

# Blancken Residence Design Review Packet

66 Conifer Dr, Blue River, CO 80424

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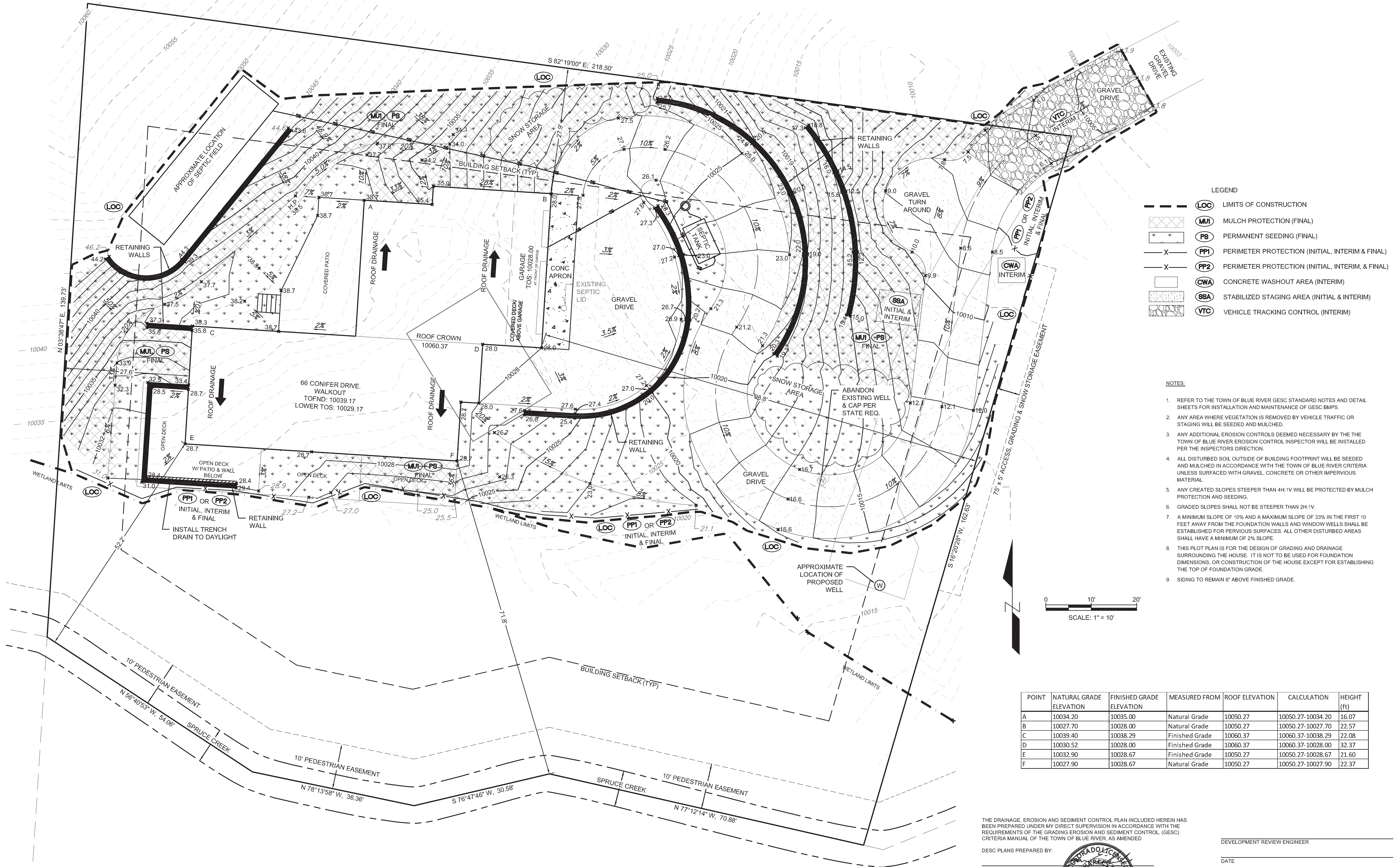
TOWN OF BLUE RIVER, COLORADO  
PLOT AND EC PLAN

66 CONIFER DRIVE  
TOWN OF BLUE RIVER, COLORADO  
PLOT AND EC PLAN

10

|                 |           |
|-----------------|-----------|
| PROJECT NUMBER: | 23201     |
| ISSUED DATE:    | 3/10/2023 |
| DESIGNED BY:    | DLC       |
| REVIEWED BY:    | RCE       |

## PLOT AND EXEC PLAN



THE DRAINAGE, EROSION AND SEDIMENT CONTROL PLAN INCLUDED HEREIN HAS BEEN PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE REQUIREMENTS OF THE GRADING EROSION AND SEDIMENT CONTROL, (GESC) CRITERIA MANUAL OF THE TOWN OF BLUE RIVER, AS AMENDED

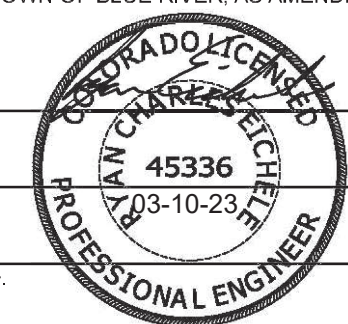
DESC PLANS PREPARED BY:

---

2N CIVIL, LLC

DATE \_\_\_\_\_

PROFESSIONAL LICENSE NO.



DEVELOPMENT REVIEW ENGINEER

DATE \_\_\_\_\_

THIS DESC PLAN HAS BEEN REVIEWED BY THE TOWN OF BLUE RIVER  
FOR DRAINAGE, EROSION AND SEDIMENT CONTROL IMPROVEMENTS  
ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK



# TOPOGRAPHIC SURVEY

OF A PORTION OF THE LEAP YEAR PLACER  
MS# 13358, TOWN OF BLUE RIVER  
SUMMIT COUNTY, COLORADO

## GENERAL NOTES

1. NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
3. THIS SURVEY WAS PREPARED WITHOUT A TITLE COMMITMENT. A TITLE SEARCH WAS NOT PERFORMED BY COLORADO ILC TO DETERMINE OWNERSHIP, EASEMENTS OR OTHER MATTERS OF PUBLIC RECORD.
4. ALL DISTANCES ARE GROUND MEASUREMENTS IN U.S. SURVEY FEET, DEFINED AS EXACTLY 1200/3937 METERS.
5. COLORADO ILC LAND SURVEYING MAKES NO REPRESENTATION REGARDING UNDERGROUND UTILITIES. ALL UNDERGROUND UTILITIES SHOWN HEREON ARE BASED UPON ACTUAL FIELD LOCATED EVIDENCE OF PIN FLAGS OR PAINT MARKINGS. STANDARD UTILITY NOTIFICATION PROTOCOL SHOULD BE ADHERED TO PRIOR TO CONSTRUCTION OR EXCAVATION.
6. ELEVATION DERIVED FROM GPS OPUS SOLUTION. SITE BENCHMARK ESTABLISHED AT NORTHEAST CORNER OF PROPERTY, FOUND HEXBOLT PIN, ELEVATION = 10003.14 NAVD 88.
7. LOT CONFIGURATION BASED UPON IMPROVEMENT SURVEY PLAT PROVIDED BY CLIENT AS PERFORMED BY SUMMIT LAND SURVEYING, INC. DATED 06/22/2021.
8. PROPERTY ADDRESS: 66 CONIFER DRIVE, BRECKENRIDGE, COLORADO 80424

## SURVEYOR'S CERTIFICATE

I, WILLIAM J. COREY, HEREBY CERTIFY THAT THIS TOPOGRAPHIC PRESENTATION WAS PREPARED FOR RUSS BLANKEN, THAT IT IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLA, AND THAT IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF FENCE, BUILDING, OR OTHER FUTURE IMPROVEMENT LINES.

I, WILLIAM J. COREY, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS SURVEY WAS PREPARED UNDER MY RESPONSIBLE CHARGE AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



WILLIAM J. COREY, P.L.S. 38594  
COLORADO PROFESSIONAL LAND SURVEYOR

PREPARED FOR:  
**RUSS BLANKEN**



JOB NUMBER  
**21-7-733**

|          |                 |                                                                                  |                                 |
|----------|-----------------|----------------------------------------------------------------------------------|---------------------------------|
| NO.      | DATE 08-09-2021 | 3000 LAWRENCE ST, STE#111<br>DENVER, CO 80205<br>O: 303.668.7540 F: 928.962.3123 | DRAWN BY:<br><b>S. CHAPPELL</b> |
| REVISION |                 |                                                                                  |                                 |

GRAPHIC SCALE



( IN FEET )  
1 inch = 10 ft.



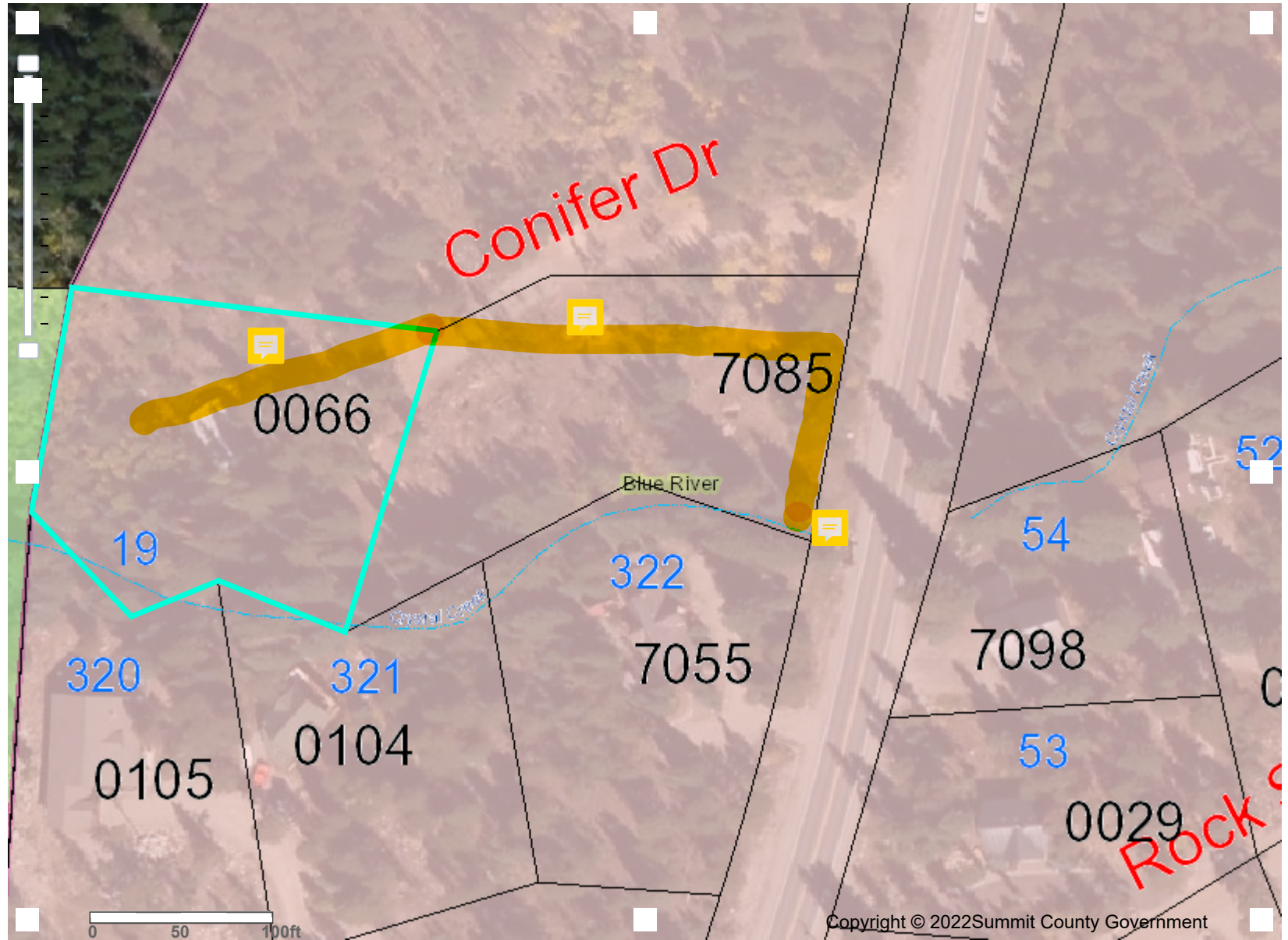
Summit County GIS

-SELECT LABEL-



Clear  
Labels

Print this  
page





66 CONIFER DR - BLUE RIVER  
NEAREST CROSS STREET - CONIFER DR AND HWY 9  
ELECTRIC DISTRIBUTION UPGRADE - BETTERMENT

EXISTING OH SERVICE ON LOT CURRENTLY OUT OF STANDARD TO SERVE CUSTOMER, NEW UG DISTRIBUTION TO BE INSTALLED TO SERVE CUSTOMER FROM FRONT OF LOT.  
-XFMR 049/921 TO BE SOURCE FOR NEW UG DISTRIBUTION, HANDDIG UP TO XFMR AND INSTALL NEW ELBOW  
-TRENCH FOR 450' TOTAL FROM EXISTING XFMR TO PROPERTY CORNER OF 66 CONIFER DR, SET NEW 50KVA XFMR AT PROPERT CORNER  
-150' OF TRENCHING TO OCCUR IN THE ROW OF HWY 9, CDOT PERMIT NEEDED WITH 2x DAYS OF TRAFFIC CONTROL  
-INSTALL 460' #1 PRIMARY WIRE FROM EXISTING XFMR TO NEW XFMR  
-BACKFILL AND COMPACT TO 95%MP

SINGLE LANE CLOSURE TRAFFIC CONTROL AND TOWN OF BLUE RIVER / CDOT PERMIT REQUIRED.

DESIGN CONTACT - PETER KUNZ - 970-409-9123 - Peter.H.Kunz@XcelEnergy.com  
CUSTOMER CONTACT - RUSS BLANCKEN - 512-656-3839 - Russ@Bigoftexas.com

TRENCH FOR 450' TOTAL FROM  
EXISTING XFMR 049/921  
-INSTALL 460' #1 PRIMARY WIRE  
-BACKFILL AND COMPACT TO 95% MP

7175

TRENCH FOR 450' TOTAL FROM  
EXISTING XFMR 049/921  
-INSTALL 460' #1 PRIMARY WIRE  
-BACKFILL AND COMPACT TO 95% MP

7085

TRENCH FOR 150' IN THE ROW OF HWY 9  
-CDOT PERMIT NEEDED  
-2x DAYS OF TRAFFIC CONTROL INCLUDED

HWY 9

50A  
829  
989

66

INSTALL NEW 50KVA XFMR  
-TO BE SOURCE FOR NEW SERVICE  
-TO BE STAKED BY XCEL DESIGNER

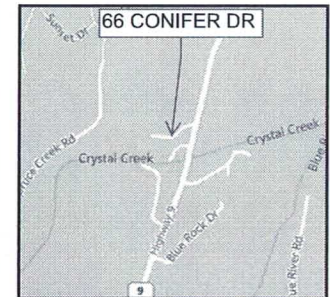
50A  
049  
921

EXISTING OH SECONDARY THAT CURRENTLY SERVES LOT  
-DOES NOT MEET CURRENT STANDARDS FOR SERVICE, TO  
BE SERVED FROM THE FRONT OF LOT  
-TO BE DEMOED ONCE SERVICE INSTALLED

EXISTING XFMR 049/921  
-TO BE SOURCE FOR NEW DISTRIBUTION  
-HAND DIG UP TO XFMR AND INSTALL NEW ELBOW

104

7050



SIGNATURE: *Russ Blanken*  
DATE: 3-23-2022

Work Order Information  
Service Request #: 12745667  
Design Number: 1062591  
Designer/Planner ID: 236955  
Designer/Planner Name: Peter Kunz  
Designer/Planner Ph #: 970-409-9123  
Manager Approval:

Joint Utility  
E: NO G: NO  
T: NO C: NO

Design Location  
Division: MOUNTAIN REGION  
County: SUMMIT  
City: BLUE RIVER  
Address: 66 CONIFER DR  
T: 7S R: 77W S: 18  
Map #: 1845584 02 Permit: CDOT / BLUE RIVER

Electric  
Feeder: BRE2564M Voltage: 14400  
Phase: A Bkup Dev ID:  
Gas  
System: Pressure:  
Size: Material:  
Dead End:

Work Order #:   
Date: 02/04/2022  
Sketch: #1 Of 1 Sketch Data  
Scale: 1" equals 33'



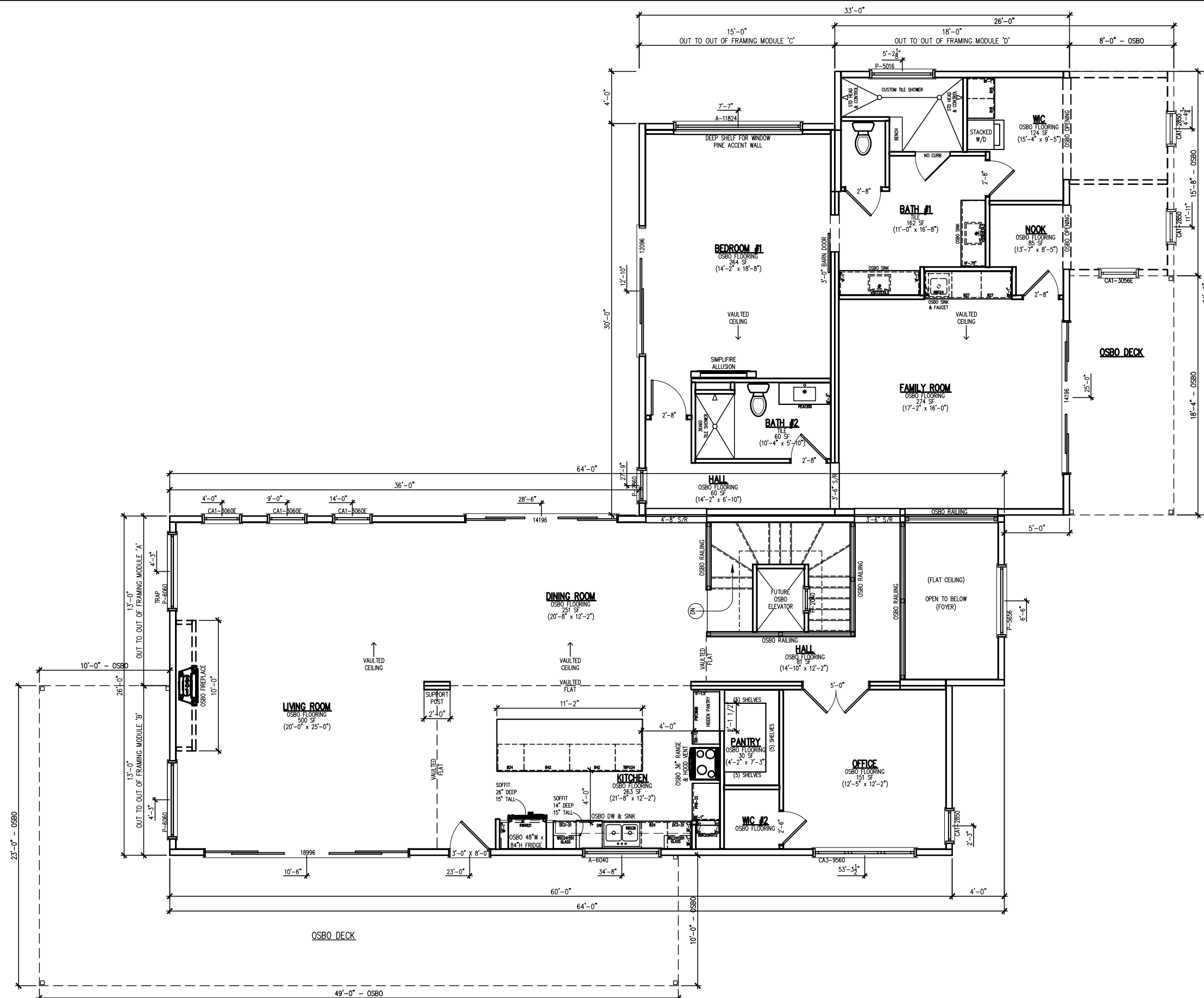
#### CONSTRUCTION USE ONLY

☐ NO CHANGES (BUILT AS DESIGNED)  
☐ CHANGES MADE AS INDICATED  
(ALL URD MUST HAVE ACTUAL MEASUREMENTS FROM THE FIELD SITE)

RFO  
FOREMAN: \_\_\_\_\_ DATE: \_\_\_\_\_  
TEAM LEADER: \_\_\_\_\_

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203 Industrial Drive  
Redwood Falls, MN  
Ph: (507) 644-6600  
Fx: (507) 644-6601

# MAIN LEVEL FLOOR PLAN

NS4537

DRAWN BY: MW

DATE: 9/15/22

DEALER: ROCKY MOUNTAIN HOMES

CUSTOMER: BLANCKEN

REV: C

BY: MW

DATE: 1/11/23

SCALE: 1/8"=1'-0"

PAGE:

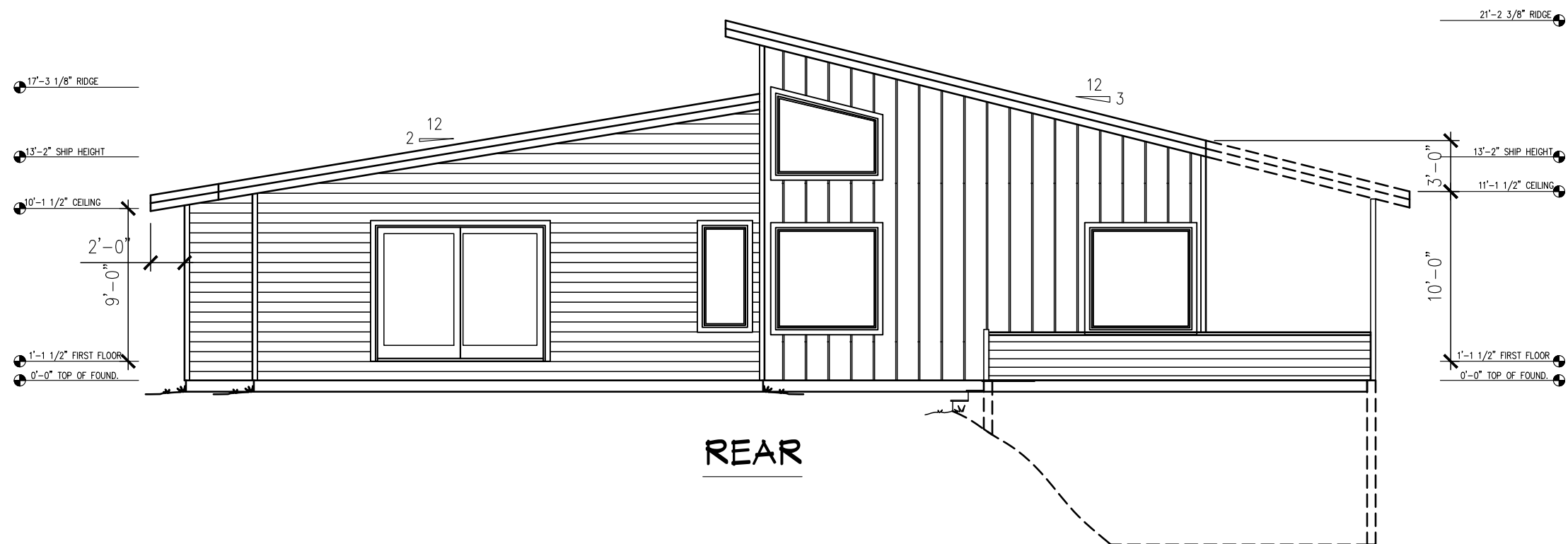
A1.1

### A3.1





FRONT



REAR

GENERAL NOTES:  
SEE SHEET A1.1



203 Industrial Drive  
Redwood Falls, MN  
Ph: (507) 644-6600  
Fx: (507) 644-6601

FRONT & REAR ELEVATIONS

NS4537

DRAWN BY: MW

DATE: 9/15/22

DEALER: ROCKY MOUNTAIN HOMES

CUSTOMER: BLANCKEN

REV: C

BY: MW

DATE: 1/11/23

SCALE: 1/8" = 1'-0"

PAGE:

A2.1

21'-2 3/8" RIDGE

13'-2" SHIP HEIGHT

11'-1 1/2" CEILING

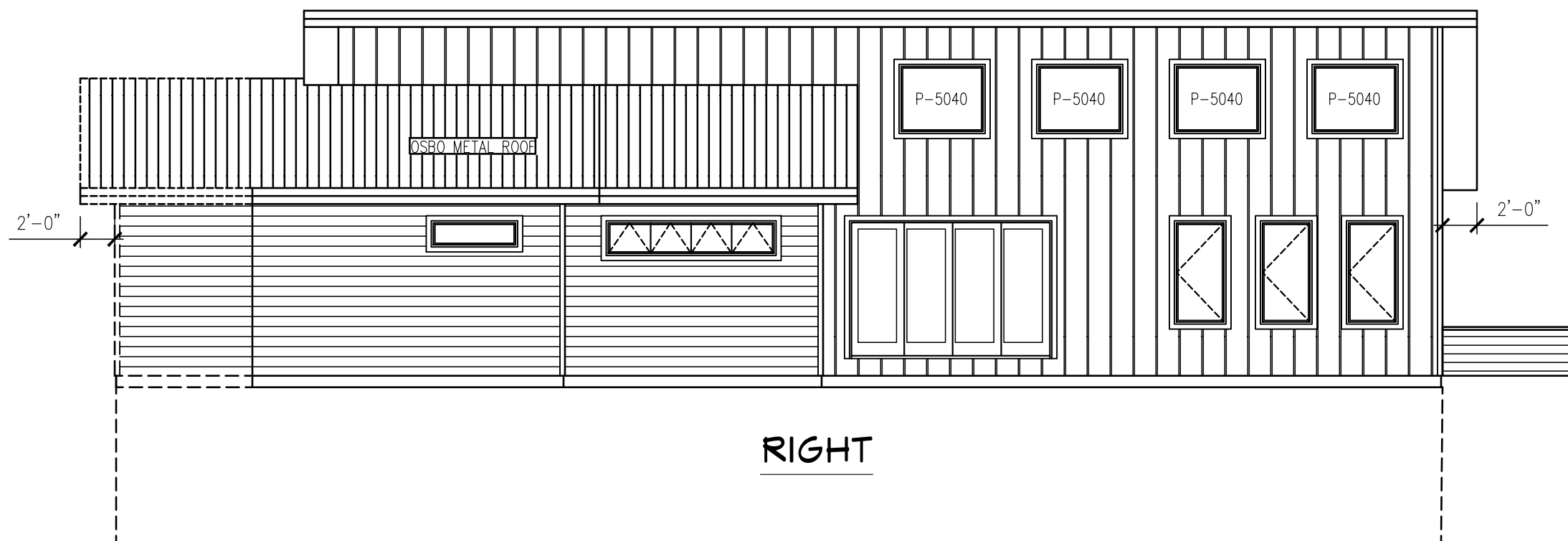
1'-1 1/2" FIRST FLOOR

0'-0" TOP OF FOUND.

10'-0"

2'-0"

LEFT



RIGHT

GENERAL NOTES:

SEE SHEET A1.1



203 Industrial Drive  
Redwood Falls, MN  
Ph: (507) 644-6600  
Fx: (507) 644-6601

LEFT & RIGHT ELEVATIONS

NS4537

DRAWN BY: MW

DATE: 9/15/22

DEALER: ROCKY MOUNTAIN HOMES

CUSTOMER: BLANCKEN

REV: C BY: MW

DATE: 1/11/23

SCALE: 1/8"=1'-0"

PAGE:

A2.2

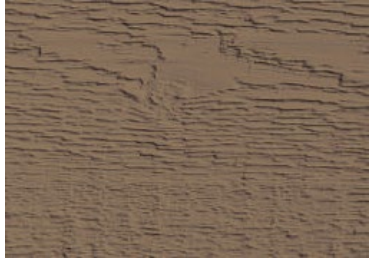
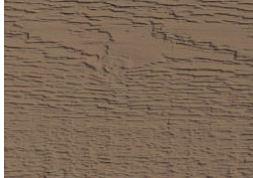


# Blancken Residence Materials Sheet

66 Conifer Dr, Blue River CO 80424

# Blancken Residence Materials Sheet

66 Conifer Dr, Blue River CO 80424

|                                                                                         |                                                                                                                                                                                                                 |
|-----------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Siding (<i>vertical portion</i>)</b><br><i>LP Smart</i><br><i>Canyon Brown</i>       |                                                                                                                               |
| <b>Siding (<i>horizontal portion</i>)</b><br><i>LP Smart</i><br><i>Cavern Steel</i>     |                                                                                                                               |
| <b>Soffit/Fascia</b><br><i>LP Smart</i><br>Soffit- Canyon Brown<br>Fascia- Cavern Steel | <div></div> <div>(Soffit) (Fascia)</div> |
| <b>Metal Roof</b><br><i>Charcoal</i><br><i>(from approved colors)</i>                   |                                                                                                                            |
| <b>Windows</b><br><i>ThermoTech</i><br><i>Black</i>                                     |                                                                                                                            |

# Blancken Residence Materials Sheet

66 Conifer Dr, Blue River CO 80424

## Exterior Stone

*Stacked River Rock*



## Garage Door

*Clopay*

*Modern Steel*

*Frosted Glass*

*Charcoal Body*



## Entry Door

*Feather River Doors*

*Modern Fiberglass*

*Door with Sidelite*

*Hand-Stained Cocoa*





# Blancken Residence Materials Sheet

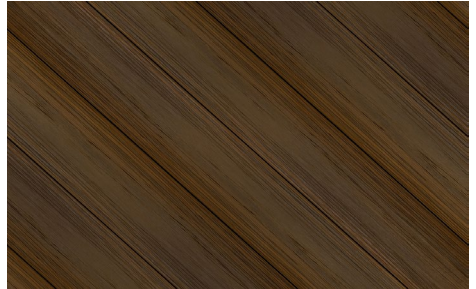
66 Conifer Dr, Blue River CO 80424

## Decking

*Fortress Building Products*

*Composite Decking*

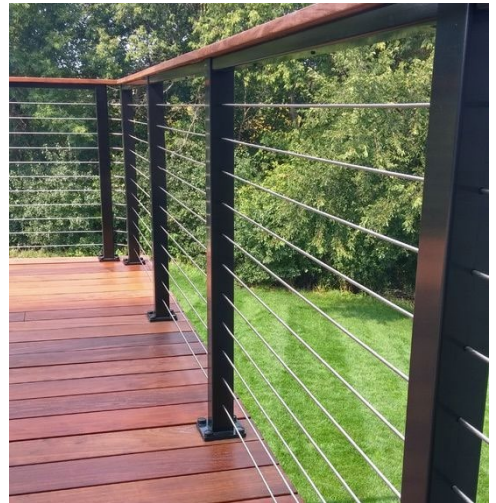
*Oasis palm*



## Deck Posts & Railing

*Cable Railing*

*Black Metal Posts*



## Covered Entry & Deck Posts

*Wood*

*Black*



## Blancken Residence Materials Sheet

66 Conifer Dr, Blue River CO 80424

### Exterior Lighting

*SeaGull*

*Sconce*

*Black*



### Exterior Lighting- Entry

*CenaLighting*

*Modern Outdoor Wall Sconce*

*Black*

