

JEN DOEGER ADDITION

294 DAVIS COURT
 BLUE RIVER COLORADO 80424



PROJECT NARRATIVE

ADD LOWER LEVEL AND MAIN LEVEL
 ADDITION TO EXISTING HOME

PROJECT TEAM

DESIGNER: RODNEY BAHR
 96 CLIMAX DRIVE
 DILLON CO 80435

ENGINEER:

SQUARE FOOTAGES

AREA SCHEDULE	
NAME	AREA
ADDITION	281 sq. ft.
DECK AREA ADDITION	74 sq. ft.
DECK AREA EXISTING	230 sq. ft.
LOWER FLOOR	1060 sq. ft.
MAIN FLOOR	1180 sq. ft.
UPPER FLOOR	858 sq. ft.

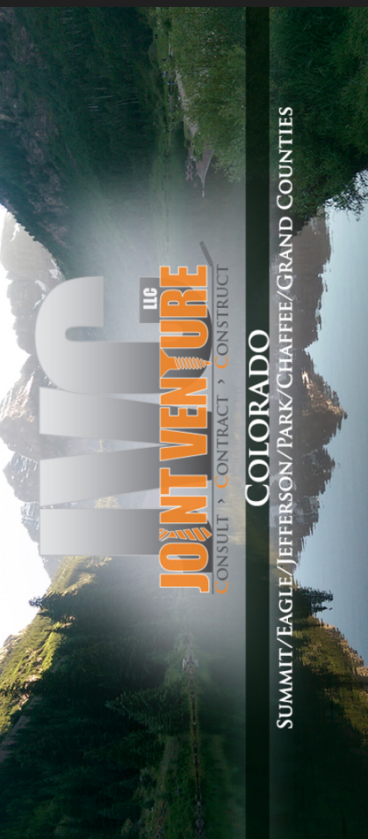
SHEET INDEX

NUMBER	SHEET NAME
A0.0	COVER SHEET
A0.1	SURVEY
A1.0	SITE PLAN & UTILITIES PLAN
A1.1	CONST MGMT & TREE CONSERVATION
A2.0	FOUNDATION LOWER LEVEL PLAN
A2.2	FIRST FLOOR PLAN
A2.3	ROOF PLAN
A3.0	ELEVATION
A3.1	ELEVATION
A3.2	ELEVATION
A4.0	BUILDING SECTION & FOUNDATION PLAN
E1.0	ELECTRICAL PLAN

DRAWN BY: K GORMAN
 SCALE: NOTED ON PLAN
 DRAFTER: KEN GORMAN
 DATE: AUGUST 8, 2023

CONTRACTORS AND VENDORS ARE
 RESPONSIBLE FOR VERIFICATION OF
 DIMENSIONS, LOADS, SPANS AND WILL
 VERIFY ALL ENGINEERING REQUIRED
 TO COMPLY WITH STATE AND LOCAL
 CODE AND ORDINANCES. A DESIGNER NOT
 KEN GORMAN IS A DESIGNER, NOT
 AN ENGINEER, ARCHITECT OR SURVEYOR.

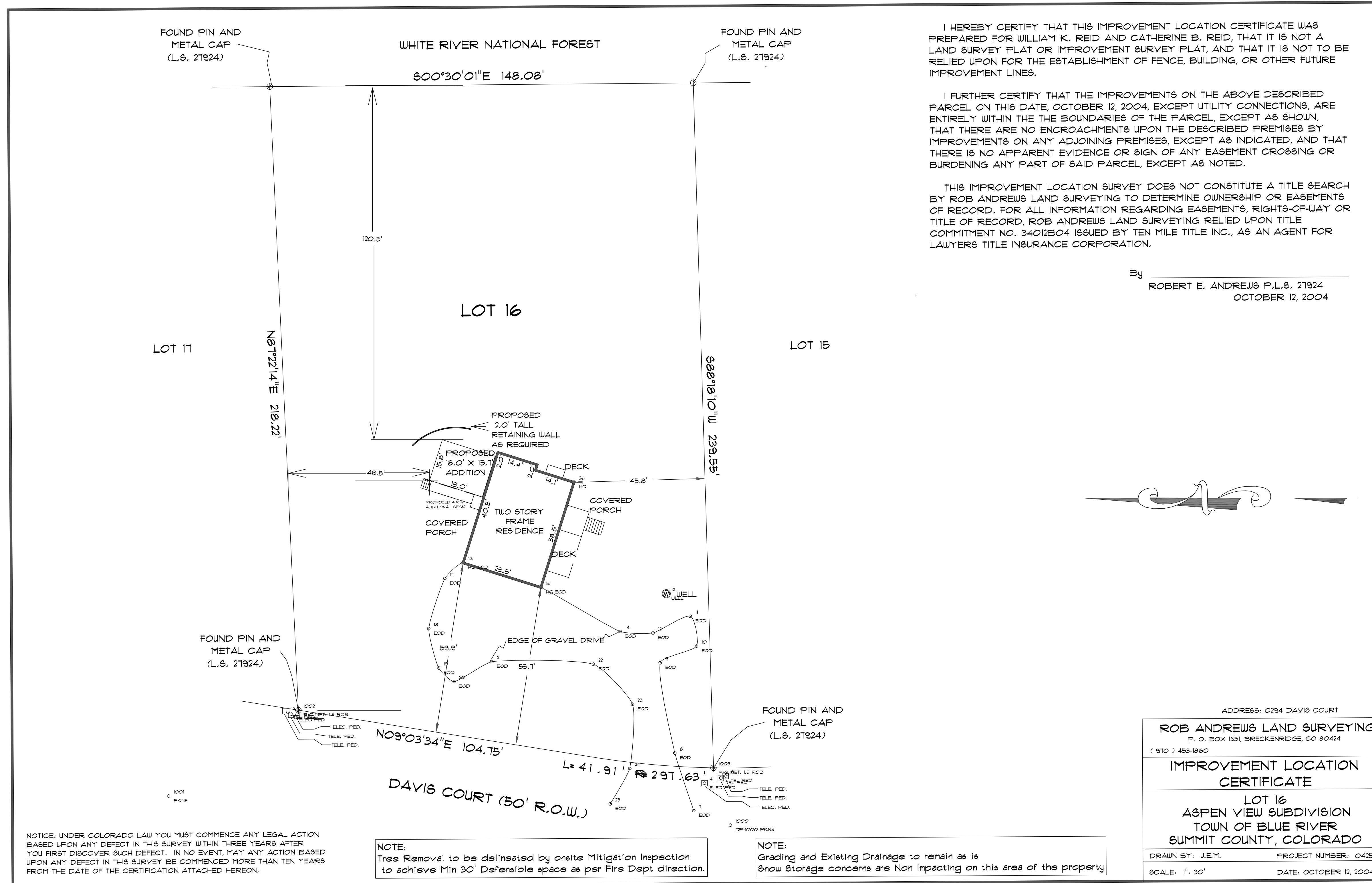
RODNEY BAHR- Owner
 Main Business # 970 279 3763
 Cell Phone # 651 757 1869
 www.jvccconsult.com



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 294 DAVIS COURT
 BLUE RIVER CO 80424

SHEET #

A0.0



I HEREBY CERTIFY THAT THIS IMPROVEMENT LOCATION CERTIFICATE WAS PREPARED FOR WILLIAM K. REID AND CATHERINE B. REID, THAT IT IS NOT A LAND SURVEY PLAT OR IMPROVEMENT SURVEY PLAT, AND THAT IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF FENCE, BUILDING, OR OTHER FUTURE IMPROVEMENT LINES.

I FURTHER CERTIFY THAT THE IMPROVEMENTS ON THE ABOVE DESCRIBED PARCEL ON THIS DATE, OCTOBER 12, 2004, EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS SHOWN, THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES BY IMPROVEMENTS ON ANY ADJOINING PREMISES, EXCEPT AS INDICATED, AND THAT THERE IS NO APPARENT EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS NOTED.

THIS IMPROVEMENT LOCATION SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY ROB ANDREWS LAND SURVEYING TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY OR TITLE OF RECORD, ROB ANDREWS LAND SURVEYING RELIED UPON TITLE COMMITMENT NO. 34012B04 ISSUED BY TEN MILE TITLE INC., AS AN AGENT FOR LAWYERS TITLE INSURANCE CORPORATION.

By ROBERT E. ANDREWS P.L.S. 27924
OCTOBER 12, 2004

ADDRESS: 0294 DAVIS COURT
ROB ANDREWS LAND SURVEYING
 P. O. BOX 1951, BRECKENRIDGE, CO 80424
 (970) 453-1860
IMPROVEMENT LOCATION CERTIFICATE
 LOT 16
 ASPEN VIEW SUBDIVISION
 TOWN OF BLUE RIVER
 SUMMIT COUNTY, COLORADO
 DRAWN BY: J.E.M. PROJECT NUMBER: 042601
 SCALE: 1" = 30' DATE: OCTOBER 12, 2004

SITE PLAN
SCALE: NOT TO SCALE

PROJECT NARRATIVE

ADD LOWER LEVEL AND MAIN LEVEL ADDITION TO EXISTING HOME

PROJECT TEAM

DESIGNER: RODNEY BAHR
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 DILLON CO 80435
 ENGINEER:

SQUARE FOOTAGES

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RODNEY BAHR - Owner
 Main Business # 970 279 3163
 Cell Phone # 651 151 1869
 www.jvccconsult.com

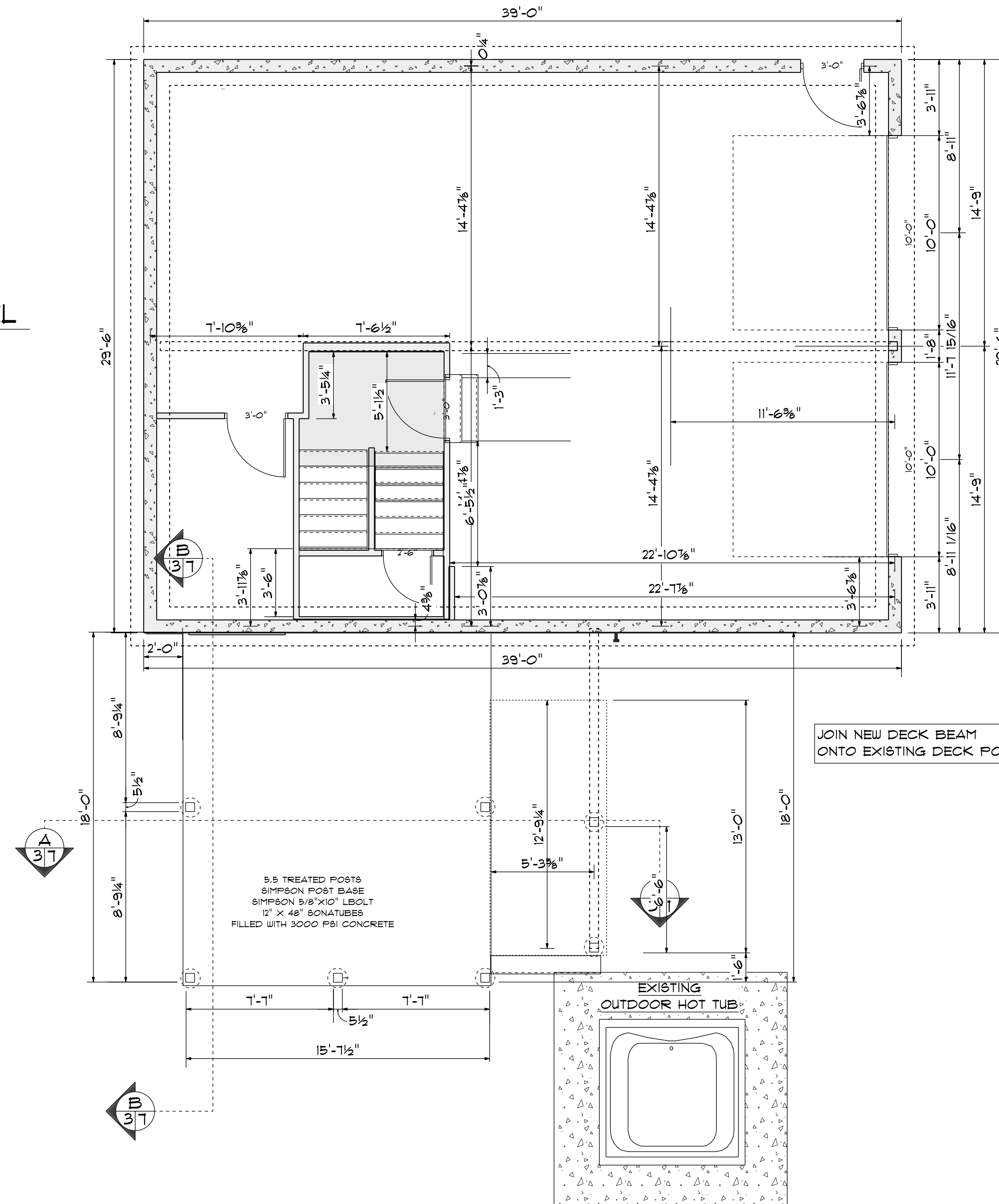


JEN DOERGER ADDITION
 294 DAVIS COURT
 BLUE RIVER CO 80424

SHEET #
AO.1

EXISTING LOWER LEVEL

SCALE: 1/4" = 1'-0"



PROPOSED MAIN LEVEL FOOTINGS

SCALE: 1/4" = 1'-0"

PROJECT NARRATIVE

ADD LOWER LEVEL AND MAIN LEVEL ADDITION TO EXISTING HOME

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36 CLIMAX DRIVE
DILLON CO 80435

ENGINEER:

SQUARE FOOTAGES

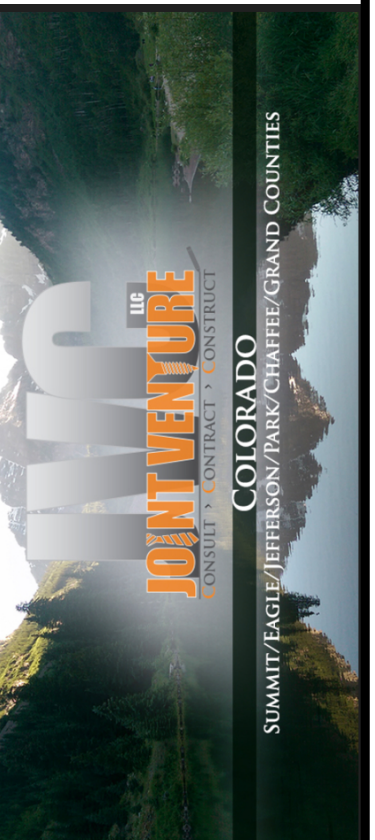
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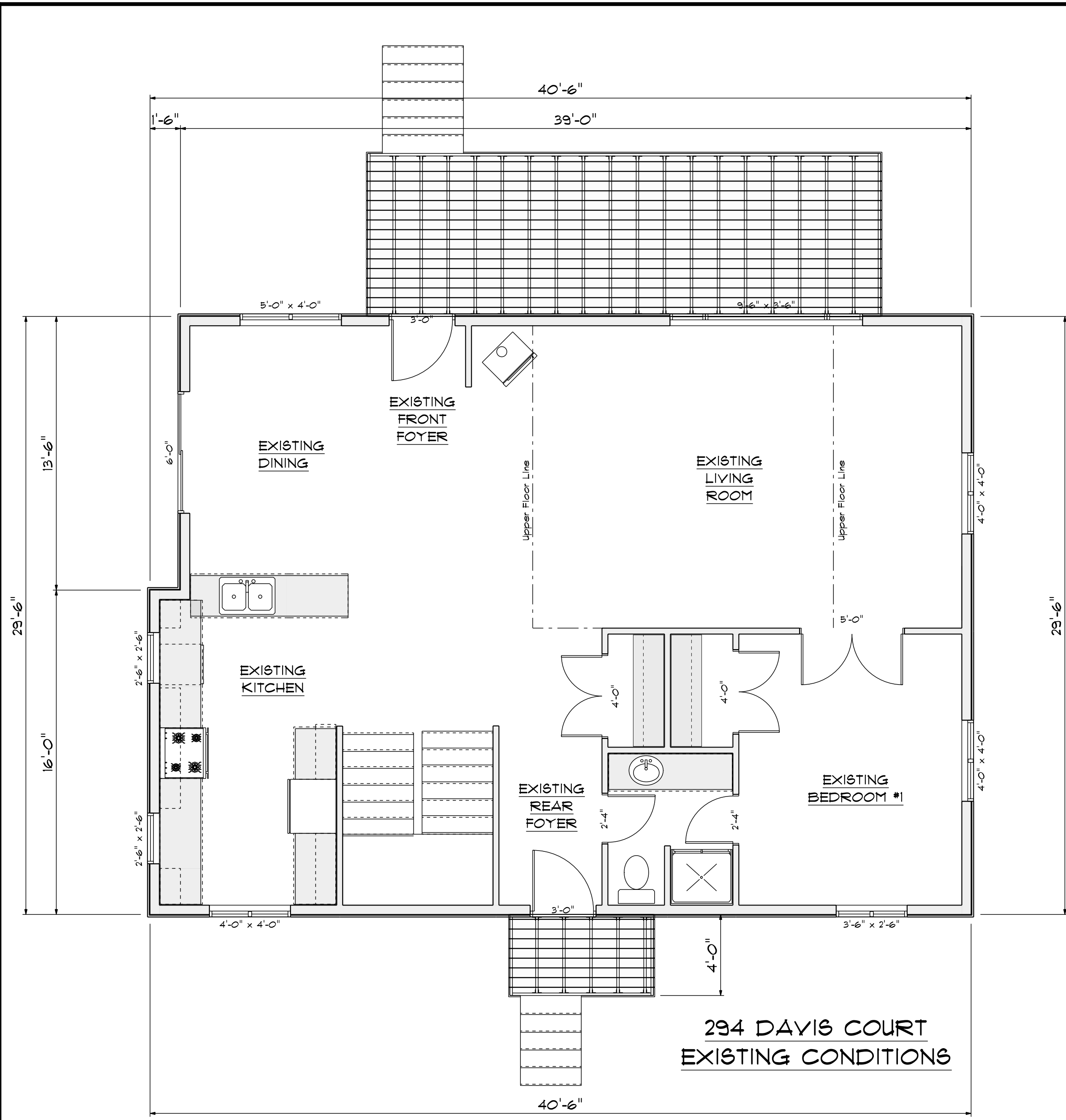
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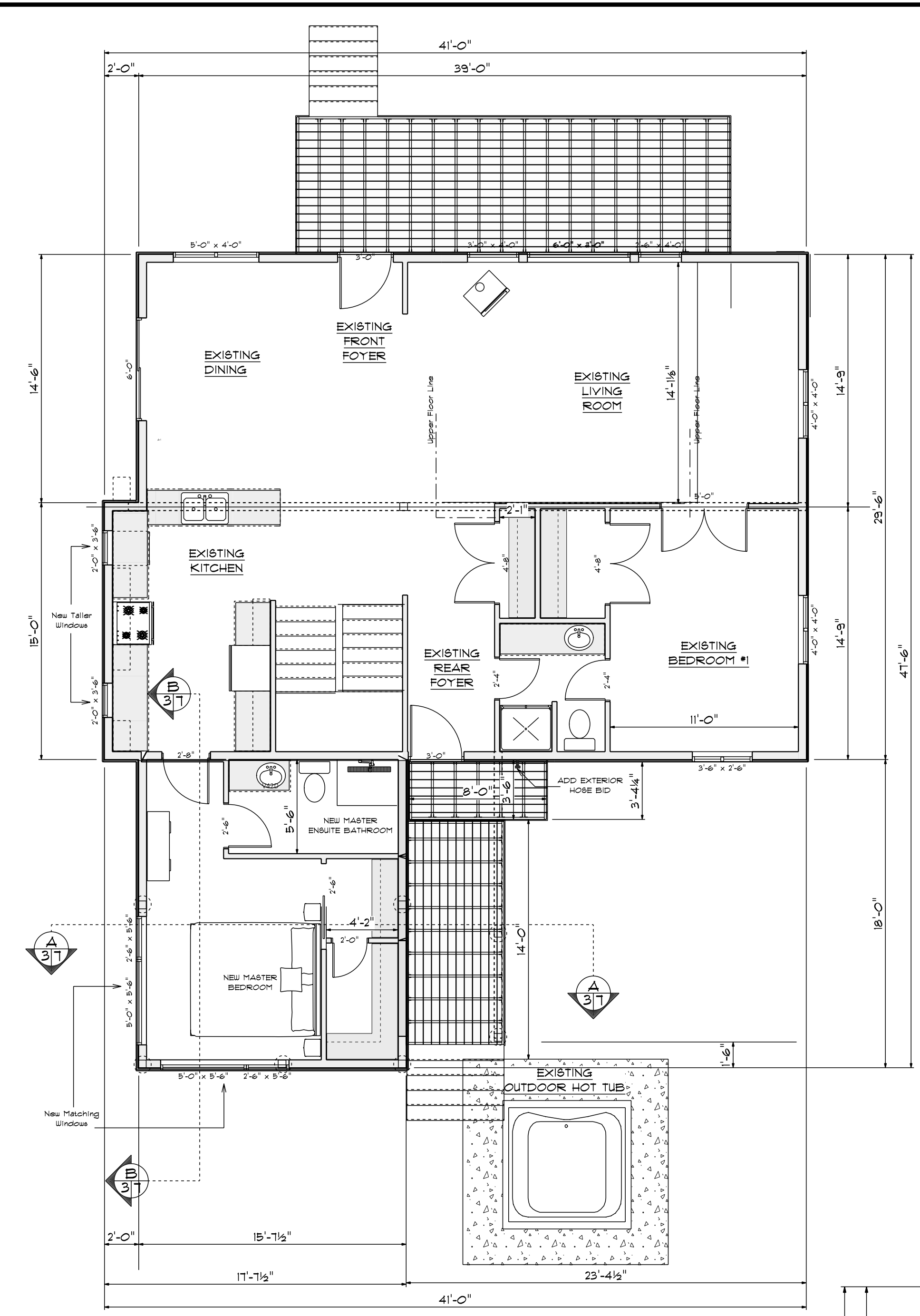
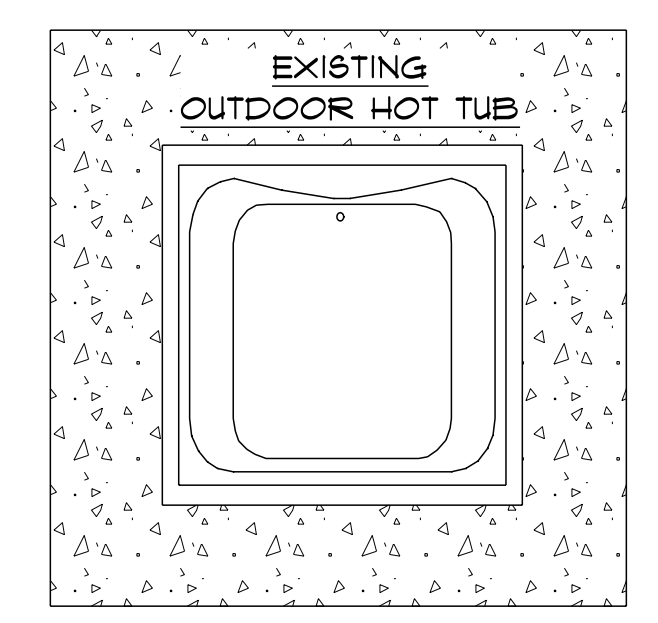
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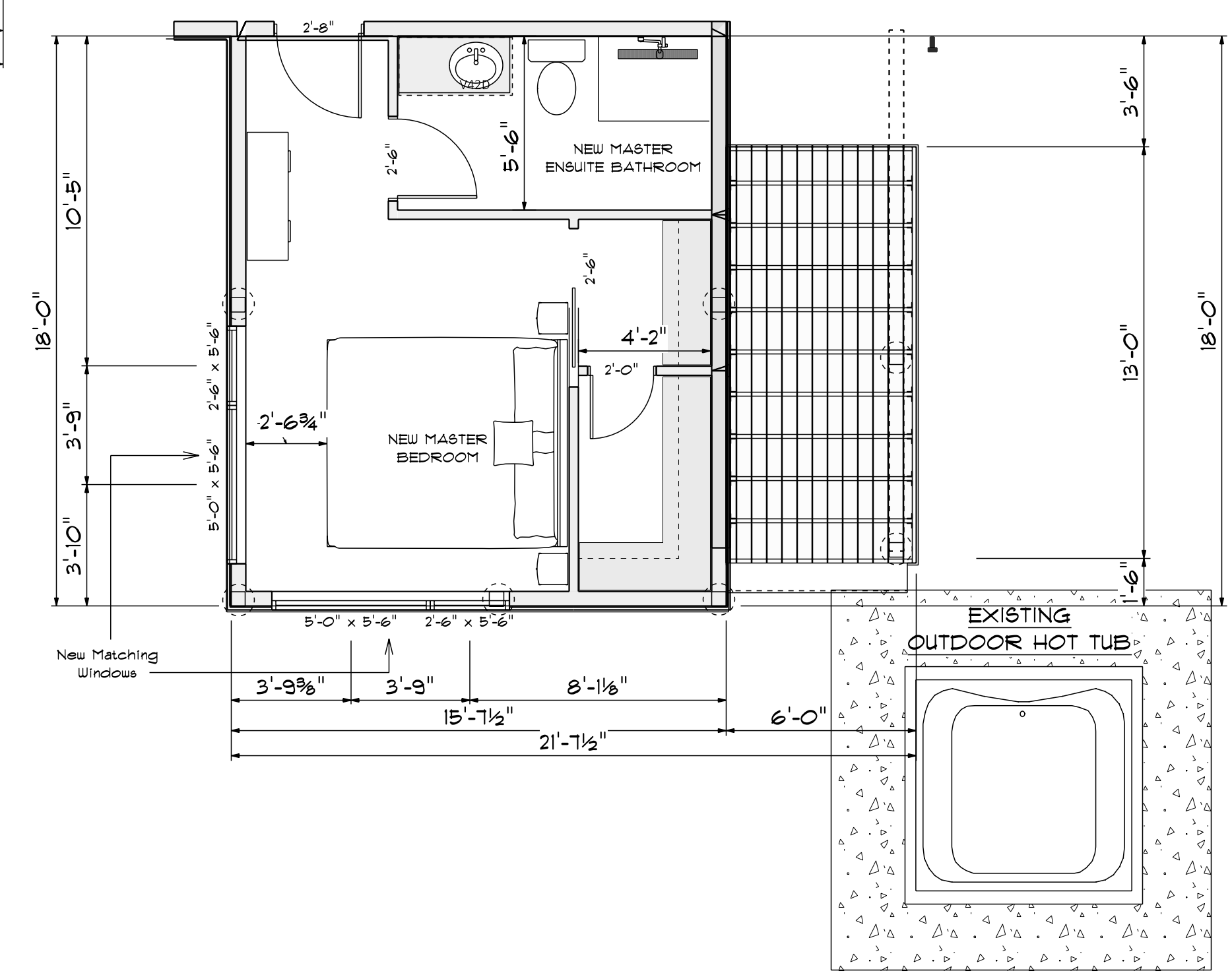
A2.0



EXISTING MAIN FLOOR
SCALE: 1/4" = 1'-0"



PROPOSED MAIN LEVEL
SCALE: 3/16" = 1'-0"



PROPOSED MAIN LEVEL
SCALE: 1/4" = 1'-0"

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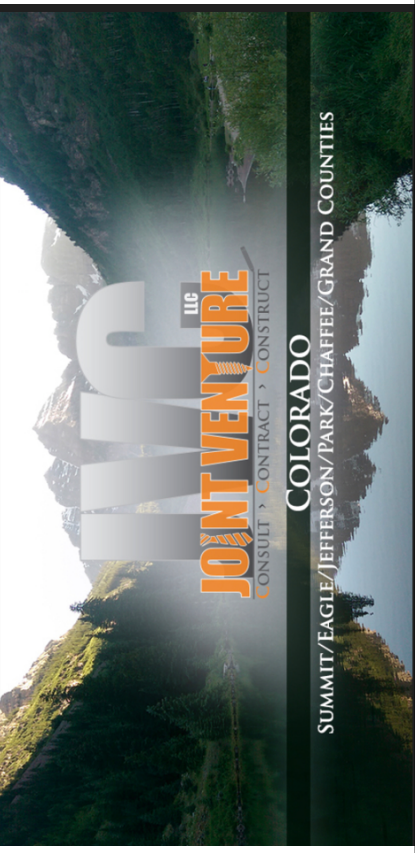
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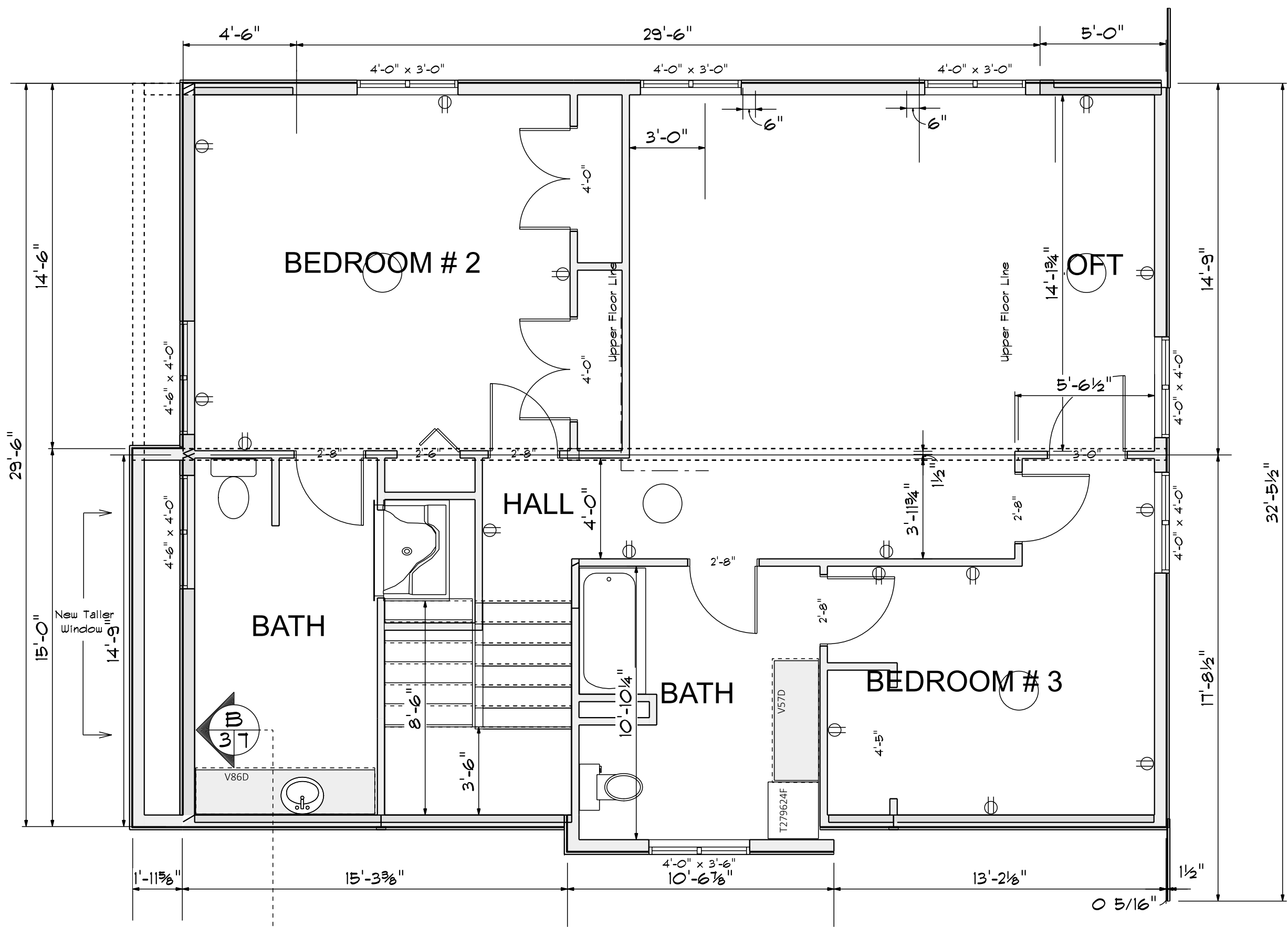
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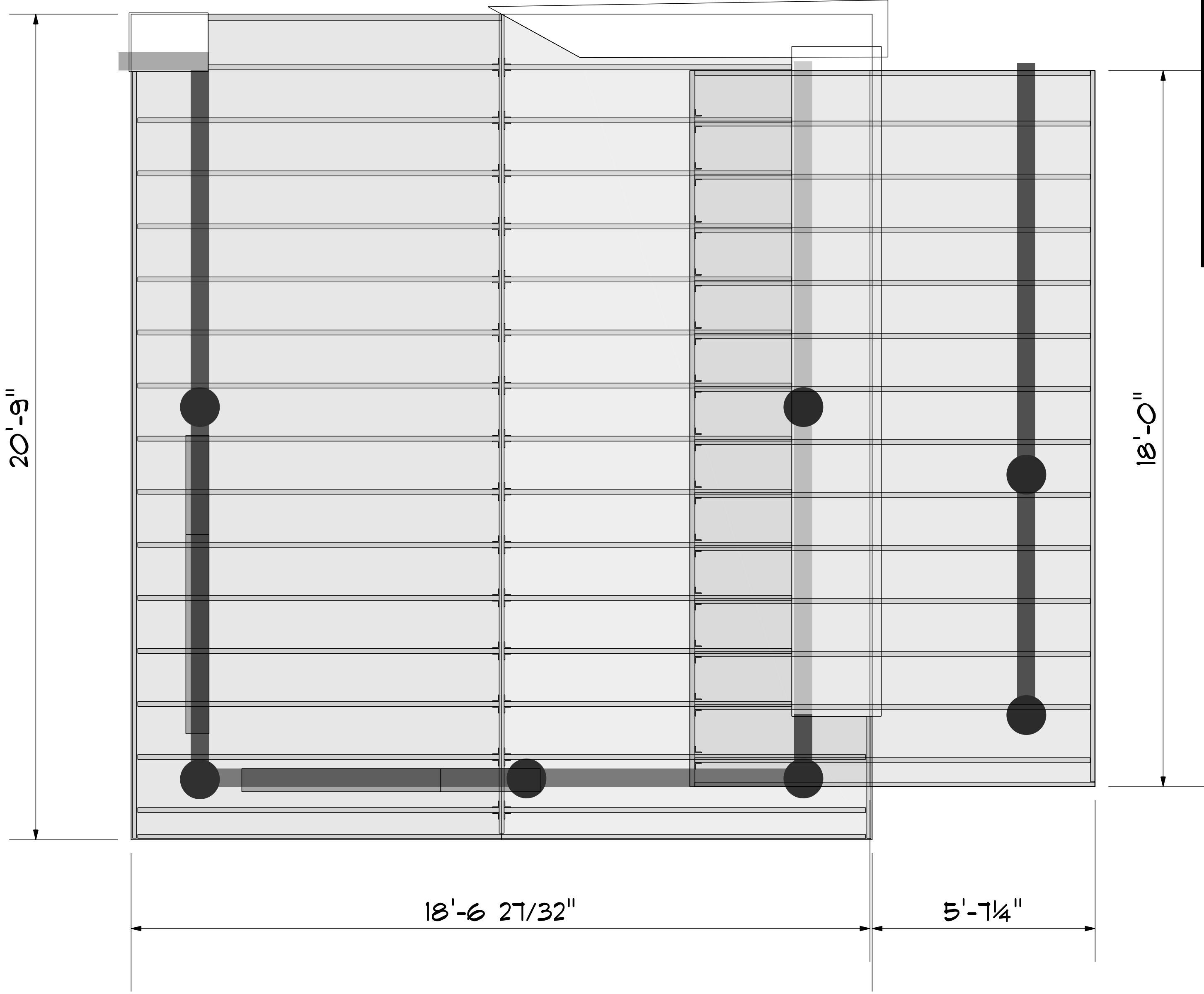
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SHEET #

A2.2



EXISTING UPPER LEVEL
SCALE: 1/4" = 1'-0"



PROPOSED ROOF FRAMING CONCEPT ROOF
SCALE: 1/2" = 1'-0"

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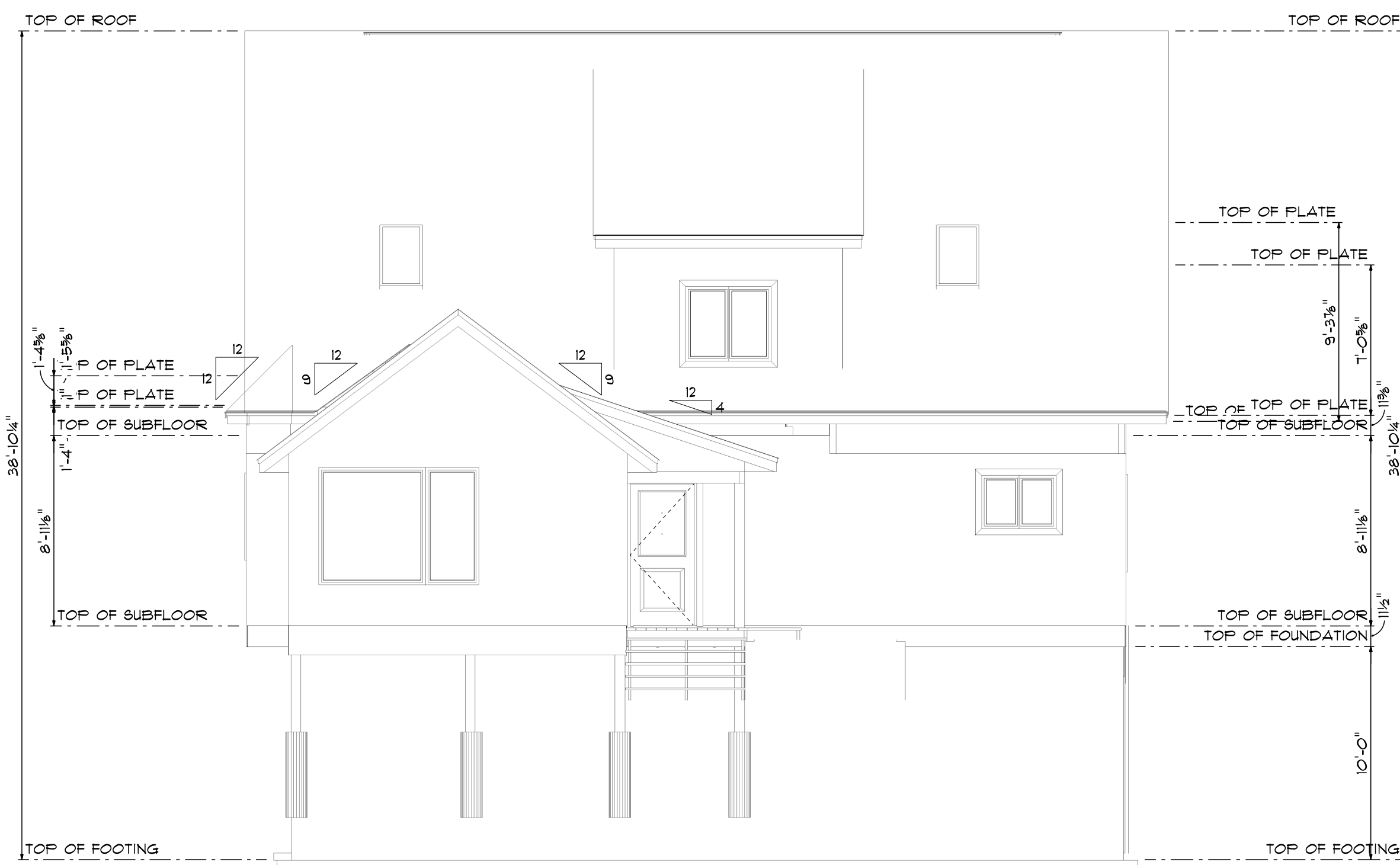
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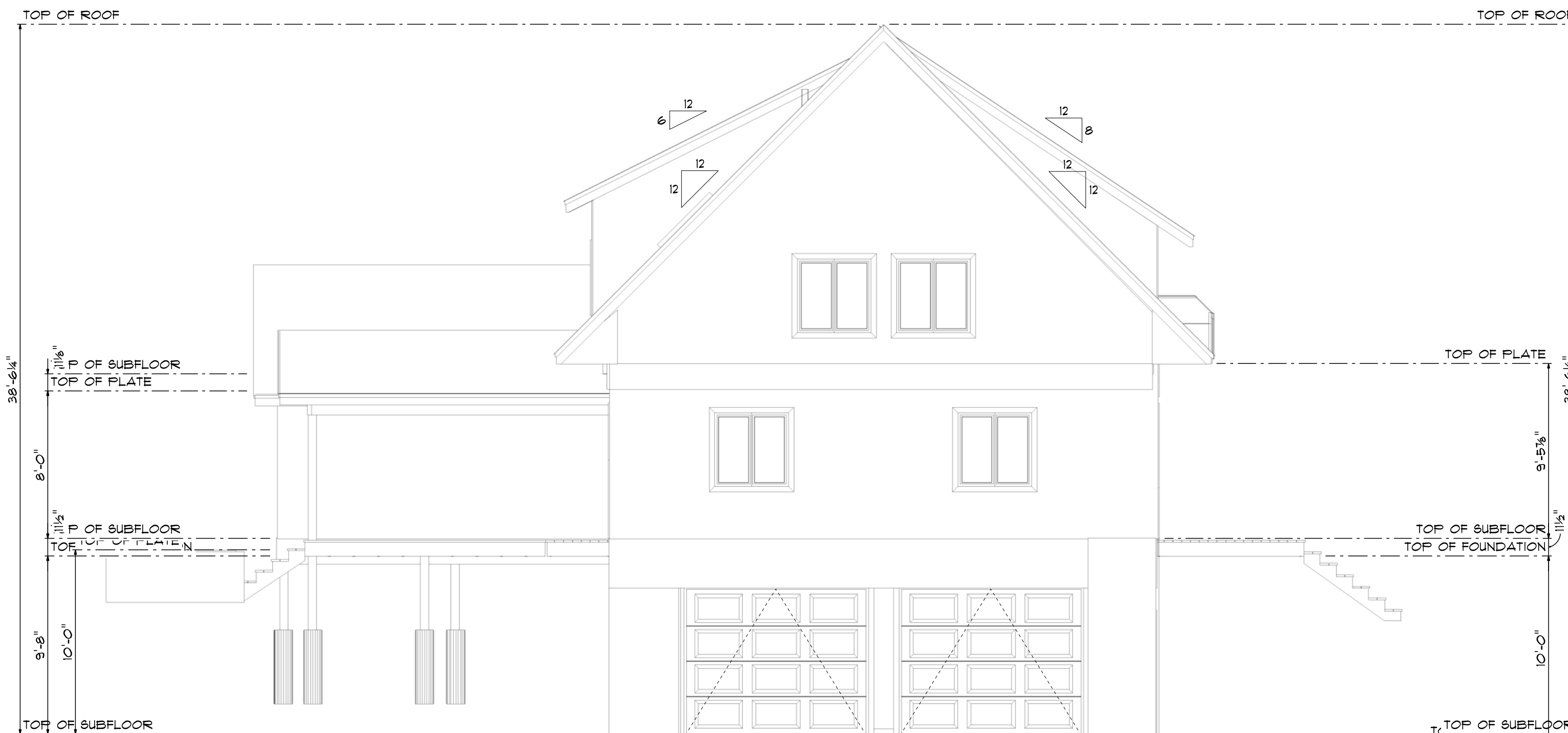
A2.3



Rear Elevation
SCALE: 3/16" = 1'-0"



Right Elevation
SCALE: 3/16" = 1'-0"



Left Elevation
SCALE: 3/16" = 1'-0"



Front Elevation
SCALE: 1/8" = 1'-0"

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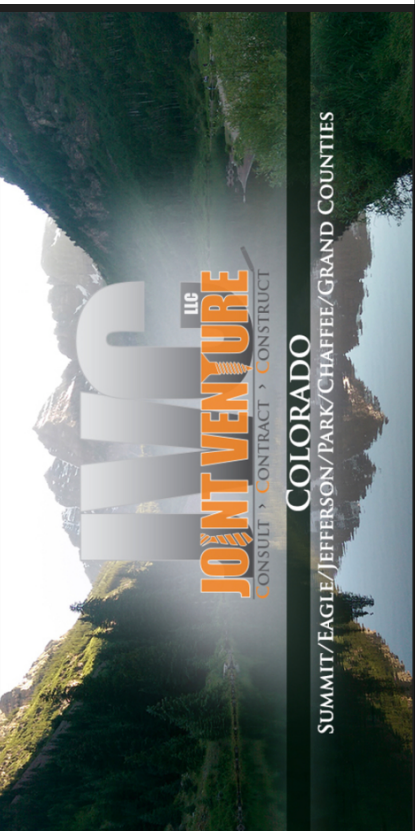
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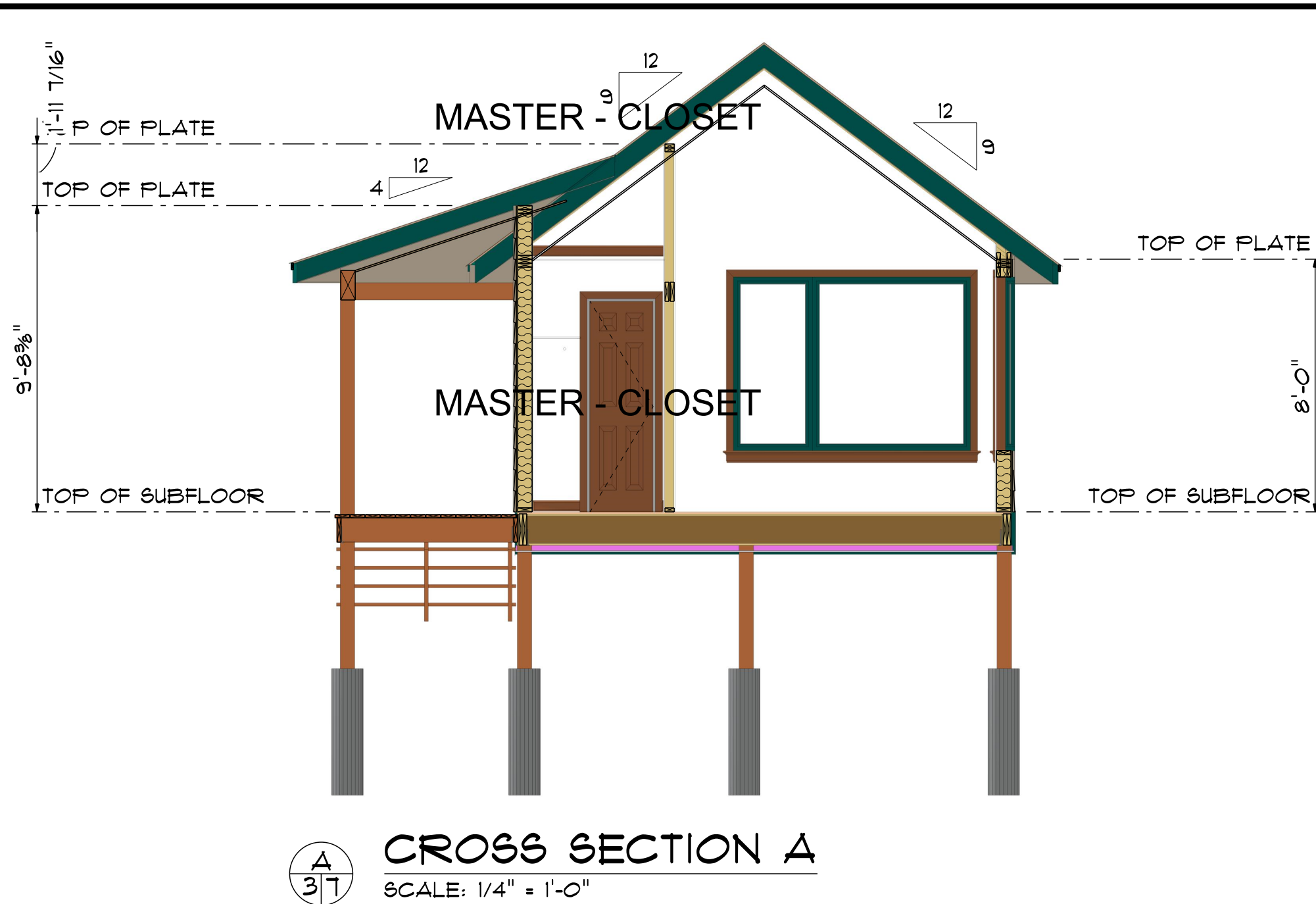
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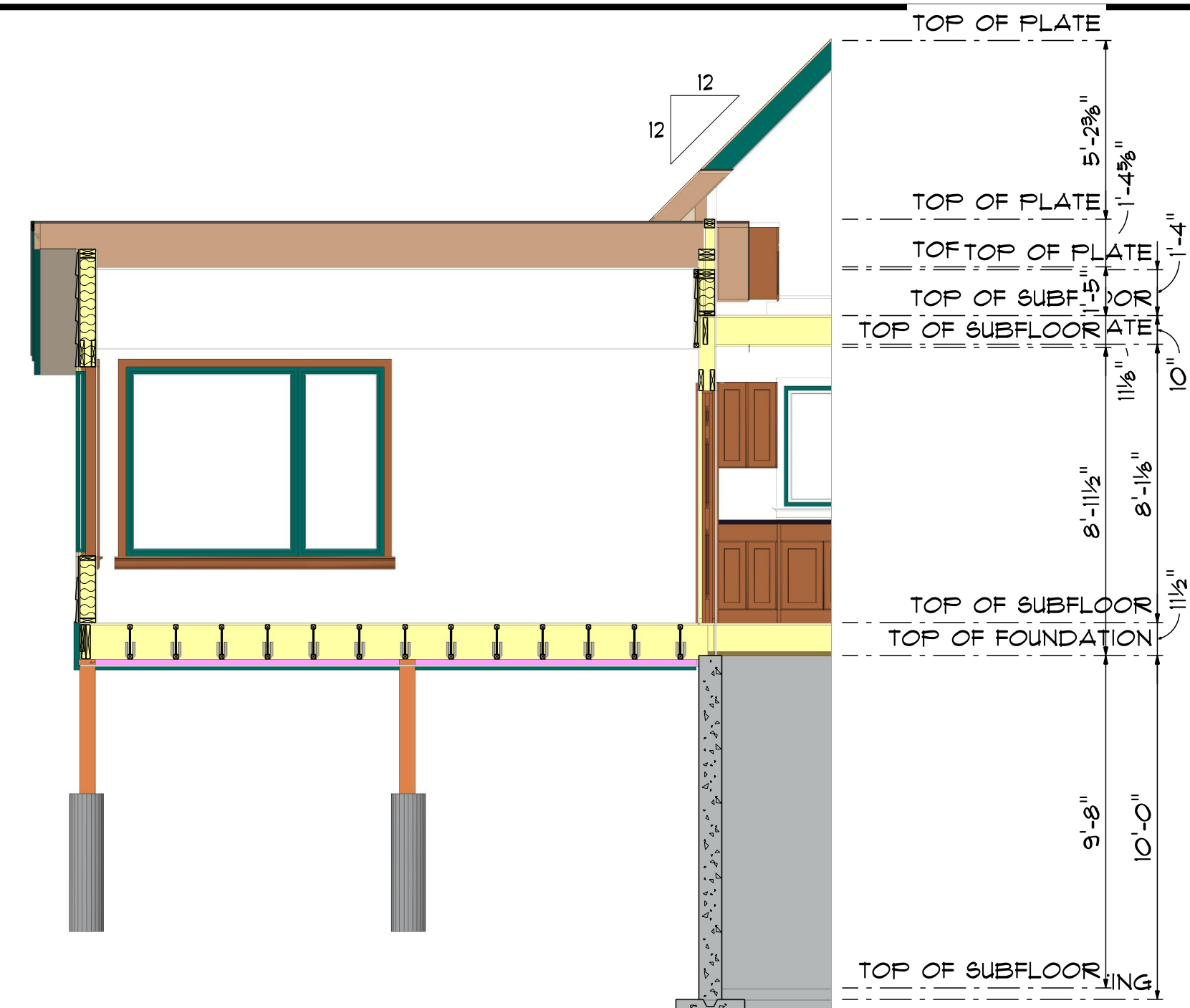
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A3.0



CROSS SECTION A
SCALE: 1/4" = 1'-0"



CROSS SECTION B
SCALE: 1/4" = 1'-0"

EXISTING CONDITIONS



ALL EXISTING CONDITIONS MATERIALS TO MATCH EXISTING HOUSE AND ADDITION



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A4.0