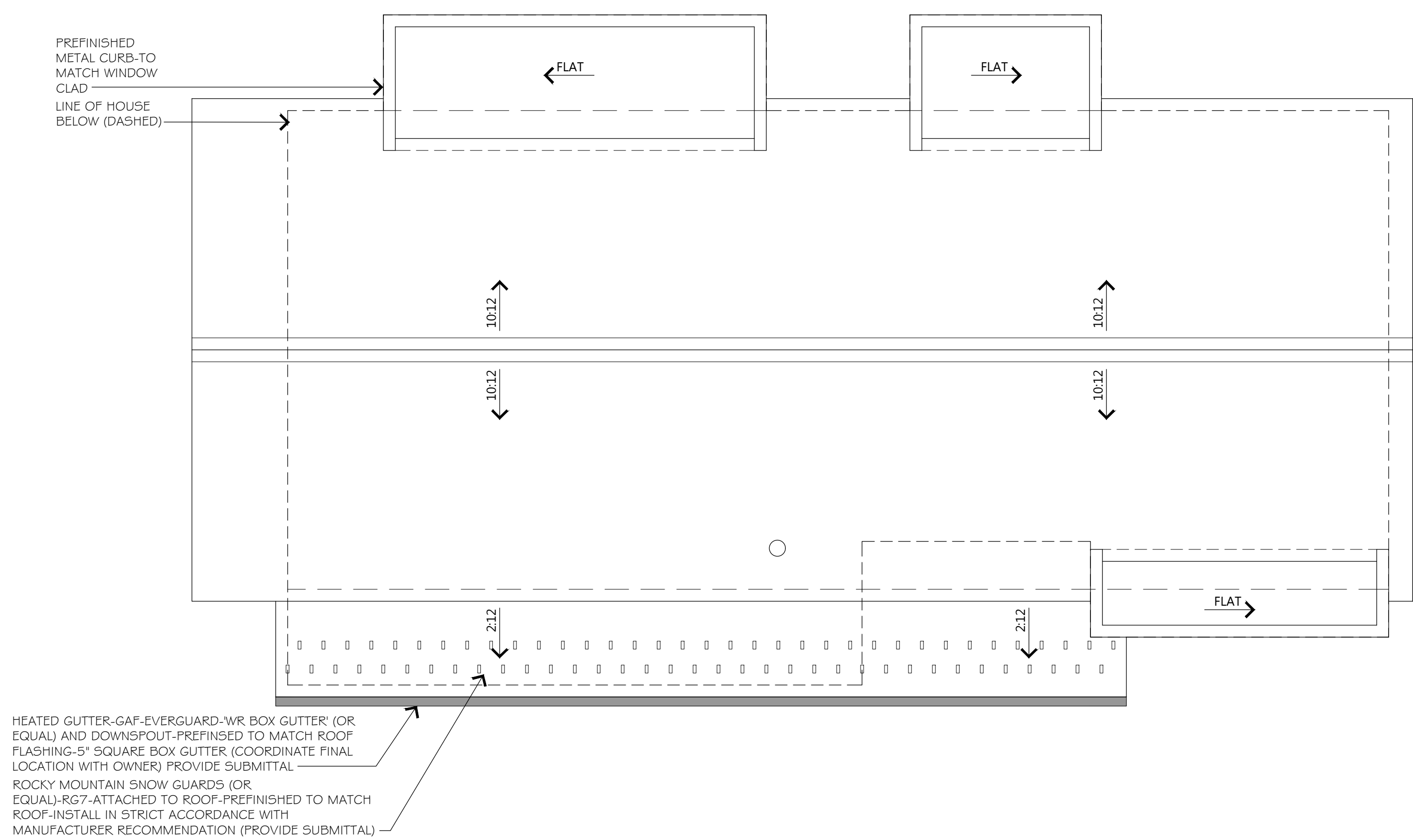
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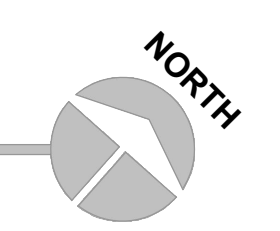
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**ROOF PLAN**

SCALE: 1/4" = 1'-0"



EXTERIOR COLOR SCHEDULE

- 1 ROOF:  
WESTERN STATES METAL-STANDING SEAM METAL-'MATTE BLACK'
- 2 WINDOWS AND DOORS:  
SIERRA PACIFIC-ASPEN-'BLACK'
- 3 ACCENT METAL:  
TO MATCH WINDOW CLAD-'BLACK'
- 4 TRIM/SOFFIT:  
1X6 CEDAR-SHIP LAP-SHERWIN WILLIAMS-'BLUE SPRUCE'
- 5 HORIZONTAL SIDING:  
NAKAMOTO FORESTRY-SHIPLEY-PIKA PIKA-'SOLAR SHIELD WHITE'
- 6 VERTICAL SIDING:  
NAKAMOTO FORESTRY-SHIP LAP-GENDAI-'ALKYD OIL BLACK'
- 7 BASE:  
BOARD FORMED CONCRETE-'GREY'

REVISIONS

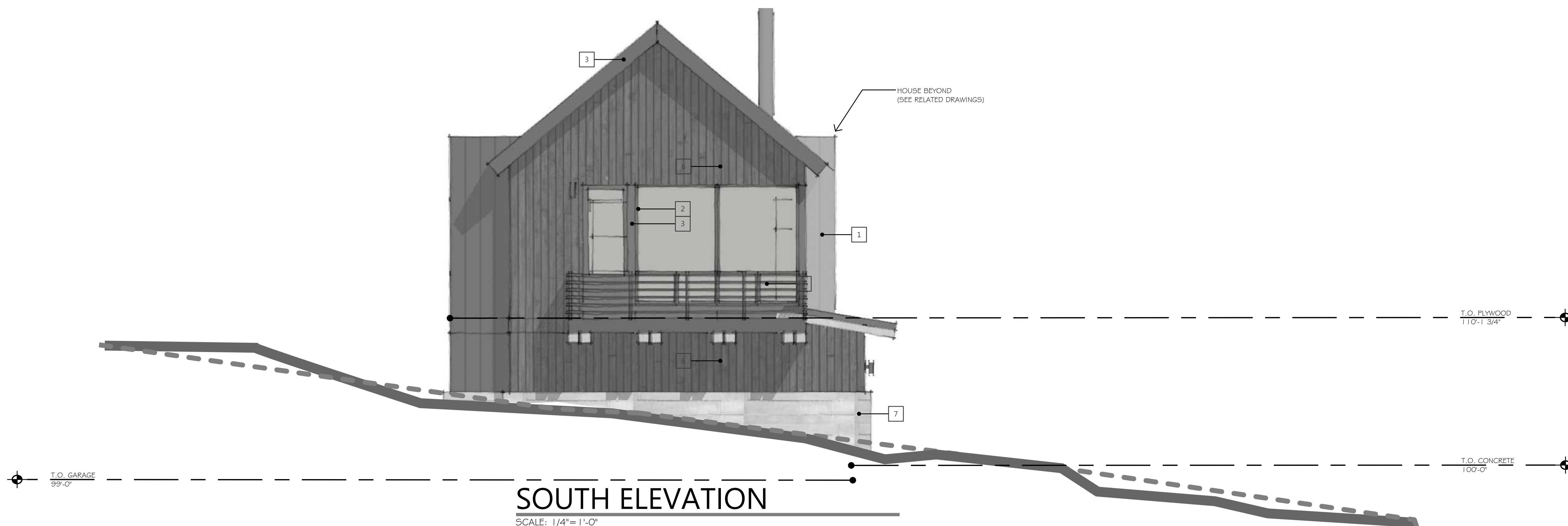


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EAST ELEVATION

SCALE: 1/4"= 1'-0"



SOUTH ELEVATION

SCALE: 1/4"= 1'-0"

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### EXTERIOR COLOR SCHEDULE

- 1 — ROOF:  
WESTERN STATES METAL-STANDING SEAM METAL-'MATTE BLACK'
- 2 — WINDOWS AND DOORS:  
SIERRA PACIFIC-ASPEN-'BLACK'
- 3 — ACCENT METAL:  
TO MATCH WINDOW CLAD-'BLACK'
- 4 — TRIM/SOFFIT:  
1X6 CEDAR-SHIP LAP-SHERWIN WILLIAMS-'BLUE SPRUCE'
- 5 — HORIZONTAL SIDING:  
NAKAMOTO FORESTRY-SHIPLEY-PIKA PIKA-'SOLAR SHIELD WHITE'
- 6 — METAL ACCENT SIDING:  
WESTERN STATES METAL-STANDING SEAM METAL-'MATTE BLACK'
- 7 — BASE:  
BOARD FORMED CONCRETE-'GREY'

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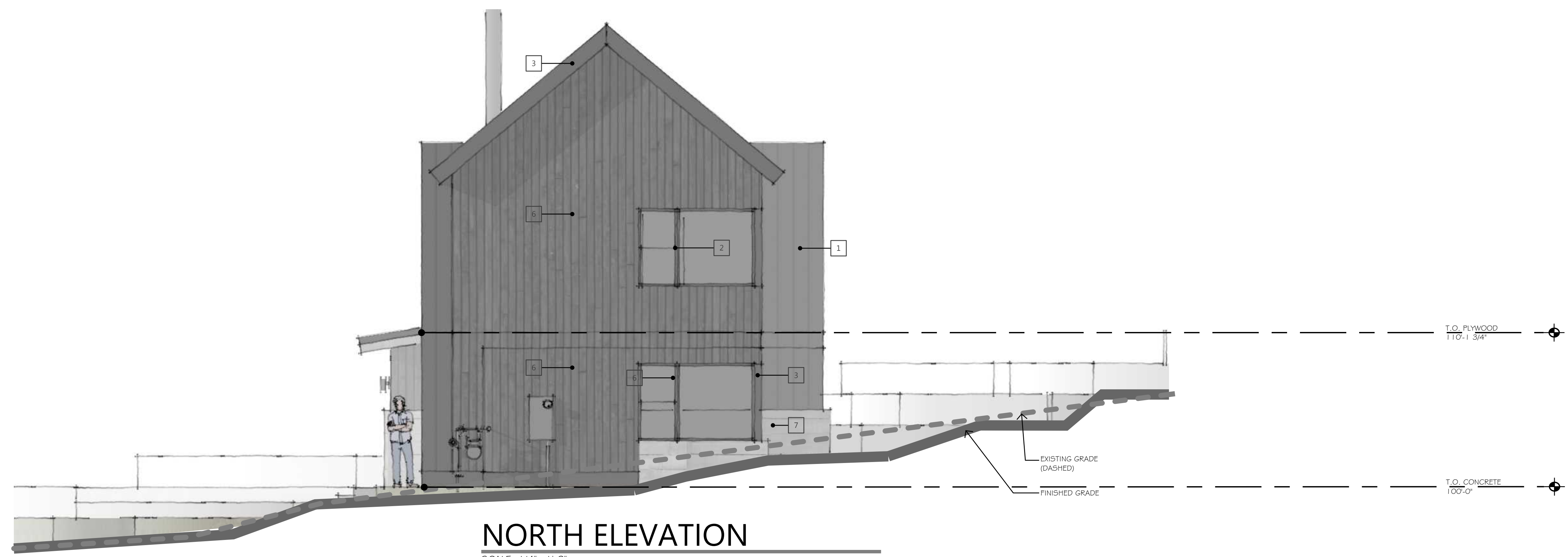


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### WEST ELEVATION

SCALE: 1/4"= 1'-0"



### NORTH ELEVATION

SCALE: 1/4"= 1'-0"

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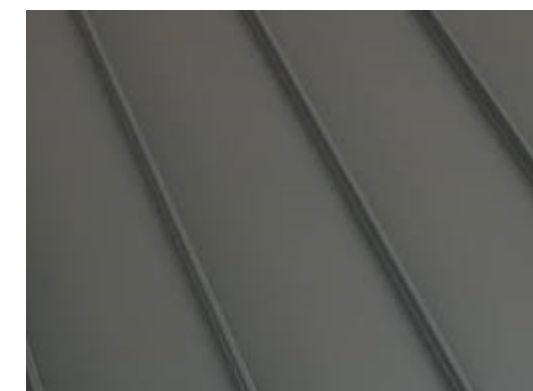




**SLEEPING SPACES:**  
BEDROOMS ARE PRIVATE WITH PM  
SUN AND VIEWS

**GREAT ROOM:**  
VIEW TO MOUNTAIN PEAKS,  
VAULTED CEILING

**ENTRY:**  
VISUALLY DIRECT  
COVERED PORCH WITH WINDOWS  
FOR NATURAL LIGHT



**1 ROOF AND ACCENT SIDING**  
METAL-BERRIDGE-STANDING SEAM 'CHARCOAL GREY'



**2 WINDOWS AND DOORS**  
WOOD CLAD-SIERRA PACIFIC-'BLACK'



**3 ACCENT METAL/GARAGE DOORS**  
TO MATCH ROOF 'CHARCOAL GREY'



**4 TRIM/SOFFIT/BEAMS**  
SHERWIN WILLIAMS-'BLUE SPRUCE'



**5 HORIZONTAL SIDING**  
SHIP LAP-NAKAMOTO FORESTRY-PIKA PIKA-'SOLAR SHIELD WHITE'



**6 VERTICAL SIDING**  
SHIP LAP-NAKAMOTO FORESTRY-GENDAI-'ALKYD OIL BLACK'



**7 BASE**  
BOARD FORMED CONCRETE-'GREY'

## VIEW FROM NORTHEAST

NO SCALE

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