

November 29, 2016

Members of the City Commission  
City of Belle Isle, Florida  
1600 Nela Avenue  
Belle Isle, Florida 32809



ORANGE COUNTY GOVERNMENT, FLORIDA

**MICHAEL R. STATHAM, RLA**  
Program Development Supervisor  
Registered Landscape Architect

Orange County Parks and Recreation Division  
Barnett Park Administration  
4801 W. Colonial Drive  
Orlando, Florida 32808

407-836-6261 • Fax: 407-296-5159  
Email: Michael.Statham@ocfl.net  
FL REG# LA0001643

**RE: Planning and Zoning Decision Appeal for Proposed Warren Park Canoe Launch**

Dear Members of the City Commission:

We thank you very much for the opportunity to present our appeal of the Planning and Zoning Board decision to deny our Zoning Application for the proposed Canoe and Kayak Launch located within Warren Park. We also appreciate the opportunity to re-present our site plan for your consideration and approval for our proposed Warren Park Canoe Launch project located on Lake Conway within Warren Park, located at 3206 Warren Park Drive.

In our submittal package to you, we have included the following items for your review and consideration for approval of our Boat Dock Zoning Application:

1. Signed and sealed engineering drawings, 3 copies, revised and resubmitted as per City Comments;
2. St. Johns River Water Management District Exemption Verification Letter;
3. Booklets submitted to the City for Commissioner review. Each booklet contains the information contained within the Power Point presentation. In addition, we have included the responses to comments as presented at the Planning and Zoning Board meeting.

**Proposed Warren Park Canoe Launch**

On November 14, 2016, Orange County Parks and Recreation presented its proposal for a low impact canoe, kayak, and paddle board launch to the City of Belle Isle Planning and Zoning Board. We desire this launch to be a low impact extension of our Warren Park experience and to reintroduce a waterborne recreation dimension to our park users on Lake Conway. We believe that the residents of Belle Isle will benefit greatly from this additional recreational amenity offered within our park.

The City of Belle Isle design standards allow for total dock area square footage of 10 times the linear dimension of Lake Conway's frontage with a maximum of 1,000 square feet. While the park's lake frontage is approximately 77 linear feet, our proposed, combined boardwalk, gangway ramp, and floating platform square footage is approximately 520 square feet, or just 70% of the maximum allowable square footage of 770 square feet. This low square footage and quality design will provide a low impact amenity on Lake Conway that will encourage the water recreation element to our park and promote connectivity to the lake.

While our revised engineering plans currently illustrate a signage element, we have existing signage along the shoreline and pedestrian entry located at the street that would reinforce the prohibition of all motorized water craft from using our launch area. We also would propose new site amenities such as trash receptacles, benches, picnic tables, and new sodded areas to make this area a more presentable and useable space for the public as an extension of Warren Park.

As in all our parks, security and safety of the public is our primary goal, as is maintaining a good quality relationship with our neighbors. As a required safety element, fencing and pedestrian gates will protect the property from unauthorized and unintended use during non-park hours.

After our presentation and much public discussion, our zoning application was denied. The Planning and Zoning Board cited general inconsistencies with the Comprehensive Plan (no specific section of the Comprehensive Plan was cited) and the City's Land Development Code, sections 42-33, and 54-83. We respectfully believe that the Planning and Zoning Board erred in its decision for the following reasons:

1. The proposed use meets City Code and was designed to cover minimal area and thus to provide minimal impact, and to be consistent with neighboring dock uses. City planner April Fisher, AICP, stated the following in her October 14, 2016 review:
  - a. "The proposed plan for the canoe launch complies with the City's current boat dock regulations with respect to length, setbacks and total area."
  - b. "The proposed length from water's edge to the waterward end of the canoe launch is approximately sixty (60) feet. This is consistent with and does not extend further into the lake than the existing docks within 300 feet and adjacent properties of the proposed canoe launch."
  - c. "The minimum required setbacks are exceeded on both sides of the proposed canoe launch."
  - d. "Total area is provided at approximately 520 square feet. This is 250 square-feet less than the total area allowed per Code Sec. 48-32(3)."
  - e. "Because the proposed design is consistent with the current boat dock regulations, a variance from these provisions is not needed."
2. The proposed non-motorized watercraft launch onto State owned waters, Lake Conway, is a riparian right granted to Orange County as a property owner by the State of Florida and entirely consistent with the PUB zoning that applies to the park property. The park and the proposed non-motorized watercraft launch are a "recreational/open space" area and facility under Section 54-83(b)(3) of the Belle Isle Land Development Code (LDC). No criteria are provided for the Planning and Zoning Board's review of a site plan prior to building permit under Section 54-83(f)(3), but as stated above in the excerpts from April Fisher's site plan review, the proposed launch meets City Code.

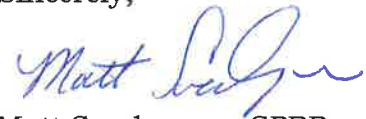
3. Our proposal is consistent with boat docks that currently exist immediately located to the north and south of the Warren Park lakefront lot. There are approximately 14 boat docks and launches within 500' to the north and south of our site and our proposal is consistent with this land use of our neighbors. In fact, most lakefront property owners along Lake Conway have some form of dock, boat house, and launching facility. As stated by April Fisher, the proposed length of 60 feet for the canoe launch is consistent with and does not extend further into the lake than existing docks within 300 feet and adjacent properties. Therefore, we feel that the proposed land use is compatible with that of the neighboring properties and of many lakefront properties along Lake Conway.
4. City of Belle Isle Land Development Code Section 42-33 ("Functions, powers and duties of the planning and zoning board"), which was cited by the Planning and Zoning Board at the suggestion of the City planner at the time of the motion for denial, does not specifically prohibit any boat docks from being constructed. While the section does permit the Board to "determine whether specific proposed developments conform to the principles and requirements of the comprehensive plan for the growth and improvement of the area", the Board did not cite any specific Comprehensive Plan provisions in voting for denial of the County's proposed application, and we are not aware of any.
5. City of Belle Isle Land Development Code Section 54-83, regarding the PUB or Public Building Zoning District, also does not specifically prohibit the construction of a boat dock or canoe launch. To the contrary, it permits the following uses in subsection (b). (3): Recreational/open space areas and facilities.
6. Section 54-83 does prohibit the following uses in Section 54-83 subsection (d).
  - a. Any use that is not owned by a governmental agency. This launch would be owned and operated by Orange County through its Parks and Recreation Division.
  - b. Any use that is owned by a governmental agency, but not identified in subsections (b) or (c) of this section. As previously stated, the proposed use falls under subsection (b).
  - c. Airports and heliports.
7. The Belle Isle Comprehensive Plan: While the Planning and Zoning Board never identified a specific section of the Comprehensive Plan that the proposed use was allegedly inconsistent with, we believe that the proposed use is consistent with the Comprehensive Plan. For example, Objective 1.2 states that the City of Belle Isle shall continue to prepare and adopt LDCs that will regulate the redevelopment of areas "consistent with the character of the surrounding area." Furthermore, Policy 1.2.1 states that the City shall "regulate use of land and lakes consistent with the Comprehensive Plan." This launch is consistent with the character of the surrounding area and consistent with the Comprehensive Plan. Warren Park is an existing use and Lake Conway can already be accessed via Warren Park by kayakers, paddleboarders and canoeists; the proposed use would simply provide a safer way for such persons to launch, so that they do not have to wade into the lake.

8. Comprehensive Plan Recreation and Open Space Element, Goal 1, states: “To provide areas for recreation and open space that will benefit the residents of Belle Isle.” Since not all residents of Belle Isle own lakefront property, we believe that this canoe/kayak launch offers a safe and dedicated area for this use and that the proposed launch will benefit the residents of and visitors to Belle Isle. This launch is also not a duplication of the City’s Level of Service.
9. Comprehensive Plan Recreation and Open Space Element, Goal 2: “The City of Belle Isle shall provide active and passive recreation opportunities while protecting and improving its environmentally-sensitive areas and natural resources. Furthermore, the City shall ensure residents and visitors continued public access to the Conway Lake Chain.” Our proposed launch is for non-motorized watercraft only and further ensures that residents and visitors have continued public access to the Conway Lake Chain. Lake Conway is a State owned waterway and is accessible to all members of the public, not just those who own lakefront lots and use Lake Conway as a private residential amenity.
10. Comprehensive Plan Intergovernmental Coordination Element: Goal 1: Policy 1.1.5: “The City shall coordinate with the Florida Department of Environmental Protection, Orange County, the School Board, and the City of Orlando for the implementation of the goals, objectives, and policies in the Recreation and Open Space Element.” Orange County Parks and Recreation has been attempting to coordinate with the City at a number of levels to be allowed to enhance the public’s access to the Conway Lake Chain. At the Planning and Zoning Board hearing, County representatives readily agreed to post signs prohibiting drop-off of canoes and kayaks at the waterfront portion of the park, which was one of the concerns expressed by residents, and to ensure that staff enforces the rule.
11. The condition of the lakefront does not provide the public with a safe and consistent access point to launch their non-motorized water craft. The condition includes rock, muck, and other potential hazards for a direct launch from the shore. This represents a safety hazard to the Park user and a potential liability for Orange County which owns the property.
12. Orange County Parks and Recreation agreed to all proposed conditions of approval except two of them. All others have been agreed to and were included in the presentation and the revised engineering drawings. The two at issue are as follows:
  - a. The City planner appended a condition of approval regarding a Memorandum of Understanding between the City of Belle Isle’s Police Department and the Orange County’s Sheriff’s Department. Warren Park is located within the City of Belle Isle and was apparently annexed by the City some time ago. As such, County’s understanding is that the City of Belle Isle is responsible for law enforcement services within the park, since the park is within the City’s jurisdiction. The Orange County Sheriff’s Office provides law enforcement services at all Orange County parks in unincorporated areas. This park is not within the unincorporated area.

- b. To agree to not have any type of commercial enterprise on the property. Historically and currently we have these types of low impact and intermittent commercial enterprises, such as tennis lessons, food trucks at events, etc. These are all approved County vendors and we wish to reserve the right to maintain our relationships and continue to offer these services to the public. It did come to our attention that a local resident was soliciting paddle board lessons via a web site that Orange County Parks and Recreation did not approve or sanction.

In conclusion, we respectfully request that the City of Belle Isle overturn the Planning and Zoning Board's denial of the site plan for a low impact canoe, kayak, and paddle board launch at Warren Park. The proposed non-motorized watercraft launch complies with the City's Code and Comprehensive Plan, and will enhance the recreational opportunities afforded to the residents of and visitors to the City of Belle Isle.

Sincerely,



Matt Suedmeyer, CPRP

Manager

Orange County Parks and Recreation Division

4801 W. Colonial Dr.

Orlando, FL 32808



November 14, 2016

Orange County Parks and Recreation  
4801 W. Colonial Drive  
Orlando, Florida 32808  
407-836-6200

**Re: Responses to Comments for Warren Park Canoe Launch**

**Site Plan Review:** 3206 Warren Park Road  
**Applicant Request:** Canoe Launch  
**Existing Zoning/Use:** Public Buildings District (PUB)

**Application Overview**

The proposed application is for the installation of a canoe and kayak launch with a boardwalk at the existing Orange County park facility known as Warren Park. The property is located within the jurisdiction of the City of Belle Isle with a zoning designation of Public Buildings District (PUB).

Sec. 54-83 of the City Code identifies requirements for the PUB zoning district. Recreational facilities owned by a governmental agency are allowed as a permitted use. Site plan review and approval is required, however, by the Planning and Zoning Board before a building permit may be issued (Sec. 54-83(f)(3)).

**Staff Review**

The proposed plan for the canoe launch complies with the City's current boat dock regulations with respect to length, setbacks and total area. The proposed length from water's edge to the water ward end of the canoe launch is approximately sixty (60) feet. This is consistent with and does not extend further into the lake than the existing docks within 300 feet and adjacent properties of the proposed canoe launch.

The minimum required setbacks are exceeded on both sides of the proposed canoe launch. Total area is provided at approximately 520 square feet. This is 250 square-feet less than the total area allowed per Code Sec. 48-32(3). Please note that staff restricted the calculation of allowable total area to only the approximate 75 linear frontage of the park parcel and did not include the portion of linear frontage that is right-of-way.

**Staff Recommendations**

Because the proposed design is consistent with the current boat dock regulations, a variance from these provisions is not needed. For the Board’s consideration, it is within the Boards purview to require conditions applicable to approval of a proposed site plan. Staff recommends that the following considerations as conditions to be placed upon an approval of the proposed site plan:

- 1. A restriction that no mooring be allowed on any portion of the proposed canoe launch and boardwalk areas;

***OCPR Response: We agree to that restriction for motorized water craft. Permanent mooring of any water craft will also be restricted.***

- 2. A restriction that no swimming is allowed;

***OCPR Response: We agree with the restriction of no swimming. Three “no swimming” signs are currently in place; erected as a safety precaution but only faces the park and is not facing the lake.***

- 3. A prohibition on any private business or commercial enterprise running a business from the property such as, but not limited to, paddle board lessons or kayak/canoe tours;

***OCPR Response: We do not agree with this condition. Orange County reserves the right to have its County approved vendors in its park.***

- 4. An executed Memorandum of Understanding agreement between the local governments of Belle Isle and Orange County and all law enforcement parties (inclusive of the City of Belle Isle Police Department, Orange County Sheriff’s Office, and the Florida Wildlife Commission) as to patrol and enforcement responsibilities and authorities within the park and surrounding the canoe launch, as well as in the lake waters.

***OCPR Response: This agreement must be generated by, and mutually agreed to, by the City of Belle Isle Chief of Police, Laura Houston and the Orange County Sheriff, Jerry Demmings.***

- 5. A correction of Plan Sheets #C001 and #C002 to indicate a corrected parcel ID of 29-23-30-4389-04-010 and the address of 3206 Warren Park Road, which are correct for the lakefront parcel;

***OCPR Response: We agree with this condition and have made the necessary corrections to the plans.***

- 6. A correction on Plan Sheet #C002 to indicate the City of Belle Isle zoning district for the parcel as “Public Buildings District” (PUB);

***OCPR Response: We agree with this condition and have made the necessary corrections to the plans.***

- 7. A correction on Plan Sheet #C402 Notes under General Notes for Gangway and Kayak/Canoe System under #2 for each. These need to state the exact sizes requested on the site plan application and not be identified as minimums.

***OCPR Response: We agree with this condition and have made the necessary corrections to the plans.***

- 8. A detailed sign plan be provided indicating location of all signs. Signage must incorporate language clearly stating “no swimming” and “no boat mooring” and identification of park

hours and authorized use restrictions. Such signs shall also be additionally signs placed facing the water at the shoreline and on the terminal platform of the structure;

**OCPR Response:** *We agree with this condition and have generated a sign plan that indicates the location of all signs listed that face the water at the shoreline and on the terminal platform of the structure within the revised and re-submitted Engineering Plans.*

9. A detailed parking/traffic plan be provided indicating how the applicant anticipates handling additional park traffic on Warren Park Road and canoe launch users accessing the park, whether there is any impact; and,

**OCPR Response:** *We agree with this condition and have generated an exhibit illustrating parking and user access and egress from the Canoe Launch site. However, park users are currently using the lakeshore as a launching area for paddle boarding, canoeing, and kayaking. We do not foresee any additional user impact as a result of this Canoe Launch Platform addition beyond its current use.*

10. A detailed safety element plan identifying where existing fencing and pedestrian gates are located, where they are proposed, and how such areas will be accessed by the public. This plan should also address how users of the canoe launch will access, including drop off of personal watercraft, the waterfront for use in the lake and how the area will be secured, monitored, and restricted during closed hours.

**OCPR Response:** *We agree with this condition and have generated a plan exhibit to illustrate the existing fencing and gates and the existing crossing. There will be no watercraft drop off along Warren Park Road or Seminole Drive. All water craft drop off will take place within the existing Warren Park parking lot and the user shall utilize the existing gates and cross walk to access and egress from the Canoe Launch site. All canoes, kayaks, and paddle boards shall be walked over to the Canoe Launch area from this parking lot across the existing striped crossing.*

The Board may consider any of these conditions or apply others as deemed appropriate by the Board. Please note that if additional plans or agreements are requested, the Board may want to review these prior to granting approval of a site plan.

#### **Next Steps**

The Board may approve the proposed site plan application as it is, approve with specific conditions, continue the application if additional information is being requested for consideration, or deny the application.

A decision by the Board may be appealed by an aggrieved person to the City Council pursuant to Sec. 42-71.





# St. Johns River Water Management District

Michael A. Register, Interim Executive Director  
David Dewey, Maitland Service Center Director

601 South Lake Destiny Road, Suite 200 • Maitland, FL 32751 • (407) 659-4800  
On the Internet at [floridaswater.com](http://floridaswater.com).

May 22, 2015

Majid Kalaghchi  
1053 N Orlando Ave Ste 3  
Maitland, FL 32751-4470

Re: Boardwalk and Canoe Launch at Warren Park  
Exemption Request No. 141718-1

Dear Mr. Kalaghchi:

The St. Johns River Water Management District (District) received your Request for Verification of an Exemption (Form 62-330.050(1)) on April 28, 2015. The activities you are proposing to conduct under an exemption involve installation of a public canoe launch and boardwalk of less than 1000 square feet over the water surface area that is more specifically described in your request.

Based on the information provided, the District has determined that the activities qualify for an exemption under Section 62-330.051(5)(b), F.A.C.. Therefore, the activities will not need a District permit.

Please be aware that this type of activity also requires Federal authorization for works in waters of the United States under Section 10 of the Rivers and Harbor Act of 1899 (33 USC 403), and Section 404 of the Clean Water Act (33 USC 1344). Your proposed activity as outlined on your application and attached drawings **QUALIFIES** for Federal authorization pursuant to the State Programmatic General Permit IV-R1 (SPGP IV-R1), and a **SEPARATE PERMIT** or authorization **WILL NOT BE REQUIRED** from the U.S. Army Corps of Engineers. Please note that the Federal authorization expires on July 25, 2016, and your project must be completed prior to that expiration date. You, as permittee, are required to adhere to all General Conditions and Special Conditions that may apply to your project. The Conditions for the SPGP IV-R1 are attached to this letter, including any applicable construction and species guidelines.

This verification is only for the activities described in the exemption request you submitted to the District. It does not apply if you revise the proposed activities after submitting your exemption verification request. Please contact District staff before starting construction if you wish to make any changes. In addition, please be advised that in order to be exempt, the activities must be conducted in accordance with all applicable performance standards and requirements for the above-referenced exemption. You are encouraged to contact District staff if you are uncertain about the applicable standards or conditions.

Please be advised that the District will not publish a notice in the newspaper advising the public that it has approved your request for verification of an exemption. If you wish to have certainty that the period for filing a challenge, under chapter 120, Florida Statutes, to the District's decision is closed, then you may publish, at your own expense, a notice in a newspaper of general circulation. Please contact me at (407) 659-4821 or by email at [ddewey@sjrwmd.com](mailto:ddewey@sjrwmd.com) for further information about this process.

Finally, this exemption verification only applies to the requirements of the District under chapter 373, Florida Statutes, and does not relieve you of the obligation to comply with any other state or local requirements for the activities. If you have any questions, please contact Bill Carlie at (407) 659-4833 or

## GOVERNING BOARD

John A. Miklos, CHAIRMAN  
ORLANDO

Douglas C. Bournique  
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Fred N. Roberts Jr., VICE CHAIRMAN  
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FERNANDINA BEACH

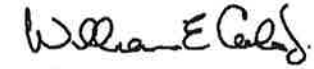
George W. Robbins  
JACKSONVILLE

Boardwalk and Canoe Launch at Warren Park  
May 22, 2015

Application No. 141718-1

wcarlie@sjrwmd.com. When referring to this project, please use the exemption request number listed above.

Sincerely,

A handwritten signature in black ink, appearing to read "William E. Carlie Jr.", written in a cursive style.

William E. Carlie Jr., Compliance Coordinator  
Maitland Service Center

Cc: David Dewey

***Orange County Parks and Recreation***



# **Warren Park Canoe Launch**

**Planning and Zoning Meeting  
City of Belle Isle, Florida**

**November 14, 2016**



# Warren Park Canoe Launch

## Agenda:

- Submittal Synopsis
- Site Location Map
- Project Narrative
- Existing Conditions at Launch Site
- Illustrative Site Plan
- Detail Site Plan
- Sketch Elevations and Section Drawings
- Priorities of Launch Development
- Project status
- Staff report review
- Questions and Answers



## Warren Park Canoe Launch

### Synopsis of Submittal and Information Booklets for P&Z Board

- Cover Sheet
- Submittal Synopsis for Canoe Launch
- Project Narrative
- Illustrative Site Plan
- Signed and Sealed Complete Engineering Plans
- Signed and Sealed Site Survey Plan
- Approved Code Compliant Engineering Plans
- St. Johns River Water Management District Exemption Letter
- Orange County Property Appraiser Ownership Report





# Warren Park Canoe Launch

Location Map

3206 Warren Park Road at Seminole Drive





## Warren Park Canoe Launch

### Narrative

- Low impact Launch for non motorized water craft only
- Extension of our Warren Park experience
- Reintroduce water borne recreation dimension
- Design that is Compliant to City of Belle Isle Code
- Square footage of design reflects this compliance
- Provide signage restricting use by motorized water craft
- Safety is our primary goal
- Maintaining a high quality relationship with our neighbors





## Warren Park Canoe Launch

### Existing Conditions at Launch Site

- Fences to right (north) and left (south) help define the limits of the Launch area for Warren Park user
- Existing aquatic plantings at shoreline help inhibit motorized craft from using this Launch area
- Walkway and benches on north and south perimeters help bring park user to lakeshore to assist in monitoring while viewing the Lake





# Warren Park Canoe Launch

## Existing Conditions at Launch Site



PHOTOS OF EXISTING SITE  
WARREN PARK CANOE LAUNCH

3206 WARREN PARK DRIVE ORLANDO, FLORIDA 32812



# Warren Park Canoe Launch

## Illustrative Site Plan

- Indicates neighboring docks and Lakeshore configurations to the north and the south and photographically shows dock lengths into Lake Conway
- Indicates existing contours from the Lake bottom to the FIRM Map approximate 100 year flood line
- Locates the existing perimeter concrete walks in relation to the proposed Canoe Launch
- Illustrates the proposed Canoe Launch configuration as designed within the submitted Engineering Plans
- Indicates total length and area of boardwalk, gangway, and floating Canoe Launch



# Warren Park Canoe Launch

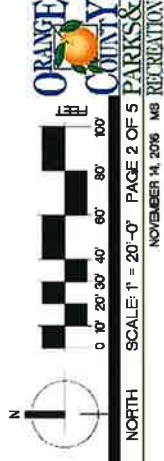
## Illustrative Site Plan



### ILLUSTRATIVE SITE PLAN

## WARREN PARK CANOE LAUNCH

3206 WARREN PARK DRIVE ORLANDO, FLORIDA 32812



SCALE: 1" = 20'-0" PAGE 2 OF 5 PARKS & RECREATION  
NOVEMBER 14, 2016





# Warren Park Canoe Launch

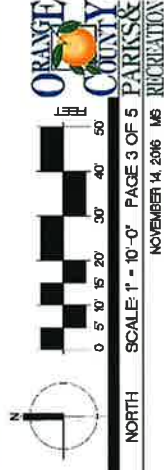
## Detail Site Plan

NOTE:  
SIGNS SHALL BE POSTED AT  
LAUNCH AND ON SHORE THAT  
MOTORIZED WATER CRAFT ARE  
PROHIBITED FROM USING THIS  
LAUNCH AND BEACH AREA  
THIS LAUNCH IS FOR  
NON-MOTORIZED CRAFT SUCH  
AS: CANOES AND KAYAKS.



### DETAIL ILLUSTRATIVE SITE PLAN WARREN PARK CANOE LAUNCH

3206 WARREN PARK DRIVE ORLANDO, FLORIDA 32812

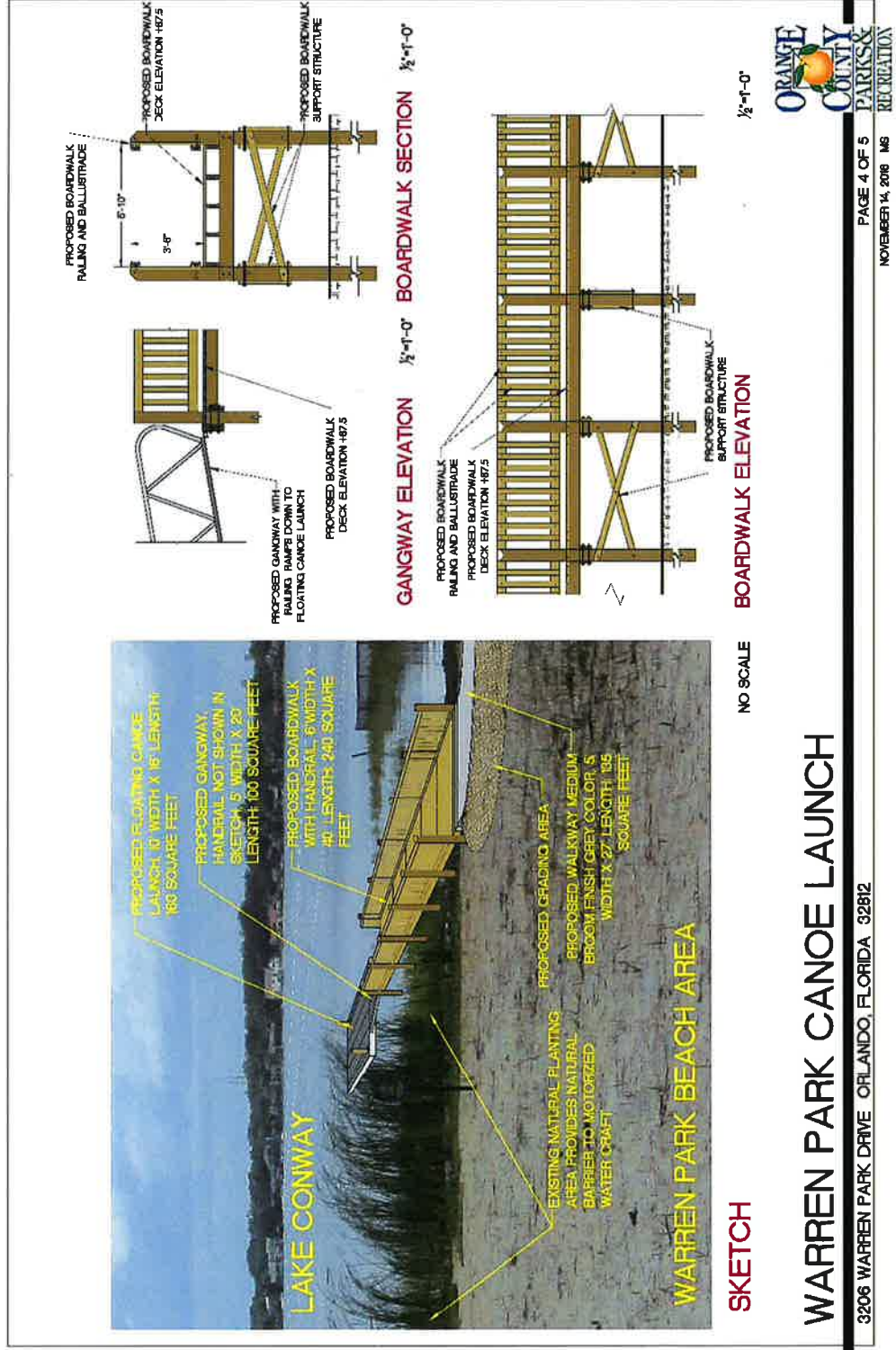


SCALE: 1" = 10'-0" PAGE 3 OF 5  
NOVEMBER 14, 2016 MS RECREATION



# Warren Park Canoe Launch

## Sketch Elevations and Section







# Warren Park Canoe Launch

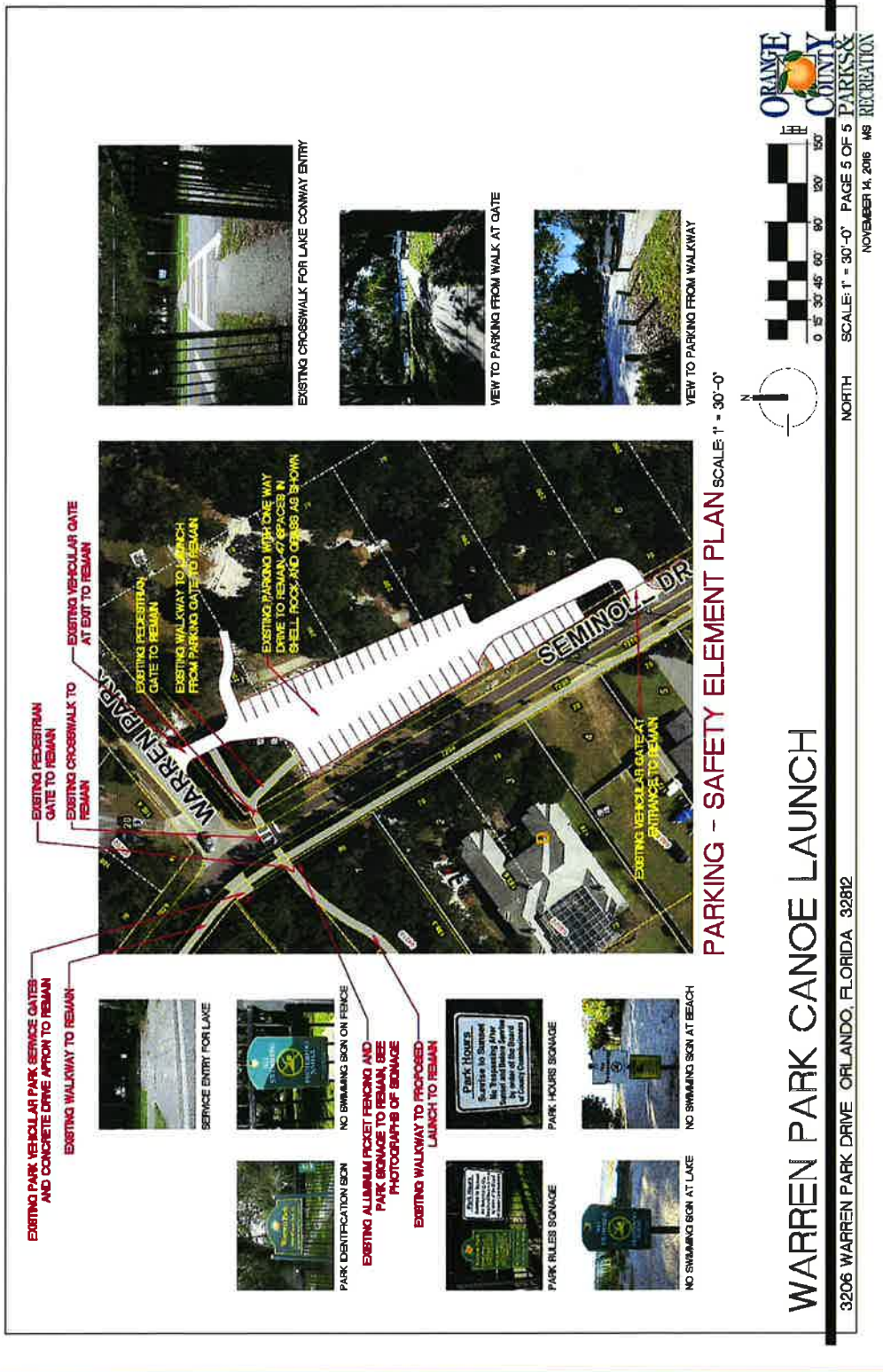
## Parking and Safety Elements

- Existing parking area shall remain the same, no significant change in use anticipated
- Canoe and Kayak users shall walk their water craft from existing parking to launch area
- Parks and Recreation will assess and address any impact on parking as it occurs
- The entire Park including the subject site are currently fenced and gated
- The public shall utilize the existing parking, gates, and crosswalk to access the launch site
- There will not be any special drop off areas located on the street and within the parking area
- At Park closing, all vehicular and pedestrian gates are locked
- The parks hours of operation will remain the same as shown within the existing signage
- Three no swimming signs are currently posted within the Launch site, one at the fence, one at the inner edge of the beach area, and one at the lakeshore
- Additional signage will be posted as shown within the revised Engineering Drawings



# Warren Park Canoe Launch

## Parking and Safety Element Plan







## Warren Park Canoe Launch

### Priority List

1. Work within City of Belle Isle Land Development Code to produce a quality recreational element that will safely benefit the residents of Belle Isle and Warren Park users
2. Provide quality safe and secure environment for all Launch users
3. Minimize impact to Lake and other Motorized Water Craft by restricting the launch user to non-motorized water craft
4. Reintroduce water borne recreation dimension to the Park user and extend the user experience into the Lake's aquatic environment
5. Post signage to prohibit motorized water craft from using this launch to protect the property from unauthorized and unintended uses during and after park hours





## Warren Park Canoe Launch

### Project Status

### Where are we?

#### Park Canoe Launch Development Steps:

- Meet with Planning and Zoning meeting for Plan review and approval
- Meet with City of Belle Isle City Council for Plan review and approval
- Design - Construction Document Development: Complete
- Bidding and Permitting: 3 months
- Construction: 3 months
- Estimated Completion: Summer of 2017



## Warren Park Canoe Launch

Staff recommendations and Applicant responses



## Warren Park Canoe Launch

**Thank you for your time and consideration!**

**Are there any questions?**



# WARREN PARK CANOE LAUNCH

3406 WARREN PARK ROAD, BELLE ISLE, FLORIDA  
ORANGE COUNTY, FLORIDA

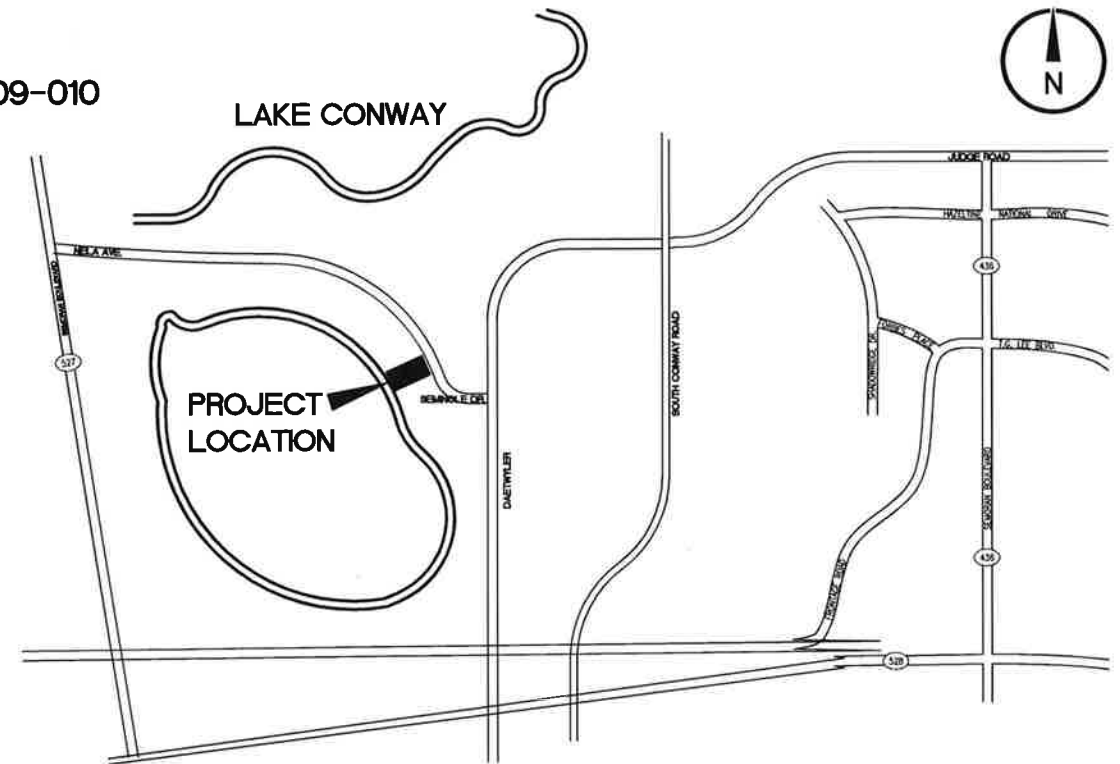
PARCEL ID #

29-23-30-4319-09-010



## LEGAL DESCRIPTION:

A PORTION OF LOT 1, BLOCK D, LAKE CONWAY PARK, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK G, PAGE 138, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.



VICINITY MAP  
NTS

TERESA JACOBS

MAYOR

ORANGE COUNTY BOARD OF COUNTY COMMISSIONERS

S. SCOTT BOYD

DISTRICT 1

BRYAN NELSON

DISTRICT 2

PETE CLARKE

DISTRICT 3

JENNIFER THOMPSON

DISTRICT 4

TED B. EDWARDS

DISTRICT 5

VICTORIA P. SIPLIN

DISTRICT 6

## INDEX OF DRAWINGS

CS1	COVER SHEET
C001	OVERALL EXIST. SITE PLAN
C002	SITE DEMOLITION AND EROSION CONTROL PLAN
C101	SITE DEVELOPMENT PLAN
C401	BOARDWALK DETAILS
C402	GANGWAY, KAYAK LAUNCH GENERAL NOTES

## OWNER

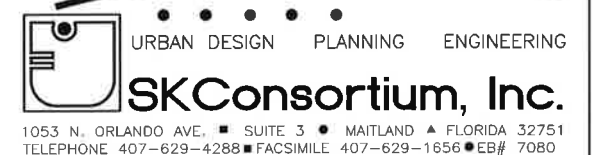
ORANGE COUNTY CAPITAL PROJECTS  
400 E. SOUTH ST., 5TH FLOOR  
ORLANDO, FL 32801  
(407) 836-0050

## PLANNERS + ENGINEERS

SK CONSORTIUM, INC.  
1053 N. ORLANDO AVE, SUITE 3  
MAITLAND, FL 32751  
(407) 629-4288

## SURVEYORS

SOUTHEASTERN SURVEYING  
AND MAPPING CORPORATION  
6500 All American Boulevard  
Orlando, Florida 32810-4350  
(407) 292-8580







PROPOSED BOARDWALK  
KAYAK LAUNCH



#### SITE DATA:

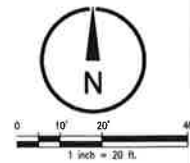
PARCEL ID # 29-23-30-4389-04-010  
3206 WARREN PARK ROAD, BELLE ISLE, FLORIDA

#### BENCHMARK NOTES:

1. VERTICAL INFORMATION SHOWN HEREON REFERS TO AN NGS CONTROL POINT PID# AK7130, A CONCRETE MONUMENT AND DISK STAMPED "GIS-0132 R.H. HAM JONES, WITH A PUBLISHED ELEVATION 98.63 FEET. (NAVD88)
2. BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP (FIRM) NUMBER 12095C0430F, DATED 09/25/2009, THE ABOVE DESCRIBED PROPERTY IS WITHIN ZONE "X" AND ZONE "AE". ("AE" HAS A BASE FLOOD ELEVATION OF 88 FEET NAVD88.)
3. THE HORIZONTAL POSITIONS FOR ALL FEATURES SHOWN ON THE MAP ARE RELATIVE TO NORTH AMERICAN DATUM, NAD 1983, 2011 ADJUSTMENT, STATE PLANE COORDINATE SYSTEM, FLORIDA EAST ZONE. CONTROL POINT(S) USED FOR THIS SURVEY ARE NATIONAL GEODETIC SURVEY, NGS POINTS PID# AK7130; DISTANCES SHOWN ARE GRID DISTANCES.

#### OVERALL SITE PLAN

SCALE: 1" = 20'



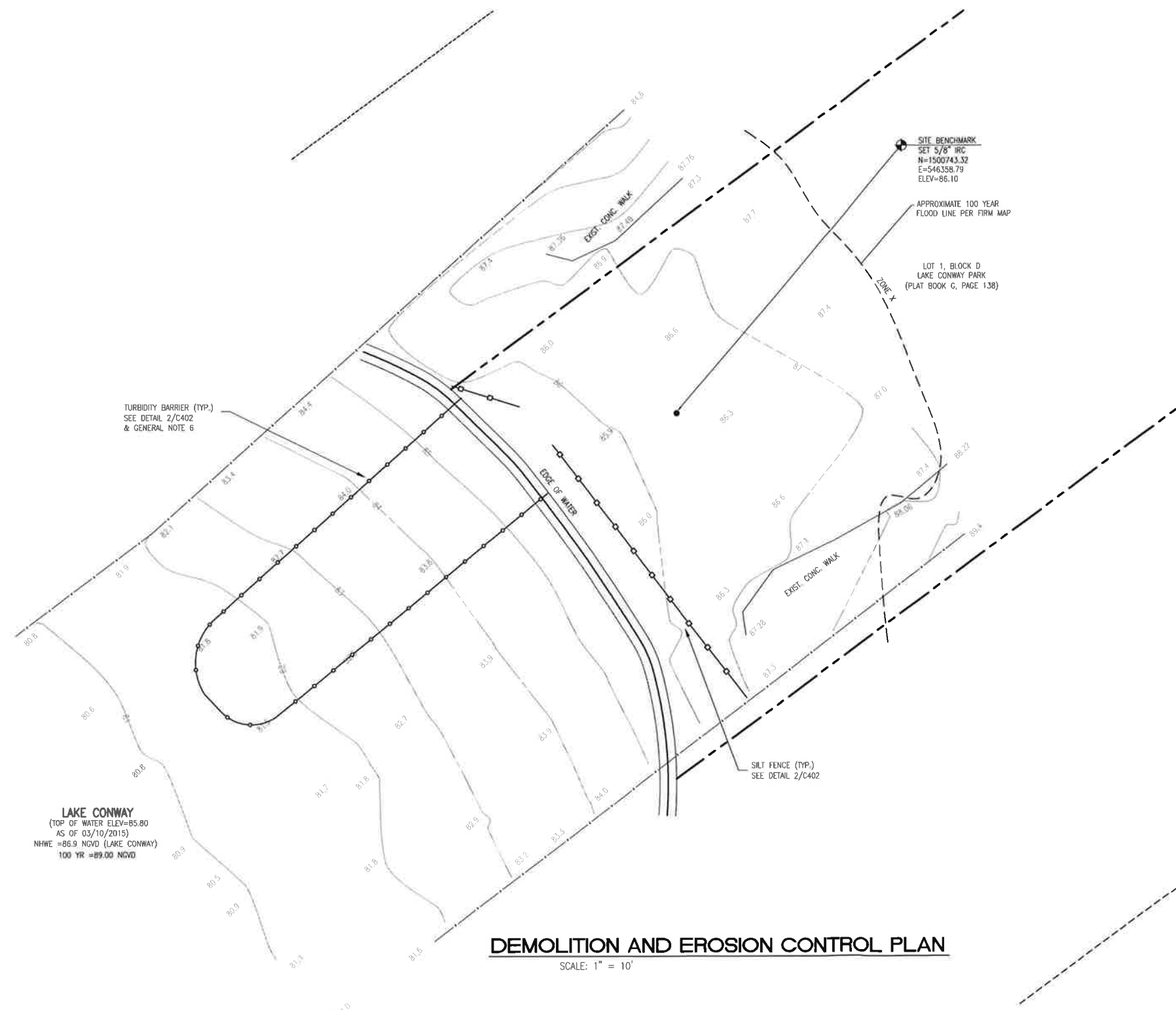
## OVERALL SITE PLAN CANOE LAUNCH WARREN PARK AT LAKE CONWAY ORANGE COUNTY CAPITAL PROJECTS

100% SUBMITTAL FOR REVIEW 3-24-15  
BID/PERMIT SET 4-8-15  
REVISED PER COMMENTS 10-21-18

Issue Date and Purpose:  
Project Number: 1504  
Drawn by: D. FORSYTH  
Checked: M. KALAGHCHI  
File No: 150404  
C001

URBAN DESIGN PLANNING ENGINEERING  
**SK Consortium, Inc.**  
1053 N. ORLANDO AVE. SUITE 300 • WINTERLAND, FLORIDA 32751  
TELEPHONE 407-629-4288 • FACSIMILE 407-629-1656 • EBM 7080

Seal: Majid Kalaghchi P.E. 41046

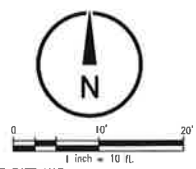


LAKE CONWAY  
(TOP OF WATER ELEV=85.80  
AS OF 03/10/2015)  
NHWE =86.9 NGVD (LAKE CONWAY)  
100 YR =89.00 NGVD

DEMOLITION AND EROSION CONTROL PLAN  
SCALE: 1" = 10'

EXISTING SITE DATA:

ADDRESS: 3206 WARREN PARK ROAD, BELLE ISLE, FLORIDA  
PARCEL ID NO. 29-23-30-4389-04-010  
ZONING: PUB (PUBLIC ZONING DISTRICT)



FLOOD ZONE NOTES

BASED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP  
(FIRM) NUMBER 1209500430F, DATED 09/25/2009, THE ABOVE  
DESCRIBED PROPERTY IS WITHIN ZONE "X" AND ZONE "AE."

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

1. ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO STANDARDS OF ORANGE COUNTY, AND ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.
2. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN, CONSTRUCTION.
3. SOIL MATERIALS, FROM WORK ON THIS PROJECT SHALL BE CONTAINED, AND NOT ALLOWED TO COLLECT ON ANY OFF-PERIMETER AREAS OR IN WATERWAYS. THESE INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.

PERMANENT EROSION CONTROL MEASURES

- A. PERMANENT SODDING: ALL AREAS, WHICH HAVE BEEN DISTURBED BY CONSTRUCTION WILL AS A MIN., BE SODDED.
- B. PERMANENT STORMWATER MANAGEMENT SYSTEM SHALL BE MAINTAINED, CLEANED AND INSPECTED IN ACCORDANCE WITH EPD PERMIT.

INSPECTIONS:

- A. AN INSPECTOR, CERTIFIED BY ORANGE COUNTY, IS REQUIRED TO INSPECT THE EROSION AND SEDIMENTATION CONTROL MEASURES SHOWN ON APPROVED STORMWATER POLLUTION PREVENTION PLAN. INSPECTION REPORTS ARE TO BE COMPLETED ON ORANGE COUNTY'S FORM AND SUBMITTED ONCE EVERY WEEK AND AFTER EVERY RAINFALL OF 0.50" OR MORE DURING THE CONSTRUCTION PHASE.
- B. ALL CONTROL MEASURES WILL BE INSPECTED BY THE SUPERINTENDENT, THE PERSON RESPONSIBLE FOR THE DAY TO DAY SITE OPERATION OR SOME ONE APPOINTED BY THE SUPERINTENDENT, AT LEAST ONCE A WEEK AND FOLLOWING ANY STORM EVENT OF 0.25 INCHES OR GREATER.
- C. BUILT UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
- D. SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE POSTS, AND TO SEE THAT THE FENCE POSTS ARE FIRMLY IN THE GROUND.
- E. A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS ATTACHED. THE REPORTS WILL BE KEPT ON SITE DURING CONSTRUCTION AND AVAILABLE UPON REQUEST TO THE OWNER, ENGINEER OR ANY FEDERAL STATE OR LOCAL AGENCY APPROVING SEDIMENT AND EROSION PLANS, OR STORMWATER MANAGEMENT PLANS. THE REPORTS SHALL BE MADE AND RETAINED AS PART OF THE STORM WATER POLLUTION PREVENTION PLAN FOR AT LEAST THREE YEARS FROM THE DATE THAT THE SITE IS FINALLY STABILIZED AND THE NOTICE OF TERMINATION IS SUBMITTED THE REPORTS SHALL IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.
- F. PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE SITE SUPERINTENDENT, AND WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING THE EROSION AND SEDIMENT CONTROLS USED ONSITE IN GOOD WORKING ORDER AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORTS.

GENERAL NOTES

1. ALL INFORMATION SHOWN ON THIS PLAN IS BASED ON INFORMATION PROVIDED BY SOUTHEASTERN SURVEYING AND MAPPING.
2. CONTRACTOR IS RESPONSIBLE FOR SITE CLEARING WITHIN PROJECT LIMITS.
3. CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND IMPROVEMENTS PRIOR TO START OF CONSTRUCTION.
4. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL VEGETATION AND TREES INTERFERING WITH NEW IMPROVEMENTS.
5. THE LOCATION/EXTENT OF SILT FENCE SHOWN IS FOR INFORMATION ONLY. COORDINATE EXACT LOCATION WITH RESPECT TO CLEARING/EARTHWORK LIMITS, SITE IMPROVEMENTS & CONSTRUCTION PHASING.
6. UTILIZE TWO ROWS OF TURBIDITY BARRIERS WITH RIDGED FRAME BETWEEN THE TOW BARRIERS.
7. WHEN INSTALLING PILINGS, BE PREPARED TO IMPLEMENT TURBIDITY CONTRL WITHIN BARRIERS IN EVENT IF A CLAY OR MUCK LAYER IS ENCOUNTERED.

TEMPORARY EROSION CONTROL MEASURES

- A. FILTER FABRIC BARRIERS SHALL BE USED AT THE PERIMETER/LIMITS OF THE PROPOSED CONSTRUCTION TO PREVENT SEDIMENTATION FROM LEAVING THE PROJECT BOUNDARIES OR DISCHARGE INTO OFF SITE DRAINAGE FACILITIES.
- B. STOCKPILING MATERIAL: NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE INTO ANY ADJACENT WATER BODY OR STORMWATER COLLECTION FACILITY.
- C. INLET PROTECTION: INLETS AND CATCH BASINS WHICH DISCHARGE DIRECTLY OFF-SITE SHALL BE PROTECTED FROM SEDIMENT STORM RUNOFF UNTIL THE COMPLETION OF ALL CONSTRUCTION OPERATIONS THAT MAY CONTRIBUTE SEDIMENT TO THE INLET.
- D. TEMPORARY SEEDING AND MULCHING: AREAS OPENED BY CONSTRUCTION OPERATIONS AND THAT ARE NOT ANTICIPATED TO BE RE-EXCAVATED OR DRESSED AND RECEIVE FINAL GRASSING TREATMENT WITHIN 30 DAYS SHALL BE SEEDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED AND WHILE NOT LATTER COMPETE WITH THE PERMANENT GRASSING. SLOPES STEEPER THAN 6:1 THAT FALL WITHIN THE CATEGORY ESTABLISHED IN PARAGRAPH "C" ABOVE SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA ADEQUATE TO PREVENT MOVEMENT OF SEED AND MULCH.
- E. MAINTENANCE: ALL FEATURES OF THE PROJECT DESIGNED AND CONSTRUCTED TO PREVENT EROSION AND SEDIMENT SHALL BE MAINTAINED DURING THE LIFE OF THE CONSTRUCTION SO AS TO FUNCTION AS THEY WHERE ORIGINALLY DESIGNED AND CONSTRUCTED.
- F. GRAVEL CONSTRUCTION ENTRANCE SHALL BE INSTALLED TO A MIN. DEPTH OF 6" INCHES TO PREVENT SEDIMENT FROM LEAVING CONSTRUCTION SITE. AND REMOVE AS DIRECTED BY OWNER.

LEGEND

	EXIST.	TO BE REMOVED
ASPHALT PAVEMENT		
CONCRETE WALK		
CONCRETE CURB		
SIGN		
CHAIN LINK FENCE		
WATER LINE		
SANITARY SEWER LINE		
STORM DRAIN LINE		
POWER POLE		
LIGHT POLE		
FIRE HYDRANT		
OAK TREE		

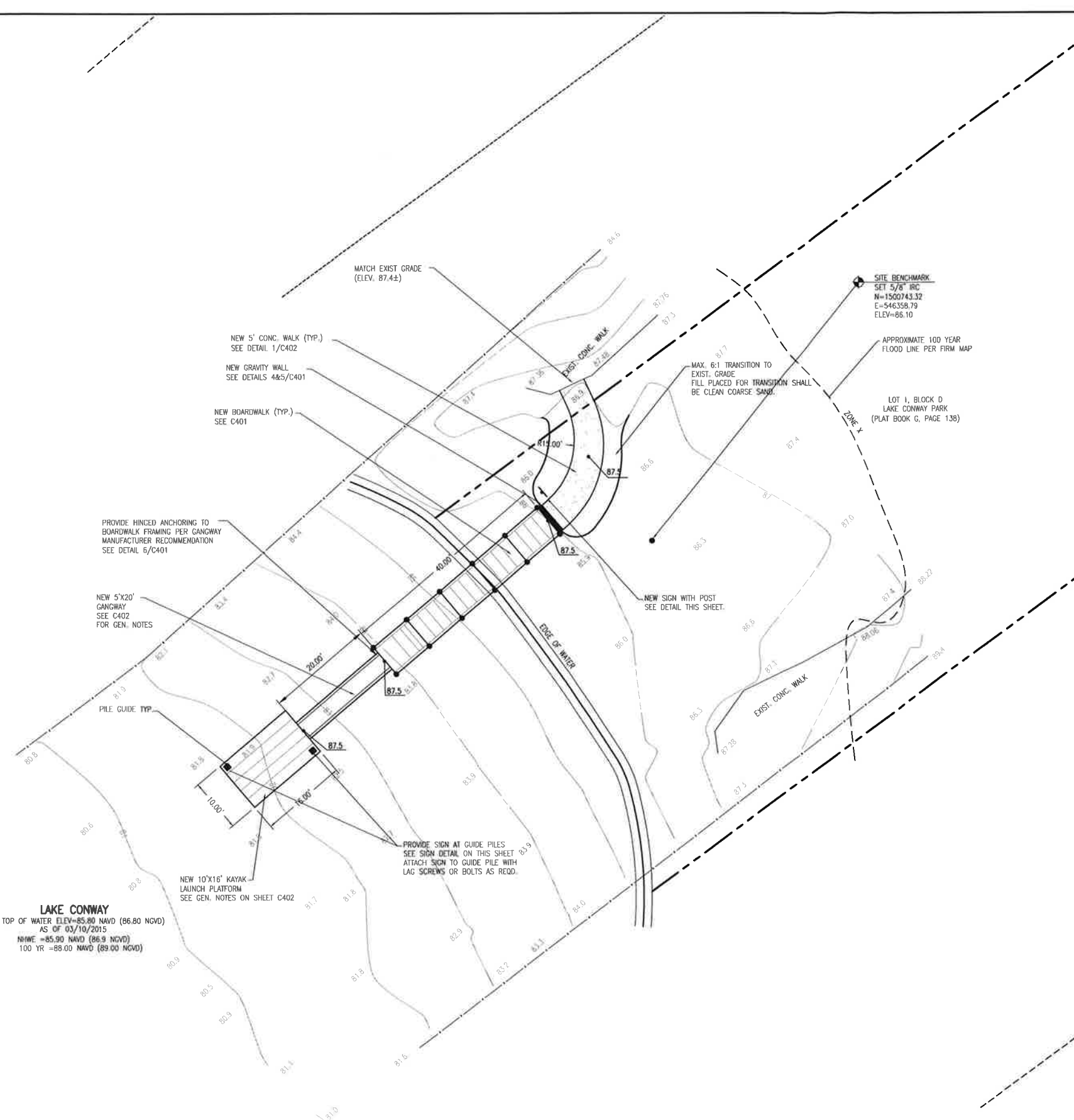
DEMOLITION AND EROSION CONTROL PLAN

ENGINEERING  
PLANNING  
DESIGN  
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TELEPHONE 407-629-1288 • FACSIMILE 407-629-1656 • EGF 7060

100% SUBMITTAL FOR REVIEW 3-24-15  
RD/PERMIT SET 4-6-15  
REVISED PER COMMENTS 10-21-16

Issue Date and Purpose	
Project Number:	1504
Drawn by:	D. FORSYTH
Checked:	M. KALAGHCHI
File No:	150400

C002



**SITE DATA:**  
PARCEL ID # 29-23-30-4319-09-010  
3406 WARREN PARK ROAD, BELLE ISLE, FLORIDA

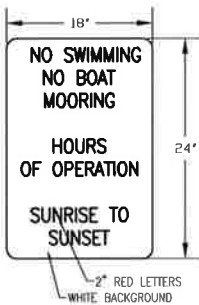
ZONING A-1

**GEOMETRY NOTES**

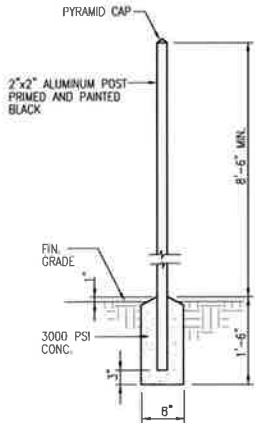
1. ALL SURVEY DATA USED AND CONDITIONS ASSUMED TO BE PRESENT IN PREPARATION OF THESE PLANS WAS PROVIDED BY SOUTHEASTERN SURVEYING, S.K. CONSORTIUM, INC. DOES NOT ASSUME RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS OF THIS DATA.
2. THE CONTRACTOR SHALL VERIFY AND LOCATE ALL VERTICAL AND HORIZONTAL CONTROL POINTS PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES SHOULD BE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SURVEYOR OF THE CONDITION IN WRITING PRIOR TO COMMENCING HIS CONSTRUCTION ACTIVITIES.
3. ALL PAVEMENT OFFSETS, RADI AND DIMENSIONS SHOWN ARE TO PROPOSED EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
4. THE CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE GEOMETRIC DATA PROVIDED. IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL AND VERTICAL, PRIOR TO THE INSTALLATION OF ANY IMPROVEMENTS.

**KAYAK LAUNCH/GANGWAY FINISH GRADES**

1. THE FLOATING KAYAK LAUNCH PLATFORM IS DESIGNED WITH 16" TO 20" FREEBOARD.
2. BASED ON A NORMAL HIGH WATER ELEVATION OF 85.9 AT LAKE CONWAY, THE PLATFORM WILL BE SET AT ELEVATION OF 87.50 WHICH WILL RESULT WITH A GANGWAY AT NO SLOPE.
3. AT 100 YEAR FLOOD STAGE OF THE LAKE, THE PLATFORM WILL BE AT ELEVATION 89.50, HOWEVER THE BOARDWALK WILL NOT BE ACCESSIBLE AT THIS ELEVATION.



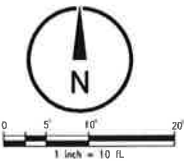
**1 SIGN DETAIL**  
C101 NTS



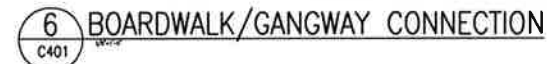
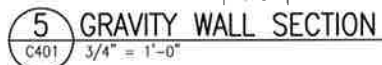
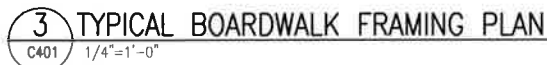
**2 TYP. SIGN POST**  
C101 3/4\"/>

**LEGEND:**

	EXIST.	NEW
ASPHALT PAVEMENT	=====	=====
CONCRETE WALK	=====	=====
CONCRETE CURB	=====	=====
CONC. CURB & GUTTER	=====	=====
FENCE	-----	-----
LIGHT POLE	□LP	□LP
FIRE HYDRANT	□FH	□FH
POWER POLE	□PP	□PP
SIGN	-----	-----











6. PROVIDE 4 CLEATS AT THE PLATFORM AS PER MANUFACTURER REQUIREMENTS.