



April Fisher, AICP
PRESIDENT
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August 11, 2023

To: Belle Isle City Council

From: April Fisher through Interim City Manager Travis Grimm

Re: Update on the Wallace Field Park Project and Discussion of Next Steps

In 2020 an agreement was executed between the City and Cornerstone Charter Academy (CCA) for the development and use of the property known as Wallace Field. That agreement expired during the time of the site plan approval process. The Site Plan was approved with conditions by the Planning and Zoning Board, and, subsequently upheld by the City Council during an appeal process, with three additional conditions.

One of the conditions of the Site Plan approval requires that an agreement be made between the City Council and CCA regarding development, operation, and maintenance responsibilities and authorities (Use Agreement). Staff met recently with CCA to discuss completing the requirements the conditions, and particularly, this condition before permitting can be completed.

Below is a list of the progress on this project to date. A copy of the approved Site Plan is also attached for reference. CCA is ready to move forward with completing permitting once the Use Agreement is approved by the City Council.

Staff, with the City Attorney, will be preparing a draft Use Agreement for the Council's formal consideration at an upcoming City Council meeting.

Progress to Date

- June 5, 2018- City Council rezoned the Wallace Field property from R-1-AA to Open Space designation through Ordinance 18-03
- September 22, 2020- Special Exception for active recreation was approved by the Planning and Zoning Board
- February 2, 2021- City Council upheld the Special Exception approval following an appeal of the Planning and Zoning Board decision
- March 23, 2021- The Planning and Zoning Board approved the Wallace Field Park Site Plan with conditions
- May 4, 2021- City Council upheld the Site Plan approval following an appeal of the Planning and Zoning Board decision and added three conditions including deed restricting lights
- August 17, 2021- City Council approved a deed restriction on lighting for the Wallace Field property
- February 21, 2023- CCA submitted the approved Site Plan package to staff for permitting review, which is currently in progress, including fulfilling the condition of the required Use Agreement

WALLACE PARK IMPROVEMENTS



APPLICANT:

CITY OF BELLE ISLE

1600 NELA AVE,
BELLE ISLE, FL 32809

DATE: AUGUST 31, 2020
ISSUED FOR:
SITE PLAN APPROVAL
CIVICA PROJECT: 200108

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ANNEX CIVIL ENGINEERING	

ARCHITECT
CIVICA

tel: 305.593.9959 8323 NW 12th St. Suite No.106. Doral, Fl. 33126 fax: 305.593.9855



EXISTING SITE STREET VIEW



N
SITE LOCATION
N.T.S.



PROPOSED SITE 3D VIEW

LEGAL DESCRIPTION

BEGIN AT THE SOUTHWEST CORNER OF SAID LOT 2, WALLER SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 26, PAGE 105, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE RUN NORTH 00 DEGREES 07 MINUTES 50 SECONDS EAST 300 FEET TO THE NORTH LINE OF SAID LOT 2, THENCE SOUTH 89 DEGREES 55 MINUTES 55 SECONDS EAST 359.92 FEET; THENCE SOUTH 04 DEGREES 13 MINUTES 30 SECONDS WEST 300.39 FEET, TO THE SOUTH LINE OF SAID LOT 2; THENCE SOUTH 90 DEGREES 00 MINUTES 00 SECONDS WEST 338.47 FEET TO THE POINT OF BEGINNING.

NOTES

1. BEARING STRUCTURE IS ASSUMED AND BASED ON THE MONUMENTED NORTH R/W LINE OF E WALLACE STREET, BEING S90°00'00"W (DESC).
2. THIS SURVEY REFLECTS ONLY MATTERS OF RECORD AS PROVIDED BY THE CLIENT OR CLIENTS REPRESENTATIVE.

4. THIS BUILDING/LOT LIES IN ZONE "X", BASED ON FLOOD INSURANCE RATE MAP NO. 12095C0430F, COMMUNITY NO. 120179, ORANGE COUNTY, FLORIDA, EFFECTIVE: SEPTEMBER 25, 2009.

6. THIS SURVEY WAS MADE WITHOUT BENEFIT OF TITLE.

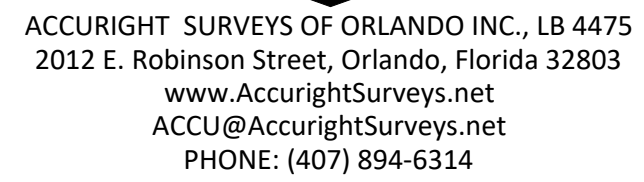
7. THIS SURVEY IS VALID ONLY FOR THE PARTIES TO WHOM IT IS CERTIFIED.

8. THIS SURVEY EXCEEDS THE ACCURACY REQUIREMENTS SET FORTH IN FLORIDA STATUTES.

9. ELEVATIONS BASED ON ORANGE COUNTY BENCHMARK #C698001 HAVING AN ELEVATION OF 101.033 FEET, (NAVD 88).

POB
SOUTHWEST
CORNER $\times 94$
LOT 2
SET 1/2" IR
LB #4475

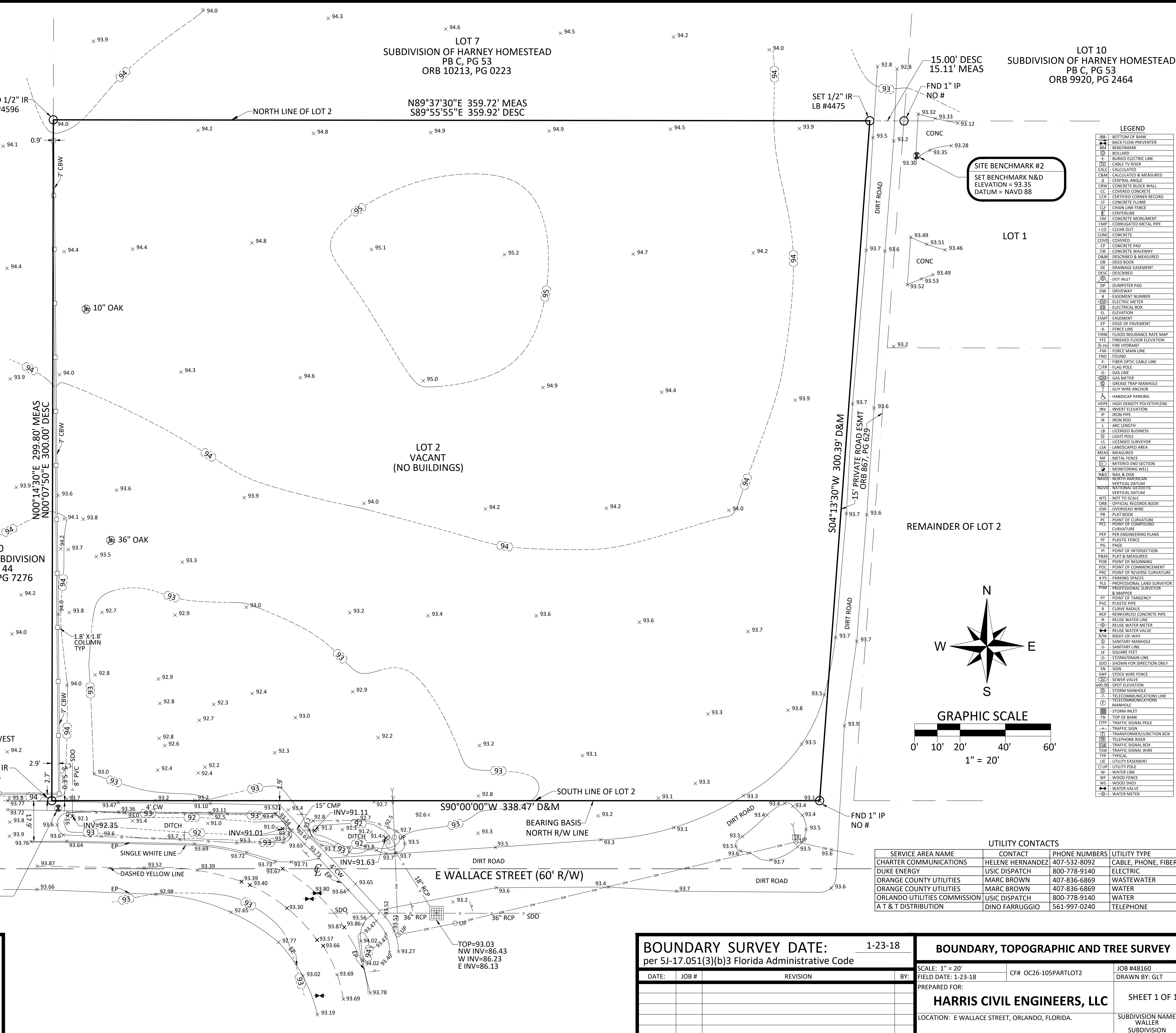
SITE BENCHMARK #1
SET BENCHMARK N&D
ELEVATION = 93.67
DATUM = NAVD 88



JAMES D. BRAY, PSM 6507
"NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED
SEAL OF THIS FLORIDA LICENSED SURVEYOR AND MAPPER."

OR

THE DIGITAL SEAL APPEARING ON THIS DOCUMENT WAS
AUTHORIZED BY JAMES D. BRAY, PSM 6507.



UTILITY CONTACTS			
SERVICE AREA NAME	CONTACT	PHONE NUMBERS	UTILITY TYPE
CHARTER COMMUNICATIONS	HELENE HERNANDEZ	407-532-8092	CABLE, PHONE, FIBER
DUKE ENERGY	USIC DISPATCH	800-778-9140	ELECTRIC
ORANGE COUNTY UTILITIES	MARC BROWN	407-836-6869	WASTEWATER
ORANGE COUNTY UTILITIES	MARC BROWN	407-836-6869	WATER
ORLANDO UTILITIES COMMISSION	USIC DISPATCH	800-778-9140	WATER
A T & T DISTRIBUTION	DINO FARRUGGIO	561-997-0240	TELEPHONE

DATE:	JOB #	REVISION

SCALE: 1" = 20'	CF# OC26-105PARTLOT2	JOB #48160
FIELD DATE: 1-23-18		DRAWN BY: GLT

HARRIS CIVIL ENGINEERS, LLC SHEET 1 OF 1

LOCATION: E WALLACE STREET, ORLANDO, FLORIDA.	SUBDIVISION NAME WALLER SUBDIVISION
---	---

PROJECT:

WALLACE PARK
IMPROVEMENTS

E WALLACE ST. BELLE ISLE, FL 32809

APPLICANT:

THE CITY OF BELLE ISLE



1600 NELA AVENUE
BELLE ISLE, FL 32809

CIVICA PROJECT No:
200108

ISSUED FOR:

SITE PLAN
APPROVAL

No.	DATE	REVISION	BY

DRAWN BY: SG
APPROVED BY: RL

DATE: 2020-08-31
SCALE: As Shown

KEYPLAN

SEAL/SIGNATURE

ROLANDO LLANES
AR - 0013160

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SHEET TITLE

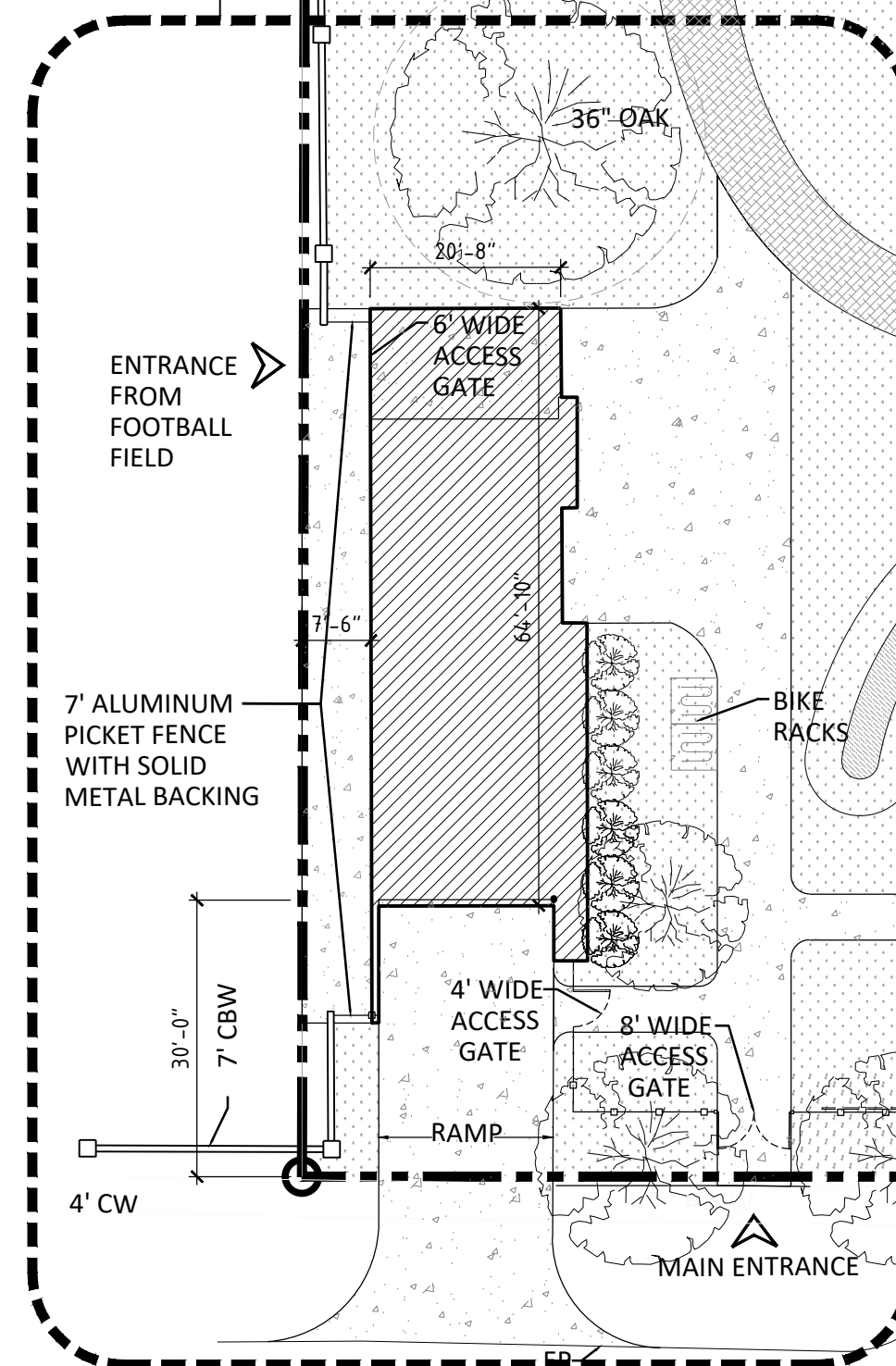
PROPOSED
SITE PLAN

SHEET NUMBER

A-1

PROPOSED RESTROOM
& STORAGE BLDG

1
A-1



5' CW

EXISTING FENCE

BENCH

BENCH

BENCH

BENCH

TRAINING STATIONS

10" OAK

1.8' X 1.8' COLUMN TYP

7' HIGH EXISTING BRICK WALL

PROPOSED FIELD
ARTIFICIAL TURF

8' WIDE MULCH WALKING PATH

DIRT ROAD

EXISTING FENCE

15' PRIVATE ROAD ESWT

DIRT ROAD

BENCH

EP

EP

EP

E WALLACE STREET (60' R/W)



PROPOSED SITE PLAN

120' 60' 30' 0'
SCALE: 1" = 30'

SURFACE TREATMENT	
	GRASS
	ARTIFICIAL TURF - FIELD
	MULCH
	CONCRETE - SIDEWALKS
	ASPHALT - PARKING LOT
	POND

PROJECT:

WALLACE PARK
IMPROVEMENTS

E WALLACE ST. BELLE ISLE, FL 32809

APPLICANT:

THE CITY OF BELLE ISLE



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SHEET TITLE

AERIAL VIEWS
EXISTING &
PROPOSED

SHEET NUMBER

A-2



WEST



EAST



NORTH

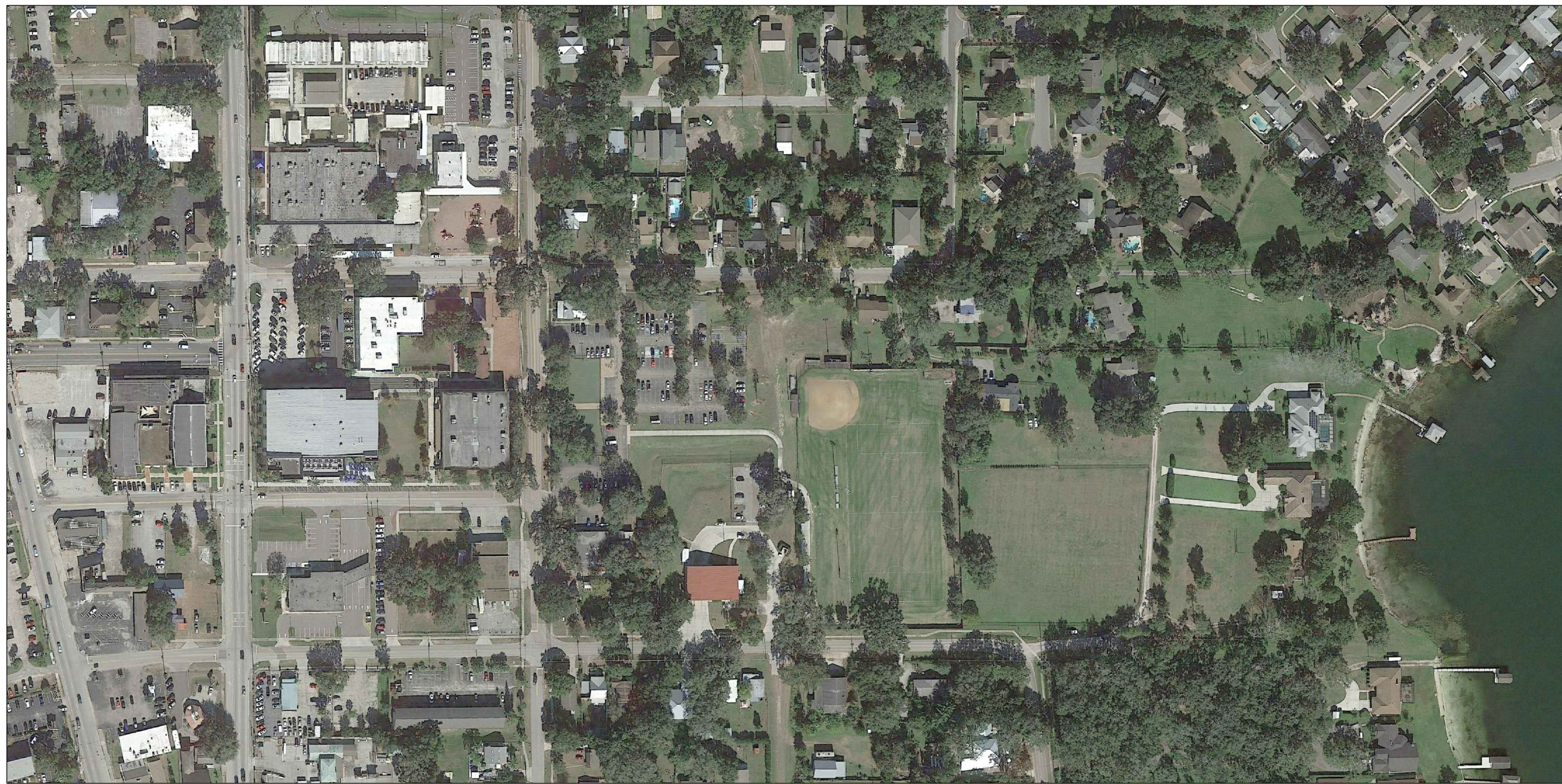


SOUTH

PROPOSED- AERIAL VIEWS

SCALE: N.T.S.

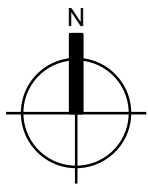
2
A-2



EXISTING CONDITION

SCALE: N.T.S.

1
A-2





No.	DATE	REVISION	BY

DRAWN BY: SG APPROVED BY: RL

DATE: 2020-08-31 SCALE: As Shown

KEYPLAN

SEAL/SIGNATURE

ROLANDO LLANES
AR - 0013160

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SHEET TITLE

PROPOSED
BUILDING
PLANS, IMAGES

SHEET NUMBER

A-3



NORTHEAST VIEW



TOP VIEW



NORTH VIEW



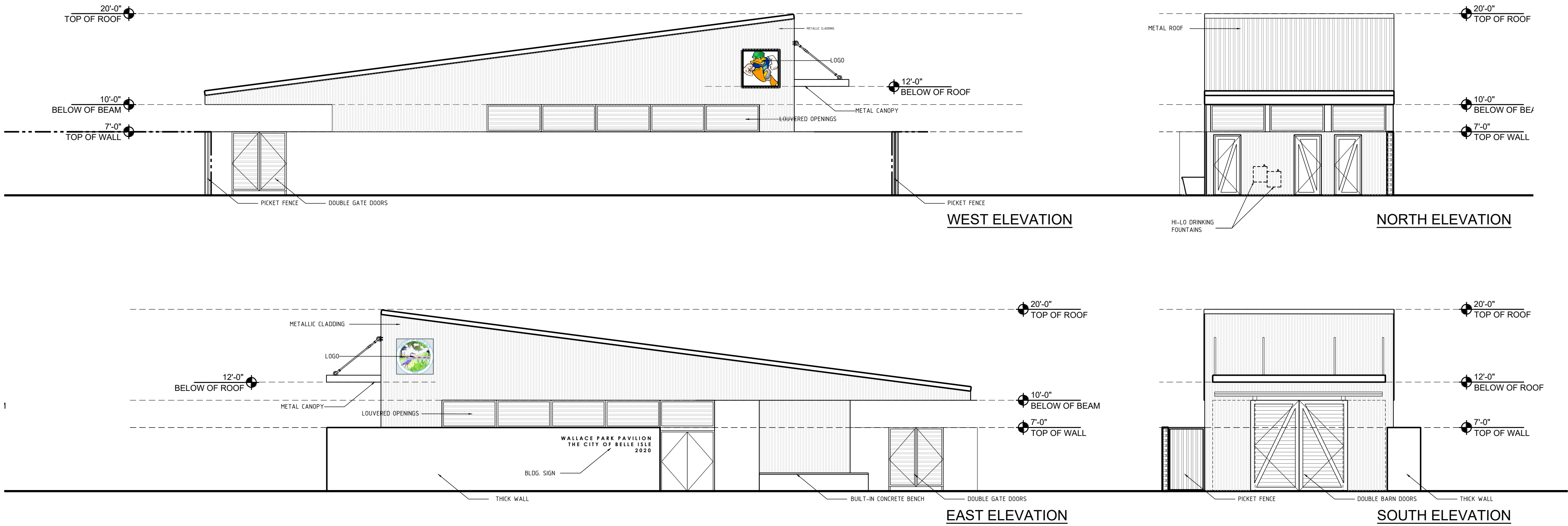
WEST VIEW



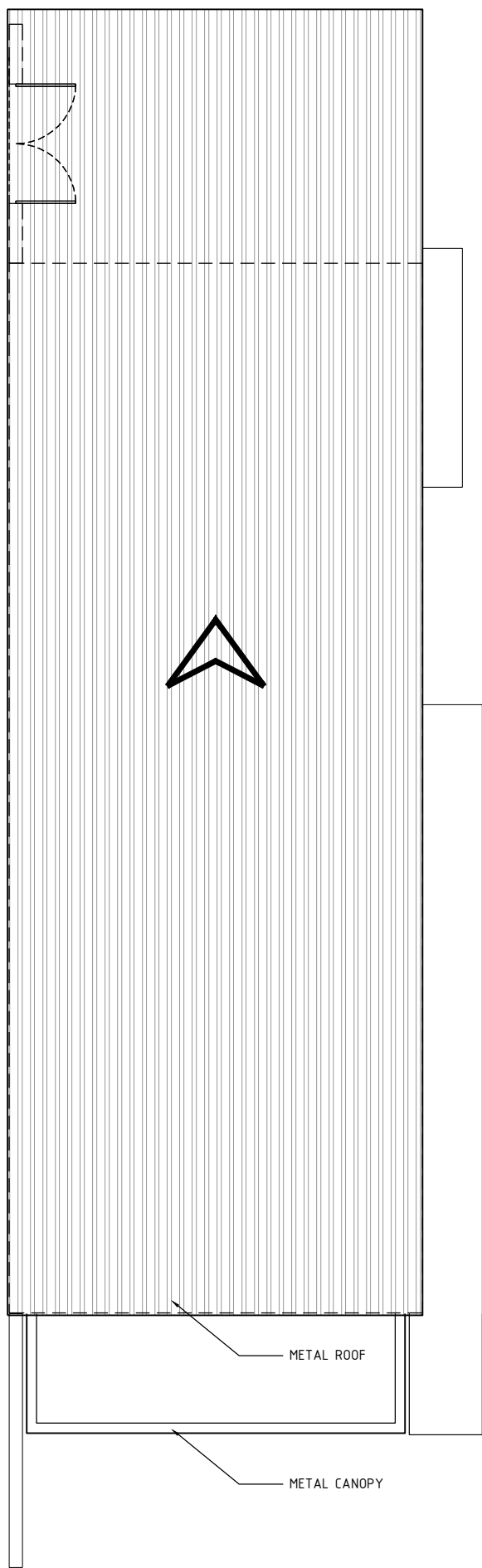
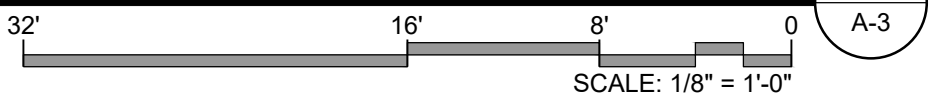
NORTHEAST VIEW



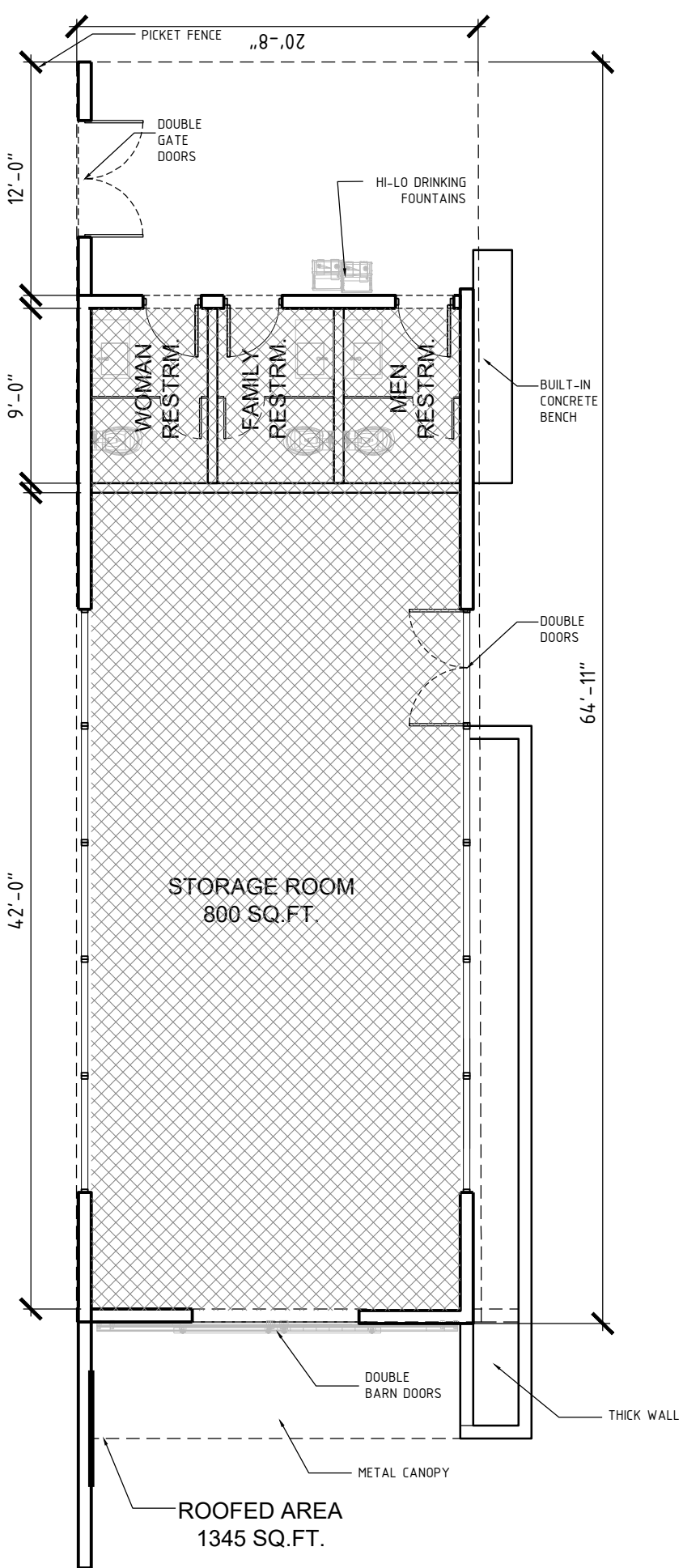
SOUTHEAST VIEW



PROPOSED BUILDING - ELEVATIONS

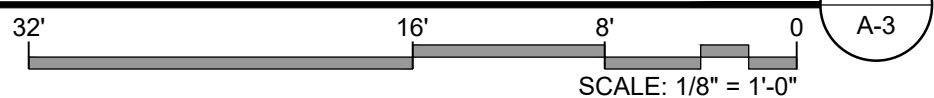
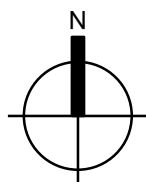


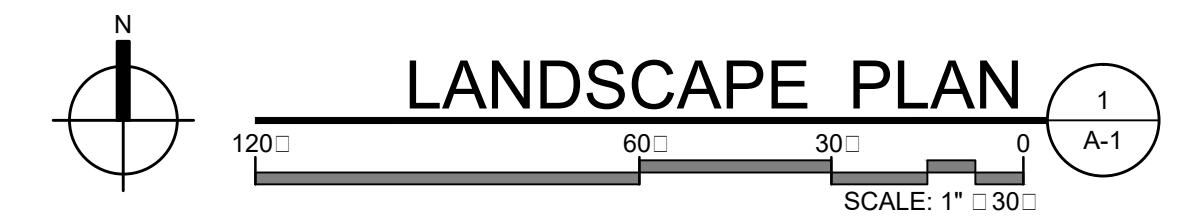
ROOF PLAN



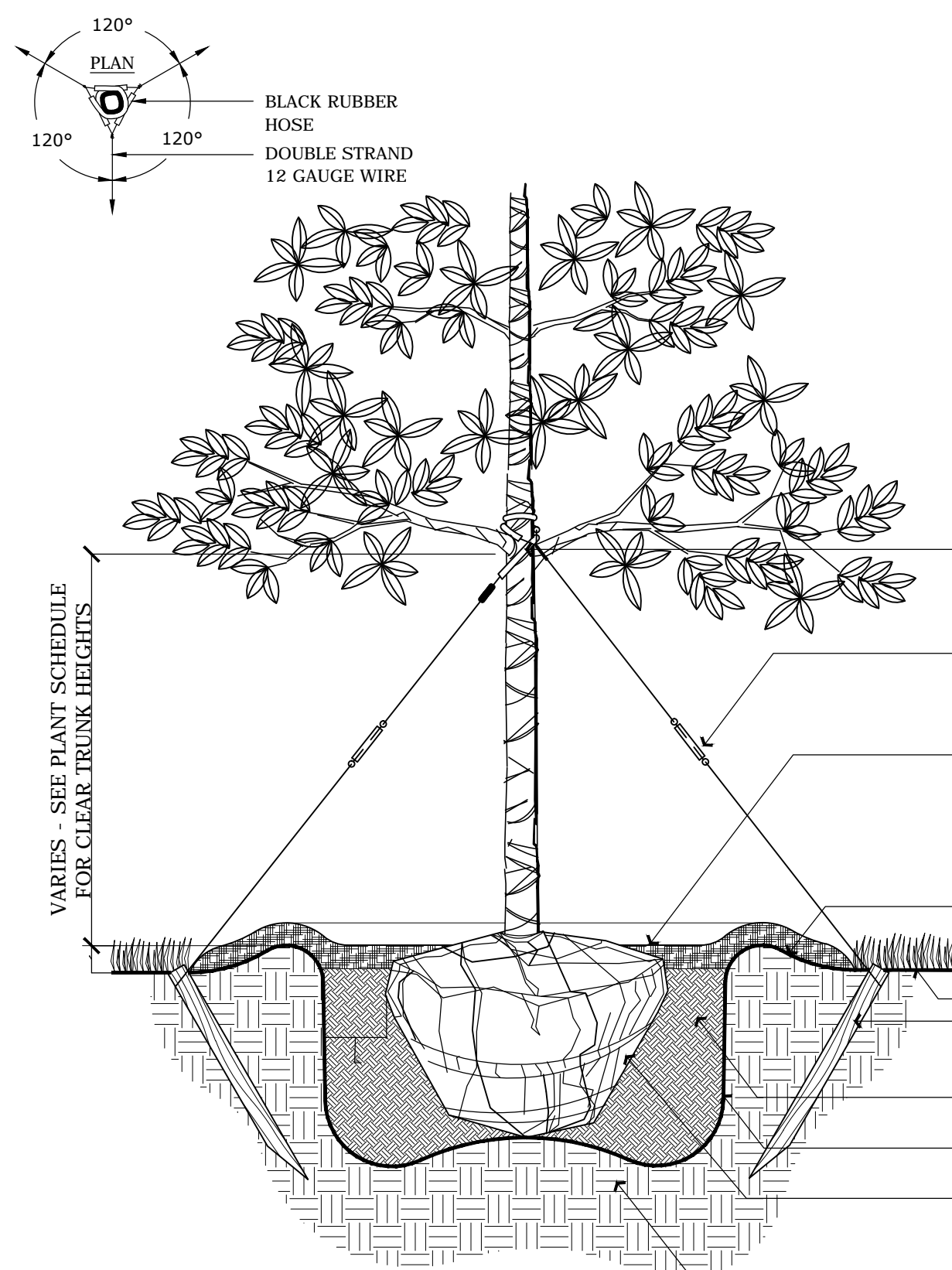
FLOOR PLAN

PROPOSED BUILDING - PLANS



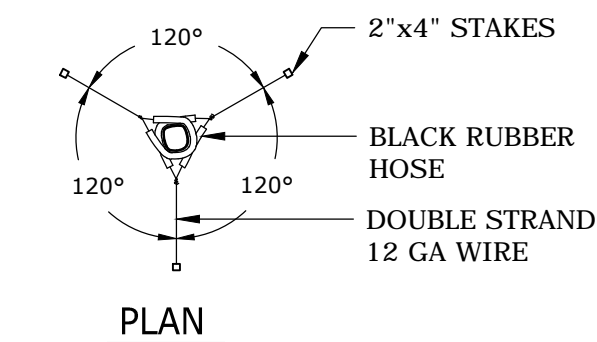


SOD-MULCH:						
SOD	51,673 sq.ft	PASPALUM NOTATUM BAHIAGRASS	--	--	--	
ARTIFICIAL TURF	26,600 sq.ft		--	--	--	



1 LARGE TREE PLANTING DETAIL (14' HT OR GREATER)
SCALE: 1"=1'-0"

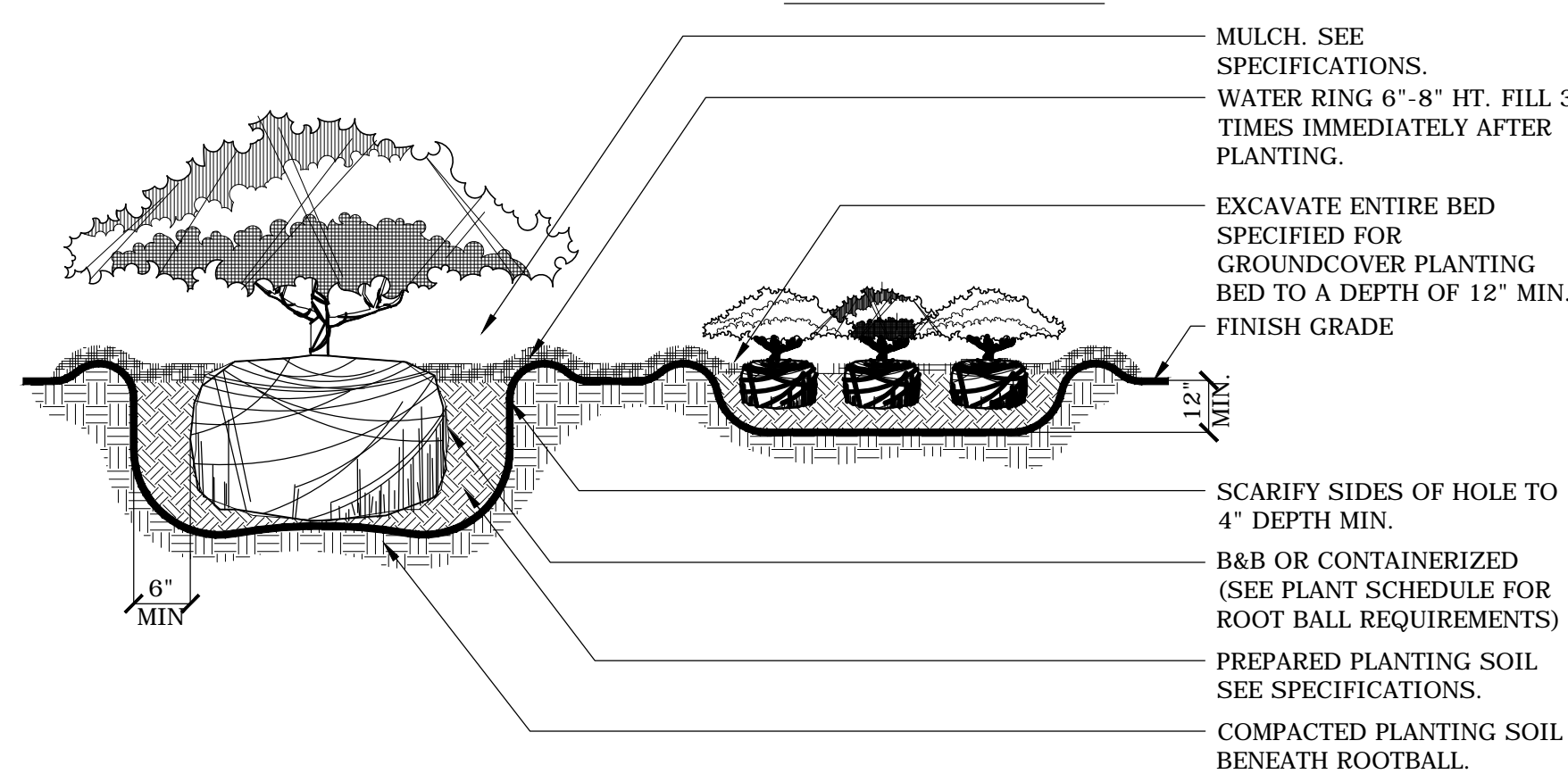
- NOTES:
1. FINAL TREE LOCATION TO BE APPROVED BY OWNER.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. REMOVE ALL FLAGGING TAPE AND TAGS.
 4. AMENDED SOIL: SOIL TESTS NEED TO BE PROVIDED TO THE OWNER AND THE LANDSCAPE ARCHITECT FOR APPROVAL. A TRUCKING PACKING LIST (SHIPPING TOTALS/MANIFEST) OF WHAT WAS HAULED TO THE SITE NEEDS TO BE PROVIDED TO THE OWNER AND LANDSCAPE ARCHITECT.
 5. APPLY SUBDUE MAXX FUNGICIDE AND CLEARY 3336F FUNGICIDE PER MANUFACTURER'S INSTRUCTIONS.



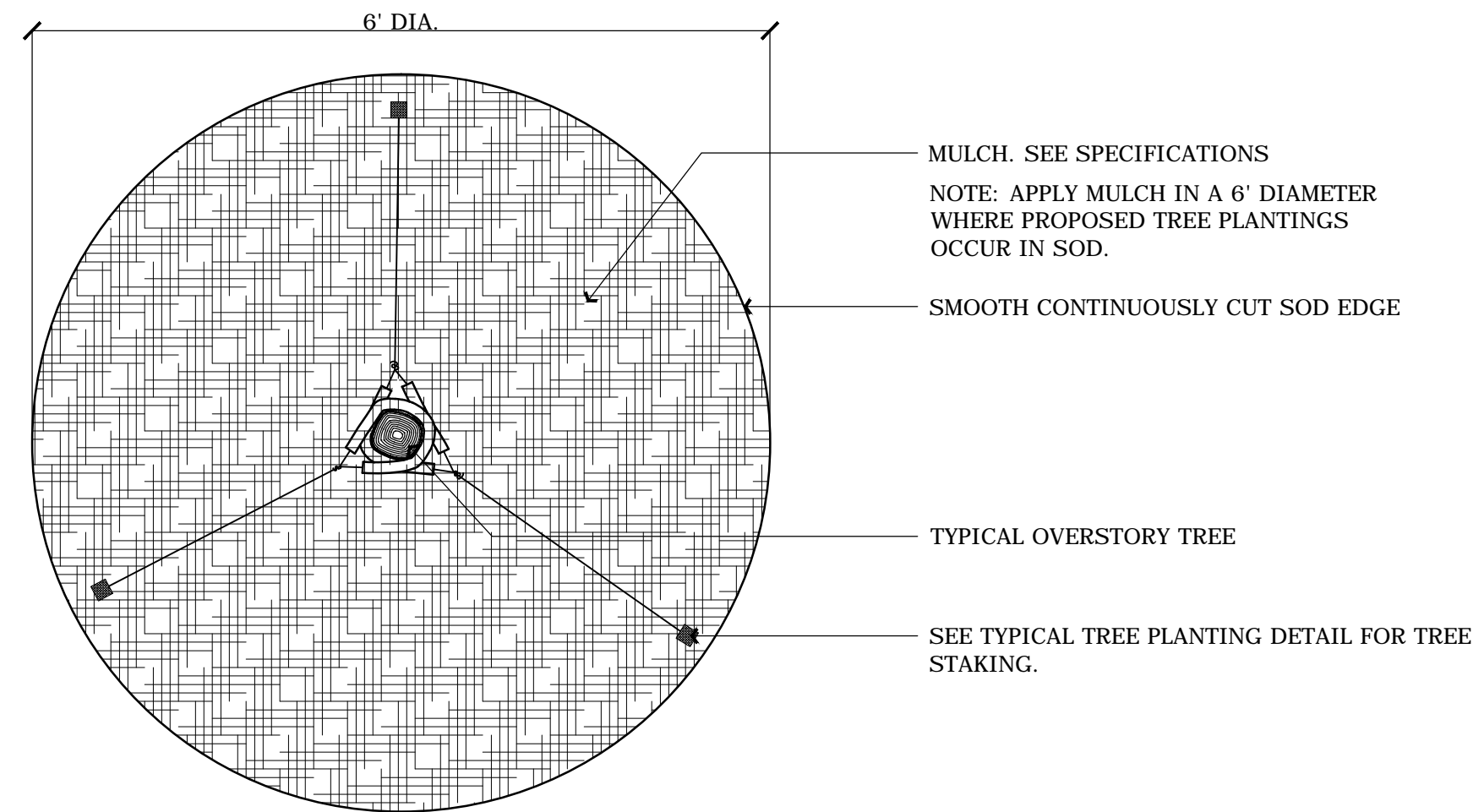
4 MULTI TRUNK TREE PLANTING DETAIL
SCALE: NOT TO SCALE

- NOTES:
1. FINAL TREE LOCATION TO BE APPROVED BY OWNER.
 2. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 3. REMOVE ALL FLAGGING TAPE AND TAGS.
 4. AMENDED SOIL: SOIL TESTS NEED TO BE PROVIDED TO THE OWNER AND THE LANDSCAPE ARCHITECT FOR APPROVAL. A TRUCKING PACKING LIST (SHIPPING TOTALS/MANIFEST) OF WHAT WAS HAULED TO THE SITE NEEDS TO BE PROVIDED TO THE OWNER AND LANDSCAPE ARCHITECT.
 5. APPLY SUBDUE MAXX FUNGICIDE AND CLEARY 3336F FUNGICIDE PER MANUFACTURER'S INSTRUCTIONS.

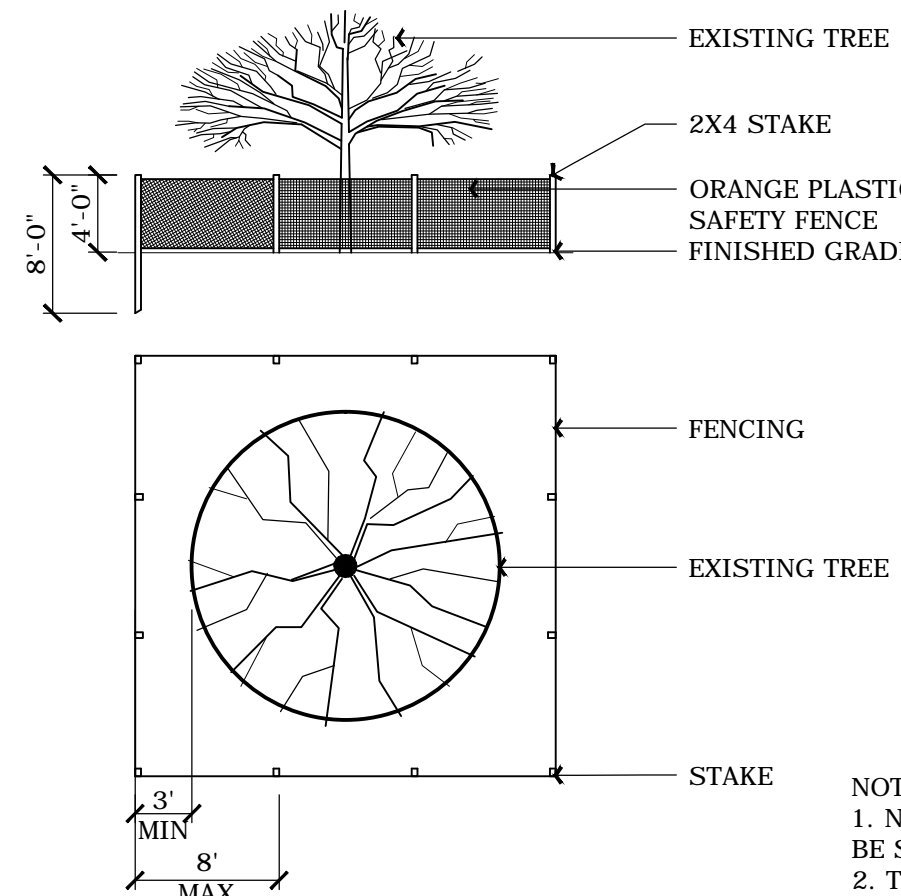
- NOTES:
1. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 2. IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2"-4" ABOVE FINISH GRADE. COORDINATE WITH LANDSCAPE ARCHITECT PRIOR TO SETTING ROOTBALL ELEVATIONS.



2 SHRUB AND GROUNDCOVER DETAIL
SCALE: NOT TO SCALE

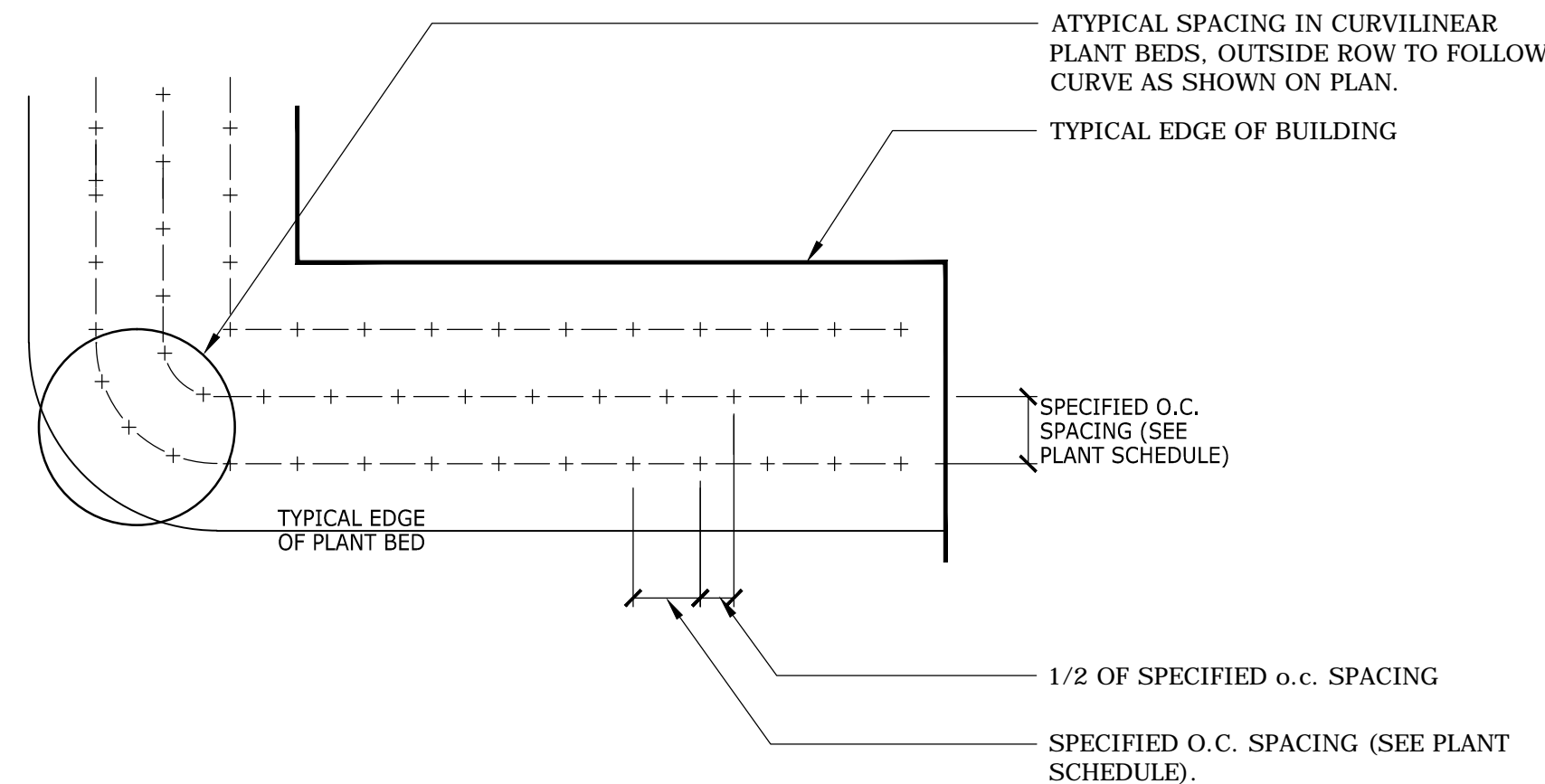


5 TREE MULCHING IN SOD AREAS
SCALE: NOT TO SCALE

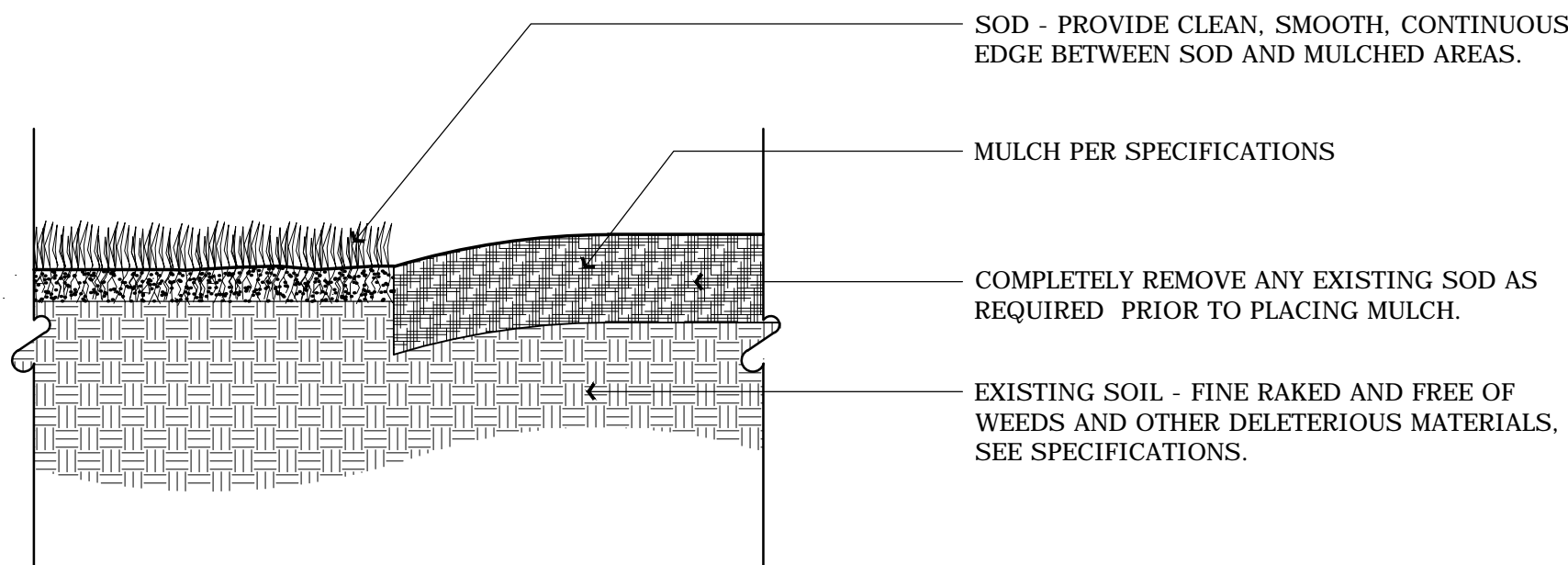


7 EXISTING TREE PROTECTION
NTS

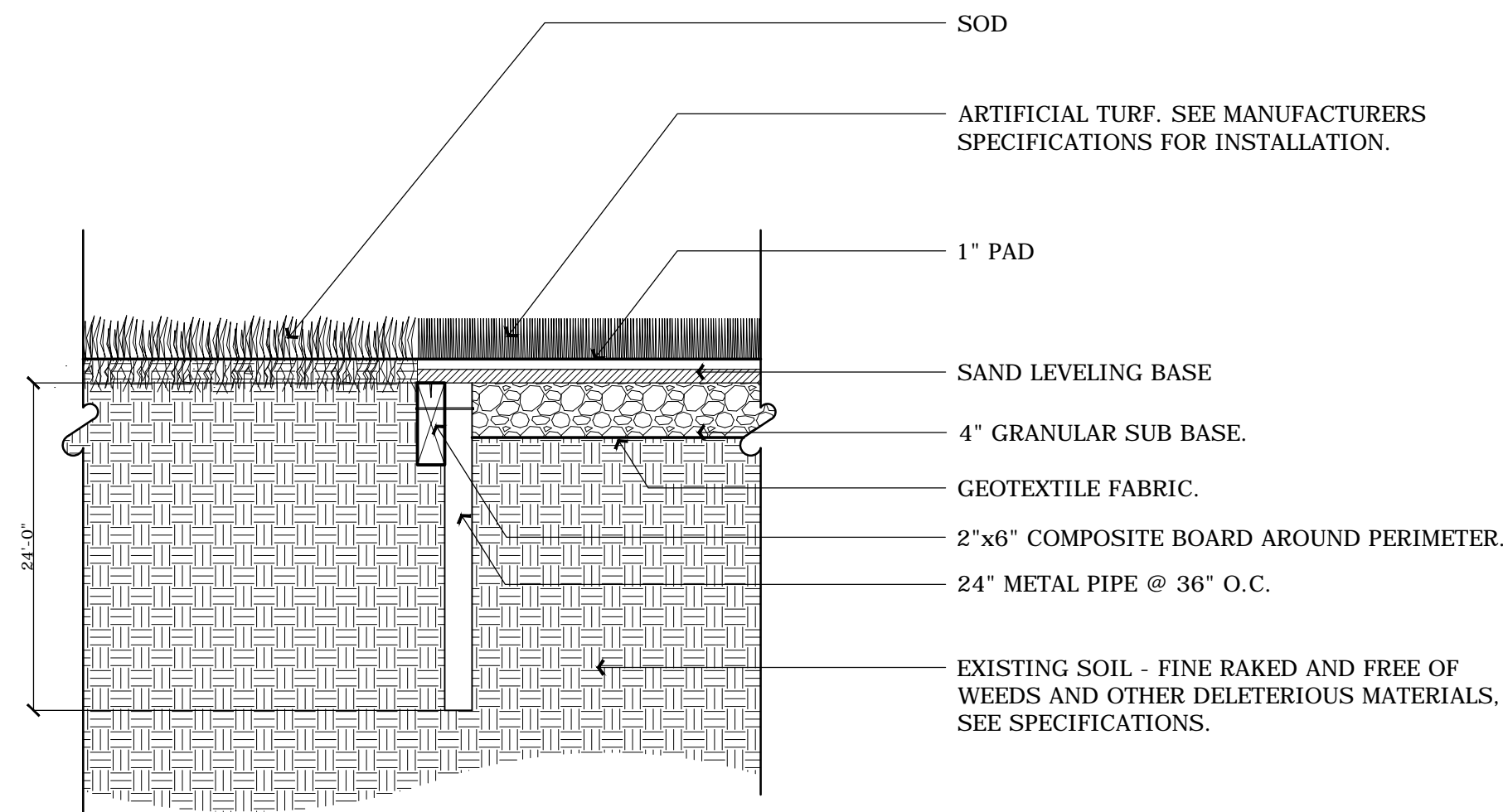
- NOTE:
1. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS/BEDS PRIOR TO INSTALLATION.
 2. ALL SHRUBS AND GROUNDCOVER MASSES TO USE TRIANGULAR SPACING EXCEPT WHERE NOTED. REFER TO PLANT LIST FOR INDIVIDUAL PLANT SPACING "X".



3 TYP. GROUND COVER SPACING DETAIL
SCALE: NOT TO SCALE



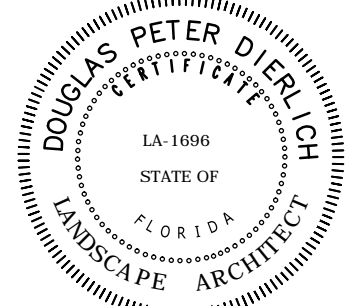
6 MULCH EDGE DETAIL
SCALE: NOT TO SCALE



8 ARTIFICIAL TURF INSTALLATION DETAIL
SCALE: NOT TO SCALE



No.	DATE	REVISION	BY



GENERAL NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH DRAWINGS FOR ALL DIVISIONS OF WORK.
2. CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH EXISTING SITE CONDITIONS PRIOR BIDDING WORK AND AGAIN PRIOR TO INITIATING CONSTRUCTION. ALL EXISTING SITE ROADS, PARKING LOTS, CURBS, UTILITIES, SEWERS AND OTHER ELEMENTS TO REMAIN SHALL BE FULLY PROTECTED FROM ANY DAMAGE UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL FIELD VERIFY ALL PROJECT CONDITIONS RELATIVE TO THE DRAWINGS PRIOR TO INITIATING ANY WORK.
4. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WITH WORK. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCY BETWEEN PLANS AND ACTUAL SITE CONDITIONS. NO WORK SHALL BE DONE IN AREAS WHERE SUCH DISCREPANCIES EXIST. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
5. ALL BASE INFORMATION PROVIDED BY OWNER. CONTRACTOR SHALL FIELD VERIFY ALL INFORMATION PRIOR TO BEGINNING WORK.
6. THE BASE MAPPING/SURVEY WAS PROVIDED BY _____. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPENCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WITH WORK.
7. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO COMMENCING WITH WORK.
8. CONTRACTOR SHALL COORDINATE ACCESS AND STAGING AREAS WITH THE OWNER'S REPRESENTATIVE.
9. CONTRACTOR SHALL NOTIFY ALL NECESSARY UTILITY COMPANIES 48 HOURS MINIMUM PRIOR TO DIGGING FOR VERIFICATION OF ALL UNDERGROUND UTILITIES, IRRIGATION AND OTHER ELEMENTS AND COORDINATE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INITIATING OPERATIONS. DRAWINGS ARE PREPARED ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PREPARING THESE DOCUMENTS.
10. NOTIFY OWNER'S REPRESENTATIVE 72 HOURS IN ADVANCE OF ANY PLANNED UTILITY INTERRUPTION.
11. CONTRACTOR SHALL COMPLY WITH STATE AND LOCAL LAWS AND REGULATIONS REGARDING NOTIFICATION OF EXISTING GAS AND OIL PIPELINE COMPANY OWNERS. EVIDENCE OF SUCH NOTICE SHALL BE FURNISHED TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WITH WORK.
12. CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THE DRAWINGS, AS WELL AS, ANY DISCOVERED DURING THE CONSTRUCTION PROCESS.
13. CONTRACTOR SHALL EMPLOY SKILLED PERSONNEL AND USE EQUIPMENT NECESSARY TO ENSURE THAT ALL WORK IS PROFESSIONALLY AND PROPERLY INSTALLED AND IN FULL COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND DETAILS.
14. CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY MEASURES DURING CONSTRUCTION OPERATIONS TO PROTECT THE PUBLIC ACCORDING TO ALL APPLICABLE CODES AND RECOGNIZED LOCAL PRACTICES.
15. THE CONTRACTOR SHALL COORDINATE ALL WORK AND BE RESPONSIBLE FOR ALL METHODS, MEANS, SEQUENCE AND PROCEDURE OF WORK.
16. CONTRACTOR SHALL COORDINATE ALL WORK WITH RELATED CONTRACTORS AND WITH THE GENERAL CONSTRUCTION OF THE PROJECT IN ORDER NOT TO IMPEDE THE PROGRESS OF THE WORK OF OTHERS OR THE CONTRACTOR'S OWN WORK.
18. THE LIMIT OF CONSTRUCTION LINE SHOWN DEFINES THE LIMIT OF WORK IN THIS CONTRACT. THERE MAY BE INSTANCES WHERE EROSION PROTECTION DEVICES AND UTILITY SYSTEMS EXTEND BEYOND THE PROJECT LIMITS LINE IN ORDER TO SUCCESSFULLY COMPLETE OPERATIONS AND/OR TIE INTO ADJACENT SYSTEMS.
19. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCE, ORANGE GEO FENCE AND/OR OTHER MEASURES) DURING CONSTRUCTION. PROVIDE ADDITIONAL MEASURES AS NECESSARY TO MINIMIZE ADVERSE IMPACTS TO THE ADJACENT WATER BODIES, SURFACES AND STORM SEWERS ACCORDING TO ALL APPLICABLE FEDERAL/STATE/LOCAL LAWS AND REGULATIONS.
20. REPORT ALL EXISTING DAMAGE OF EXISTING SITE IMPROVEMENTS TO OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT DAMAGE.
21. CONTRACTOR SHALL PROTECT, BY WHATEVER MEANS NECESSARY, THE EXISTING SITE IMPROVEMENTS TO REMAIN. ALL DAMAGED ITEMS SHALL BE REPLACED OR REPAIRED AT NO ADDITIONAL COST TO THE OWNER. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF ANY DAMAGE OCCURS.
22. ALL AREAS WITHIN THE DRIPLINES OF EXISTING TREES SHALL REMAIN FREE OF CONSTRUCTION MATERIAL, DEBRIS, VEHICLES AND FOOT TRAFFIC AT ALL TIMES. CONTRACTOR SHALL PROVIDE TEMPORARY FENCING, BARRICADES AND/OR OTHER SUITABLE GUARDS OUTSIDE DRIP LINE (OUTSIDE PERIMETER OF BRANCHES) TO PROTECT TREES AND PLANT MATERIAL TO REMAIN. NO WORK SHALL BE PERFORMED WITHIN THE DRIPLINE OF EXISTING TREES UNLESS INDICATED. ALL WORK INDICATED TO BE PERFORMED WITHIN THE DRIPLINE OF TREES SHALL BE DONE BY HAND AND CARE SHALL BE TAKEN TO MINIMIZE DISTURBANCE TO THE TREE ROOTS.
23. EACH CONTRACTOR SHALL VERIFY THE CONDITION AND COMPLETENESS OF ALL WORK PERFORMED BY OTHERS IN RELATION TO HIS/HER PROJECT WORK RESPONSIBILITIES INCLUDING THE CHECKING OF EXISTING ELEVATIONS OR STRUCTURES PRIOR TO INITIATING CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE IF ANY SITE CONDITIONS ARE INCOMPLETE, MISSING OR DAMAGED.
24. THE CONTRACTOR SHALL KEEP ALL DRAINAGE FACILITIES AFFECTED BY HIS CONSTRUCTION OPERATIONS CLEAN AND FULLY OPERATIONAL AT ALL TIMES.
25. CONTRACTOR SHALL CLEAN THE WORK AREAS AT THE END OF EACH WORKING DAY. ALL MATERIALS, PRODUCTS AND EQUIPMENT SHALL BE STORED IN AN ORGANIZED FASHION.
26. ALL CONSTRUCTION DEBRIS AND REMOVED ITEMS SHALL BE DISPOSED OF LEGALLY OFF-SITE UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

GENERAL NOTES FOR LANDSCAPE PLANTING

1. THE CONTRACTOR SHALL REFER TO THE LANDSCAPE PLANTING DETAILS, SPECIFICATIONS, PLANT LIST AND PLANS FOR FURTHER AND COMPLETE PLANTING INSTALLATION INSTRUCTIONS.
2. CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL EXISTING GROUND COVERS FOR ALL NEW PLANTING BEDS BY APPROVED MEANS PRIOR TO PLANTING INSTALLATION. CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE ALL PORTIONS OF EXISTING PLANTING OR LAWN AREAS INDICATED TO REMAIN WHILE COMPLETING NEW PLANTING INSTALLATION WORK WITH SAME KIND OF PLANTS OR GRASS TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
3. THE CONTRACTOR SHALL BEAR ALL COST ASSOCIATED WITH SOIL TESTING AND SOIL AMENDMENTS AS REQUIRED AS A RESULT OF THE SOIL TESTING LABORATORY'S RECOMMENDATIONS. PRIOR TO INITIATING INSTALLATION THE CONTRACTOR SHALL PROVIDE SOIL TEST FOR AT LEAST TWO ON-SITE LOCATIONS.
4. ALL PLANT CONTAINER SIZES NOTED ON THE PLANT LIST ARE MINIMUM. INCREASE SIZE OF CONTAINERS IF NECESSARY TO CONFORM TO THE PLANT SIZE AND SPECIFICATIONS.
5. ALL TREES SHALL HAVE SIX (6") CLEAR TRUNKS UNLESS OTHERWISE NOTED ON THE PLANT LIST. ANY TREE TRUNK WITH A "V" SHAPED CROTCH WILL BE REJECTED. ALL TREE CALIPER (CAL.) SIZES NOTED ON THE PLANT LIST ARE MINIMUM. INCREASE SIZE IF NECESSARY TO CONFORM TO SPECIFIED PLANT SIZE IN THE PLANT LIST.
6. EROSION CONTROL FABRIC SHALL BE INSTALLED IN ALL SHRUB AND GROUND COVER PLANTING AREAS AS PER THE DETAILS AND/OR SPECIFICATIONS FOR ALL SLOPES THAT ARE GREATER THAN 3:1 (SLOPES 1' VERTICAL FOR EVERY 3' HORIZONTAL). SEE PLANS FOR LOCATIONS WHERE SLOPES ARE GREATER THAN 3:1.
7. SHRUB AND GROUND COVER PLANTINGS ARE TYPICALLY SHOWN ON THE PLANS IN MASS PLANTING BEDS. PLANTS SHALL BE SET IN A TRIANGULAR SPACING PATTERN (STAGGERED SPACING). PLANT CENTER TO CENTER DIMENSIONS (O.C.) ARE INDICATED IN THE PLANT LIST.
8. LANDSCAPE CONTRACTOR SHALL FIELD ADJUST THE LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO EXISTING TREES AND UNDERSTORY VEGETATION TO REMAIN, UNDERGROUND AND ABOVE GROUND UTILITIES AND ALL OTHER ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT PRIOR TO INITIATING ANY CHANGES.

GENERAL NOTES FOR LANDSCAPE PLANTING (cont.)

9. ANY SUBSTITUTIONS TO PLANT MATERIAL SIZE OR TYPE MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. LANDSCAPE CONTRACTOR SHALL NOT MAKE ANY SUBSTITUTIONS OR ALTERATIONS TO THE LANDSCAPE PLANTING PLANS OR PLANT LIST & MATERIALS WITHOUT THE PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE. ANY LANDSCAPE PLANTING INSTALLED THAT DOES NOT CONFORM TO THE PLANS, PLANT LIST AND SPECIFICATIONS SHALL BE REPLACED IMMEDIATELY TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING AS REQUIRED TO MAINTAIN AND ESTABLISH ALL PLANTING (NEW, EXISTING TO BE RELOCATED, AND EXISTING PLANTINGS TO REMAIN WHILE IRRIGATION SYSTEM IS BEING INSTALLED OR REPAIRED) TO SUPPLEMENT IRRIGATION AND RAINFALL. THE IRRIGATION SYSTEM IS DESIGNED TO MAINTAIN THE LANDSCAPE PLANTINGS AND NOT ESTABLISH THEM. THE CONTRACTOR IS RESPONSIBLE FOR HAND WATERING IN ALL PLANTING AREAS, REGARDLESS OF THE STATUS OF EXISTING OR PROPOSED IRRIGATION SYSTEMS.
11. CONTRACTOR SHALL RE-GRADE ALL AREAS DISTURBED BY PLANT REMOVAL, RELOCATION, AND/OR FROM INSTALLATION WORK. THE CONTRACTOR SHALL REPLACE BY EQUAL SIZE AND QUALITY ANY AND ALL EXISTING PLANT MATERIAL DISTURBED OR DAMAGED BY PLANTING REMOVAL, RELOCATION, AND/OR INSTALLATION.
12. EXISTING TREES OR OTHER PLANT MATERIAL INDICATED ON THE PLANS TO BE RELOCATED SHALL BE HANDLED, CARED FOR, AND MAINTAINED AS NEW PLANTINGS. THE CONTRACTOR IS RESPONSIBLE FOR ANY REQUIRED ROOT PRUNING, WRAPPING, TREE SPADING OR BALL AND BURLAPPING, ADDITIONAL SUPPLEMENTAL HAND WATERING, IRRIGATION MISTERS INSTALLED AT THE TREE CANOPY, OR ANY OTHER SOUND HORTICULTURAL PRACTICE REQUIRED TO ENSURE THE SURVIVAL OF ALL RELOCATED PLANT MATERIAL.
13. FOR SITE GRADING AND CONTOUR INFORMATION, EXISTING VEGETATION TO REMAIN, BUILDINGS AND OTHER SITE FEATURE LOCATIONS AND THE LOCATION OF ALL ABOVE AND BELOW GROUND UTILITIES SEE THE MOST CURRENT AND UP TO DATE ARCHITECTURAL, CIVIL, ELECTRICAL, STRUCTURAL AND MECHANICAL ENGINEERING DRAWINGS AS PROVIDED BY THE OWNER OR OWNER'S REPRESENTATIVE. FIELD LOCATE ALL UNDERGROUND UTILITIES, EXISTING VEGETATION TO REMAIN AND ANY OTHER OBSTRUCTIONS AND COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO INITIATING ANY LANDSCAPE PLANTING OR IRRIGATION INSTALLATION WORK. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY DAMAGE COMMITTED TO EXISTING OR PROPOSED ELEMENTS ABOVE OR BELOW GROUND TO ITS ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER AND OWNER'S REPRESENTATIVE.
14. LANDSCAPE CONTRACTOR SHALL FIELD STAKE THE LOCATION OF ALL PLANT MATERIAL AND EDGES OF PLANTING BEDS FOR THE REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INITIATING ANY INSTALLATION OF THE LANDSCAPE PLANTINGS.
15. LANDSCAPE CONTRACTOR SHALL COORDINATE WORK WITH THE IRRIGATION CONTRACTOR AND ALL OTHER TRADES AS REQUIRED.
16. CONTRACTOR IS RESPONSIBLE FOR ALL PLANTING QUANTITIES AND TAKE-OFFS FOR PRICING/BIDDING. TOTAL QUANTITIES INDICATED ON THE PLANT LIST ARE FOR REFERENCE ONLY. INDIVIDUAL PLANT QUANTITIES SHOWN ON THE PLAN SHALL HAVE PRECEDENCE OVER PLANT LIST QUANTITIES. CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO CONSTRUCTION.
17. STAKE ALL BED LINES AND TREE LOCATIONS FOR THE LANDSCAPE ARCHITECT'S REVIEW PRIOR TO INSTALLATION. ALL PLANTING PROCEDURES ARE SUBJECT TO THE REVIEW OF THE LANDSCAPE ARCHITECT AND THE CONTRACTOR SHALL CORRECT ANY DEFICIENCIES FOUND AT NO ADDITIONAL COST TO THE OWNER.
18. SECURE PLANT MATERIAL AS SPECIFIED ON PLANS. IN THE EVENT THAT PLANT MATERIALS SPECIFIED ARE NOT AVAILABLE, CONTACT LANDSCAPE ARCHITECT FOR APPROVED SUBSTITUTIONS. NO SUBSTITUTIONS FOR PLANT MATERIALS WILL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL BY THE LANDSCAPE ARCHITECT.
19. VERIFY THAT ALL PLANTING PRODUCTS, PLANT MATERIAL, AND PLANT QUANTITIES DELIVERED TO THE SITE MATCH WHAT IS INDICATED ON THE PLANS AND SPECIFICATIONS.
20. PROTECT ALL PLANT MATERIAL DURING DELIVERY TO PREVENT DAMAGE TO ROOT BALLS, TRUNKS, BRANCHES AND THE DESICCATION OF LEAVES. PROTECT ALL PLANT MATERIAL DURING SHIPPING WITH SHADE CLOTH OR SHIP WITH ENCLOSED TRANSPORT. MAINTAIN PROTECTIONS AND HEALTH OF PLANT MATERIAL STORED ON SITE. HANDLE ALL TREES WITH NYLON STRAPS. NO CHAINS OR CABLES WILL BE ALLOWED. REMOVE UNACCEPTABLE PLANT MATERIAL IMMEDIATELY FROM THE SITE.
21. ALL PLANT MATERIAL SHALL BE NURSERY GROWN, WELL FORMED, TRUE TO SPECIES, HARDENED OFF WITH VIGOROUS ROOT SYSTEMS, FULL CROWN AND CANOPIES, AND FREE FROM DISEASE, PESTS AND INSECTS, AND DEFECTS SUCH AS KNOTS, SUN SCALD, WINDBURN, LEAF DIS-COLORATION, IRREGULAR BRANCHING OR INJURIES.
22. ALL ROOT BALLS SHALL CONFORM TO THE SIZE STANDARDS SET FORTH IN "AMERICAN STANDARDS FOR NURSERY STOCK".
23. ALL PLANT MATERIAL SHALL CONFORM TO STANDARDS SET FORTH IN "GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE, DIVISION OF PLANT INDUSTRY, GAINSVILLE, FLORIDA.
24. ALL PLANT MATERIAL DELIVERED TO THE SITE IS SUBJECT TO THE REVIEW OF THE LANDSCAPE ARCHITECT BEFORE, DURING AND AFTER INSTALLATION.
25. PROVIDE PLANT SAMPLES OR PHOTOGRAPHS OF EACH PLANT SPECIFIED TO THE LANDSCAPE ARCHITECT FOR COMPLIANCE REVIEW PRIOR TO INSTALLATION.
26. TEST FILL ALL TREE AND PLANTING PITS WITH WATER, PRIOR TO PLANTING, TO ASSURE PROPER SOIL PERCOLATION. PITS WHICH DO NOT ADEQUATELY DRAIN SHALL BE FURTHER EXCAVATED TO A DEPTH SUFFICIENT FOR DRAINAGE TO OCCUR AND/OR BACKFILLED WITH SUITABLE DRAINAGE GRAVEL. NO ALLOWANCES SHALL BE MADE FOR PLANT MATERIAL LOSS DUE TO IMPROPER DRAINAGE. CONTRACTOR SHALL REPLACE LOST PLANT MATERIAL WITH SAME SIZE AND SPECIES AT NO ADDITIONAL COST TO OWNER.
27. ALL PLANT MATERIALS, INCLUDING RELOCATED PLANT MATERIAL, SHALL BE PLANTED IN A PROFESSIONAL MANNER TYPICAL TO THE INDUSTRY STANDARDS OF THE AREA TO ASSURE COMPLETE SURVIVABILITY OF ALL INSTALLED PLANT MATERIALS AS WELL AS TO PROVIDE AN AESTHETICALLY APPROVED PROJECT. CONTRACTOR SHALL REFER TO THE PLANTING DETAILS FOR MINIMUM SIZE AND WIDTH OF PLANTING PITS AND BEDS, GUYING AND STAKING, MULCHING, AND OTHER PLANTING REQUIREMENTS.
28. ALL PLANTING AREAS SHALL BE WEED FREE PRIOR TO PLANTING INSTALLATION.
29. REMOVE ALL PLANTING AND LANDSCAPE DEBRIS FROM THE PROJECT SITE AND SWEEP AND WASH CLEAN ALL PAVED AND FINISHED SURFACES AFFECTED BY THE LANDSCAPE INSTALLATION.
30. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC OR BURIAL PITS ARE ALLOWED IN THE TREE PROTECTION ZONE OF EXISTING TREES.
31. TREE BARRICADES MUST BE INSTALLED AROUND EXISTING TREES BEFORE ANY GRADING OR CONSTRUCTION AND NOT REMOVED UNTIL AFTER FINAL ACCEPTANCE OF THE JOB.

a.

CIVICA

ARCHITECTURE & URBAN DESIGN

8323 NW 12th St. Suite 106
Doral, FL 33126
tel: 305.593.9959
□□□□□□□□□□
AA 26001093

PROJECT:

WALLACE PARK
IMPROVEMENTS

E WALLACE ST. BELLE ISLE, FL 32809

APPLICANT:

THE CITY OF BELLE ISLE



CIVICA PROJECT No:
200108

ISSUED FOR:

SITE PLAN
APPROVAL

No.	DATE	REVISION	BY

DRAWN BY: DPD	APPROVED BY: RL
DATE: 2020-08	SCALE: A=Sho□□
KEYPLAN	

SEAL/SIGNATURE

DOUGLAS PETER DIERLICH
LA 1696
STATE OF
FLORIDA
LANDSCAPE ARCHITECT

Douglas Dierlich
LA0001696

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SHEET TITLE

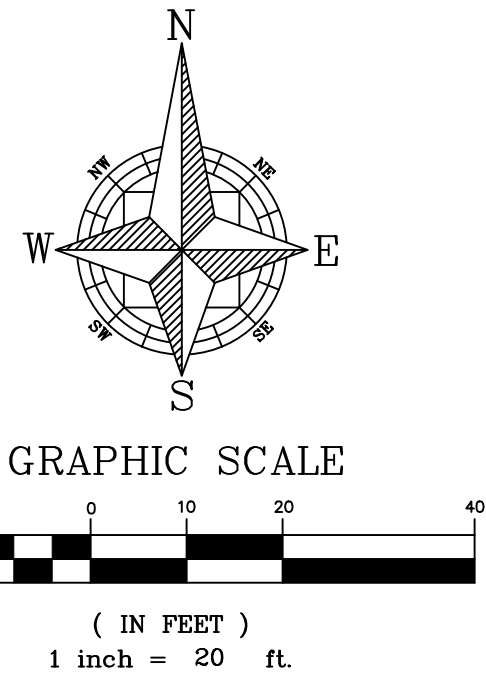
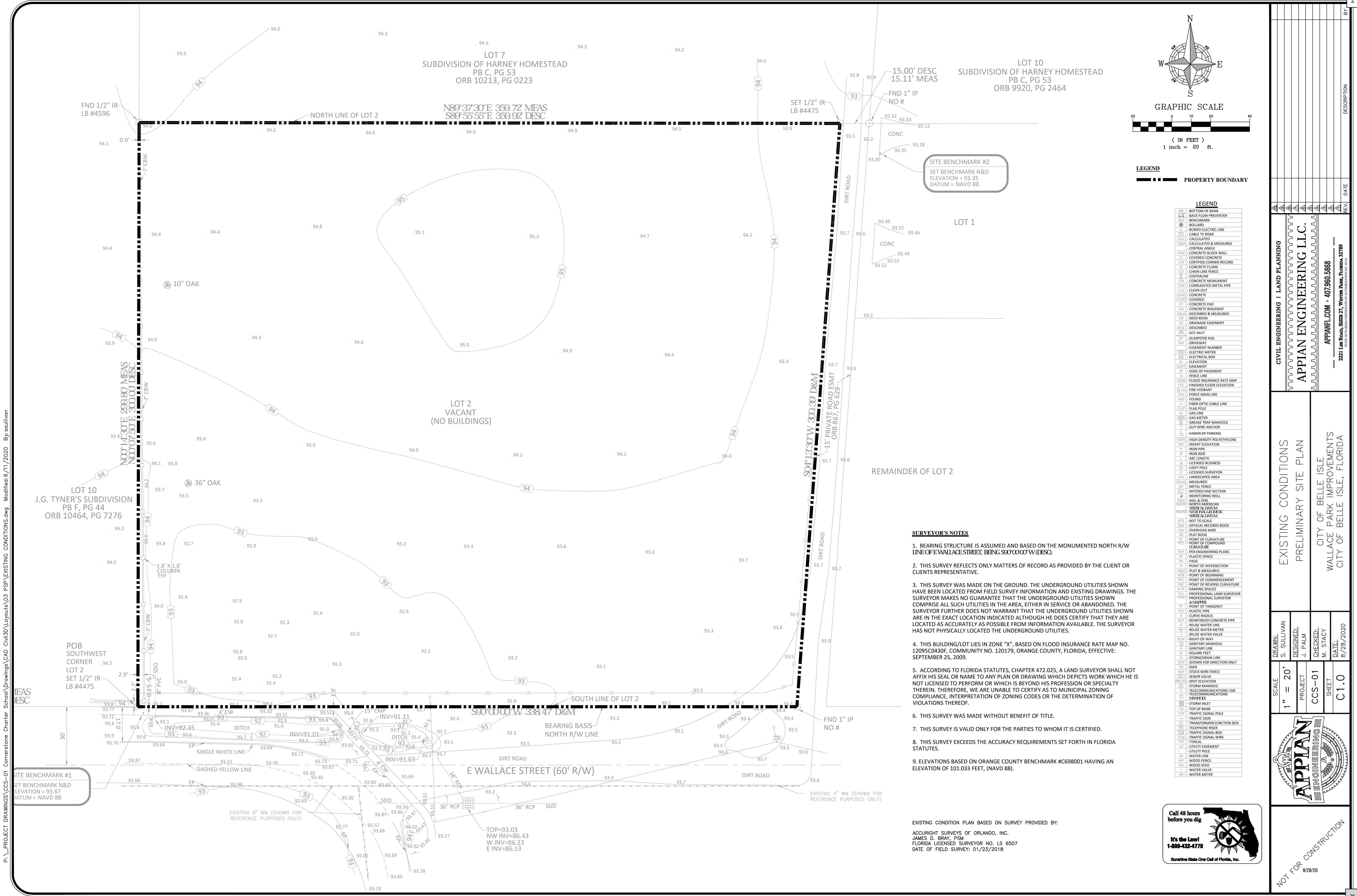
LANDSCAPE
NOTES

SHEET NUMBER

L-3

CONTAINS: 104,686 SQUARE FEET OR 2.4033 ACRES MORE OR LESS.

This form has been electronically signed and sealed by Luke M. Cleason, PE on the date shown on the time stamp using a digital signature.



LEGEND
--- PROPERTY BOUNDARY

LEGEND	
BB	BOTTOM OF BANK
BP	BACK FLOW PREVENTER
BM	BENCHMARK
B	BOLLARD
EL	BURNED ELECTRIC LINE
TR	CABLE TV RISER
CL	CALCULATED
CM	CALCULATED & MEASURED
CA	CENTRAL ANGLE
CBW	CONCRETE BLOCK WALL
CC	COVERED CONCRETE
CCR	CERTIFIED CORNER RECORD
CF	CONCRETE FLUME
CL	CHAIN LINE FENCE
CL	CENTERLINE
CM	CONCRETE MONUMENT
CM	CORRUGATED METAL PIPE
CO	CLEAN OUT
CONC	CONCRETE
COVD	COVERED
CP	CONCRETE PAD
CV	CONCRETE WALKWAY
DBM	DESCRIBED & MEASURED
DE	DEED BOOK
DE	DRAINAGE EASEMENT
DESC	DESCRIBED
DI	DOT INLET
DP	DUMPSTER PAD
DW	DRIVEWAY
EN	EASEMENT NUMBER
EM	ELECTRIC METER
EB	ELECTRICAL BOX
EL	ELEVATION
EW	EASEMENT
EP	EDGE OF PAVEMENT
F	FENCE LINE
FIN	FLOOD INSURANCE RATE MAP
FTE	FINISHED FLOOR ELEVATION
FI	FIRE HYDRANT
FM	FORCE MAIN LINE
FND	FOUND
FO	FIBER OPTIC CABLE LINE
FP	FLAG POLE
GL	GAS LINE
GM	GAS METER
GT	GREASE TRAP MANHOLE
GA	GUT WIRE ANCHOR
H	HANDICAP PARKING
HDPE	HIGH DENSITY POLYETHYLENE
INV	INVERT ELEVATION
IP	IRON PIPE
IR	IRON ROD
L	ARC LENGTH
LD	LICENSED BUSINESS
LP	LIGHT POLE
LS	LICENSED SURVEYOR
LSA	LANDSCAPED AREA
MEAS	MEASURED
MF	METAL FENCE
MS	METERED END SECTION
MW	MONITORING WELL
N&D	NAIL & DISK
NA	NORTH AMERICAN
NOVD	NOT TO SCALE
NTS	NOT TO SCALE
ORB	OFFICIAL RECORDS BOOK
OW	OVERHEAD WIRE
PL	PLAT BOOK
PC	POINT OF CURVATURE
PC	POINT OF BEGINNING
PC	POINT OF COMMENCEMENT
PC	POINT OF REVERSE CURVATURE
PS	PARKING SPACES
PLS	PROFESSIONAL LAND SURVEYOR
PSM	PROFESSIONAL SURVEYOR
PT	POINT OF TANGENCY
PVC	PLASTIC PIPE
R	CURVE RADIUS
RCP	REINFORCED CONCRETE PIPE
R	REUSE WATER LINE
R	REUSE WATER METER
R	REUSE WATER VALVE
R/W	RIGHT-OF-WAY
S	SANITARY MANHOLE
S	SANITARY LINE
SF	SQUARE FEET
S	STORM/RAIN LINE
SDO	SHOWN FOR DIRECTION ONLY
SN	SIGN
SWF	STOCK WIRE FENCE
SV	SEWER VALVE
SE	SPOT ELEVATION
SM	STORM MANHOLE
TL	TELECOMMUNICATIONS LINE
TEL	TELEPHONE
TR	TRANSFORMER/JUNCTION BOX
TR	TRAFFIC SIGNAL
TR	TRAFFIC SIGNAL BOX
TR	TRAFFIC SIGNAL WIRE
TR	TYPICAL
UL	UTILITY EASEMENT
U	UTILITY POLE
W	WATER LINE
W	WOOD FENCE
WS	WOOD SHED
WV	WATER VALVE
WM	WATER METER

SURVEYOR'S NOTES

1. BEARING STRUCTURE IS ASSUMED AND BASED ON THE MONUMENTED NORTH R/W LINE OF E WALLACE STREET, BEING S80°00'00"W (DESC).
2. THIS SURVEY REFLECTS ONLY MATTERS OF RECORD AS PROVIDED BY THE CLIENT OR CLIENT'S REPRESENTATIVE.
3. THIS SURVEY WAS MADE ON THE GROUND. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
4. THIS BUILDING/LOT LIES IN ZONE "X", BASED ON FLOOD INSURANCE RATE MAP NO. 12095C0430F, COMMUNITY NO. 120179, ORANGE COUNTY, FLORIDA, EFFECTIVE: SEPTEMBER 25, 2009.
5. ACCORDING TO FLORIDA STATUTES, CHAPTER 472.025, A LAND SURVEYOR SHALL NOT AFFIX HIS SEAL OR NAME TO ANY PLAN OR DRAWING WHICH DEPICTS WORK WHICH HE IS NOT LICENSED TO PERFORM OR WHICH IS BEYOND HIS PROFESSION OR SPECIALTY THEREIN. THEREFORE, WE ARE UNABLE TO CERTIFY AS TO MUNICIPAL ZONING COMPLIANCE, INTERPRETATION OF ZONING CODES OR THE DETERMINATION OF VIOLATIONS THEREOF.
6. THIS SURVEY WAS MADE WITHOUT BENEFIT OF TITLE.
7. THIS SURVEY IS VALID ONLY FOR THE PARTIES TO WHOM IT IS CERTIFIED.
8. THIS SURVEY EXCEEDS THE ACCURACY REQUIREMENTS SET FORTH IN FLORIDA STATUTES.
9. ELEVATIONS BASED ON ORANGE COUNTY BENCHMARK #C698001 HAVING AN ELEVATION OF 101.033 FEET, (NAVD 88).

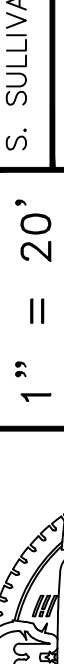
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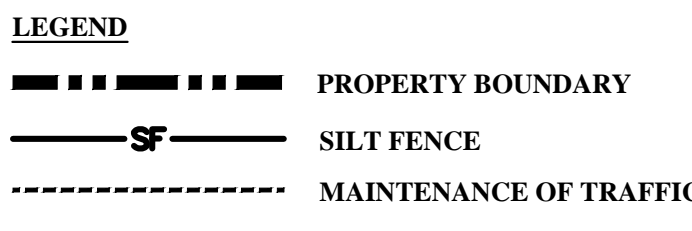
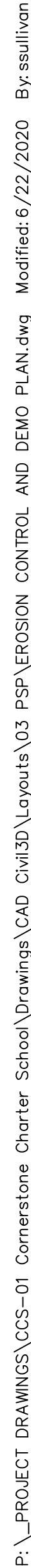
ACCURIGHT SURVEYS OF ORLANDO, INC.
JAMES D. BRAY, PSM
FLORIDA LICENSED SURVEYOR NO. LS 6507
DATE OF FIELD SURVEY: 01/23/2018

Call 48 hours before you dig

It's the Law! 1-800-432-4770

Sunshine State One Call of Florida, Inc.

NOT FOR CONSTRUCTION										8/28/2020									
																			
SCALE 1" = 20'										DRAWN: S. SULLIVAN									
PROJECT CCS-01										DESIGNED: J. PALM									
SHEET C 1.0										CHECKED: M. STACY DATE: 8/28/2020									
EXISTING CONDITIONS PRELIMINARY SITE PLAN										CITY OF BELLE ISLE WALLACE PARK IMPROVEMENTS CITY OF BELLE ISLE, FLORIDA									
CIVIL ENGINEERING LAND PLANNING										APPIAN ENGINEERING LLC.									
APPIANENGINEERING.COM • 407.960.5868										2221 LEE ROAD, SUITE 27, WESTON PARK, FLORIDA 32789									
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NO. 1874																			
BY										DATE									
DESCRIPTION																			

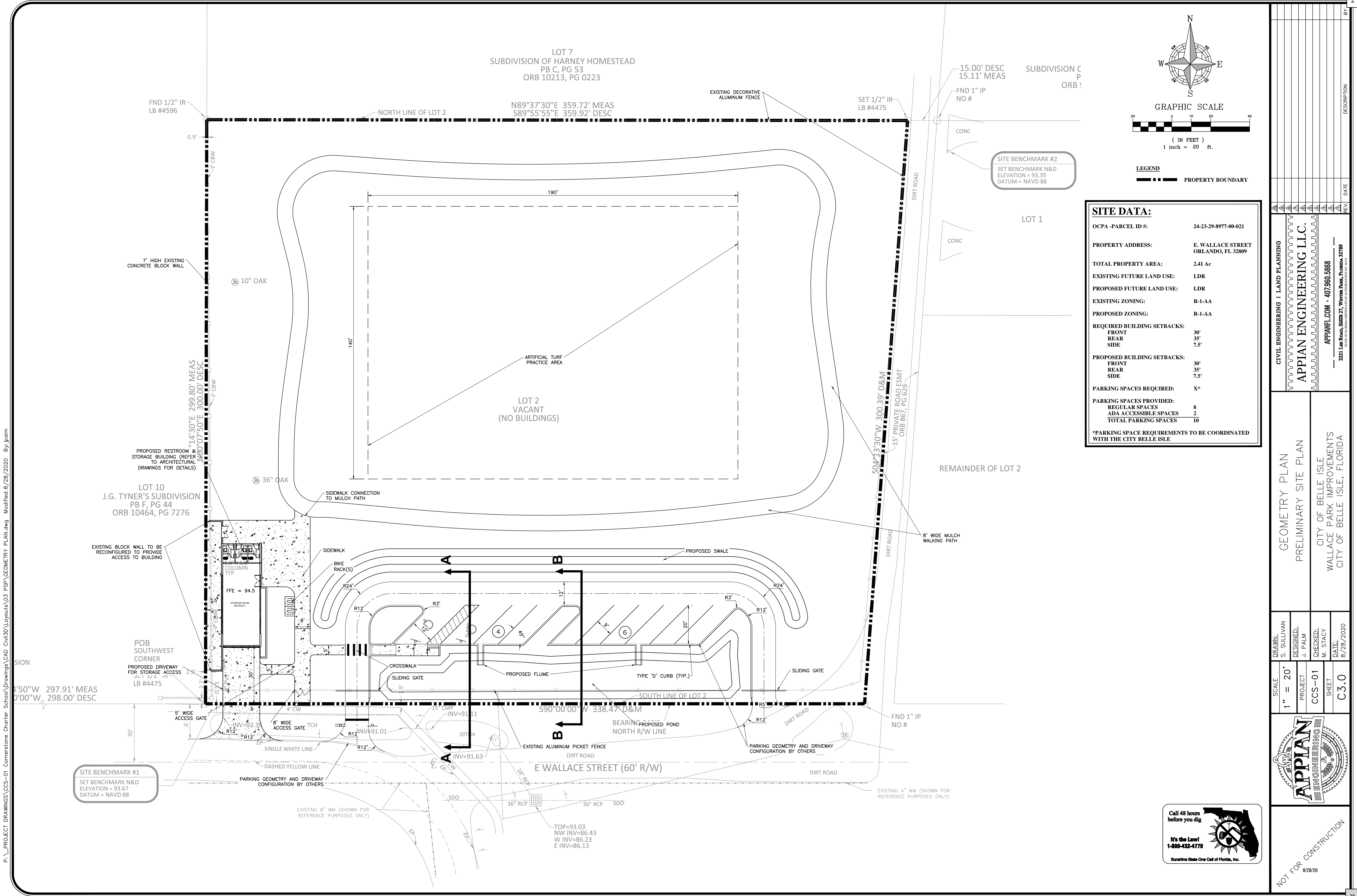
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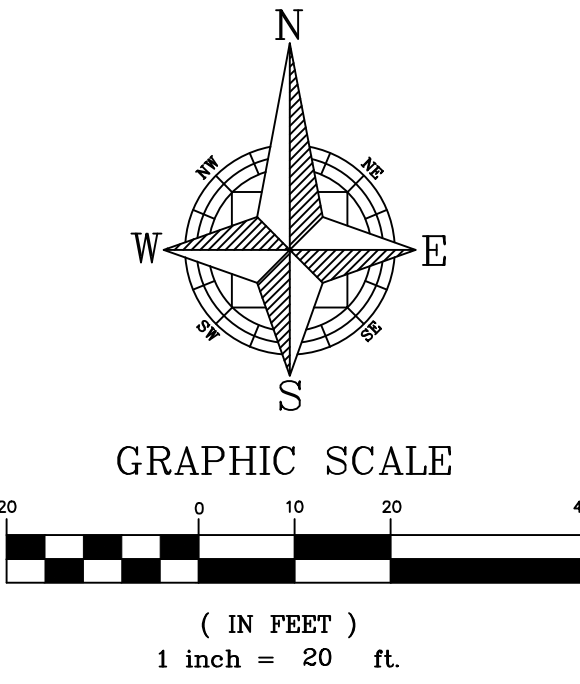
**Call 48 hours
before you dig**

It's the Law!
1-800-432-4770

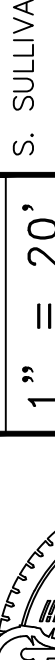


Sunshine State One Call of Florida, Inc.



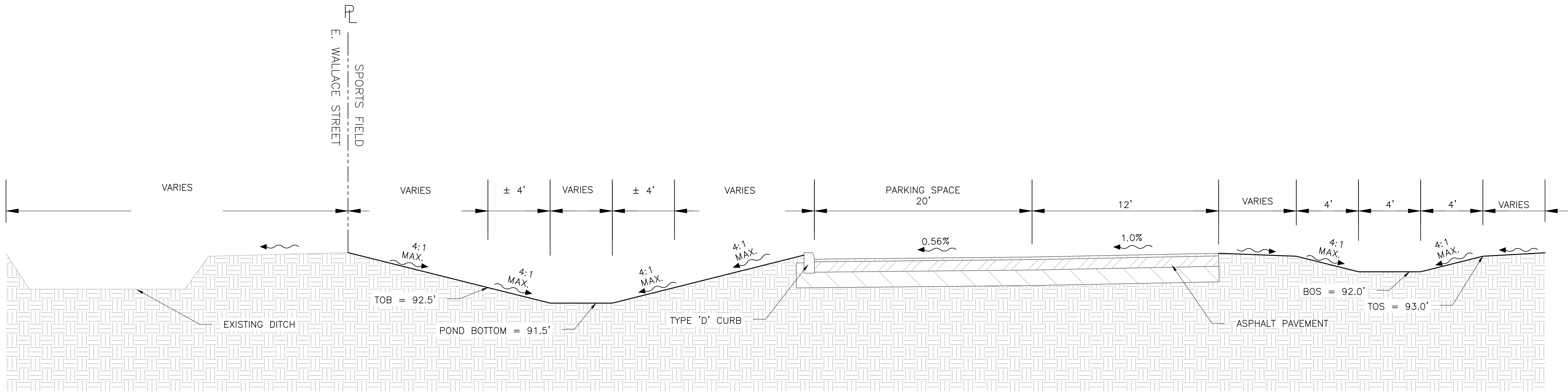


LEGEND
--- PROPERTY BOUNDARY

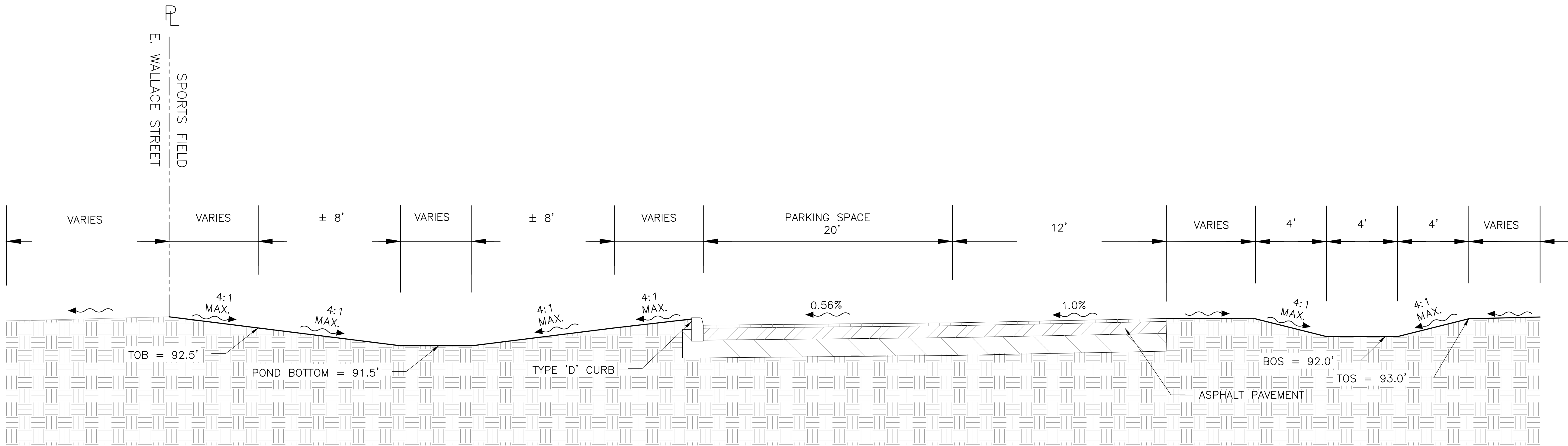
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<div>PROJECT</div> <div>CCS-01</div>		<div>DESIGNED:</div> <div>J. PALM</div>		<div>AERIAL SITE PLAN</div>		<div>APPIAN ENGINEERING LLC.</div>		<div>APPIANFL.COM • 407-960-5868</div>	
<div>SHEET</div> <div>C3.1</div>		<div>CHECKED:</div> <div>M. STACY</div>		<div>PRELIMINARY SITE PLAN</div>		<div>CITY OF BELLE ISLE</div>		<div>2231 Las Ruas, Suite 27, Winter Park, Florida, 32789</div>	
<div>DATE:</div> <div>8/28/2020</div>		<div>CITY OF BELLE ISLE</div>		<div>WALLACE PARK IMPROVEMENTS</div>		<div>CITY OF BELLE ISLE, FLORIDA</div>		<div>STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NO. 18174</div>	
								<div>REV.</div> <div>DATE</div>	



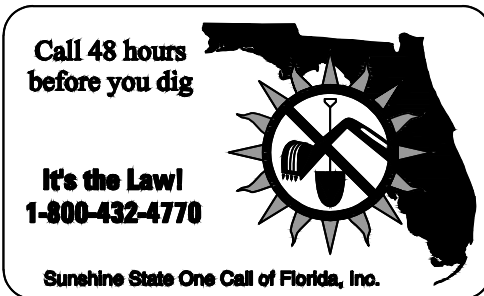
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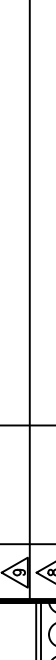
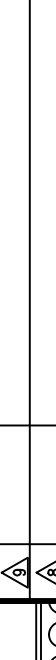
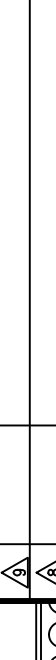


SECTION A-A
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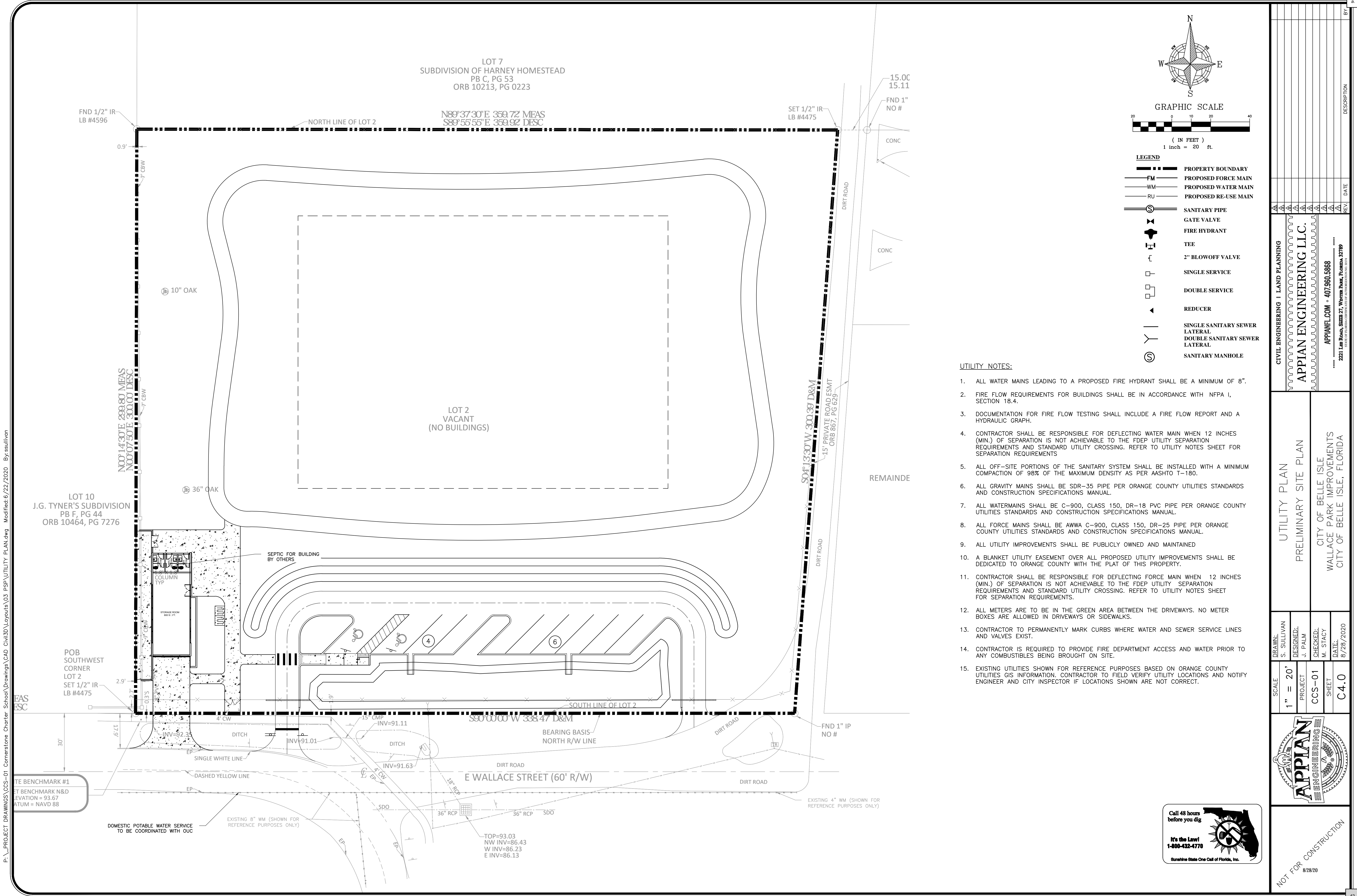


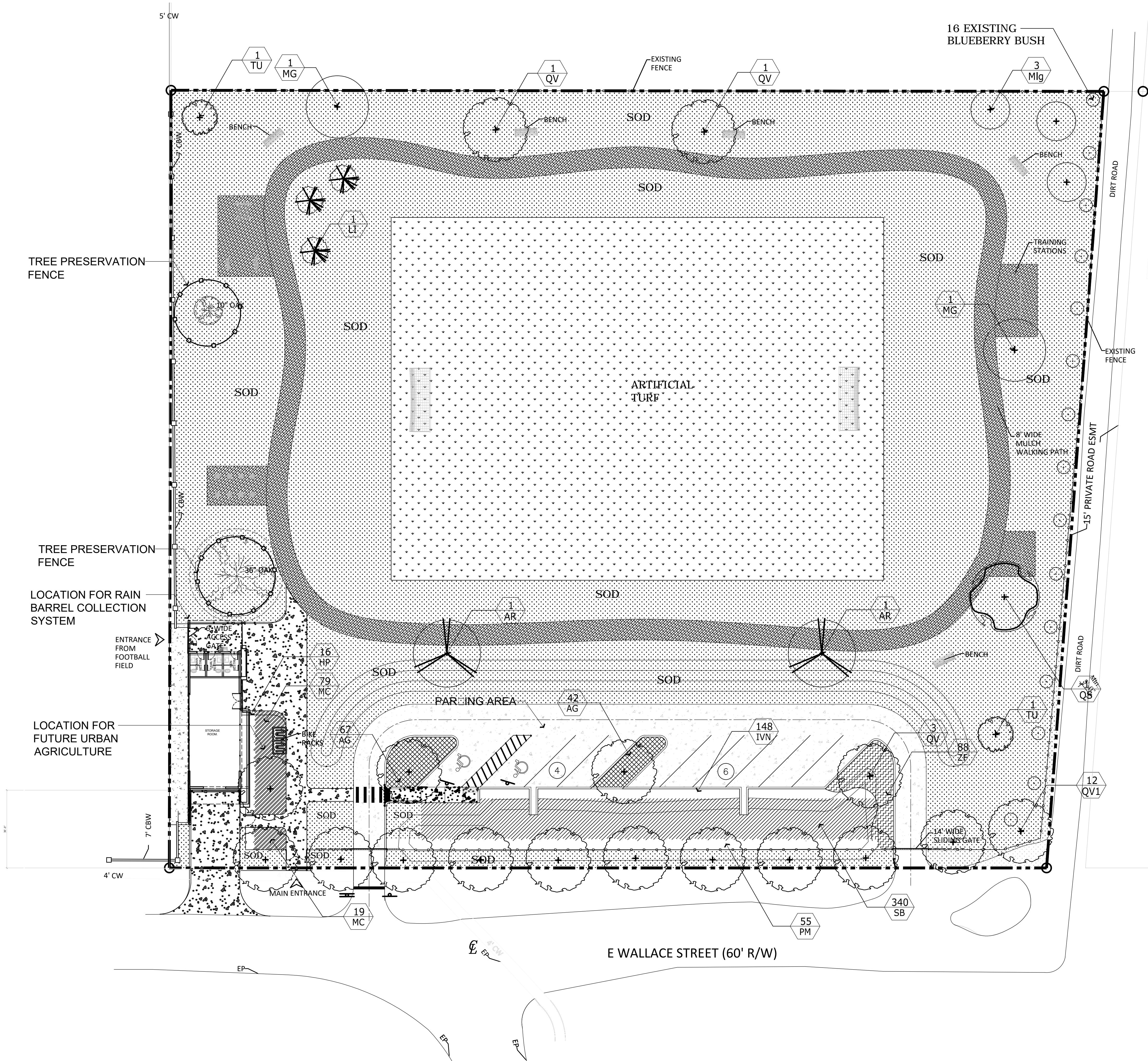
SECTION B-B
N.T.S



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		N.T.S		S. SULLIVAN						
PROJECT		DESIGNED:		CHECKED:		PRELIMINARY SITE PLAN		APPIAN ENGINEERING LLC.		
		J. PALM		M. STACY						
SHEET		CCS-01		DATE:		CITY OF BELLE ISLE WALLACE PARK IMPROVEMENTS CITY OF BELLE ISLE, FLORIDA		APPIANFL.COM • 407.960.5868		
C3.3		8/28/2020								
								2231 Las Roca, Suite 27, Winter Park, Florida 32789		DATE
								STATE OF FLORIDA CERTIFICATE OF PROFESSIONAL ENGINEER		

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LANDSCAPE ALONG RIGHT-OF-WAY

LENGTH ALONG ROW	338.5 LIN.FT.
TREES REQUIRED:	
TREES REQUIRED =	1 TREE PER 30 LIN. FT. 338.5/30 = 11.2 12 TREES REQUIRED 12 TREES PROVIDED
TREES PROVIDED =	

INTERNAL LANDSCAPING REQUIREMENTS:

TOTAL AREA OF SITE	= 104,686 SQ.FT. = 2.4 ACRES
TOTAL IMPERVIOUS AREA	= 5,635 SQ.FT.
INTERIOR LANDSCAPE AREA REQUIRED	= TOTAL IMPERVIOUS AREA x 2.5% = 5,635 SQ.FT. X .025 = 141 SQ.FT. REQUIRED = 368 SQ.FT.
INTERIOR LANDSCAPE AREA PROVIDED	
TREES REQUIRED	= 1 TREE / 100 S.F. = 1.4 TREES = 2 TREES REQUIRED
TREES PROVIDED	= 3 TREES PROVIDED

TREE PLANTING SCHEDULE

SYMBOL	QTY.	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	ROOT	REMARKS
AR	2	ACER RUBRUM FLORIDA FLAME MAPLE	12'	6'	B&B	3" CAL. MIN.
LI	3	LAGERSTROMIA INDICA CRAPE MYRTLE MUSKOGEE	11'	5'	B&B	2-1/2" CAL. MIN.
MG	2	MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA	12'	6'	B&B	3" CAL. MIN.
Mlg	3	MAGNOLIA GRANDIFLORA "LITTLE GEM" LITTLE GEM MAGNOLIA	10'	5'	B&B	2-1/2" CAL. MIN.
QS	1	QUERCUS SHUMARDII SHUMARD OAK	12'	6'	B&B	3" CAL. MIN.
QV	5	QUERCUS VIRGINIANA LIVE OAK	12'	6'	B&B	3" CAL. MIN.
QV1	12	QUERCUS VIRGINIANA LIVE OAK	14'	7'	B&B	4" CAL. MIN.
TU	2	TABEBUIA UNBELATTA YELLOW TABEBUIA	8'	4'	B&B	2-1/2" CAL. MIN.

SHRUB PLANTING SCHEDULE

SYMBOL	QTY.	BOTANICAL/COMMON NAME	HEIGHT	SPREAD	ROOT	REMARKS
SHRUBS:						
AG	119	ARACHIS GLABRATA PERENNIAL PEANUT	6"	NA	3 GAL.	30" O.C., FULL
HP	16	HAMELIA PATENS FIREBUSH	24"	18"	3 GAL.	24" O.C., FULL
IVN	148	ILEX VOMITORIA NANA DWF. YAUPOH HOLLY	24"	18"	3 GAL.	30" O.C., FULL
MC	98	MUHLENBERGIA CAPILLANS MUHLY GRASS	24"	18"	3 GAL.	30" O.C., FULL
PM	58	PODOCARPUS MACROPHYLLUS SOUTHERN YEW	30"	24"	3 GAL.	FULL, WELL BRANCHED
SB	340	SPARTINA BAKERI SAND CORD GRASS	24"	18"	3 GAL.	36" O.C., FULL
ZF	78	ZAMIA FRUTICOSA COONTIE	24"	18"	3 GAL.	30" O.C., FULL
SOD-MULCH:						
SOD	51,673 sq./r	PASPALUM NOTATUM BAHIA GRASS	--	--	--	
ARTIFICIAL TURF	26,600 sq./r		--	--	--	



No.	DATE	REVISION	BY

