

PLOT AND EC PLAN

33 GOLDEN CROWN LANE
TOWN OF BLUE RIVER, COLORADO

2N
CIVIL

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PREPARED FOR:
ROCKY MOUNTAIN
HOME BUILDERS

PLOT AND EC PLAN
33 GOLDEN CROWN LANE
TOWN OF BLUE RIVER, COLORADO

DATE:
BY:

REVISIONS:
1.
2.
3.
4.

PROJECT NUMBER: 22315
ISSUED DATE: 2/15/2023
DESIGNED BY: DLC
REVIEWED BY: ROE

**PLOT AND
EC PLAN**

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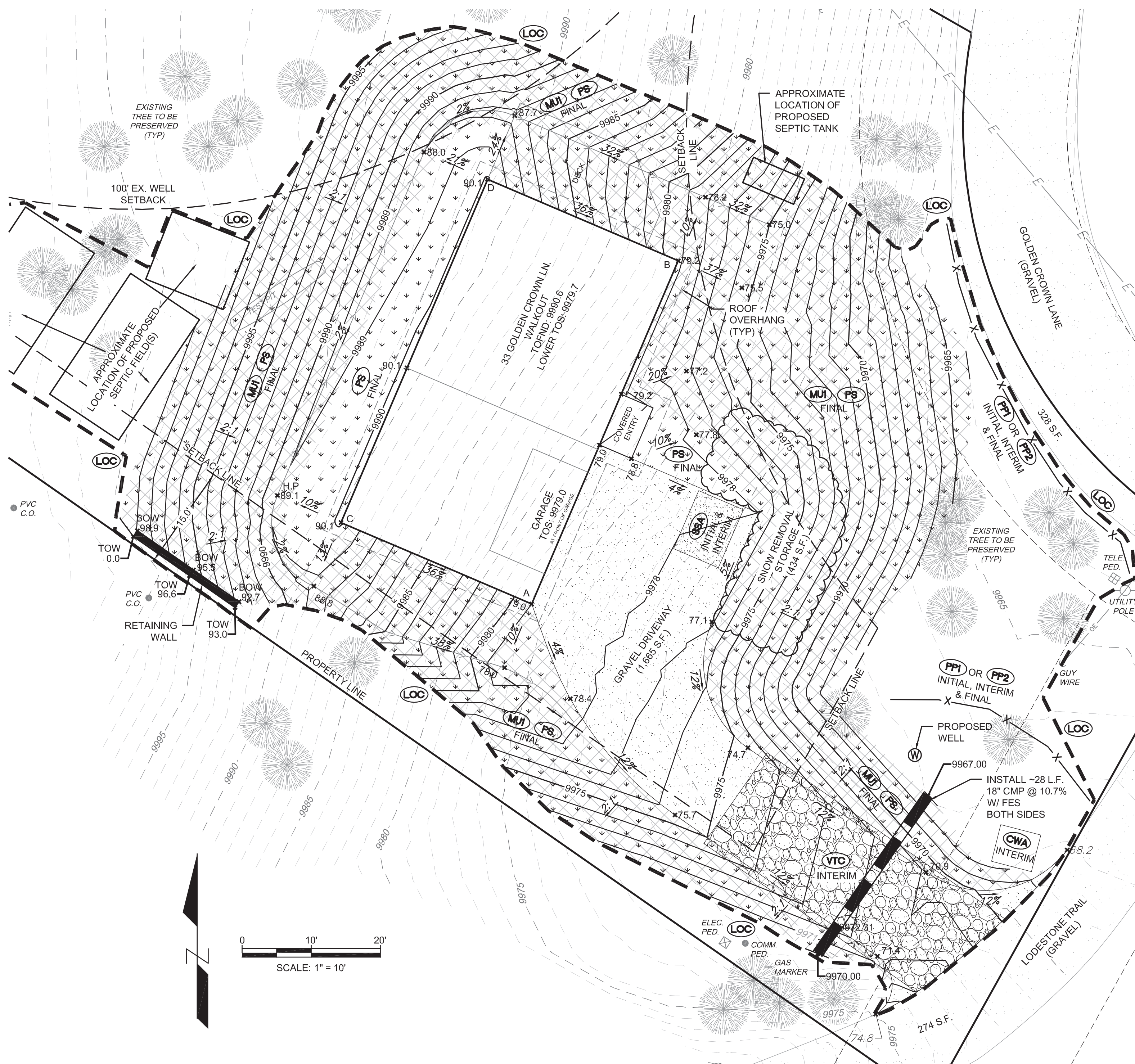


BUILDING / ROOF HEIGHT CALCULATIONS:

POINT	NATURAL GRADE ELEVATION	FINISHED GRADE ELEVATION	MEASURED FROM	ROOF ELEVATION	CALCULATION	HEIGHT (ft)
A	9975.90	9979.00	Natural Grade	10007.91	10007.90-9975.90	32.01
B	9980.90	9979.19	Finish Grade	10007.91	10007.90-9979.19	28.72
C	9989.60	9990.09	Natural Grade	10007.91	10007.90-9989.60	18.31
D	9991.20	9990.09	Finish Grade	10007.91	10007.90-9990.09	17.82

NOTES:

- REFER TO THE TOWN OF BLUE RIVER ARCHITECTURAL GUIDELINES FOR EROSION CONTROL STANDARDS, NOTES, DETAILS AND FOR INSTALLATION AND MAINTENANCE OF EROSION CONTROL BMPs REQUIREMENTS.
- ANY AREA WHERE VEGETATION IS REMOVED BY VEHICLE TRAFFIC OR STAGING WILL BE SEEDED AND MULCHED.
- ANY ADDITIONAL EROSION CONTROLS DEEMED NECESSARY BY THE TOWN OF BLUE RIVER EROSION CONTROL INSPECTOR WILL BE INSTALLED PER THE INSPECTOR'S DIRECTION.
- ALL DISTURBED SOIL OUTSIDE OF BUILDING FOOTPRINT WILL BE SEEDED AND MULCHED WITH NATIVE SEED AND IN ACCORDANCE WITH THE TOWN OF BLUE RIVER CRITERIA UNLESS SURFACED WITH GRAVEL, CONCRETE OR OTHER IMPERVIOUS MATERIAL.
- ANY CREATED SLOPES STEEPER THAN 4H:1V WILL BE PROTECTED BY EROSION CONTROL BLANKET, SEEDING AND MULCHING.
- GRADED SLOPES SHALL NOT BE STEEPER THAN 2H:1V.
- A MINIMUM SLOPE OF 10% AND A MAXIMUM SLOPE OF 33% IN THE FIRST 10 FEET AWAY FROM THE FOUNDATION WALLS AND WINDOW WELLS SHALL BE ESTABLISHED FOR PERVIOUS SURFACES. ALL OTHER DISTURBED AREAS SHALL HAVE A MINIMUM OF 2% SLOPE.
- THIS PLOT PLAN IS FOR THE DESIGN OF GRADING AND DRAINAGE SURROUNDING THE HOUSE. IT IS NOT TO BE USED FOR FOUNDATION DIMENSIONS, OR CONSTRUCTION OF THE HOUSE EXCEPT FOR ESTABLISHING THE TOP OF FOUNDATION GRADE.
- SIDING TO REMAIN 6" ABOVE FINISHED GRADE.
- LANDSCAPING DESIGN WILL BE HARMONIOUS WITH NATURAL LANDFORMS AND DISTURBANCE AREA WILL BE REVEGETATED WITH NATIVE PLANTS.



EROSION CONTROL LEGEND

---	LOC	LIMITS OF CONSTRUCTION
[X]	MUJ	MULCH PROTECTION (FINAL)
[X]	PS	PERMANENT SEEDING (FINAL)
---	PP1	PERIMETER PROTECTION (INITIAL, INTERIM & FINAL)
---	PP2	PERIMETER PROTECTION (INITIAL, INTERIM, & FINAL)
[X]	CWA	CONCRETE WASHOUT AREA (INTERIM)
[X]	SSA	STABILIZED STAGING AREA (INITIAL & INTERIM)
[X]	VTC	VEHICLE TRACKING CONTROL (INTERIM)

LAND DATA:

PROPOSED IMPERVIOUS AREA:	
HOUSE, ROOF, DECK	= 2,257 S.F.
DRIVEWAY - GRAVEL	= 1,665 S.F.
EXISTING GRAVEL ROAD	= 603 S.F.
TOTAL IMPERVIOUS AREA	= 4,525 S.F. (0.104 ACRES)
UNDEVELOPED / REVEGETATED AREA	= 21,113 S.F. (0.485 ACRES)
TOTAL PROPERTY AREA	= 25,643 S.F. (0.589 ACRES)

AREA OF DISTURBANCE: 10,446 S.F.
STEEPEST DISTURBED NATURAL SLOPE ON PROPERTY: 80%
STEEPEST PROPOSED GRADE: MAX 2:1 CUT/FILL SLOPE ALLOWED

SNOW REMOVAL STORAGE REQUIRED: 416 S.F.
SNOW REMOVAL STORAGE PROVIDED: 434 S.F.

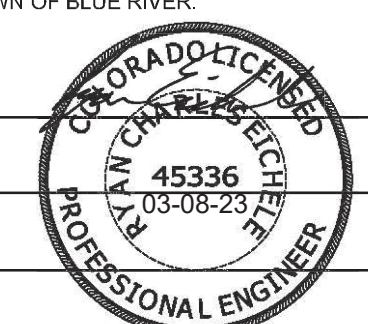
THE DRAINAGE, EROSION AND SEDIMENT CONTROL PLAN INCLUDED HEREIN HAS BEEN PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE REQUIREMENTS OF THE GRADING EROSION AND SEDIMENT CONTROL (GESC) CRITERIA MANUAL OF THE TOWN OF BLUE RIVER.

DESC PLANS PREPARED BY:

2N CIVIL, LLC

DATE

PROFESSIONAL LICENSE NO.



DEVELOPMENT REVIEW ENGINEER

DATE

THIS DESC PLAN HAS BEEN REVIEWED BY THE TOWN OF BLUE RIVER FOR DRAINAGE, EROSION AND SEDIMENT CONTROL IMPROVEMENTS ONLY.

ENGINEERING DIVISION ACCEPTANCE BLOCK

