

*Previous
Approval for Lake Confer*



Minutes
TOWN OF BLUE RIVER
PLANNING AND ZONING COMMISSION REGULAR MEETING
June 7, 2022
0110 Whispering Pines, Blue River, CO 80424

I. Call to Order

- Chair Johnson called the regular meeting of the Planning and Zoning Commission to order at 6:00 p.m.

II. Roll Call

- Bevan Hardy
- Tim Johnson
- Doug O'Brien
- Troy Watts

Ben Stuckey was absent. Travis Beck was excused. Also present: Board Liaison Noah Hopkins; Town Manager Michelle Eddy.

III. Approval of Minutes-May 3, 2022

- Watts moved and Hardy seconded to approve the minutes of May 3, 2022. Motion passed unanimously.

IV. Project Reviews

- **0120 Blue Rock-Addition**

- Manager Eddy presented the project noting report from the Plan Reviewer.
- O'Brien moved and Hardy seconded to approve the addition at 0120 Blue Rock. Motion passed unanimously.

- **0498 97 Circle-New Construction**

- Manager Eddy presented the project noting report from the Plan Reviewer.
- O'Brien moved and Watts seconded to approve the new construction at 0498 97 Circle. Motion passed unanimously

- **0107 Rivershore-New Construction**

- Manager Eddy presented the project noting report from the Plan Reviewer.
- Watts moved and O'Brien seconded to approve the new construction at 0107 Rivershore. Motion passed unanimously

- **0066 Conifer-New Construction**
 - Manager Eddy presented the project noting report from the Plan Reviewer.
 - Discussion that a letter from the Corps of Engineers will be necessary and discussion about allowing 14' driveway for fire department access. Discussion to allow for safety reasons. It was noted to change the roof color.
 - Hardy moved and O'Brien seconded to approve the new construction at 0066 Conifer. Motion passed unanimously
 - **0038 Rock Springs-Garage**
 - Manager Eddy presented the project noting report from the Plan Reviewer. It was noted this was previously approved but approval expired before permit was pulled.
 - Watts moved and O'Brien seconded to approve the garage at 0038 Rock Springs. Motion passed unanimously
- V. Member Vacancy**
- Manager Eddy reported there is a vacancy on the Commission as the Board of Trustees voted to remove Jonathan Heckman for attendance issues.
- VI. Other**
- Watts requested to have the driveway 12' requirements reviewed and work with Red, White and Blue to obtain input and information on recommendations on the agenda for July.
 - Discussion to also address buck rail fencing and requirements.
- VII. Next Meeting July 5, 2022**
- There being no further business before the Planning and Zoning Commission, Commissioner Hardy moved and Commissioner Watts seconded to adjourn the meeting at 6:49 p.m.

Respectfully Submitted:
Michelle Eddy, MMC/CPM
Town Clerk



Building Permit Application

Email to: info@townofblueriver.org

Questions? Call (970) 547-0545 ext. 1

Lot Number: TR7-77

Subdivision: Sec 18 Qtr 3

Blue River Physical Address: 66 Conifer Dr., Breckenridge CO 80424

Homeowner Information:

Name: Russell Blancken

Mailing Address: 5541 McNeil Dr., Austin, TX 78729

Phone: 512-656-3839

Email: russ@bigoftexas.com

Contractor Information

Company Name: Littlehorn Engineering

Contact Name: John Littlehorn

Mailing Address: 351 Highway 285, Fairplay, CO 80440

Phone: 719-836-7120

Email: design@johnlittlehorn.com

Contractor Registration #: Not sure but says they are registered contractor with Blue River.

***Please note a Town of Blue River Business License is required for all businesses to conduct business in the Town of Blue River including contractors, sub-contractors and architects. ***

Description of Project: Site Plan for described location in process of building a single family home.

Distance to Property Line	Type of Heat: Radiant Floor	Construction Type: Frame
North: 49.8 ft	Roof: Metal	Building Height: 32.4 ft
South: 65.47 ft	Exterior Walls: stone, cement block, siding	No. Stories: 2
East: 86.29 ft	Interior Walls: 5/8 gypsum, texture	Total # Bedrooms: 3 now 4 later
West: 15.39 ft	Basement Fin. Sq.Ft.: NA	Total # Bathrooms: 5 now 6 later
New Addition/Res. Sq.Ft.: 3440	Main Level Sq.Ft.: 2752	Septic or Sewer: Septic
Garage Sq.Ft., incl Mech Rm: 2294	Lower Level Sq.Ft.: 2982	
Total Square footage: 5734	3rd Level Sq.Ft.: NA	

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING, HEATING, VENTILATION WORK, & FIREPLACES. THIS PERMIT BECOMES NULL AND VOID IF CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN ____ OR IF CONSTRUCTION IS SUSPENDED OR ABANDONED FOR A PERIOD OF ____ AT ANY TIME AFTER WORK IS COMMENCED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE AND CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS REGARDING BUILDING CONSTRUCTION AND TO BUILD ACCORDING TO THE APPROVED PLANS. THE GRANT OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

Signature of Owner or Contractor: Russ Blancken Date: May 16, 2022

Submittal Requirements

****ALL Submittals Must be Electronic****

Emailed to: info@townofblueriver.org

Planning & Zoning Review Submittal Requirements

****Please indicate via check box item included as well as page number in submitted packet.**

Completed ☒ X	Item, File	Description	Page #
X	Site Plan	Scale: 1" = 10'; May appear on a single sight plan. IF on a separate page, please indicate the page.	
X	Site Plan	Property Boundaries	2
X	Site Plan	Building Envelope with setbacks	2
X	Site Plan	Proposed Buildings	2
X	Site Plan	Structures (existing & proposed)	2
X	Site Plan	Driveway & Grades	3
X	Site Plan	A wetlands delineation & Stream crossing structures where applicable.	2
X	Site Plan	Topographic survey, prepared and stamped by a licensed surveyor, indicating site contours at 2' intervals, easements, and significant natural features such as rock outcroppings, drainages and mature tree stands.	2, 3
In process with Xcell Energy	Transformer Vault Loc.	Transformer & vault location (if installed by owner or existing)	1, 2
X	Site Plan	Well location; septic if applicable	2
X	Site Plan	Snow storage areas and calculations	2
X	Site Plan	Major site improvements	2
X	Site Plan	Existing & proposed grading & drainage	3
	Landscaping Plan	*May be included in the site plan**	
Trees to be removed in areas of shown Roadway, Driveway and Home site.	Site Plan	Landscaping must indicate tree removal for defensible space requirement; any trees 6" or more primarily noting the removal of any ponderosa pines or large trees. Clear cutting of a site is not allowed.	2-4
		Indicate the percentage of trees removed and revegetation to be conducted.	
		Upon completion of the construction project, all land must be raked and	

X	Site Plan	reseeded with native seed prior to issuance of CO. in cases of completion during snow coverage and/or winter, CO may be issued with conditions for completions within 60 days of the last snow and a deposit.	5
X	Site Plan	Any major structures (retaining walls; fences; landscaping rocks) must be indicated in detail on plans in conformance with the design regulations.	5
X	Floor Elev Ext Roof Materials	Indicating building walls, floors and roof relative to the site, including existing and proposed grades, retaining wall and proposed site improvements.	3, 4
X	Floor Plans	Scale 1/8" = 1'	
X	Floor Elev Ext Roof Materials	Indicate the general layout of all rooms, approximate size, and total square footage of enclosed space for each floor level.	5, 6
X	Exterior Elevations	Scale same as floor plans	
X	Floor Elev Ext Roof Materials	Detail to indicate the architectural character of the residence, fenestration and existing and proposed grades. Elevations must include a description of exterior materials and colors.	3, 4, 7, 8
X	Roof Plan	Scale same as floor plans	
	Floor Elev Ext Roof Materials	Indicate the proposed roof pitch, overhang lengths, flue locations, roofing materials and elevations of major ridge lines and all eave lines.	3, 4
X	Materials Sheet Floor Elev Ext Roof Materials Ext Colors	Display materials to be used. Color renderings are suggested as well. In cases of additions, if matching the existing structure, photos of current home.	3, 4, 7 1

After Approval and BEFORE Permit is Issued:

ELECTRONIC COPY Stamped set.

- All of the above mentioned plus items below in one plan set.

Completed ☒ X	Item	Page #
	Soils report if applicable	
	Electrical, plumbing and mechanical plans.	
	Construction Management Plan. Please refer to the Town Code and Architectural Guidelines for all requirements.	
	Stamped structural plan	
	Current Summit County Septic System Permit (including system plot plan), or evidence of full payment of tap fees to Upper Blue Sanitary District.	
	Current Colorado Well Permit or evidence of full payment of tap fees to Timber Creek Water District	
	Colorado Department of Transportation Hwy Access Permit	
	Designation of General Contractor, except for bona fide homeowner contractor	
	For Manufactured Homes the following additional information is required	
	• State of Colorado Division of Housing Approved Plans	
	• State of Colorado Division of Housing Registered Installer Certificate	

TO: Michelle Eddy, CMC/CPM - Town Manager/Clerk
FROM: Thomas Marshall, Plan Reviewer - CAA
DATE: May 31, 2022
RE: Planning/Zoning/Architectural Guidelines review –
0066 Conifer Drive

Below please find staff's analysis that outlines the review with the Town's Zoning regulations and adopted Architectural Design Guidelines for the structure proposed at 0066 Conifer Drive.

Zoning Regulation analysis –

Proposal: A total enclosed 5734 s.f. This structure is a proposed 3440 s.f., 3 bedroom, 5 bath, 2 story single family home with an attached 1422 s.f. unconditioned 3 vehicle garage and workshop. There is an additional 872 s.f. of mechanical space and unfinished area that will support a future bedroom and bathroom. Exterior spaces include a 141 s.f. main level concrete patio, and an additional combined 1014 s.f. of elevated decks.

Zoning district: R-1

Lot Size: ~ 31,664 s.f., 0.727 acres
80,000 sq. ft. Required– Existing Non-Conforming

Lot Width: >100'
100 ft. Required - Complies

Setbacks: Proposed single family home with attached garage complies with the required 15' side yard and 25' front and rear yard setbacks.

Height: Complies with required height limitations. Proposed building height is 32.4'.

Garage Stds: The proposed 3 vehicle garage/workshop is ~1442 sq. ft. and complies with the standards for structures less than 5,000 sq. ft. in habitable size when broken down into ~750 s.f. of vehicle space and ~692 s.f. of workshop space.

Parking Stds: **Parking requirements will be met through the proposed garage and exterior parking.**

Architectural Design Guideline analysis -

Please note the following key to the interpretation of the analysis table:

Y	Element is in substantial compliance with the design guidelines
N	Does not comply with the design guidelines
	Requires additional information from applicant
N/A	Not Applicable to the application

STANDARD	NOTES/REMARKS	SUBSTANTIAL COMPLIANCE
DEVELOPMENT STANDARD		
VI. B. Building Envelope	The proposed home is properly sited within required setbacks. The submitted site plan also depicts several proposed boulder walls which require Town approval due to their location outside the building envelope. A proposed 5' wide easement will be sought to provide for grading, snow storage and a portion of the driveway along the Eastern boundary.	
VI. C. Building Siting	The proposed location and siting of the home takes into consideration the natural landforms and topography of the site.	Y
VI. D. Grading and Drainage	Cut and fill slopes are proposed to be kept to a minimum and final grading should avoid unnaturally broad, flat surfaces. The trees and vegetation which are to be removed to accommodate the new driveway are not adequately identified. Additional discussion should be given to the visual mass of the boulder retaining walls and seek clarification of proposed vegetative screening. Two large curves of boulder retaining walls have been proposed to support the	

	serpentine driveway and mitigate the flow of water across neighboring properties to the East and North.	
VI. E. Driveways	The existing gravel driveway is to be removed. A new 14' wide, 5780 s.f. serpentine gravel driveway is proposed and subject to Town approval due to the large area of disturbance. Adequate snow storage area has been calculated and shown on the site plan. The maximum width allowed for driveways is 12'	N
VI. F. Parking / Garages	The proposed 3 vehicle garage and exterior parking meet the requirement.	Y
VI. G. Exterior Equipment and Satellite Dishes	Exterior equipment and metering devices are identified.	Y
VI. H. Easements and Utilities	A pedestrian and existing road easement are identified. A proposed easement is noted for the Eastern property line. Documentation was not included with this submittal.	N
VI. I. Recreation Facilities	A gas fire pedestal is proposed on the rear concrete patio.	Y
VI. J. Signage	None identified. The required street address sign adjacent to the driveway shall be field verified for compliance	
VI. K. Pathways /Walkways	No circulation pathways are identified to connect with the rear patio steps. Please indicate the dimensions and material if proposed.	
VI. L. Wetlands	Wetlands are identified on the site plan. Approval from the US ACoFE and Town is required due to the proximity of of the foundation and cantilever over the wetlands. Documentation from the Corps was not included with this submittal.	N
VI. M. Wildfire Regulations	Many of the required regulations are operational requirements post-construction.	Y
ARCHITECTURAL GUIDELINES		

VII. B. Building Forms	Proposed foundation walls merge with the existing grade, vertical walls appear in general compliance. Deck column bases are board formed concrete in a non-specific color.	
VII. C. Setbacks	The proposed structure sits within the required setbacks per the submitted site plan.	Y
VII. D. Building Height	Building height complies with requirements. The new roof height is a proposed 32.4' and shall not exceed 35'.	Y
VII. E. Roofs	Primary and secondary roof slopes are proposed with a 2:12 slope which is inconsistent with the towns stated preference for slopes between 4:12 – 10:12. Town approval is required. The plans identify the roof covering as silver metal. Metal roofs are allowed in muted, non-reflective earth tones or dark natural colors.	N
VII. F. Exterior Wall Materials	Exterior materials are a combination of cultured stone in a non-specified light tan or off-white color, horizontal composite siding, and composite board and batten are proposed in a non-specific gray blue color. A more specific color board should be provided	
VII. G. Exterior Trim	Exposed painted steel beams are indicated but a color is not specified. A non-specified light-colored wood-stained soffit with wood and metal fascia are proposed. A more specific color board and colored rendering is necessary.	
VII. H. Windows and Doors	The garage door color and material is not specified. The front door is proposed to be black or dark brown. Windows are proposed aluminum clad. A more specific color board and colored rendering is necessary.	
VII. I. Balconies and Railings	A manufactured cable railing system with a wooden top rail is proposed. Town approval is required for the long expanses of repetitive balconies and railings.	
VII. J. Chimneys and Roof Vents	Chimneys extend above the roof line with a cultured stone veneer and capped with a metal cap and spark arrestor. The metal cap color is not identified, but per	

	Town regulations is required to match the approved roof color.	
VII. K. Exterior Colors	The color photograph of a similar but smaller home and the materials sheet requires more specificity. A more specific color board and colored rendering is necessary.	
VII. L. Solid Waste Collection and Service Areas	None identified but shall be field verified during construction.	
SITE ELEMENTS		
VIII. A. Retaining Walls, Landscape Walls, Fences, and Screening	New boulder retaining walls, require Town approval due to their proposed construction outside the setback. Additional discussion should be given to the visual mass of the boulder retaining walls as viewed from neighboring properties and seek a possible vegetative screening. Please notate the required screening of metering equipment from neighbor's view on the required landscape plans referenced in Item B below.	
VIII. B. Terraces, Patios, Walkways and Decks	New composition decks and stained concrete patios are proposed.	Y
VIII. C. Driveway Paving Surfaces	The proposed driveway is gravel.	Y
VIII. D. Exterior Landscape Lighting	An exterior lighting specification sheet was not provided.	N
IX. B. Submittal Requirements	Please provide the required landscape plans prepared by a licensed landscape architect. Please provide a construction timeline and construction management plan with the building permit package.	

LEGEND

BOT	BOTTOM OF SEPTIC TANK
EOA	EDGE OF ASPHALT
EGG	EDGE OF GRAVEL
FO	FINISH GRADE (TOP OF GRAVEL)
PI	POINT OF INTERSECTION
PBC	POINT OF BEGINNING
PDC	POINT OF CURVATURE
PT	POINT OF TANGENT
STA	SOIL TREATMENT AREA (LEACH FIELD)
TOT	TOP OF SLAB
TOT	TOP OF TANK
3	3' READING (WITH INTERSECTION)
---	PROPOSED SEWER LINE
---	PROPOSED WATER LINE
---	PROPOSED SALT FENCE
---	PROPOSED STRAW WATTLE
---	PROPOSED CONTOUR
---	EXISTING CONTOUR LABEL
---	PROPOSED CONTOUR
---	PROPOSED CONTOUR LABEL
---	PROPERTY PIN
---	UTILITY
---	DRAINAGE ROUTE
---	TREE TYPE & SIZE (PINE/SPEN (B))
---	PROPOSED SNOW STORAGE
---	WETLANDS (BY DELINEATED)
---	BLOCK RETAINING WALL
---	BOULDER RETAINING WALL
---	EXISTING GRAVEL ROADWAY
---	PROPOSED GRAVEL ROADWAY

NOTE: ALL SYMBOLS MAY NOT BE USED IN THIS DRAWING

IN AREAS WHERE IT IS NOT POSSIBLE TO MAINTAIN A 1:1 CUT SLOPE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE STABILIZATION AND DRAINAGE SCHEMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORKERS AS WELL AS THE MAINTENANCE OF THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE AND KEEPING THE SITE WATERED.

ALL DISTURBED AREAS TO BE RESEED WITH NATIVE WEED-FREE GRASS. SLOPES OF 3:1 OR GREATER SHALL BE SEED AFTER THEY HAVE BEEN SEED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE AND FOR ENSURING THAT THE EROSION CONTROL METHODS PRESENTED ARE FUNCTIONING PROPERLY. TYPICAL ALL AREAS.

Site and Grading Plan

NOTE: 100'-0" ARCH = 10,040.17 USGS (VERIFY)

PLOTTED SCALE 1" = 10'

DATE: 05.05.2022

REVISION: 1

CLIENT: RUSS BLANKEN

PROJECT NO: 2021-100294

"PEACE OF MIND THROUGH HOLISTIC DESIGN" 351 HIGHWAY 285, SUITE #201 AIRPORT, COLO. 80140
MAIN OFFICE: 719.383.7130
CELL: 719.783.3737

LITTLEHORN ENGINEERING & SURVEYING

OVERALL SITE PLAN

36 CONIFER DRIVE
TOWN OF BLUE RIVER, CO
MS # 1338

THE PROPERTY OF
LITTLEHORN ENGINEERING, LLC
ENGINEERING, LLC
ON COPIES OF THE
DRAWING. NO OTHER
INFORMATION CONTAINED
HEREIN IS TO BE
CONSIDERED AS A
WARRANTY OR
GUARANTEE OF ANY
KIND.

SITE & GRADING PLAN DETAIL

Site & Grading Plan Detail

NOTE: 100'-0" ARCH = 10,040.17 USGS (VERIFY)

PROPOSED BOLLARD RETAINING WALL

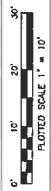
WHITE RIVER NATIONAL FOREST

WATER

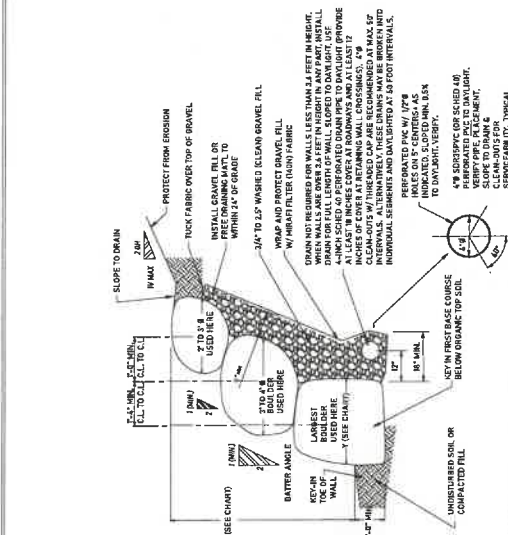
IN AREAS WHERE IT IS NOT POSSIBLE TO MAINTAIN A 1:1 CUT SLOPE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE EROSION CONTROL MEASURES TO PREVENT STABILIZATION AND DRAINAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF WORKERS AS WELL AS THE PUBLIC AND ADJACENT AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE AND KEEPING THE SITE OF WATERED.

ALL DISTURBED AREAS TO BE RE-VEGETATED WITH NATIVE WEED-FREE GRASS SEED. SLOPES OF 3:1 OR GREATER SHALL BE NEEDED AFTER THEY HAVE BEEN SEED. AFTER THE SLOPE HAS BEEN SEED, EROSION CONTROL MEASURES, MONITORING, MAINTENANCE, AND FOR ENSURING THAT THE EROSION CONTROL METHODS PRESENTED ARE EFFECTIVE IN PERFORMING THEIR FUNCTION PROPERLY. TYPICAL ALL AREAS.

Erosion Control Plan



April 26/22



BOULDER NOTES:

1. BOULDER WEIGHT - 100 POUNDS
2. BOULDER SIZE - 18" DIA

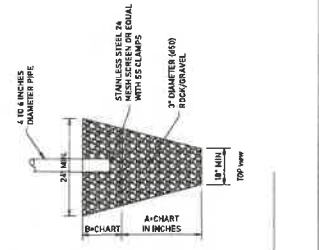
BOULDER TABLE:

BOULDER SIZE (INCHES)	BOULDER WEIGHT (POUNDS)	BOULDER COUNT PER LINEAL FOOT
18"	100	1

13 BOULDER RETAINING WALL DETAIL
1/2\"/>

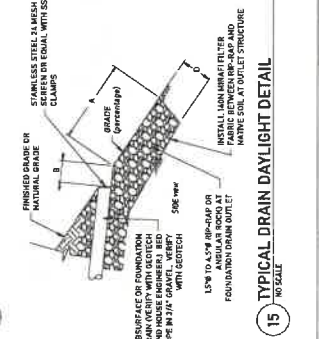
SEE DWTS DESIGN DRAWINGS

14 BOULDER RETAINING WALL AT STA 17+42.7

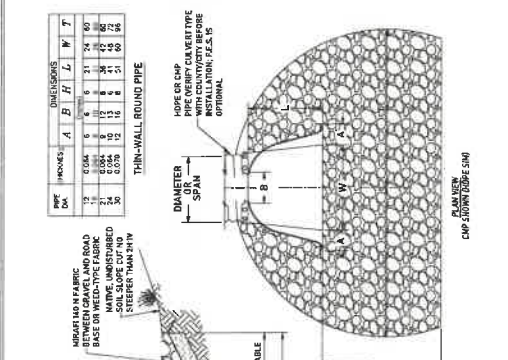


BOULDER RETAINING WALL AT STA 17+42.7

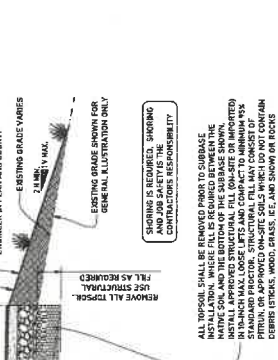
ITEM	DESCRIPTION	QUANTITY
1	BOULDER RETAINING WALL	1
2	GRASS SWALE	1



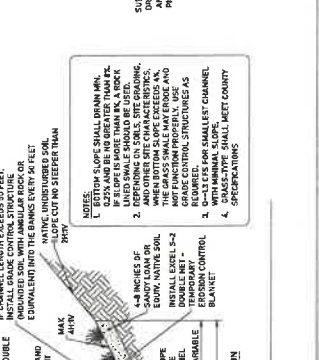
15 TYPICAL DRAIN DAYLIGHT DETAIL
1/2\"/>



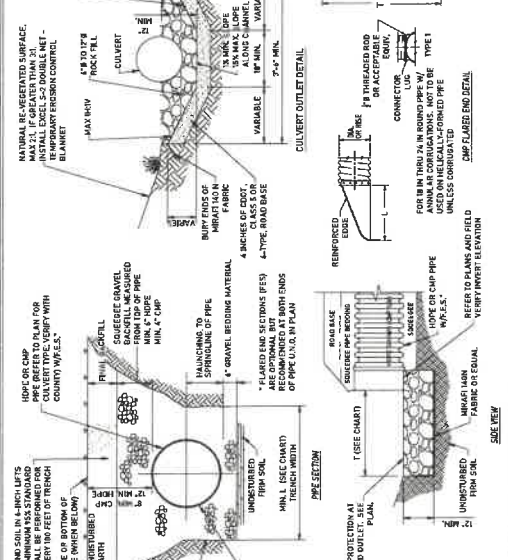
16 THIN-WALL ROUND PIPE
1/2\"/>



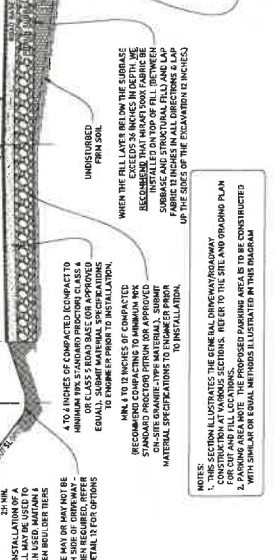
17 CULVERT DETAILS
1/2\"/>



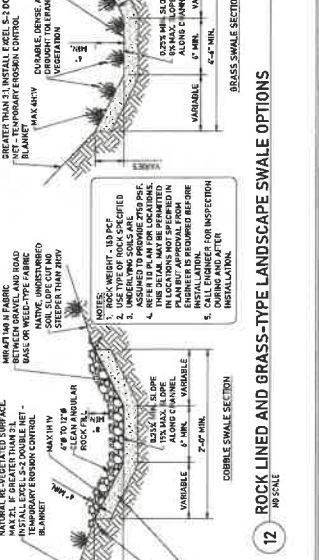
18 ROCK LINED AND GRASS-TYPE LANDSCAPE SWALE OPTIONS
1/2\"/>



19 GENERIC DRIVEWAY SECTION
1/2\"/>



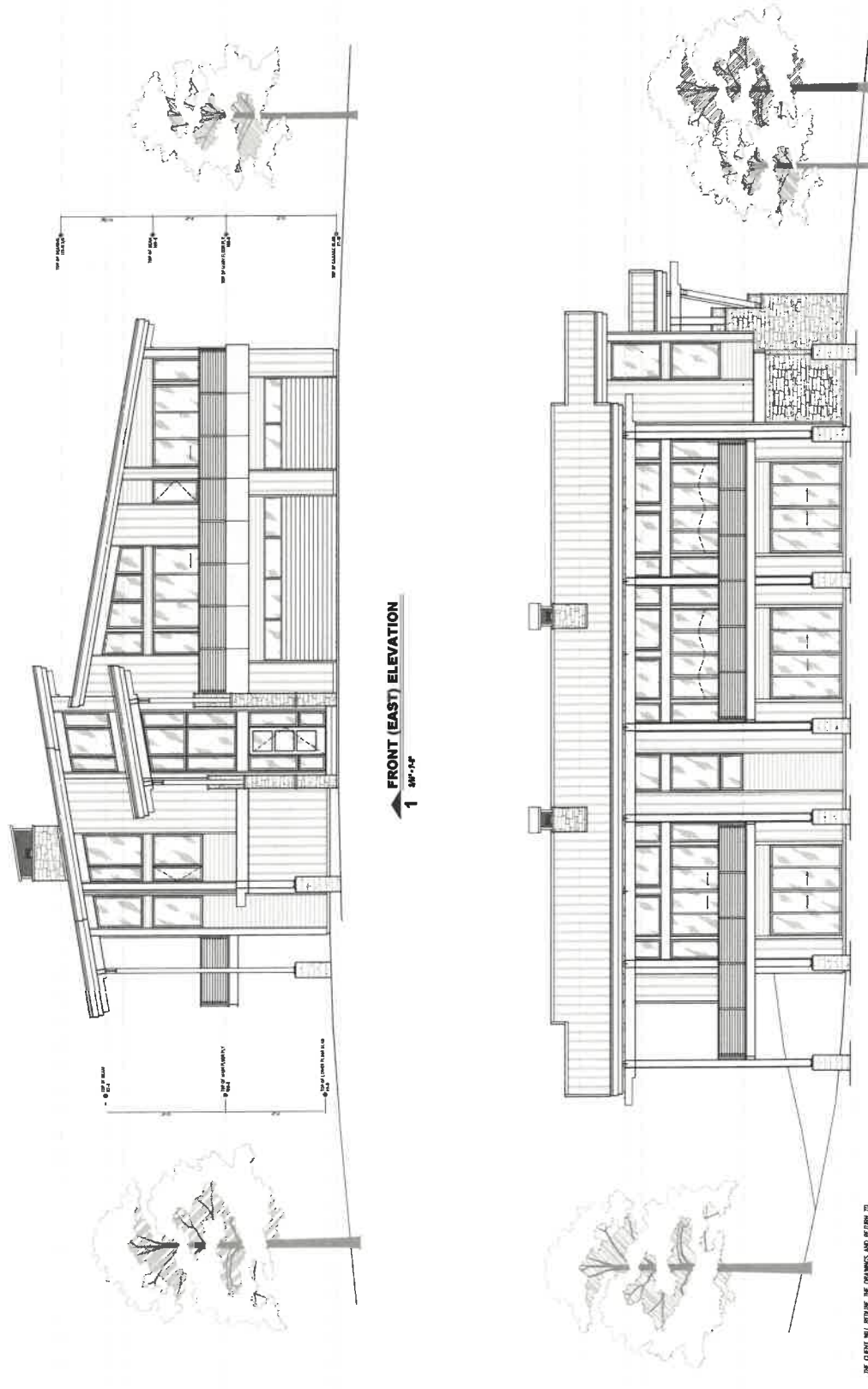
20 ROCK LINED AND GRASS-TYPE LANDSCAPE SWALE OPTIONS
1/2\"/>



21 ROCK LINED AND GRASS-TYPE LANDSCAPE SWALE OPTIONS
1/2\"/>

App'd 06/17/22

PRELIMINARY - NOT FOR CONSTRUCTION



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PRELIMINARY - NOT FOR CONSTRUCTION

REVIEW SET #2

PRELIMINARY - NOT FOR CONSTRUCTION

“PEACE OF MIND THROUGH HOLISTIC DESIGN.”

LITTLEHORN ENGINEERING, LLC

EXTERIOR ELEVATIONS

12287 COUNTY ROAD 140
SALIDA, CO 81201
FAIRPLAY OFFICE 719.836.7120
SILVER CLIFF OFFICE 719.783.3757
66 CONIFER DRIVE
TOWN OF BLUE RIVER, CO.
LEAP YEAR PLACER, MS # 13358

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A2

REVISION:

DATE _____

RUSS

PROJECT NO.

Ed.

THE CLIENT WILL REVIEW THE DRAWINGS AND RETURN TO
LITTEORN ENGINEERING FOR MODIFICATION. IF YOU HAVE ANY
QUESTIONS OR COMMENTS, PLEASE WRITE THEM ON THIS SHEET.

PRELIMINARY - NOT FOR CONSTRUCTION
REVIEW SET #2

RIGHT (NORTH) ELEVATION

4 200-1-5

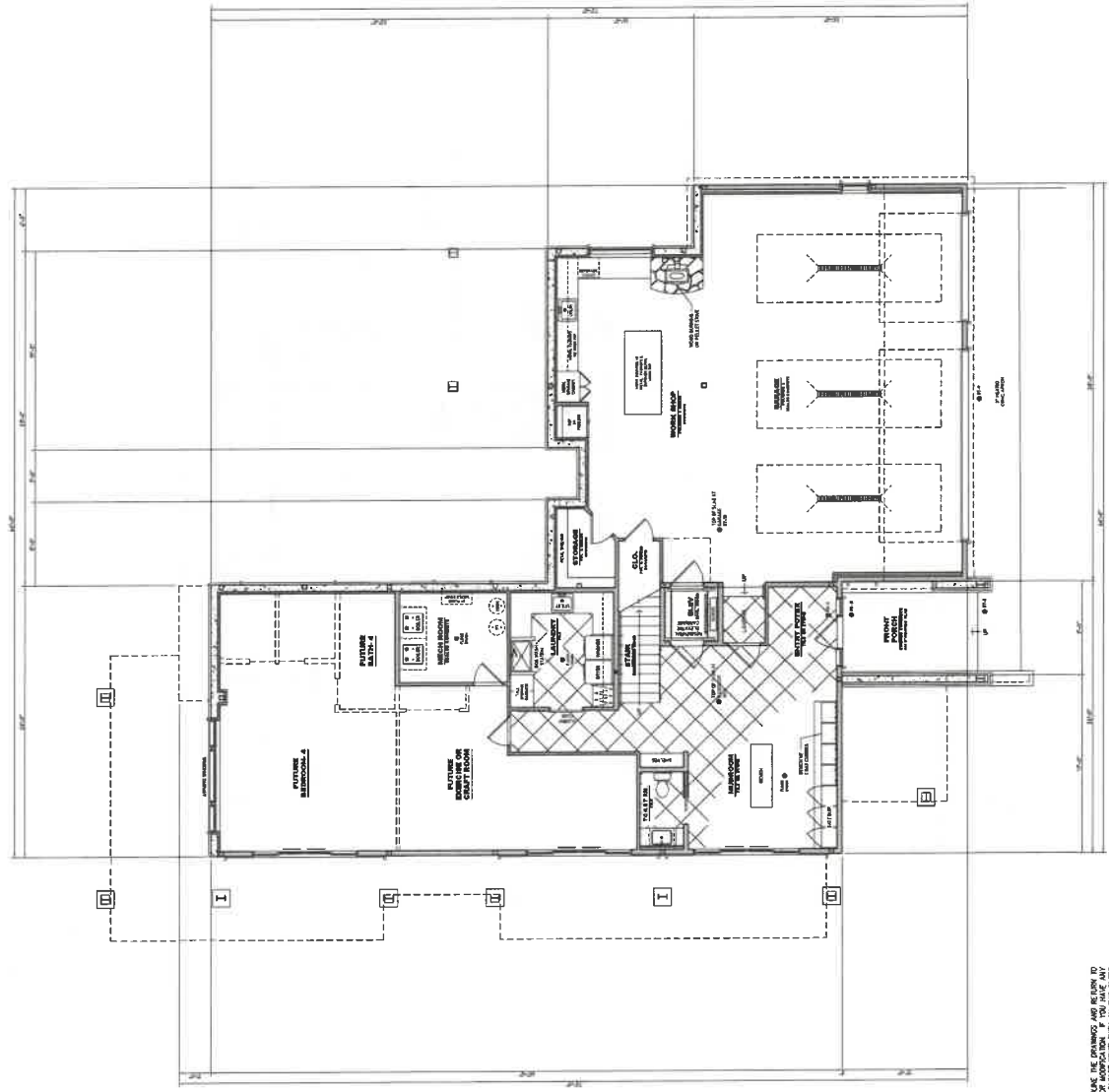
REAR (WEST) ELEVATION

3 387-124

2017

2017/12

PRELIMINARY - NOT FOR CONSTRUCTION



LOWER LEVEL FLOOR PLAN
3/16" = 1'-0"

FINISHED AREA (CONDITIONED)	688 SF
GARAGE (UNCONDITIONED)	1,422 SF
MECH & FUTURE (SEMI-CONDITIONED)	872 SF
TOTAL LOWER FLOOR ENCLOSED AREA	2,982 SF
CONCRETE PATIO	141 SF
TOTAL RESIDENCE FINISHED AREA	3,440 SF
TOTAL RESIDENCE ENCLOSED AREA	5,734 SF

THE CLIENT HAS REVIEWED THE DRAWINGS AND RELIES ON THE INFORMATION PROVIDED HEREIN FOR THE PURPOSES OF COMPLETING THE PROJECT. LITTLEHORN ENGINEERING, LLC IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS OF ANY NATURE THAT MAY BE FOUND IN THESE PLANS.

PRELIMINARY - NOT FOR CONSTRUCTION

REVIEW SET #2



**86 CONIFER DRIVE
TOWN OF BLUE RIVER, CO
LEAP YEAR PLACER, MS #13358**



NEW YORK, APRIL 7 (UPI) - NEW YORKERS WITH BLOOD-
HATED PREJUDICES WERE DIFFICULT AND SLOW TO REACT
TOWARD THE NEW YORK STATE POLICE POLICE
AND NEW YORK CITY.

NEW YORK, APRIL 7 (UPI) - NEW YORKERS WITH BLOOD-
HATED PREJUDICES WERE DIFFICULT AND SLOW TO REACT
TOWARD THE NEW YORK STATE POLICE POLICE
AND NEW YORK CITY.

PROJECT DESIGN AND REPORT:
JOHN A. LUTERBORN, P.E.,
LUTERBORN ENGINEERING, L.L.C.
CENT STREET ROAD NW
SUITE 200, COHASSETT
MASSACHUSETTS 02045
PHONE 781-261-2222
E-MAIL: JOHN@JALUTERBORN.COM

PROJECT DESCRIPTION:
TO BE DETERMINED

JOHN J. LITTLEBORN, P.O. LINDSEY, N.Y. 30144
LITTLEBORN CONSTRUCTORS & ENGINEERS, SIO
COMMERCIAL ADVERTISING AND APPROVAL
DATE

[illegible][illegible]

LITTLEHORN ENGINEERING, LLC

"PEACE OF MIND THROUGH HOLISTIC DESIGN"

COVER SHEET

68 CONIFER DRIVE
TOWN OF BLUE RIVER, CO.
LEAP YEAR PLACER, MS # 12358

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FOR BIDDING
PURPOSES
ONLY

NEURAL PROTEOMICS

1. OBJECT DATA AND INFORMATION

- [illegible]

Abstract

[illegible]

FOR POLYBUTYLENE WITH WOOD & OTHER FRAMES

[illegible]

4. **Abstract**

[illegible]

15

REINFORCING BIDDING PURPOSES ONLY

1

[illegible]

LITTL E HORN ENGINEERING, LLC PROJECT NOTES

FAIRPLAY OFFICE 719.836.7120
SILVER CLIFF OFFICE 719.781.3752

PRELIMINARY - NOT FOR CONSTRUCTION

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LEFT (SOUTH) ELEVATION

PRELIMINARY - NOT FOR CONSTRUCTION

LITTLEHORN ENGINEERING, LLC

"PEACE OF MIND THROUGH HOLISTIC DESIGN"

12287 COUNTY ROAD 140
SALIDA, CO 81201
FAIRPLAY OFFICE 719.835.7120
SILVER CLIFF OFFICE 719.783.1757

EXTERIOR ELEVATIONS
66 CONIFER DRIVE
TOWN OF BLUE RIVER, CO.
LEAP YEAR PLACER, MS # 13358

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PROJECT NO. TBD
CLIENT RUSST
DESIGNER BRANKEN
DATE 05/09/2022
DIVISION: A1

PRELIMINARY

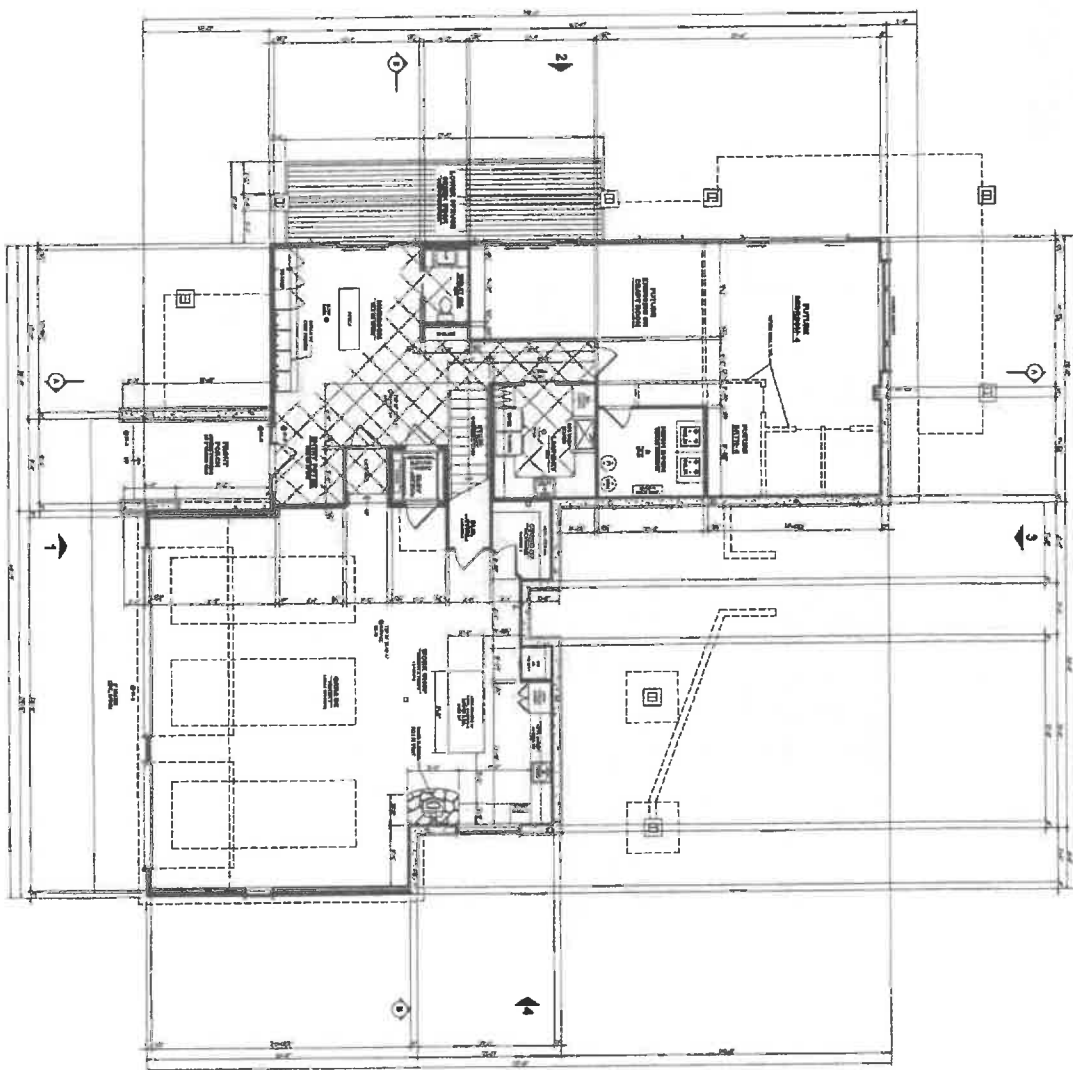


"PEACE OF MIND THROUGH HOLISTIC DESIGN"

EXTERIOR ELEVATIONS
68 CONIFER DRIVE
TOWN OF BLUE RIVER, CO.
LEAP YEAR PLACER, MS # 13358

PROJECT NO. 7BD	CLIENT RUBS BLANKEN	DATE 05.09.2022	REVISION - △ △ △	A2
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2/15 - 1-6

FINISHED AREA (CONDITIONED)	698 SF
GARAGE (UNCONDITIONED)	1,422 SF
MECH & PLUMB (SEMI-CONDITIONED)	872 SF
TOTAL LOWER FLOOR ENCLOSED AREA	2,992 SF
CONCRETE PAVT	161 SF
TOTAL RESIDENCE FINISHED AREA	3,440 SF
TOTAL RESIDENCE ENCLOSED AREA	5,734 SF



PLATED COPPER BOLLS
210 2
1/16" = 1:20"

"PEACE OF MIND THROUGH HOLISTIC DESIGN"

12287 COUNTY ROAD 140
SALIDA, CO 81201
FAIRPLAY OFFICE 719.836.7120
SILVER CLIFF OFFICE 719.783.3757

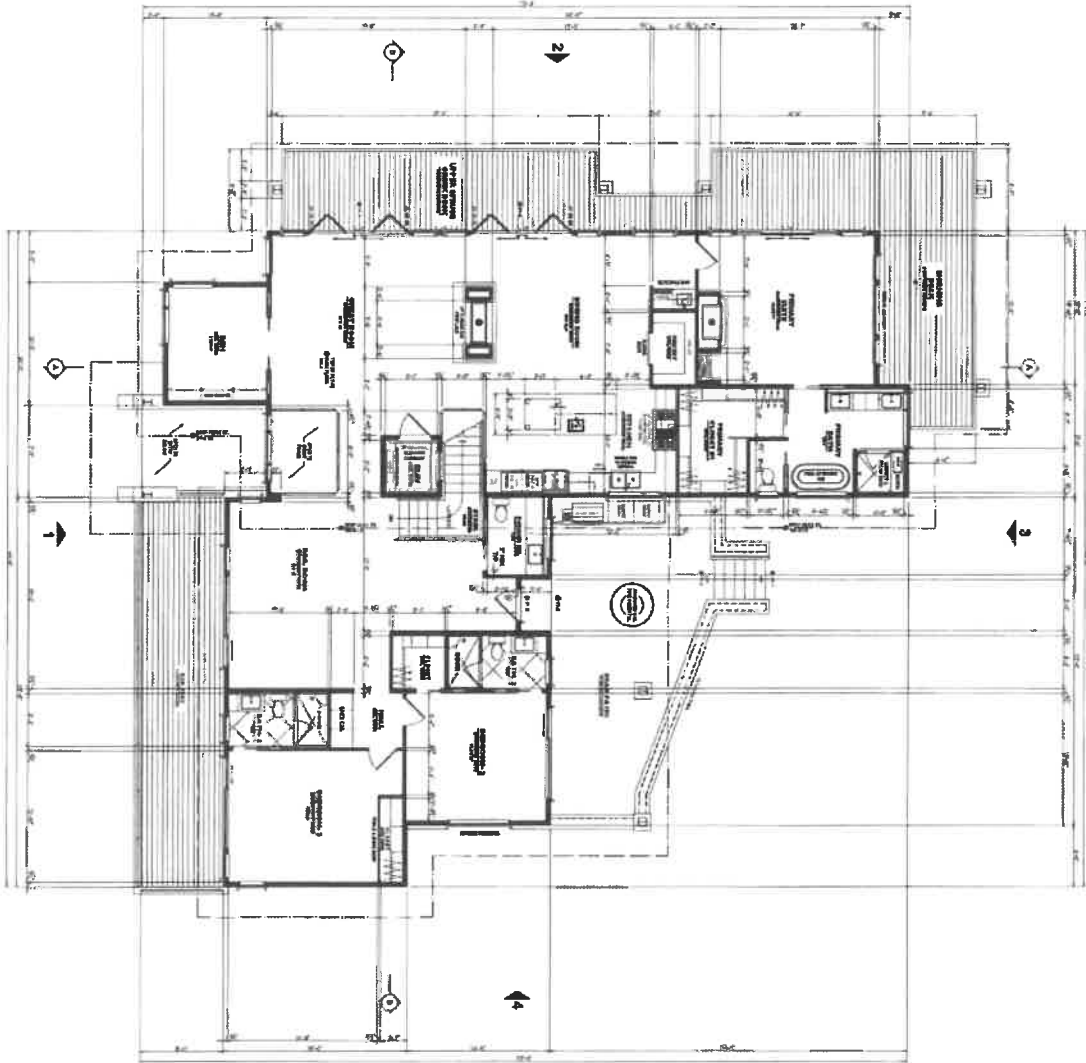
LOWER LEVEL FLOOR PLAN
66 CONIFER DRIVE
TOWN OF BLUE RIVER, CO.
LEAP YEAR PLACER, MS # 13358

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PRELIMINARY - NOT FOR CONSTRUCTION



MAIN LEVEL FLOOR PLAN

FINISHED AREA (CONDITIONED) 2,752 SF
TOTAL MAIN FLOOR ENCLOSED AREA 2,752 SF
CONCRETE PATIO 498 SF
COMPOSITE DECK 1,014 SF
TOTAL RESIDENCE FINISHED AREA 3,460 SF
TOTAL RESIDENCE ENCLOSED AREA 5,734 SF



PRELIMINARY - NOT FOR CONSTRUCTION

LITTLEHORN ENGINEERING, LLC

"PEACE OF MIND THROUGH HOLISTIC DESIGN"

12287 COUNTY ROAD 140

SALIDA, CO 81201

FAIRPLAY OFFICE 719.836.7120

SILVER CLIFF OFFICE 719.783.3757

MAIN LEVEL FLOOR PLAN

66 CONIFER DRIVE
TOWN OF BLUE RIVER, CO.
LEAP YEAR PLACER, MS # 13358

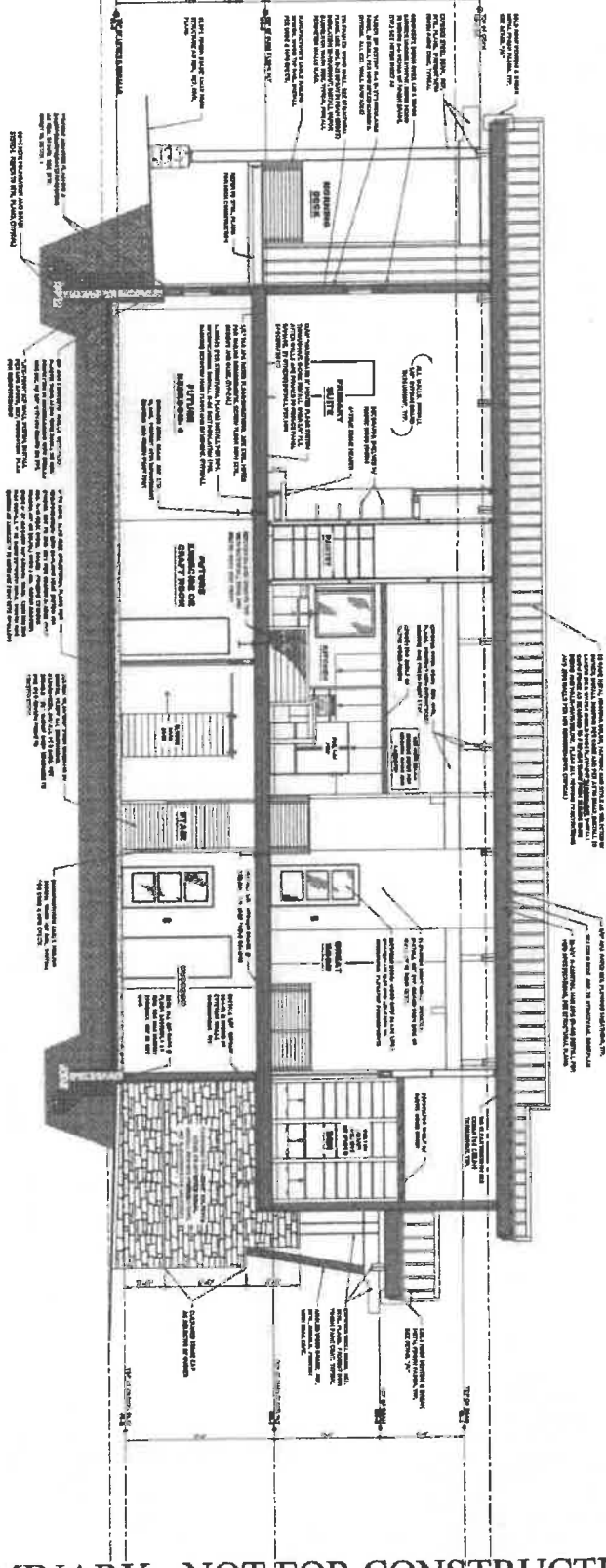
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A4

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SECTION A-A
0'-0" = 1'-0"



NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).
2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.

PRELIMINARY - NOT FOR CONSTRUCTION
LITTLEHORN ENGINEERING, LLC

"PEACE OF MIND THROUGH HOLISTIC DESIGN"

12287 COUNTY ROAD 140
SALIDA, CO 81201
FAIRPLAY OFFICE 719.835.7120
SILVER CLIFF OFFICE 719.785.3757

SECTION A-A
98 CONIFER DRIVE
TOWN OF BLUE RIVER, CO.
LEAP YEAR PLACER, MS # 13358

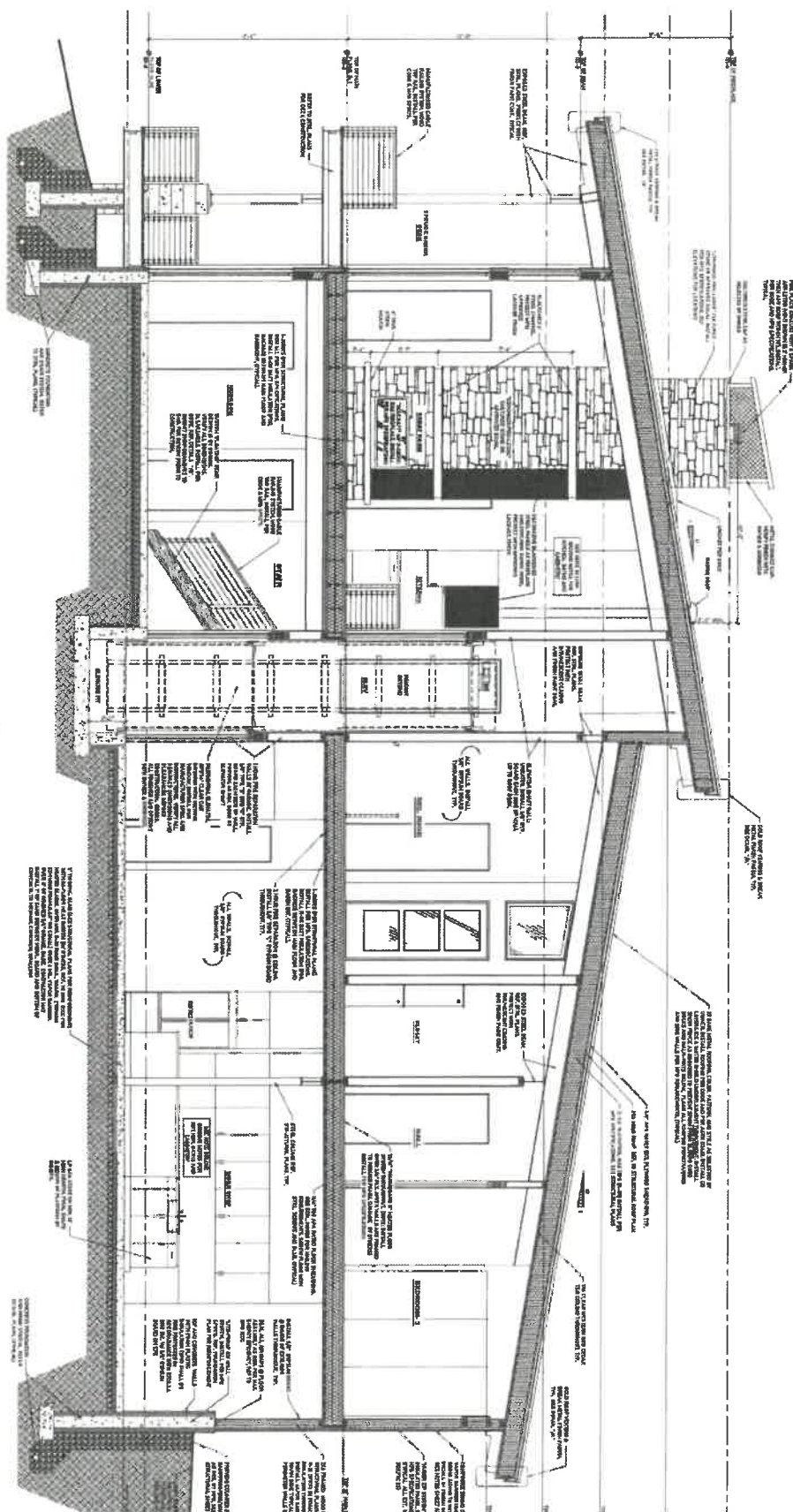
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DATE: 06/09/2012
REVISION: A.
CLIENT: RUS BLANKEN
PROJECT NO: THD

AS

THIS DRAWING IS A PRELIMINARY DESIGN FOR THE PURPOSE OF RECORD
CONSTRUCTION. IT IS NOT TO BE USED FOR CONSTRUCTION OF THE PROJECT.
PRELIMINARY - NOT FOR CONSTRUCTION

SECTION B-B
3/8" = 1'-0"



1. ALL WALLS SHALL BE CONSTRUCTED OF 8\"/>

2' = 0' 2'
1/8" = 1'-0"

PRELIMINARY - NOT FOR CONSTRUCTION
LITTLEHORN ENGINEERING, LLC

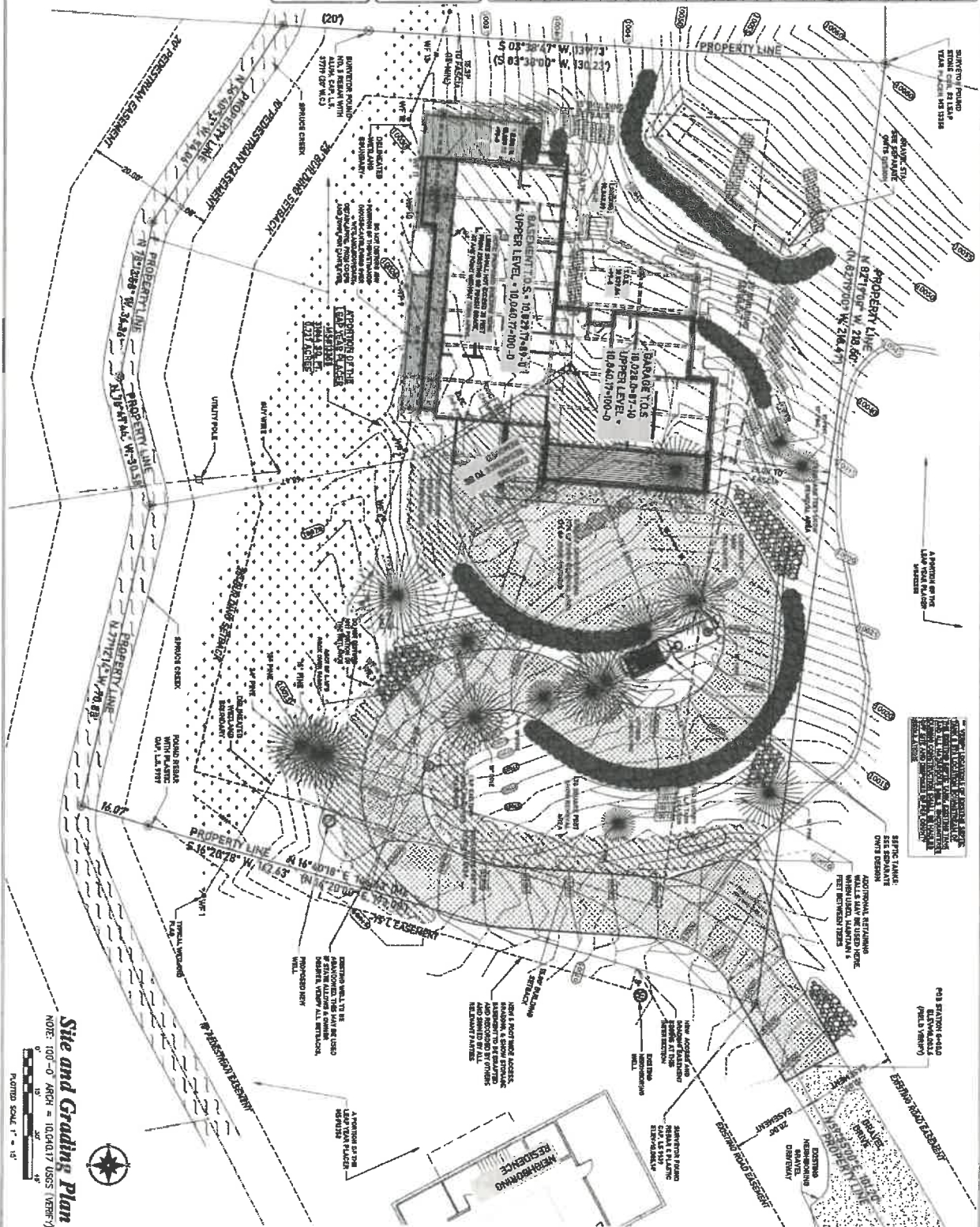
PROJECT NO.	CLINT	DATE	04/09/2012
CLIENT	RJSG	REVISION	A.
BLANKEN			
DESIGNER			
DATE			
REVISION			
A.			
A6			

SECTION B-B
66 CONIFER DRIVE
TOWN OF BLUE RIVER, CO,
LEAP YEAR PLACER, MS # 13358

12287 COUNTY ROAD 140
SALIDA, CO 81201
FAIRPLAY OFFICE 719.836.7120
SILVER CLIFF OFFICE 719.783.3757

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PRELIMINARY - NOT FOR CONSTRUCTION
FOR BIDDING PURPOSES ONLY

LEGEND	
BOT	BOTTOM OF SERVICE TANK
BOA	EDGE OF ASPHALT
BOB	EDGE OF GRAVEL
PS	PROPOSED GRAVEL (TOP OF GRAVEL)
PI	POINT OF INTERSECTION
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
PT	POINT OF TANGENCY
STA	STATIONING AND ELEVATION
TOS	TOP OF SLAB
TOT	TOP OF TANK
3	PROPOSED SEWER LINE
4	PROPOSED WATER LINE
5	PROPOSED GAS LINE
6	PROPOSED RAIL TIE
7	PROPOSED STORM WATERS
8	EXISTING CONCRETE
9	PROPOSED CONCRETE
10	PROPOSED CONCRETE
11	PROPOSED CONCRETE
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98	PROPOSED CONCRETE
99	PROPOSED CONCRETE
100	PROPOSED CONCRETE



Site and Grading Plan

NOTE: 100'-0" ARCH = 10.00417 USGS (VERT.)

PLotted SCALE 1" = 10'

LITTLEHORN ENGINEERING & SURVEYING

"PEACE OF MIND THROUGH HOLISTIC DESIGN"

351 HIGHWAY 285, SUITE #241
FAIRPLAY, COLORADO 80440
MAIN OFFICE 719.836.7120
SILVER CLIFF PHONE 719.783.3757

OVERALL SITE PLAN

66 CONIFER DRIVE
TOWN OF BLUE RIVER, CO
LEAP YEAR PLACER, MS # 13358

DATE: 05.03.2022

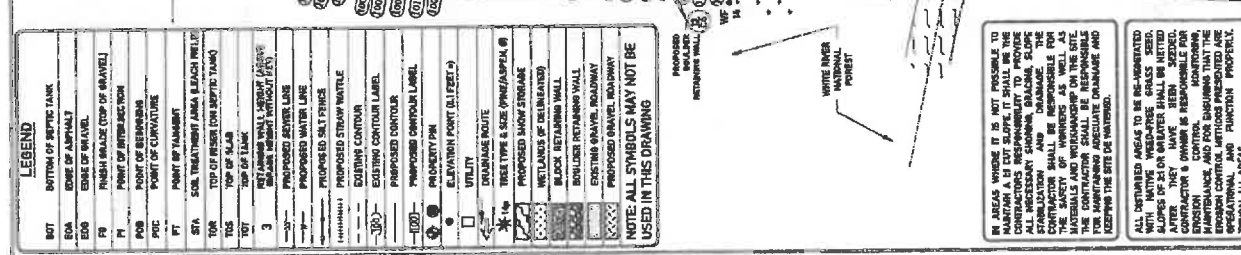
REVISION: A

PROJECT NO: 2021.10024

CLIENT: BLANKEN

Site & Grading Plan Detail

NOTE: 100'-0" ARCH = 10.040.17 USGS (VERIFY)



IN AREAS WHERE IT IS NOT POSSIBLE TO MAINTAIN A 1:1 CUT SLOPE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY SHORING, BRACING, SLOPE STABILIZATION AND DRAINAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORKERS AS WELL AS MATERIALS AND WORKMANSHIP ON THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE AND KEEPING THE SITES OF MATERIALS.

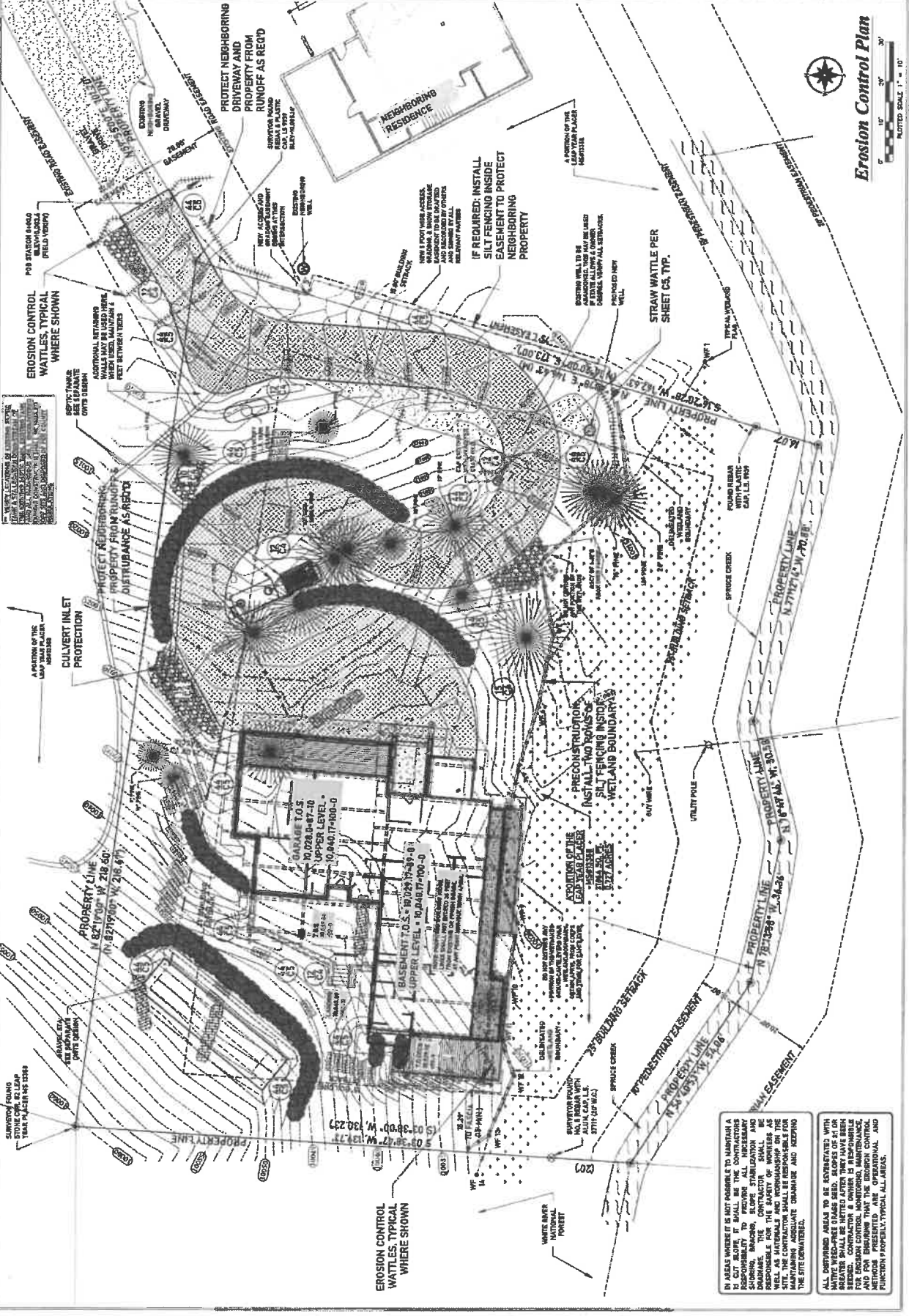
ALL DISTURBED AREAS TO BE RE-VEGETATED WITH NATIVE WILD-FRUIT GRASS SEED. SLOPES OF 2:1 OR GREATER SHALL BE NEEDED. AFTER THEY HAVE BEEN SEEDDED, CONTRACTOR OR OWNER IS RESPONSIBLE FOR EROSION CONTROL, MONITORING, MAINTENANCE, AND FOR ENSURING THAT THE EROSION CONTROL METHODS PRESENTED ARE OPERATIONAL AND FUNCTION PROPERLY.



PROJECT NO. 2021-100294
CLIENT: BLANKEN
DATE: 05/03/2022
REVISION: A

LITTLEHORN ENGINEERING & SURVEYING
"PEACE OF MIND THROUGH HOLISTIC DESIGN"
351 HIGHWAY 285, SUITE #201
FRIEDLAND, COLORADO 80440
MAIN OFFICE: 719.565.1120
SILVER CLIFF PHONE: 719.783.1757
LEAP YEAR PLACER, MS # 13358
66 CONIFER DRIVE
TOWN OF BLUE RIVER, CO

EROSION CONTROL PLAN
C3



IN AREAS WHERE IT IS NOT POSSIBLE TO MAINTAIN A 1:1 CUT SLOPE, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL NECESSARY EROSION CONTROL MEASURES TO PREVENT SOIL LOSS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF WORKERS AS WELL AS THE SAFETY OF THE PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE AND KEEPING THE SITE DEMARCATED.

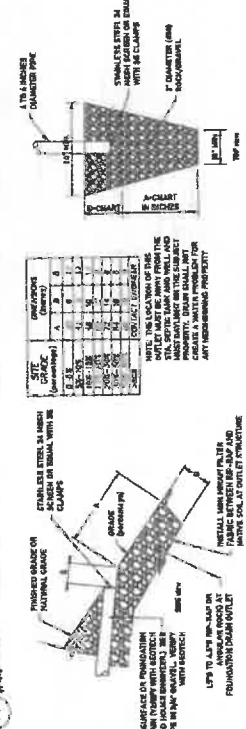
ALL DISTURBED AREAS TO BE RESTORED WITH NATURAL VEGETATION OR EQUIVALENT. GRASSER SHALL BE SEED AFTER THEY HAVE BEEN PREPARED. CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF THE PUBLIC AND FOR MAINTAINING THE EROSION CONTROL MEASURES PRESENTED ARE OPERATIONAL AND FUNCTION PROPERLY THROUGH ALL YEARS.

PR	B	I	L	A	T
2					

13 BOULDER RETAINING WALL DETAIL

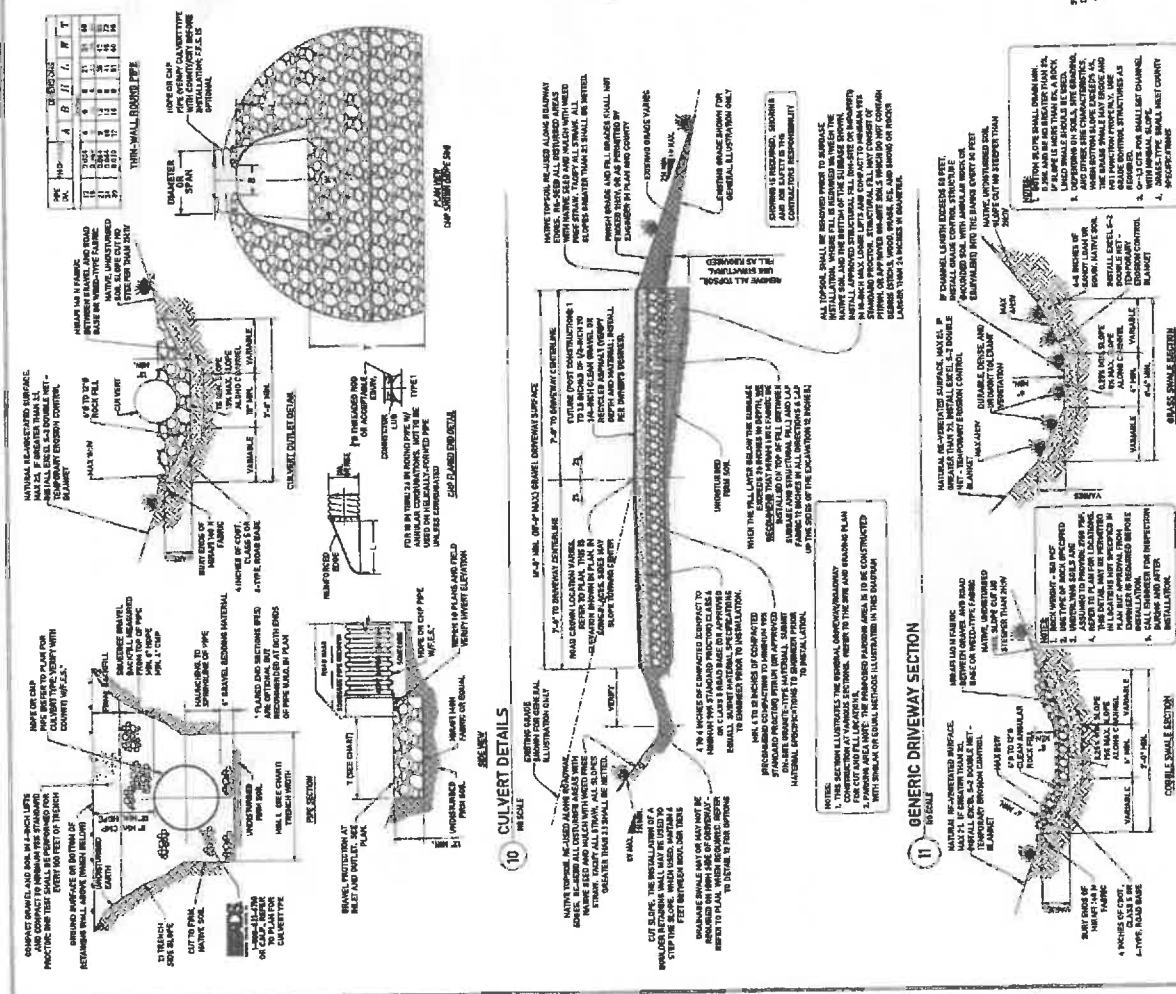
14 BOULDER RETAINING WALL AT STA 10+2.25

15 TYPICAL DRAIN DAYLIGHT DETAIL



11 **GENERIC DRIVEWAY SECTION**

12 **ROCK LINED AND GRASS-TYPE LANDSCAPE SWALE OPTIONS**



PROJECT 2021-1000	CLIENT RUBEN BLANCK	DATE 05.05.2021	REVISION Δ. Δ.
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[illegible]

)

PLACE FLANGE PARALLEL TO THE DIRECTION OF FLOW. DO NOT STOP FLOW IN THE CENTER OF THE BENT. THE FLOW MUST BE DISRUPTED.

THE 29th JULY
KIDNAP TO SLAY

A plan view diagram showing a rectangular culvert inlet (dashed rectangle) surrounded by a gravel filter bed (stippled area). The filter bed has a width of 6' on both sides of the culvert. A concrete curb (solid line) runs along the perimeter of the filter bed. A note indicates: "CURB SHALL BE CONCRETE WITH 4\"

1. NAME
2. WHT
NOT S
3. WHT
TO-BE
POSTED
4. CR

THE FIRST - APPROX. 1-4 PM, 1967, ALBANY

The diagram shows a cross-section of a trench. A trench box is shown on the left, with arrows indicating it is being moved to the right. Trench shields are shown on the right, with arrows indicating they are being moved to the left. The trench is filled with soil, and the shields are shown in the process of being installed or removed. Labels include 'TRENCH BOX', 'TRENCH SHIELD', and 'TRENCH'.

1

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100



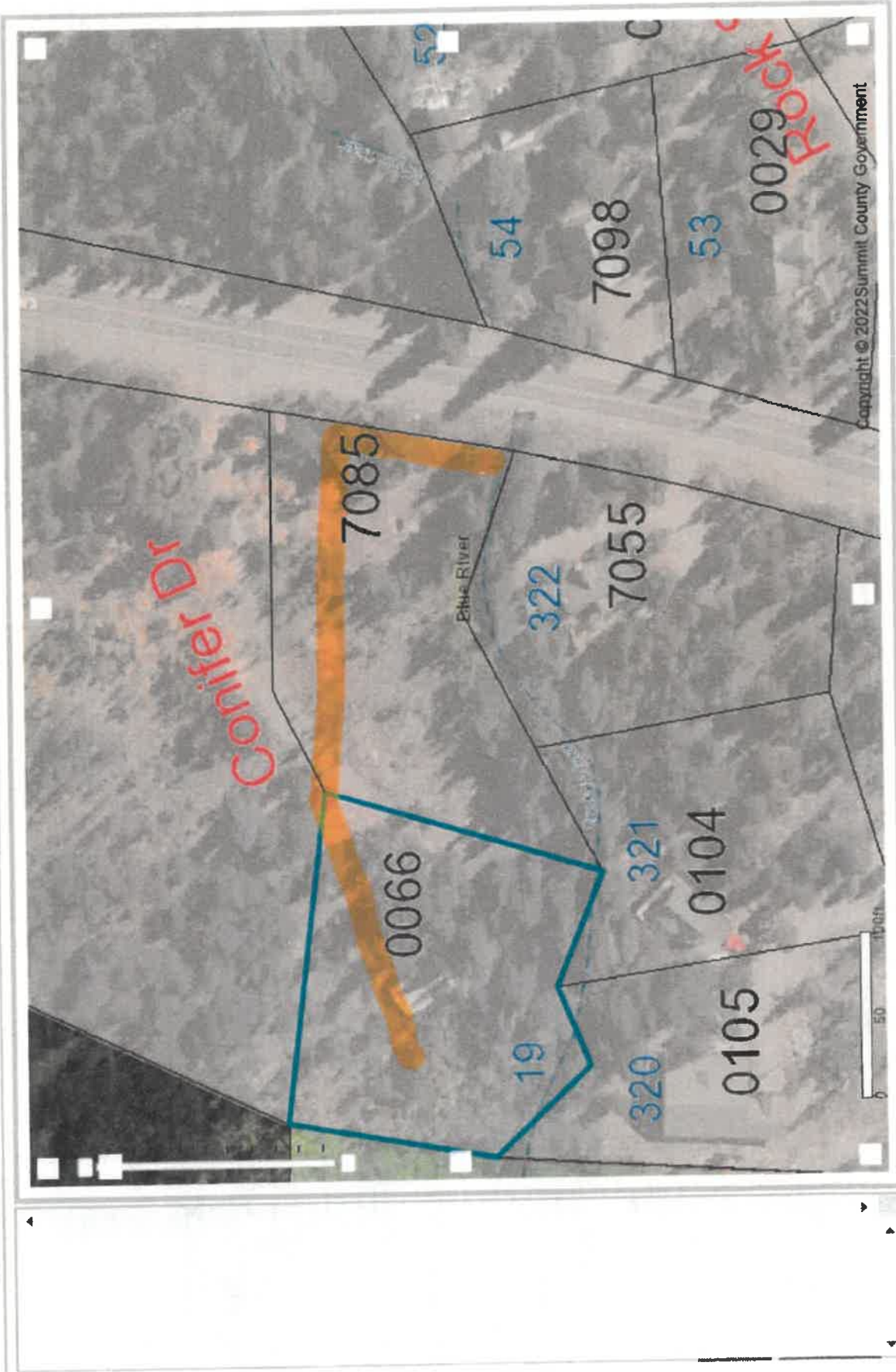
Summit County GIS

-SELECT LABEL-



Clear Labels

Print this page



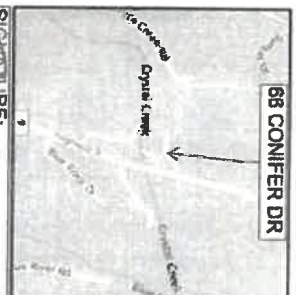
SINGLE LANE CLOSURE TRAFFIC CONTROL AND TOWN OF BLUE RIVER / CDOT PERMIT REQUIRED.
DESIGN CONTACT - PETER KUNZ - 970-409-9123 - Peter.H.Kunz@XcelEnergy.com
CUSTOMER CONTACT - RUSS BLANCHEN - 512-655-3839 - Russ@Blanchen.com

TRENCH FOR 450' TOTAL FROM
EXISTING XFMR 049/821
-INSTALL 460' #1 PRIMARY WIRE
-BACKFILL AND COMPACT TO 95% MP

TRENCH FOR 150' IN THE ROW OF HWY 9
-CDOT PERMIT NEEDED
-2x DAYS OF TRAFFIC CONTROL INCLUDED

7050

EXISTING XFMR 049/921
-TO BE SOURCE FOR NEW DISTRIBUTION
-HAND DIG UP TO XFMR AND INSTALL NEW ELBOW

[illegible]

SIGNATURE: *Tom Blomken*
DATE: 7-22-2011

Service Request #	127-00217
Design Number	162341
Design/Owner ID	22065
Design/Owner Name	Pew House
Design/Owner P.O.#	100-006173
Manager Approval	

Databases	Cross-Index Logbooks
Country	NOCTURNAL PITCHER
City	SUBART
Address	BULE AVENIR
Tel:	EA CODES SA DNE
Night :	R:77W M:10
	Pencil : CROST/BULVE RINNY
Comments	

Printer : A	Run Date ID:
System :	
Alarm :	Pressure :
Over End :	Subtotal :
What Order ?	

Benthic: 21 Of 1 Benthic Data
 Scales: 1° equals 27'





CONSTRUCTION USE ONLY

☐ NO CHANGES RESULT AS INDICATED

☐ CHANGES MADE AS INDICATED

(ALL UNIT MATHS ACTUAL)

MEASUREMENTS IN ACCORD TO THE FIELD RULE

REF. _____

FOREMAN _____ DATE _____

TEAM LEADER _____

Example Pic of Exterior



Colors to be used:

Roof - Silver

Siding and Cement board - gray blue

Stone - cultured stone in light tan or off white

Front Door - black or dark brown

Soffits and Fascia - light colored wood stain

