

# CORNERSTONE CHARTER ACADEMY PLANNED DEVELOPMENT PLAN CITY OF BELLE ISLE, FLORIDA

**APPLICANT:** CORNERSTONE CHARTER ACADEMY, INC.  
906 WALTHAM AVE.  
CITY OF BELLE ISLE, FL 32809  
407-608-7171

**OWNERS:** CORNERSTONE CHARTER ACADEMY, INC.  
906 WALTHAM AVE.  
CITY OF BELLE ISLE, FL 32809  
407-608-7171

**GEOTECHNICAL ENGINEER:** ECS FLORIDA, LLC  
2815 DIRECTORS ROW #500,  
ORLANDO, FL 32809  
PHONE: (407) 859-8378

**ARCHITECT:** CIVICA ARCHITECTURE & URBAN DESIGN  
8323 NW 12th St. SUITE 106  
DORAL, FL 33126  
PHONE: (305) 593-9959

**TRAFFIC:** TRAFFIC PLANNING & DESIGN, INC.  
535 VERSAILLES DR. SUITE #200  
MAITLAND, FL 32751  
PHONE: (305) 923-7103

**SURVEYOR:** BISHMAN SURVEYING & MAPPING, INC.  
32 W. PLANT STREET  
WINTER GARDEN, FL 34787  
PHONE: (407) 905-8877  
FAX: (407) 905-8875

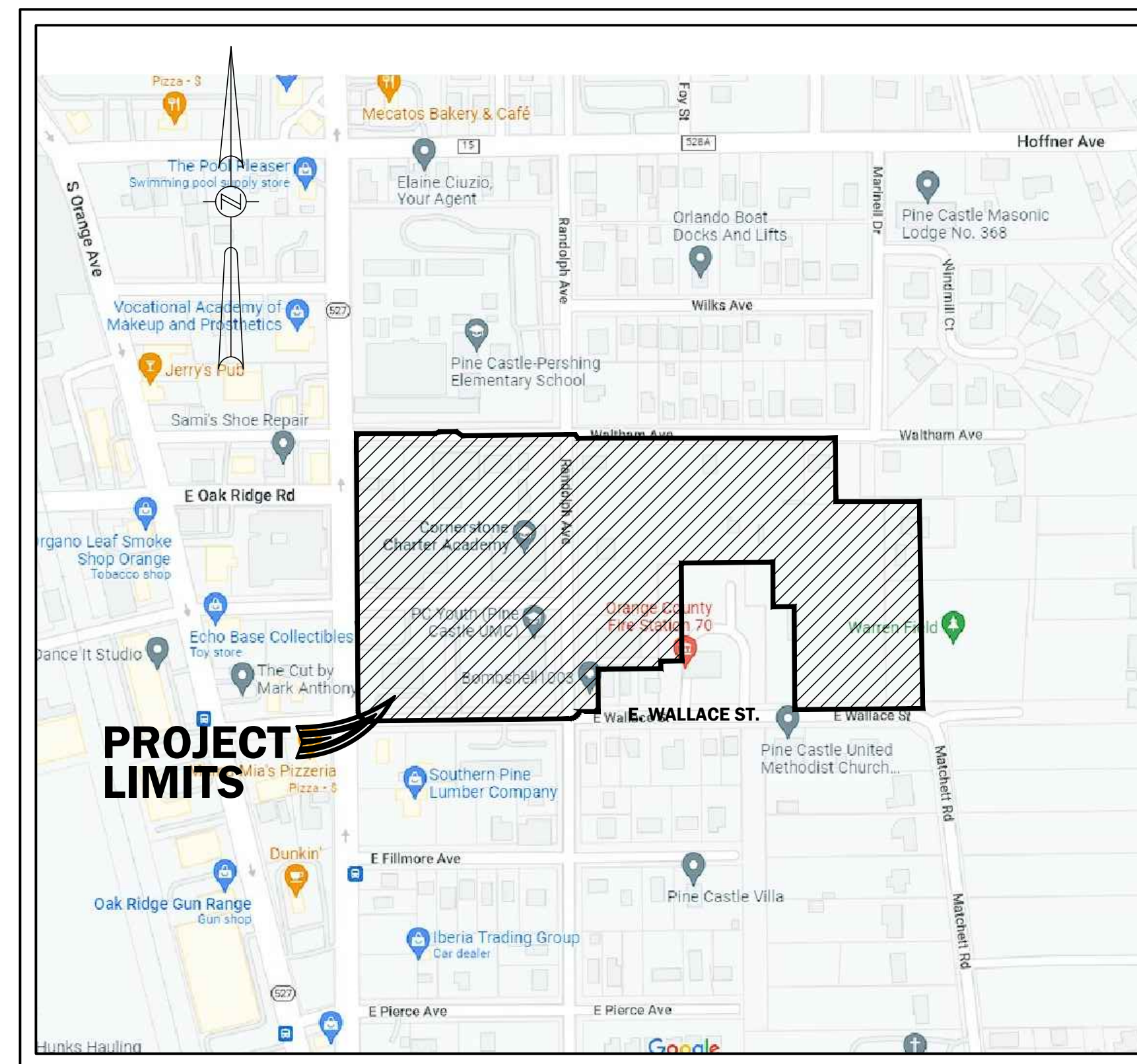
**PERMITTING AGENCIES**  
S.J.R.W.M.D.: ENVIRONMENTAL RESOURCE PERMIT  
F.D.E.P.: WATER AND WASTEWATER SYSTEM PERMITS  
CITY OF BELLE ISLE: SITE PLAN APPROVAL  
ORANGE COUNTY UTILITIES  
FLORIDA DEPARTMENT OF TRANSPORTATION

**UTILITY COMPANIES**

**WATER:** (407)-423-9018  
**SEWER:** (407)-254-9764  
**ELECTRIC:** (877)-372-8477  
**TELEPHONE:** (800)-288-2020  
**CABLE:** (855)-317-1263

**ORLANDO UTILITIES COMMISSION**  
**ORANGE COUNTY UTILITIES**  
**DUKE ENERGY**  
**AT&T**  
**CHARTER SPECTRUM**

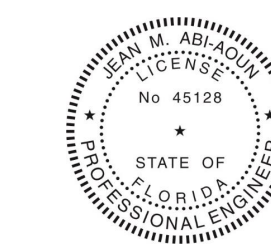
**SITE VICINITY MAP**



**NOT TO SCALE**

**PLAN INDEX**

- C-1 COVER SHEET**
- C-2 - C-7 BOUNDARY AND TOPOGRAPHIC SURVEY (6)**
- C-8 BOUNDARY AND TOPOGRAPHIC SURVEY - BANK OF AMERICA**
- C-9 OVERALL MASTER SITE PLAN**
- L-1 - L-3 LANDSCAPE PLAN (3)**



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY  
JEAN M. ABI-AOUN  
No. 45128  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

ON THE DATE ADJACENT TO THE SEAL  
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

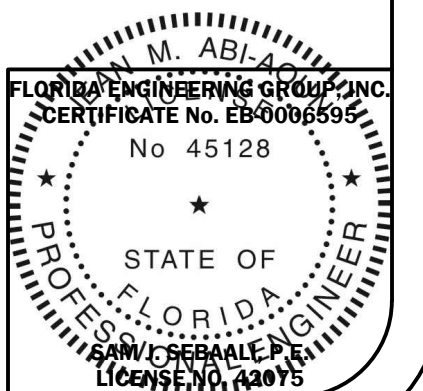
FLORIDA ENGINEERING GROUP, INC.  
5127 S. ORANGE AVE. SUITE 200  
ORLANDO, FL 32809  
CERTIFICATE OF AUTHORIZATION: EB-0006595  
JEAN M. ABI-AOUN, P.E. 45128

Digitally signed by JEAN M ABI-AOUN  
DN: c=US, o=FLORIDA ENGINEERING GROUP INC.,  
ou=A01410D00000172C87078BF0000F7AE,  
cn=JEAN M ABI-AOUN  
Date: 2023.02.09 10:23:00 -05'00'



5127 S. Orange Avenue, Suite 200  
Orlando, FL 32809  
Phone: 407-895-0324  
Fax: 407-895-0325

[www.feg-inc.us](http://www.feg-inc.us)







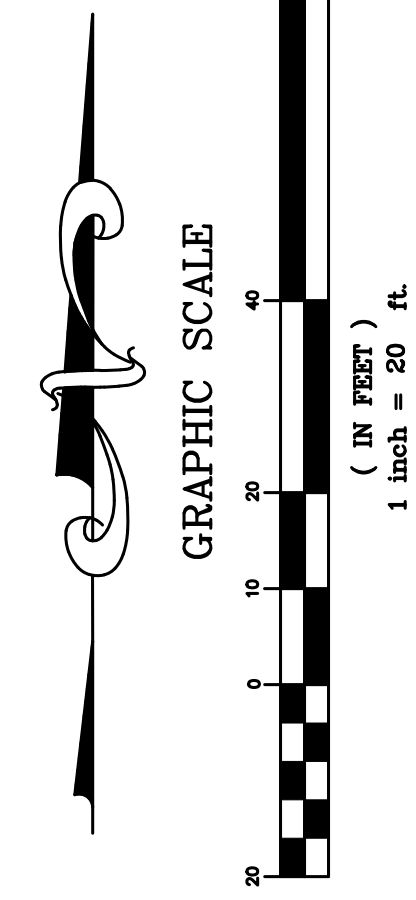
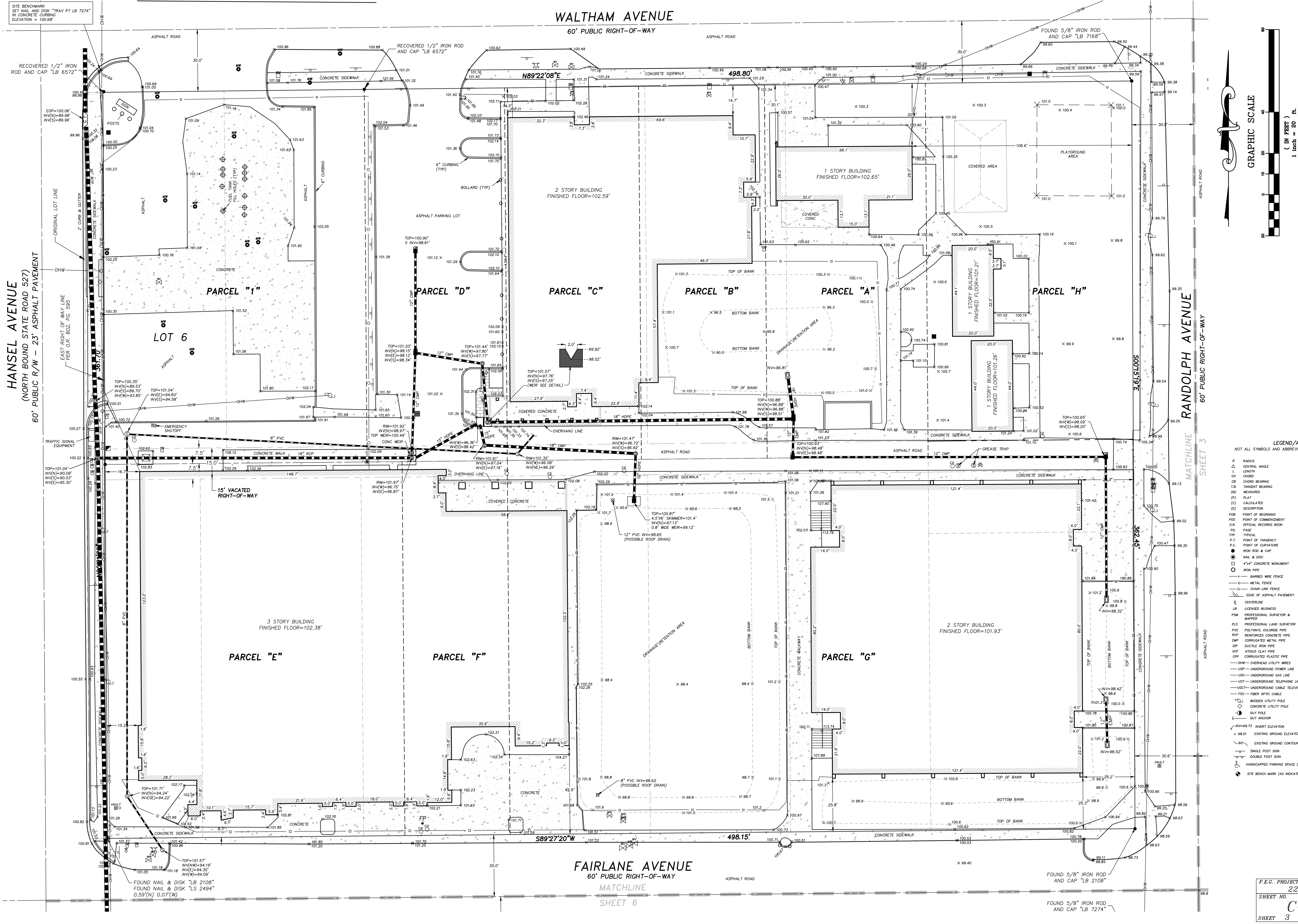
WALTHAM AVENUE

60' PUBLIC RIGHT-OF-WAY

FAIRLANE AVENUE

60' PUBLIC RIGHT-OF-WAY

SHEET 2 OF 6  
SECTION 24  
TOWNSHIP 23 SOUTH  
RANGE 29 EAST



LEGEND/ABBREVIATIONS:

NOT ALL SYMBOLS AND ABBREVIATIONS SHOWN HEREON MAY BE USED

|      |                                    |   |                               |
|------|------------------------------------|---|-------------------------------|
| R    | RADIUS                             | ⊙ | WELL                          |
| ∠    | CENTRAL ANGLE                      | ⊖ | ELECTRICAL OUTLET             |
| ⊙    | LENGTH                             | ⊕ | TELEPHONE RISER               |
| CH   | CHORD                              | ⊕ | FIRE HYDRANT                  |
| OB   | CHORD BEARING                      | ⊕ | MASTER WATER ASSEMBLY         |
| T.B. | TANGENT BEARING                    | ⊕ | WATER VALVE                   |
| (M)  | MEASURED                           | ⊕ | RECLAIMED WATER VALVE         |
| (P)  | PLAT                               | ⊕ | IRRIGATION VALVE              |
| (C)  | CALCULATED                         | ⊕ | IRRIGATION VALVE              |
| (D)  | DESCRIPTION                        | ⊕ | WATER VALVE                   |
| POB  | POINT OF BEGINNING                 | ⊕ | RECLAIMED WATER VALVE         |
| POC  | POINT OF COMMENCEMENT              | ⊕ | IRRIGATION VALVE              |
| O.R. | OFFICIAL RECORD BOOK               | ⊕ | GAS VALVE                     |
| P.G. | PAGE                               | ⊕ | SANITARY MANHOLE              |
| T.P. | TYPICAL                            | ⊕ | DRAINAGE MANHOLE              |
| P.T. | POINT OF TANGENCY                  | ⊕ | GREASE TRAP MANHOLE           |
| P.C. | POINT OF CURVATURE                 | ⊕ | POWER MANHOLE                 |
| ⊙    | IRON ROD & CAP                     | ⊕ | WATER SHUT-OFF VALVE          |
| ⊙    | NAIL & DISK                        | ⊕ | POWER TRANSFORMER             |
| ⊕    | "4\"                               | ⊕ | WATER METER                   |
| ⊕    | CONCRETE MONUMENT                  | ⊕ | GAS METER                     |
| ⊕    | IRON PIPE                          | ⊕ | POWER METER                   |
| ⊕    | BARBED WIRE FENCE                  | ⊕ | WATER BLOW-OFF VALVE          |
| ⊕    | METAL FENCE                        | ⊕ | CLEAN-OUT                     |
| ⊕    | CHAIN LINK FENCE                   | ⊕ | FIRE DEPARTMENT CONTROL VALVE |
| ⊕    | EDGE OF ASPHALT PAVEMENT           | ⊕ | ELECTRIC HAND HOLE            |
| ⊕    | CENTERLINE                         | ⊕ | CABLE TELEVISION RISER        |
| ⊕    | LB LICENSED BUSINESS               | ⊕ | TELEPHONE ACCESS CABINET      |
| ⊕    | PSM PROFESSIONAL SURVEYOR & MAPPER | ⊕ | CATCH BASIN                   |
| ⊕    | P.L.S. PROFESSIONAL LAND SURVEYOR  | ⊕ | DRAIN                         |
| ⊕    | PVC POLYVINYL CHLORIDE PIPE        | ⊕ | CURB INLET                    |
| ⊕    | RPD REINFORCED CONCRETE PIPE       | ⊕ | CURB INLET WITHOUT MANHOLE    |
| ⊕    | CMP CORRUGATED METAL PIPE          | ⊕ | MITERED END SECTION           |
| ⊕    | VCP VITRIFIED CLAY PIPE            | ⊕ | UTILITY VALVE                 |
| ⊕    | ⊕ CORRUGATED PLASTIC PIPE          | ⊕ | UTILITY VALVE                 |
| ⊕    | ⊕ OVERHEAD UTILITY WIRES           | ⊕ | AIR CONDITIONER               |
| ⊕    | ⊕ UNDERGROUND POWER LINE           | ⊕ | POWER BOX                     |
| ⊕    | ⊕ UNDERGROUND GAS LINE             | ⊕ | MONITORING WELL               |
| ⊕    | ⊕ UNDERGROUND TELEPHONE LINE       | ⊕ | LIGHT POLE                    |
| ⊕    | ⊕ UNDERGROUND CABLE TELEVISION     | ⊕ | MULTIWAY LIGHT                |
| ⊕    | ⊕ FIBER OPTIC CABLE                | ⊕ | TRAFFIC SIGNAL BOX            |
| ⊕    | ⊕ WOODEN UTILITY POLE              | ⊕ | BOLLARD                       |
| ⊕    | ⊕ CONCRETE UTILITY POLE            | ⊕ | FLAG POLE                     |
| ⊕    | ⊕ GUY POLE                         | ⊕ | PARKING METER                 |
| ⊕    | ⊕ GUY ANCHOR                       | ⊕ | TRAFFIC FLOW ARROW            |
| ⊕    | ⊕ INVERT ELEVATION                 | ⊕ | SOIL BORING                   |
| ⊕    | ⊕ EXISTING GROUND ELEVATION        |   |                               |
| ⊕    | ⊕ EXISTING GROUND CONTOUR          |   |                               |
| ⊕    | ⊕ SINGLE POST SIGN                 |   |                               |
| ⊕    | ⊕ DOUBLE POST SIGN                 |   |                               |
| ⊕    | ⊕ HANDICAPPED PARKING SPACE (H/C)  |   |                               |
| ⊕    | ⊕ SITE BENCH MARK (AS INDICATED)   |   |                               |

F.E.C. PROJECT NO. 22-010  
SHEET NO. C-3  
SHEET 3 OF 12

JOB NUMBER: 14090  
DRAWING FILE: 14090-4.DWG

MATCHLINE SHEET 6

MATCHLINE SHEET 3

SITE BENCHMARK  
SET NAIL AND DISK "TRAV PT LB 7274"  
IN CONCRETE CURBING  
ELEVATION = 100.68'

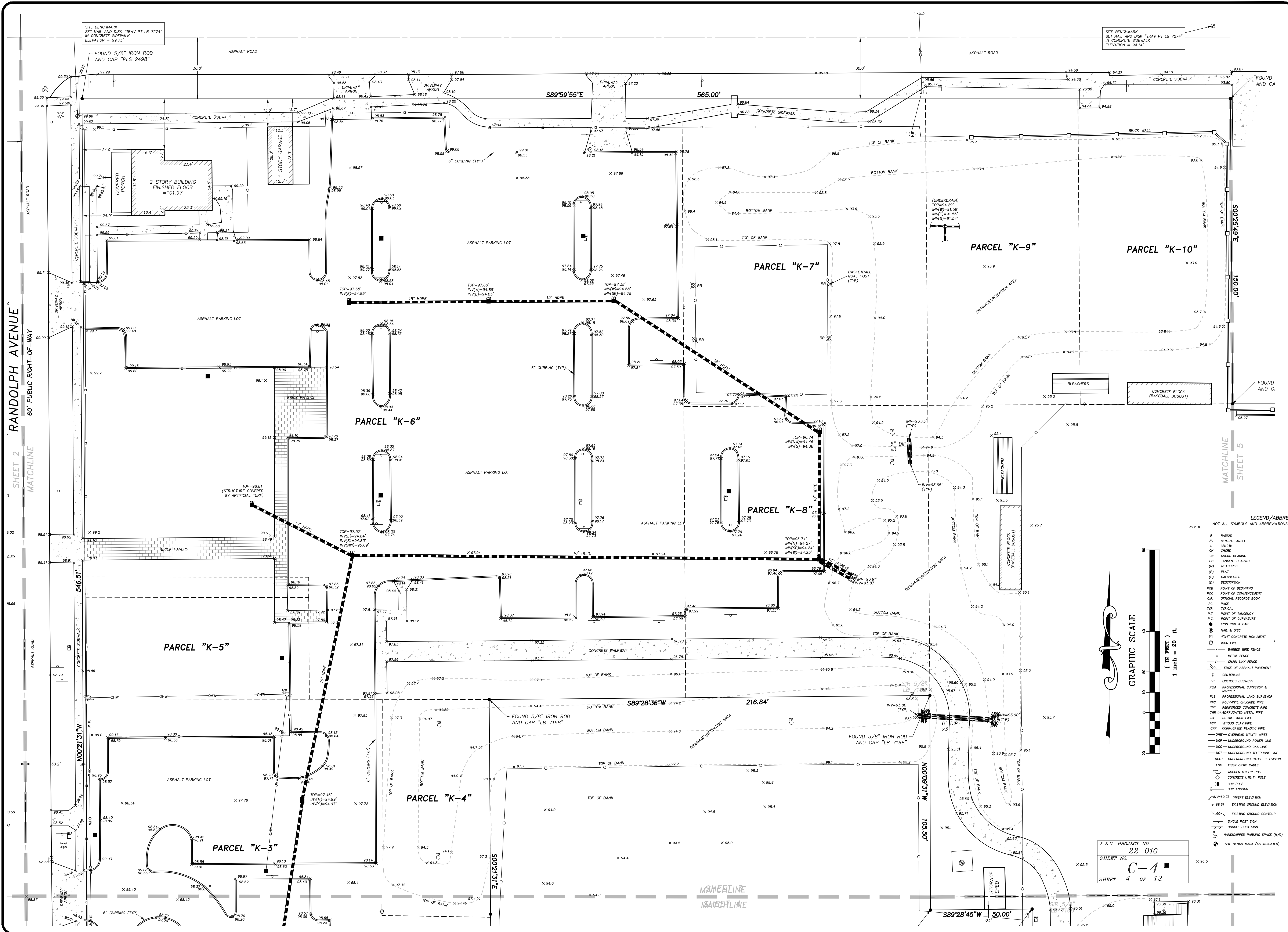
FOUND NAIL & DISK "LB 2108"  
FOUND NAIL & DISK "LS 2494"  
0.59'(N) 0.07'(W)

FOUND 5/8" IRON ROD  
AND CAP "LB 7274"

CERTIFICATE OF AUTHORIZATION LB 7274  
32 W. PLANT STREET Phone No. 407.905.8877  
WINTER GARDEN, FL 34787 Fax No. 407.905.8875

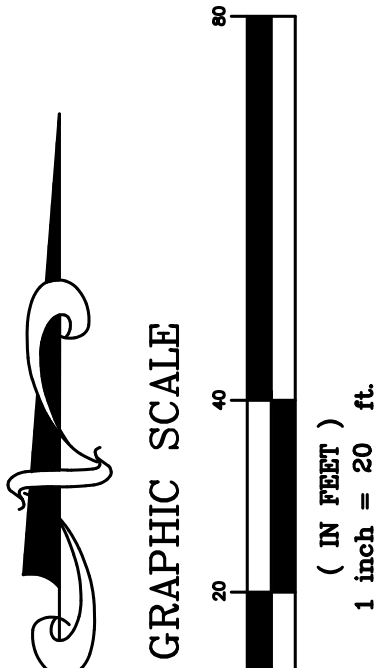


CERTIFICATE OF AUTHORIZATION LB 7274  
32 W. PLANT STREET Phone No. 407.905.8877  
WINTER GARDEN, FL 34787 Fax No. 407.905.8875



LEGEND/ABBREVIATIONS:  
NOT ALL SYMBOLS AND ABBREVIATIONS SHOWN HEREON MAY BE USED

|        |                                    |   |                               |
|--------|------------------------------------|---|-------------------------------|
| R      | RADIUS                             | W | WELL                          |
| Δ      | CENTRAL ANGLE                      | ⊕ | ELECTRICAL OUTLET             |
| L      | LENGTH                             | ⊕ | TELEPHONE RISER               |
| CH     | CHORD                              | ⊕ | FIRE HYDRANT                  |
| CB     | CHORD BEARING                      | ⊕ | MASTER WATER ASSEMBLY         |
| T.B.   | TANGENT BEARING                    | ⊕ | SEWER VALVE                   |
| (M)    | MEASURED                           | ⊕ | WATER VALVE                   |
| (P)    | PLAT                               | ⊕ | RECLAIMED WATER VALVE         |
| (C)    | CALCULATED                         | ⊕ | IRRIGATION VALVE              |
| (D)    | DECOMPOSITION                      | ⊕ | GAS VALVE                     |
| POB    | POINT OF BEGINNING                 | ⊕ | SANITARY MANHOLE              |
| POC    | POINT OF COMMENCEMENT              | ⊕ | DRAINAGE MANHOLE              |
| O.R.   | OFFICIAL RECORDS BOOK              | ⊕ | TELEPHONE MANHOLE             |
| P.G.   | PAGE                               | ⊕ | GREASE TRAP MANHOLE           |
| TYP.   | TYPICAL                            | ⊕ | POWER MANHOLE                 |
| P.T.C. | POINT OF TANGENCY                  | ⊕ | WATER SHUT-OFF VALVE          |
| P.C.   | POINT OF CURVATURE                 | ⊕ | POWER TRANSFORMER             |
| ●      | IRON ROD & CAP                     | ⊕ | WATER METER                   |
| ⊕      | NAIL & DISK                        | ⊕ | GAS METER                     |
| ⊕      | 4" x 4" CONCRETE MONUMENT          | ⊕ | POWER METER                   |
| ⊕      | IRON PIPE                          | ⊕ | WATER BLOW-OFF VALVE          |
| ⊕      | BARBED WIRE FENCE                  | ⊕ | CLEAN-OUT                     |
| ⊕      | METAL FENCE                        | ⊕ | FIRE DEPARTMENT CONTROL VALVE |
| ⊕      | EDGE OF ASPHALT PAVEMENT           | ⊕ | ELECTRIC HAND HOLE            |
| ⊕      | CONCRETE                           | ⊕ | CABLE TELEVISION RISER        |
| ⊕      | LB LICENSED BUSINESS               | ⊕ | TELEPHONE ACCESS CABINET      |
| ⊕      | PSM PROFESSIONAL SURVEYOR & MAPPER | ⊕ | CATCH BASIN                   |
| ⊕      | PLS PROFESSIONAL LAND SURVEYOR     | ⊕ | DRAIN                         |
| ⊕      | PVC POLYVINYL CHLORIDE PIPE        | ⊕ | CURB INLET                    |
| ⊕      | RCR REINFORCED CONCRETE PIPE       | ⊕ | CURB INLET WITHOUT MANHOLE    |
| ⊕      | CMR CORRUGATED METAL PIPE          | ⊕ | MITERED END SECTION           |
| ⊕      | DIP DUCTILE IRON PIPE              | ⊕ | UTILITY VAULT                 |
| ⊕      | VCP VITRIOUS CLAY PIPE             | ⊕ | AIR CONDITIONER               |
| ⊕      | CPV CORRUGATED PLASTIC PIPE        | ⊕ | POWER BOX                     |
| ⊕      | OWH OVERHEAD UTILITY WIRES         | ⊕ | MONITORING WELL               |
| ⊕      | USP UNDERGROUND POWER LINE         | ⊕ | LIGHT POLE                    |
| ⊕      | UGS UNDERGROUND GAS LINE           | ⊕ | WALKWAY LIGHT                 |
| ⊕      | UGT UNDERGROUND TELEPHONE LINE     | ⊕ | TRAFFIC SIGNAL BOX            |
| ⊕      | UCST UNDERGROUND CABLE TELEVISION  | ⊕ | BOLLARD                       |
| ⊕      | FOC FIBER OPTIC CABLE              | ⊕ | FLAG POLE                     |
| ⊕      | WU WOODEN UTILITY POLE             | ⊕ | PARKING METER                 |
| ⊕      | CU CONCRETE UTILITY POLE           | ⊕ | TRAFFIC FLOW ARROW            |
| ⊕      | GP GUY POLE                        | ⊕ | SOL BORING                    |
| ⊕      | SOY SOY ARROW                      |   |                               |
| ⊕      | INVERT ELEVATION                   |   |                               |
| +      | 68.51 EXISTING GROUND ELEVATION    |   |                               |
| ---    | EXISTING GROUND CONTOUR            |   |                               |
| ⊕      | SINGLE POST SIGN                   |   |                               |
| ⊕      | DOUBLE POST SIGN                   |   |                               |
| ⊕      | HANDICAPPED PARKING SPACE (H/C)    |   |                               |
| ⊕      | SITE BENCHMARK (AS INDICATED)      |   |                               |



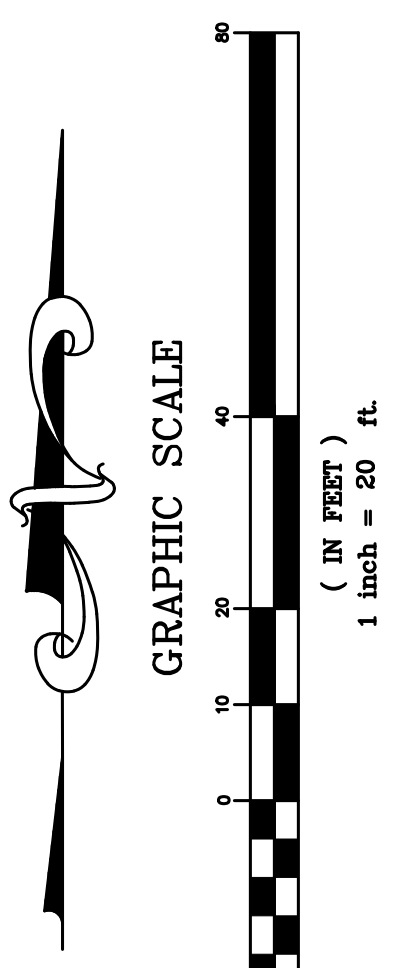
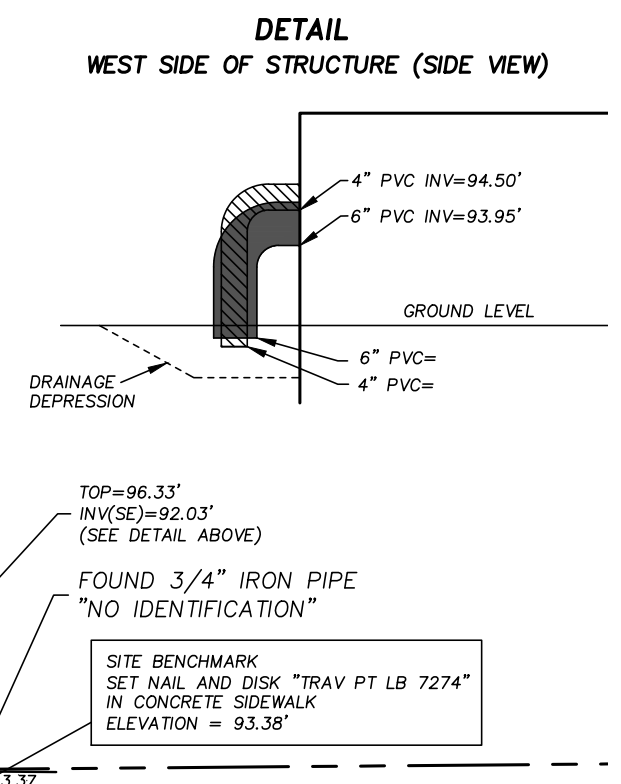
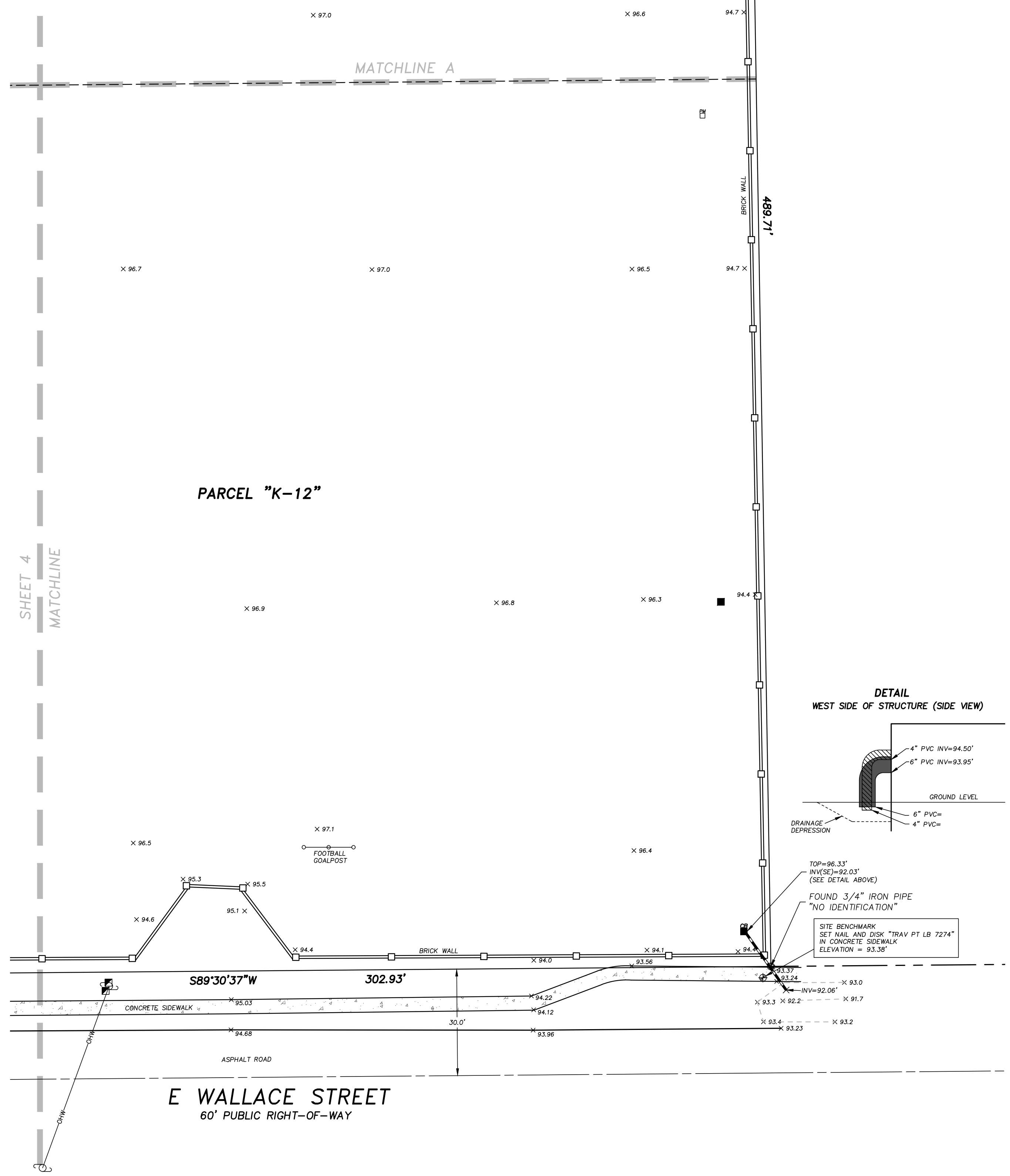
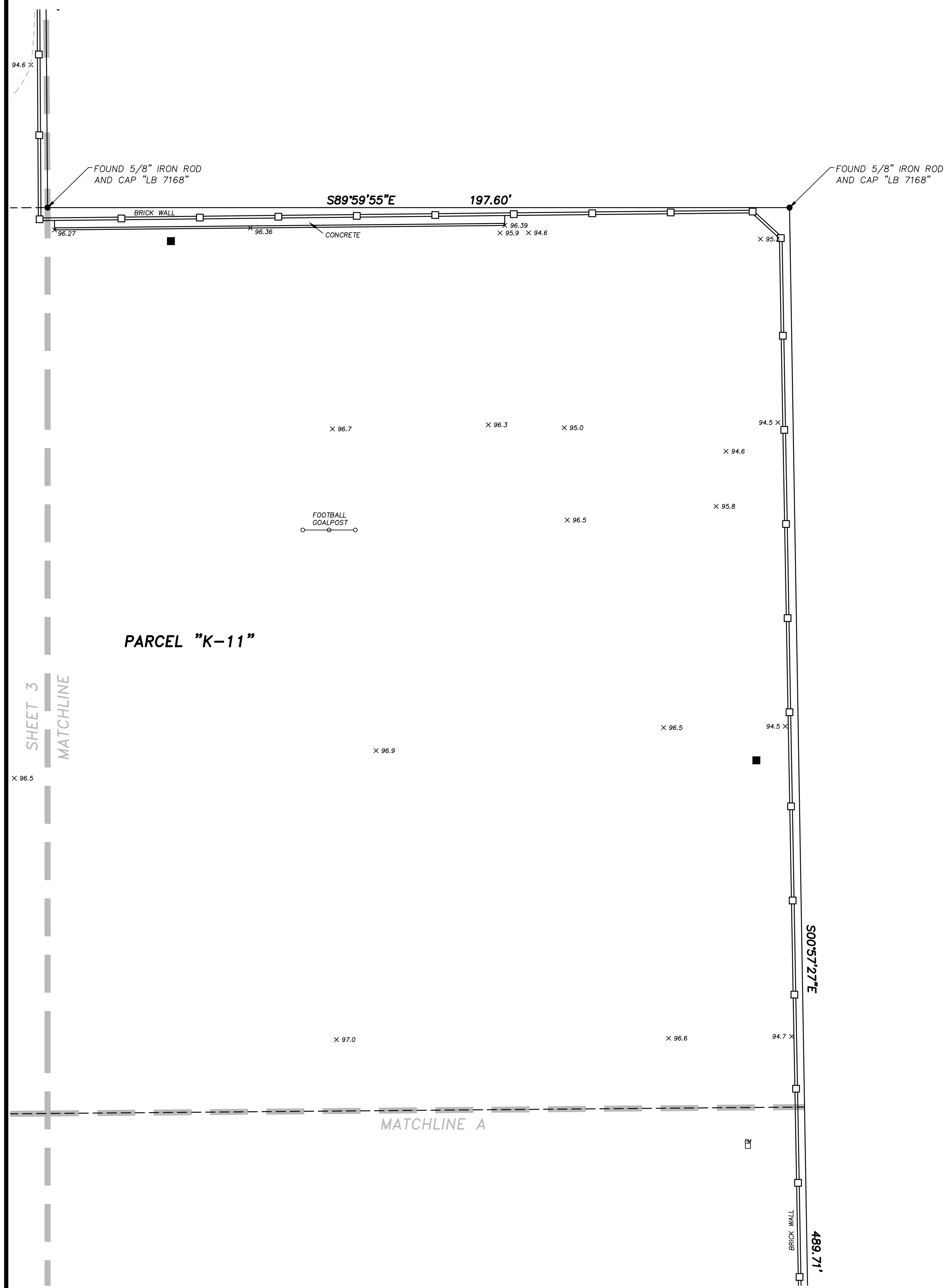
F.E.C. PROJECT NO. 22-010  
SHEET NO. C-4  
SHEET 4 OF 12







CERTIFICATE OF AUTHORIZATION LB 7274  
32 W. PLANT STREET Phone No. 407.905.8877  
WINTER GARDEN, FL 34787 Fax No. 407.905.8875

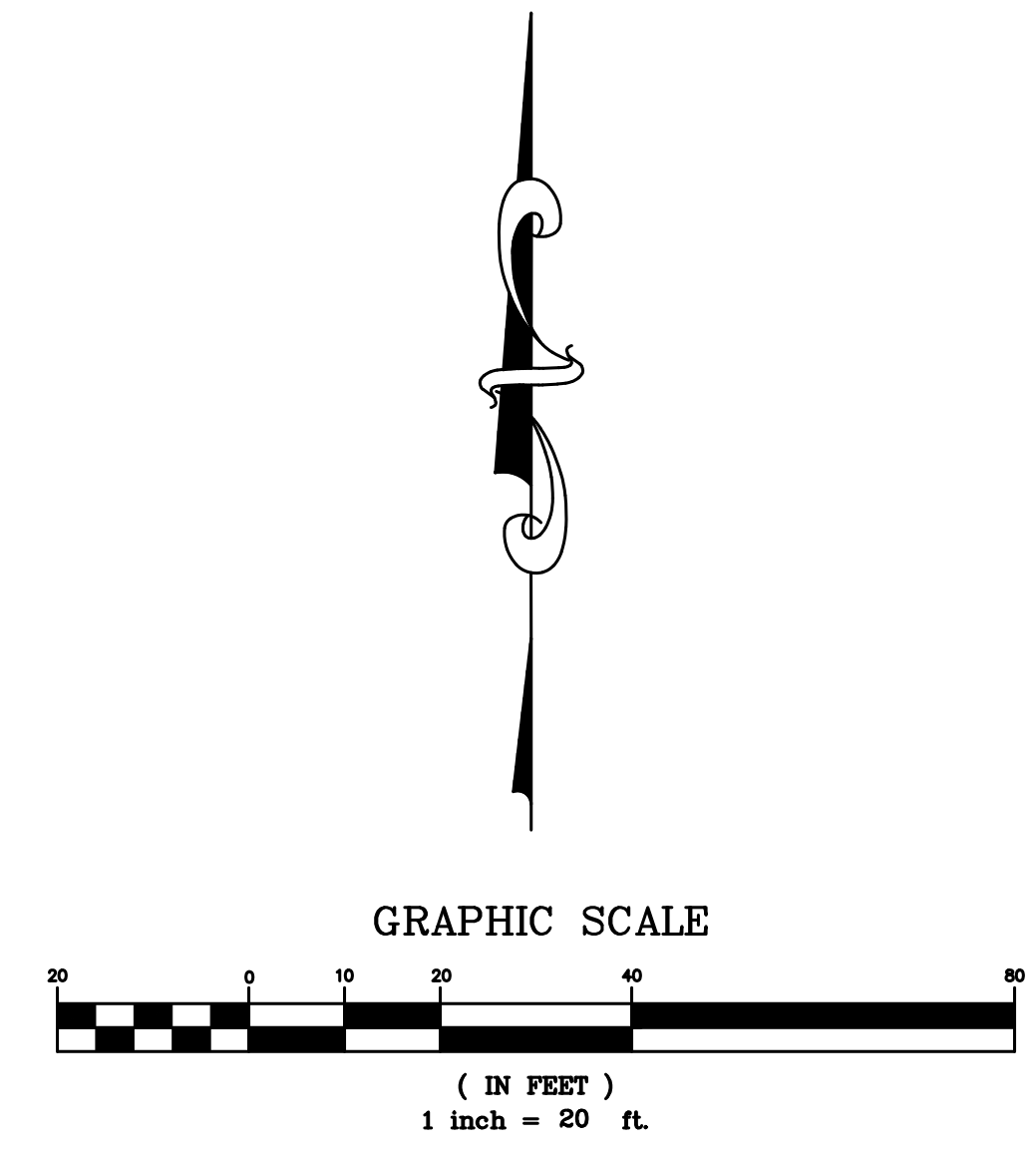
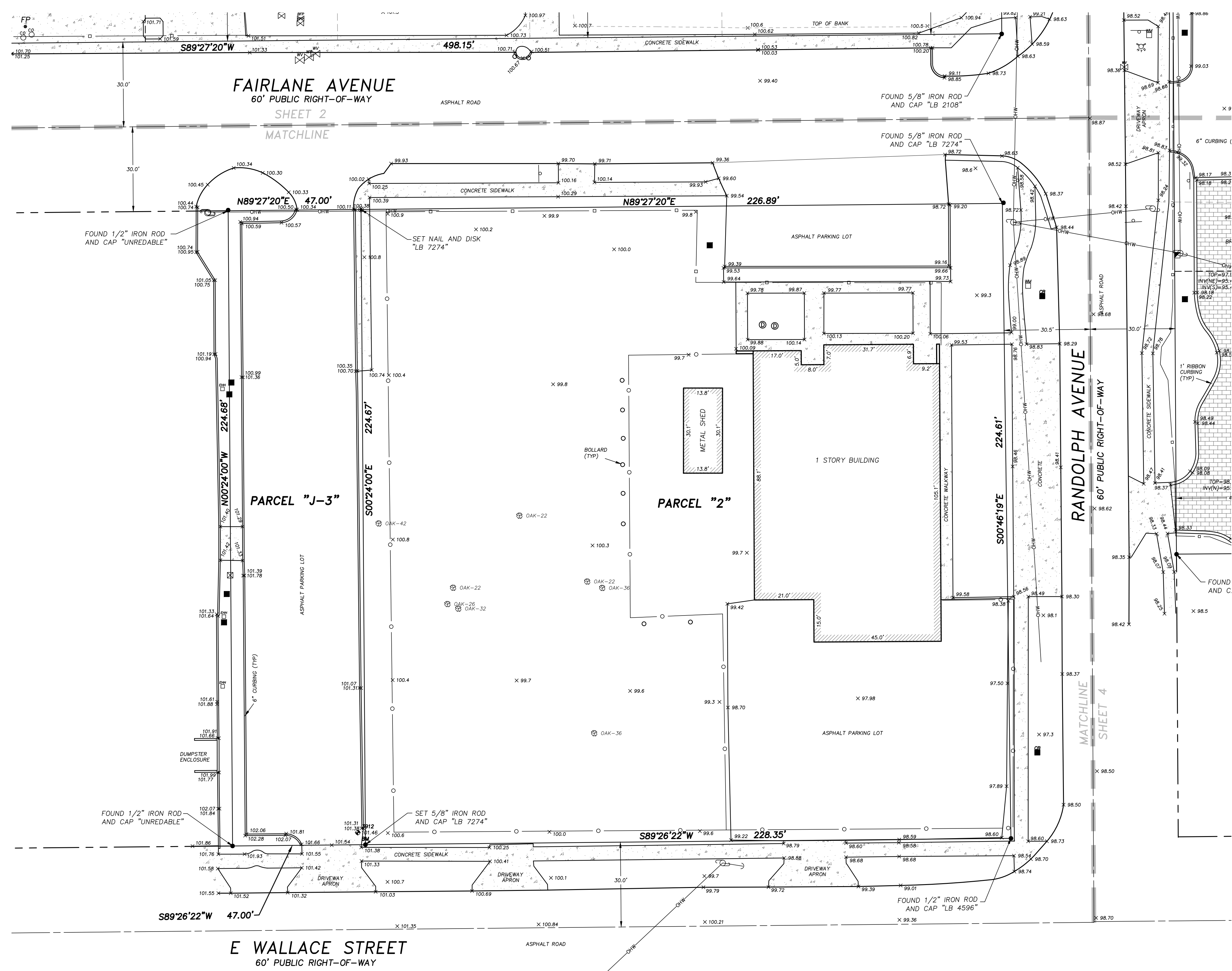


LEGEND/ABBREVIATIONS:  
NOT ALL SYMBOLS AND ABBREVIATIONS SHOWN HEREON MAY BE USED

|      |                                 |   |                               |
|------|---------------------------------|---|-------------------------------|
| R    | RADIUS                          | ⊙ | WELL                          |
| Δ    | CENTRAL ANGLE                   | ⊞ | ELECTRICAL OUTLET             |
| L    | LENGTH                          | ⊞ | TELEPHONE RISER               |
| CH   | CHORD                           | ⊞ | FIRE HYDRANT                  |
| CB   | CHORD BEARING                   | ⊞ | MASTER WATER ASSEMBLY         |
| T.B. | TANGENT BEARING                 | ⊞ | SEWER VALVE                   |
| (M)  | MEASURED                        | ⊞ | WATER VALVE                   |
| (P)  | PLAT                            | ⊞ | RECLAIMED WATER VALVE         |
| (C)  | CALCULATED                      | ⊞ | IRRIGATION VALVE              |
| (D)  | DESCRIPTION                     | ⊞ | GAS VALVE                     |
| POB  | POINT OF BEGINNING              | ⊞ | SAWTOOTH MANHOLE              |
| POC  | POINT OF COMMENCEMENT           | ⊞ | DRAINAGE MANHOLE              |
| O.R. | OFFICIAL RECORDS BOOK           | ⊞ | TELEPHONE MANHOLE             |
| P.C. | PAGE                            | ⊞ | GREASE TRAP MANHOLE           |
| T.P. | TYPICAL                         | ⊞ | POWER MANHOLE                 |
| P.T. | POINT OF TANGENCY               | ⊞ | WATER SHUT-OFF VALVE          |
| P.C. | POINT OF CURVATURE              | ⊞ | POWER TRANSFORMER             |
| ●    | IRON ROD & CAP                  | ⊞ | WATER METER                   |
| ⊙    | NAIL & DISC                     | ⊞ | GAS METER                     |
| ⊞    | 4"x4" CONCRETE MONUMENT         | ⊞ | POWER METER                   |
| ⊞    | IRON PIPE                       | ⊞ | WATER BLOW-OFF VALVE          |
| ⊞    | BARBED WIRE FENCE               | ⊞ | CLEAN-OUT                     |
| ⊞    | METAL FENCE                     | ⊞ | FIRE DEPARTMENT CONTROL VALVE |
| ⊞    | CHAIN LINK FENCE                | ⊞ | ELECTRIC HAND HOLE            |
| ⊞    | EDGE OF ASPHALT PAVEMENT        | ⊞ | CABLE TELEVISION RISER        |
| ⊞    | CENTERLINE                      | ⊞ | TELEPHONE ACCESS CABINET      |
| LB   | LICENSED BUSINESS               | ⊞ | CATCH BASIN                   |
| PSM  | PROFESSIONAL SURVEYOR & MAPPER  | ⊞ | DRAIN                         |
| PLS  | PROFESSIONAL LAND SURVEYOR      | ⊞ | CURB INLET                    |
| PVC  | POLYVINYL CHLORIDE PIPE         | ⊞ | CURB INLET WITHOUT MANHOLE    |
| RCF  | REINFORCED CONCRETE PIPE        | ⊞ | METERED END SECTION           |
| CMP  | CORRUGATED METAL PIPE           | ⊞ | UTILITY HAULT                 |
| DIP  | DUCTILE IRON PIPE               | ⊞ | AIR CONDITIONER               |
| VCP  | VITRIFIED CLAY PIPE             | ⊞ | POWER BOX                     |
| CP   | CORRUGATED PLASTIC PIPE         | ⊞ | MONITORING WELL               |
| OWW  | OVERHEAD UTILITY WIRES          | ⊞ | LOUIS POLE                    |
| UWP  | UNDERGROUND POWER LINE          | ⊞ | WALKWAY LIGHT                 |
| UGG  | UNDERGROUND GAS LINE            | ⊞ | TRAFFIC SIGNAL BOX            |
| UGT  | UNDERGROUND TELEPHONE LINE      | ⊞ | BOLLARD                       |
| UGC  | UNDERGROUND CABLE TELEVISION    | ⊞ | FLAG POLE                     |
| FCC  | FIBER OPTIC CABLE               | ⊞ | PARKING METER                 |
| ⊞    | WOODEN UTILITY POLE             | ⊞ | TRAFFIC FLOW ARROW            |
| ⊞    | CONCRETE UTILITY POLE           | ⊞ | SOIL BORING                   |
| ⊞    | OUT POLE                        |   |                               |
| ⊞    | OUT ANCHOR                      |   |                               |
| ⊞    | INVERT ELEVATION                |   |                               |
| +    | EXISTING GROUND ELEVATION       |   |                               |
| ⊞    | EXISTING GROUND CONTOUR         |   |                               |
| ⊞    | SINGLE POST SIGN                |   |                               |
| ⊞    | DOUBLE POST SIGN                |   |                               |
| ⊞    | HANDICAPPED PARKING SPACE (H/C) |   |                               |
| ⊞    | SITE BENCH MARK (AS INDICATED)  |   |                               |

F.E.G. PROJECT NO. 22-010  
SHEET NO. C-6  
SHEET 6 OF 12





**LEGEND/ABBREVIATIONS:**  
NOT ALL SYMBOLS AND ABBREVIATIONS SHOWN HEREON MAY BE USED

|         |                                 |   |                               |
|---------|---------------------------------|---|-------------------------------|
| R       | RADIUS                          | ⊙ | WELL                          |
| Δ       | CENTRAL ANGLE                   | ⊠ | ELECTRICAL OUTLET             |
| L       | LENGTH                          | ⊠ | TELEPHONE RISER               |
| CH      | CHORD                           | ⊠ | FIRE HYDRANT                  |
| OB      | CHORD BEARING                   | ⊠ | MASTER WATER ASSEMBLY         |
| T.B.    | TANGENT BEARING                 | ⊠ | SEWER VALVE                   |
| (M)     | MEASURED                        | ⊠ | WATER VALVE                   |
| (P)     | PLAT                            | ⊠ | RECLAIMED WATER VALVE         |
| (C)     | CALCULATED                      | ⊠ | IRRIGATION VALVE              |
| (D)     | DESCRIPTION                     | ⊠ | GAS VALVE                     |
| P.O.B.  | POINT OF BEGINNING              | ⊠ | SANITARY MANHOLE              |
| P.O.C.  | POINT OF COMMENCEMENT           | ⊠ | DRAINAGE MANHOLE              |
| O.R.    | OFFICIAL RECORDS BOOK           | ⊠ | TELEPHONE MANHOLE             |
| P.G.    | PAGE                            | ⊠ | GREASE TRAP MANHOLE           |
| T.P.    | TRICAL                          | ⊠ | POWER MANHOLE                 |
| P.T.    | POINT OF TANGENCY               | ⊠ | WATER SHUT-OFF VALVE          |
| P.C.    | POINT OF CURVATURE              | ⊠ | POWER TRANSFORMER             |
| ●       | IRON ROD & CAP                  | ⊠ | WATER METER                   |
| ⊙       | NAIL & DISC                     | ⊠ | POWER METER                   |
| ⊠       | 4"x4" CONCRETE MONUMENT         | ⊠ | WATER BLOW-OFF VALVE          |
| ○       | IRON PIPE                       | ⊠ | CLEAN-OUT                     |
| —       | BARBED WIRE FENCE               | ⊠ | FIRE DEPARTMENT CONTROL VALVE |
| —       | METAL FENCE                     | ⊠ | ELECTRIC HAND HOLE            |
| —       | CHAIN LINK FENCE                | ⊠ | CABLE TELEVISION RISER        |
| —       | EDGE OF ASPHALT PAVEMENT        | ⊠ | TELEPHONE ACCESS CABINET      |
| —       | CENTERLINE                      | ⊠ | CATCH BASIN                   |
| LB      | LICENSED BUSINESS               | ⊠ | DRAIN                         |
| PSM     | PROFESSIONAL SURVEYOR & MAPPER  | ⊠ | CURB INLET                    |
| PLS     | PROFESSIONAL LAND SURVEYOR      | ⊠ | CURB INLET WITHOUT MANHOLE    |
| PVC     | POLYVINYL CHLORIDE PIPE         | ⊠ | INTERED END SECTION           |
| RCP     | REINFORCED CONCRETE PIPE        | ⊠ | UTILITY VAULT                 |
| CMP     | CORRUGATED METAL PIPE           | ⊠ | A/C                           |
| DP      | DUCTILE IRON PIPE               | ⊠ | AIR CONDITIONER               |
| VCP     | VITRIFIED CLAY PIPE             | ⊠ | POWER BOX                     |
| OP      | CORRUGATED PLASTIC PIPE         | ⊠ | MONITORING WELL               |
| OWH     | OVERHEAD UTILITY WIRES          | ⊠ | LIGHT POLE                    |
| UGP     | UNDERGROUND POWER LINE          | ⊠ | WALKWAY LIGHT                 |
| UGG     | UNDERGROUND GAS LINE            | ⊠ | TRAFFIC SIGNAL BOX            |
| UGT     | UNDERGROUND TELEPHONE LINE      | ⊠ | BOLLARD                       |
| UGC     | UNDERGROUND CABLE TELEVISION    | ⊠ | FLAG POLE                     |
| FOC     | FIBER OPTIC CABLE               | ⊠ | PARKING METER                 |
| WUP     | WOODEN UTILITY POLE             | ⊠ | TRAFFIC FLOW ARROW            |
| CU      | CONCRETE UTILITY POLE           | ⊠ | SOL BORING                    |
| GP      | GRIP POLE                       |   |                               |
| GP      | GRIP ANCHOR                     |   |                               |
| ±       | INVERT ELEVATION                |   |                               |
| + 68.51 | EXISTING GROUND ELEVATION       |   |                               |
| —       | EXISTING GROUND CONTOUR         |   |                               |
| —       | SINGLE POST SIGN                |   |                               |
| —       | DOUBLE POST SIGN                |   |                               |
| —       | HANDICAPPED PARKING SPACE (H/C) |   |                               |
| ⊕       | SITE BENCH MARK (AS INDICATED)  |   |                               |

F.E.G. PROJECT NO.  
22-010  
SHEET NO.  
C-7  
SHEET 7 OF 12

CERTIFICATE OF AUTHORIZATION LB 7274  
32 W. PLANT STREET Phone No. 407.905.8877  
WINTER GARDEN, FL 34787 Fax No. 407.905.8875

JOB NUMBER: 14090  
DRAWING FILE: 14090-4.DWG



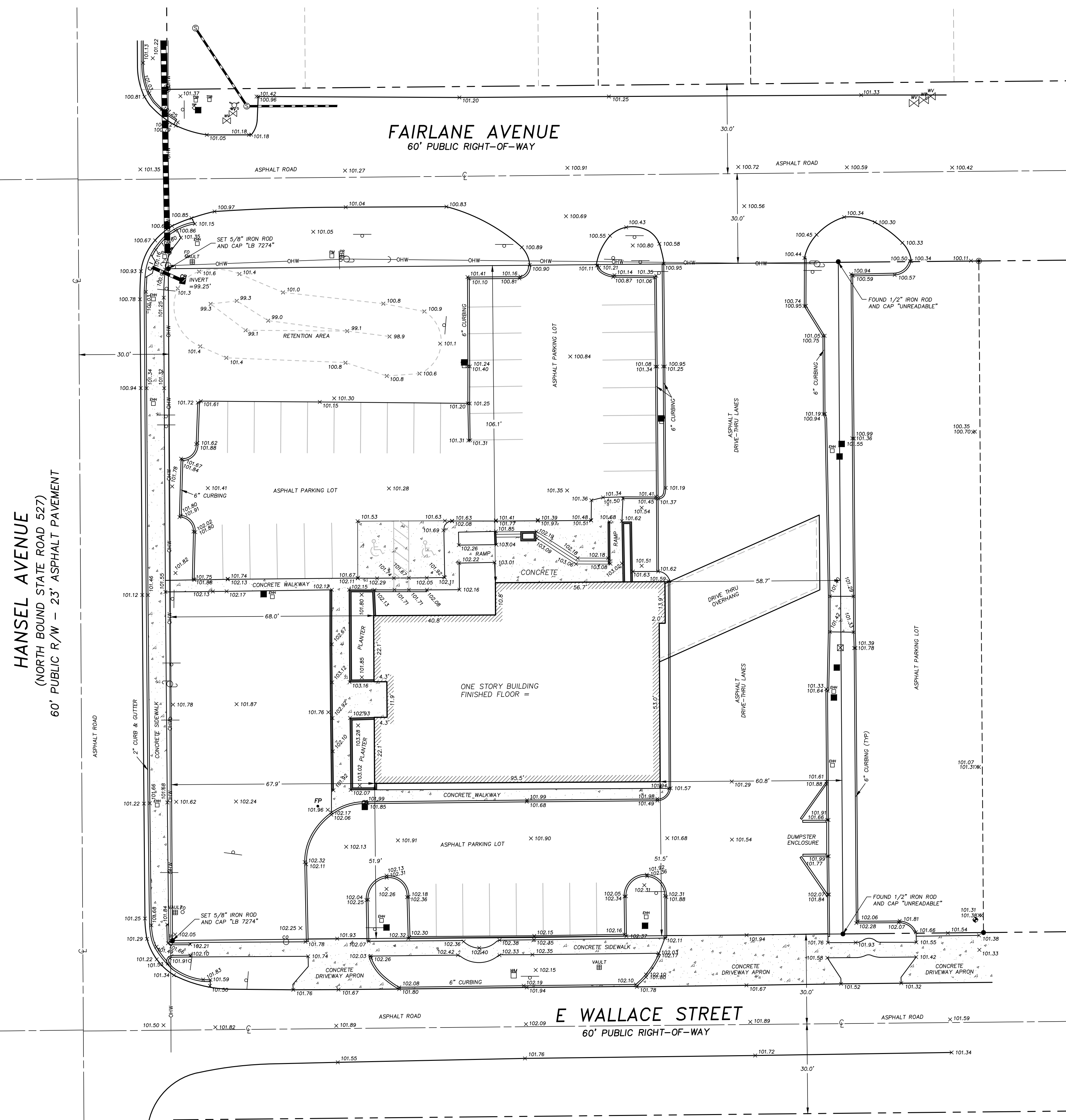
# BOUNDARY AND TOPOGRAPHIC SURVEY

SECTION 24  
TOWNSHIP 23 SOUTH  
RANGE 29 EAST

SHEET 1 OF 1

CERTIFICATE OF AUTHORIZATION LB 7274  
301 N. TUBB STREET, SUITE 106, OAKLAND, FLORIDA 34760  
Phone No. 407.905.8877

ARON D. BISHMAN, P.S.M. FLORIDA REGISTRATION NO. 5668



**DESCRIPTION:**

LOT 9 OF HARNEY HOMESTEAD, AS RECORDED IN PLAT BOOK C, PAGE 53, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, LESS THE EAST 100 FEET THEREOF; LESS THE NORTH 391.8 FEET THEREOF; LESS PORTIONS OF ROAD RIGHT-OF-WAY ON THE NORTH, BOUNDED BY FAIRLANE AVENUE, AND ON THE SOUTH, BOUNDED BY EAST WALLACE STREET, AS THE SAME MAY HAVE BEEN CONVEYED TO OR TAKEN BY THE CITY OF BELLE ISLE OF ORANGE COUNTY, FLORIDA FOR ROAD WIDENING PURPOSES.

**LESS AND EXCEPT:**

THAT PART OF LOT 9 CONVEYED TO THE STATE OF FLORIDA BY SPECIAL WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 779, PAGE 14, OF THE OFFICIAL RECORDS OF ORANGE COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

THAT PART OF LOT 9, HARNEY HOMESTEAD SUBDIVISION, AS SHOWN IN PLAT BOOK "C", PAGE 53, SAID PUBLIC RECORDS, LESS THE NORTH 391.8 FEET OF SAID LOT 9; LYING WITHIN 30 FEET EASTERLY OF THE SURVEY LINE OF STATE ROAD 527, SECTION 75040, SAID SURVEY LINE BEING DESCRIBED AS FOLLOWS:

BEGIN AT THE EASTERLY EXTENSION OF THE NORTH LINE OF LOT 18, JOHN KEEN'S SUBDIVISION, PLAT BOOK "H", PAGE 11, PUBLIC RECORDS, ORANGE COUNTY, FLORIDA, AT A POINT 31.16 FEET EAST OF THE NORTHEAST CORNER OF SAID LOT 18, AND RUN THENCE NORTH 00'15'17" WEST, 579.36 FEET TO THE CENTER OF SECTION 24, TOWNSHIP 23 SOUTH, RANGE 29 EAST;

ALSO, THE EAST 30 FEET OF THE WEST 60 FEET OF THE SOUTH 30 FEET OF THE NORTH 421.8 FEET OF SAID LOT 9, HARNEY HOMESTEAD;

ALSO, THAT PART OF SAID LOT 9, HARNEY HOMESTEAD, LYING WITHIN 30 FEET NORTHERLY OF A LINE DESCRIBED AS FOLLOWS: COMMENCE ON THE EASTERLY EXTENSION OF THE NORTH LINE OF LOT 18, JOHN KEEN'S SUBDIVISION, PLAT BOOK "H", PAGE 11, PUBLIC RECORDS, ORANGE COUNTY, FLORIDA, AT A POINT 31.16 FEET EAST OF THE NORTHEAST CORNER OF SAID LOT 18, AND RUN THENCE NORTH 00'15'47" WEST, 33.70 FEET FOR A POINT OF BEGINNING; FROM SAID POINT OF BEGINNING RUN SOUTH 89'42'47" EAST, 60 FEET.

**FURTHER LESS AND EXCEPT:**

THAT PART CONVEYED TO PINE CASTLE METHODIST CHURCH, INC. BY SPECIAL WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 8382, PAGE 274, OF THE OFFICIAL RECORDS OF ORANGE COUNTY, FLORIDA, BEING DESCRIBED AS FOLLOWS:

COMMENCE AT THE SOUTHWEST CORNER OF LOT 9 OF THE HARNEY HOMESTEAD, AS RECORDED IN PLAT BOOK "C", PAGE 53, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, THENCE RUN NORTH 89'57'29" EAST ALONG THE NORTH RIGHT-OF-WAY LINE OF WALLACE STREET AS SHOWN AND DEPICTED ON THE PLAT OF KEEN-CASTLE, AS RECORDED IN PLAT BOOK "H", PAGE "1", OF SAID PUBLIC RECORDS, A DISTANCE OF 224.28 FEET TO THE POINT OF BEGINNING; THENCE NORTH 00'04'16" EAST ALONG THE EAST LINE OF THE WEST 224.28 FEET OF SAID LOT 9, A DISTANCE OF 224.70 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF FAIRLANE AVENUE; THENCE ALONG SAID SOUTH LINE SOUTH 00'15'56" EAST ALONG THE WEST LINE OF THE EAST 100.00 FEET OF SAID LOT 9, A DISTANCE OF 224.65 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF WALLACE STREET; THENCE ALONG SAID NORTH LINE SOUTH 89'57'29" WEST, A DISTANCE OF 175.47 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS A TOTAL OF 1.156 ACRES, MORE OR LESS.

**SURVEYORS NOTES:**

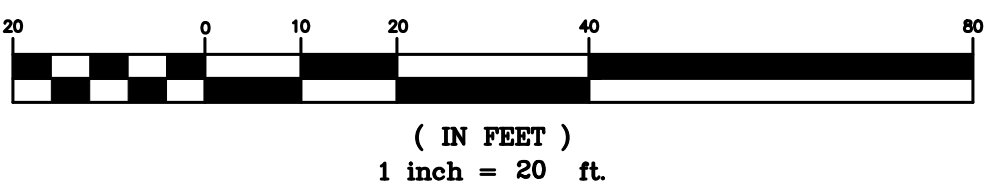
1. NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL, OR DIGITAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER. PRINTED COPIES OF A DIGITAL SIGNED AND SEALED SURVEY ARE NOT VALID.
2. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD, BY THIS FIRM.
3. REVISIONS DO NOT CONSTITUTE A RE-CERTIFICATION OF THE EXISTING FIELD CONDITIONS OF THIS SURVEY.
4. BEARINGS SHOWN HEREON ARE BASED ON THE NORTH RIGHT-OF-WAY LINE OF E WALLACE STREET (ASSUMED).
5. THE DESCRIPTION SHOWN HEREON WAS SUPPLIED BY THE CLIENT.
6. UNDERGROUND IMPROVEMENTS AND INSTALLATIONS HAVE NOT BEEN LOCATED.
7. THE LANDS SHOWN HEREON LIE ENTIRELY WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD) ACCORDING TO "FIRM" MAP NO. 12095C0430F, DATED SEPTEMBER 25, 2009.
8. THE ELEVATIONS SHOWN HEREON ARE BASED ON ORANGE COUNTY DATUM PER BENCH MARK NUMBER 51316-035 BEING A BOX CUT ON TOP OF CURB INLET, ELEVATION = 101.52 (NAVD 1988).
9. SITE BENCHMARK IS SHOWN HEREON.
10. THIS SURVEY WAS PERFORMED IN ACCORDANCE WITH THE STANDARDS OF PRACTICE SET FORTH IN RULE 5J-17.052 ADOPTED BY THE FLORIDA BOARD OF SURVEYORS AND MAPPERS, PURSUANT TO FLORIDA STATUTES 472.027.

**LEGEND/ABBREVIATIONS:**

NOT ALL SYMBOLS AND ABBREVIATIONS SHOWN HEREON MAY BE USED

|      |                                 |   |                               |
|------|---------------------------------|---|-------------------------------|
| R    | RADIUS                          | ⊙ | WELL                          |
| Δ    | CENTRAL ANGLE                   | ⊖ | ELECTRICAL OUTLET             |
| L    | LENGTH                          | ⊕ | TELEPHONE RISER               |
| CH   | CHORD                           | ⊕ | FIRE HYDRANT                  |
| CB   | CHORD BEARING                   | ⊕ | MASTER WATER ASSEMBLY         |
| T.B. | TANGENT BEARING                 | ⊕ | SEWER VALVE                   |
| (M)  | MEASURED                        | ⊕ | WATER VALVE                   |
| (C)  | CALCULATED                      | ⊕ | RECLAIMED WATER VALVE         |
| (D)  | DESCRIPTION                     | ⊕ | IRRIGATION VALVE              |
| POB  | POINT OF BEGINNING              | ⊕ | GAS VALVE                     |
| POC  | POINT OF COMMENCEMENT           | ⊕ | SANITARY MANHOLE              |
| O.R. | OFFICIAL RECORDS BOOK           | ⊕ | DRAINAGE MANHOLE              |
| P.G. | PAGE                            | ⊕ | TELEPHONE MANHOLE             |
| TYP. | TYPICAL                         | ⊕ | GREASE TRAP MANHOLE           |
| P.T. | POINT OF TANGENCY               | ⊕ | POWER MANHOLE                 |
| P.C. | POINT OF CURVATURE              | ⊕ | WATER SHUT-OFF VALVE          |
| ●    | IRON ROD & CAP                  | ⊕ | POWER TRANSFORMER             |
| ⊙    | NAIL & DISC                     | ⊕ | WATER METER                   |
| ⊕    | 4"x4" CONCRETE MONUMENT         | ⊕ | GAS METER                     |
| ⊕    | IRON PIPE                       | ⊕ | POWER METER                   |
| ⊕    | BARBED WIRE FENCE               | ⊕ | WATER BLOW-OFF VALVE          |
| ⊕    | WOOD FENCE                      | ⊕ | CLEAN-OUT                     |
| ⊕    | CHAIN LINK FENCE                | ⊕ | FIRE DEPARTMENT CONTROL VALVE |
| ⊕    | EDGE OF ASPHALT PAVEMENT        | ⊕ | ELECTRIC HAND HOLE            |
| ⊕    | CENTERLINE                      | ⊕ | CABLE TELEVISION RISER        |
| LB   | LICENSED BUSINESS               | ⊕ | TELEPHONE ACCESS CABINET      |
| PSM  | PROFESSIONAL SURVEYOR & MAPPER  | ⊕ | CATCH BASIN                   |
| PLS  | PROFESSIONAL LAND SURVEYOR      | ⊕ | DRAIN                         |
| PVC  | POLYVINYL CHLORIDE PIPE         | ⊕ | CURB INLET                    |
| RCP  | REINFORCED CONCRETE PIPE        | ⊕ | CURB INLET WITHOUT MANHOLE    |
| OMP  | CORRUGATED METAL PIPE           | ⊕ | MITERED END SECTION           |
| DIP  | DUCTILE IRON PIPE               | ⊕ | UTILITY VAULT                 |
| VSP  | VITIOUS CLAY PIPE               | ⊕ | AIR CONDITIONER               |
| OPP  | CORRUGATED PLASTIC PIPE         | ⊕ | POWER BOX                     |
| ⊕    | OVERHEAD UTILITY WIRES          | ⊕ | MONITORING WELL               |
| ⊕    | UNDERGROUND POWER LINE          | ⊕ | LIGHT POLE                    |
| ⊕    | UNDERGROUND GAS LINE            | ⊕ | WALKWAY LIGHT                 |
| ⊕    | UNDERGROUND TELEPHONE LINE      | ⊕ | TRAFFIC SIGNAL BOX            |
| ⊕    | UNDERGROUND CABLE TELEVISION    | ⊕ | BOLLARD                       |
| ⊕    | FIBER OPTIC CABLE               | ⊕ | FLAG POLE                     |
| ⊕    | WOODEN UTILITY POLE             | ⊕ | PARKING METER                 |
| ⊕    | CONCRETE UTILITY POLE           | ⊕ | TRAFFIC FLOW ARROW            |
| ⊕    | GUY POLE                        | ⊕ | SOIL BORING                   |
| ⊕    | GUY ANCHOR                      |   |                               |
| ⊕    | INVERT ELEVATION                |   |                               |
| +    | EXISTING GROUND ELEVATION       |   |                               |
| ⊕    | EXISTING GROUND CONTOUR         |   |                               |
| ⊕    | SINGLE POST SIGN                |   |                               |
| ⊕    | DOUBLE POST SIGN                |   |                               |
| ⊕    | HANDICAPPED PARKING SPACE (H/C) |   |                               |
| ⊕    | SITE BENCH MARK (AS INDICATED)  |   |                               |

**GRAPHIC SCALE**



**REVISIONS:**

|               |             |
|---------------|-------------|
| JOB NUMBER:   | 22029.000   |
| SURVEY DATE:  | 3-15-2022   |
| FIELD BY:     | T. CONWARD  |
| FIELD BOOK:   | 2201        |
| PAGES:        | 46-47       |
| FIELD FILE:   | 14090-3.MUF |
| DRAWING FILE: | 22029.DWG   |

|                    |         |
|--------------------|---------|
| F.E.C. PROJECT NO. | 22-010  |
| SHEET NO.          | C-8     |
| SHEET              | 8 OF 12 |



**SITE DATA**

PROPERTY LOCATION: 5903 RANDOLPH AVE., BELLE ISLE, FL 32809

TOTAL PROJECT AREA 14.84± ACRES \* (ROADWAY NOT INCLUDED)

| PARCEL ID:                      | EXISTING USE    | EXISTING ZONING | FUTURE LAND USE    |
|---------------------------------|-----------------|-----------------|--------------------|
| PARCEL ID: 24-23-29-8820-00-050 | EXISTING SCHOOL | C-1             | LOW-MEDIUM DENSITY |
| PARCEL ID: 24-23-29-3400-00-073 | EXISTING SCHOOL | C-2, R-1A, R2   | LOW-MEDIUM DENSITY |
| PARCEL ID: 24-23-29-3400-00-092 | EXISTING SCHOOL | C-1, R-2        | LOW-MEDIUM DENSITY |
| PARCEL ID: 24-23-29-3400-00-093 | EXISTING CHURCH | C-1             | COMMERCIAL         |
| PARCEL ID: 24-23-29-3400-00-094 | EXISTING BANK   | C-1             | COMMERCIAL         |
| PARCEL ID: 24-23-29-3400-00-095 | EXISTING BANK   | C-1             | COMMERCIAL         |
| PARCEL ID: 24-23-29-3400-00-114 | EXISTING SCHOOL | C-2             | COMMERCIAL         |

| PARCEL ID:                      | PROPOSED USE: | PROPOSED ZONING | FUTURE LAND USE    |
|---------------------------------|---------------|-----------------|--------------------|
| PARCEL ID: 24-23-29-8820-00-050 | SCHOOL        | PD              | LOW-MEDIUM DENSITY |
| PARCEL ID: 24-23-29-3400-00-073 | SCHOOL        | PD              | LOW-MEDIUM DENSITY |
| PARCEL ID: 24-23-29-3400-00-092 | SCHOOL        | PD              | LOW-MEDIUM DENSITY |
| PARCEL ID: 24-23-29-3400-00-093 | SCHOOL        | PD              | COMMERCIAL         |
| PARCEL ID: 24-23-29-3400-00-094 | SCHOOL        | PD              | COMMERCIAL         |
| PARCEL ID: 24-23-29-3400-00-095 | SCHOOL        | PD              | COMMERCIAL         |
| PARCEL ID: 24-23-29-3400-00-114 | SCHOOL        | PD              | COMMERCIAL         |

**EXISTING BUILDINGS AREA:**

| BUILDINGS AREA:                      | AREA (SF)          |
|--------------------------------------|--------------------|
| BUILDING A (EX. ELEMENTARY SCHOOL):  | 39,288 SF.         |
| BUILDING B (EX. MIDDLE SCHOOL):      | 36,720 SF.         |
| BUILDING C (EX. MIDDLE/HIGH SCHOOL): | 60,500 SF.         |
| BUILDING F (EX. FIELD HOUSE):        | 6,172 SF.          |
| BUILDING H (EX. HOUSE):              | 1,100 SF.          |
| BUILDING I (EX. OASIS BUILDING):     | 6,462 SF.          |
| <b>TOTAL BUILDINGS AREA:</b>         | <b>150,242 SF.</b> |

**NEW BUILDING HEIGHT:**

| BUILDING HEIGHT (ALLOWABLE): | HEIGHT |
|------------------------------|--------|
| BUILDING HEIGHT (ALLOWABLE): | 57'    |
| BUILDING HEIGHT (PROPOSED):  |        |
| BUILDING A1:                 | 56'    |
| BUILDING D:                  | 54'    |
| BUILDING E:                  | 44'    |
| BUILDING G:                  | 50'    |
| BUILDING J:                  | 16'    |

**PROPOSED BUILDINGS AREA:**

| BUILDINGS AREA:                                | AREA (SF)          |
|--|--------------------|
| BUILDING A1 (PROPOSED ELEMENTARY-4 STORY):     | 33,750 SF.         |
| BUILDING D (PROPOSED HIGH SCHOOL-3 STORY):     | 44,500 SF.         |
| BUILDING E (STUDENT SERVICE-2 STORY):          | 14,100 SF.         |
| BUILDING G (PROPOSED GYMNASIUM -2 STORY):      | 16,100 SF.         |
| BUILDING J (CONCESSION, RESTROOM & PRESS BOX): | 1,740 SF.          |
| <b>TOTAL BUILDINGS AREA:</b>                   | <b>110,190 SF.</b> |

FLOOR AREA RATIO (ALLOWABLE): 0.50  
 FLOOR AREA RATIO (PROPOSED AND EXISTING): (5.98 AC/ 14.84 AC) 0.40

**PARKING**

| STUDENTS   | 2,420 STUDENTS/13 GRADES = (186/ GRADE * 2) * 10% (*) | 37 SPACES         |
|--|---|-------------------|
| STAFF  | 2,420 * 1/15 * (1 SPACE PER STAFF)                    | 161 SPACES        |
| VISITOR  | 2,420/100 (1 SPACE PER 100 STUDENTS)                  | 24 SPACES         |
| <b>TOTAL PARKING REQUIRED</b>  |   | <b>222 SPACES</b> |
| SPACES REQUIRED TO BE RESERVED FOR HANDICAP (*) HIGH SCHOOL STUDENTS |   | 7 SPACES          |
| <b>PARKING PROVIDED</b>  |   | <b>219 SPACES</b> |
| EXISTING PARKING SPACES TO BE REMOVED                                |   | -67 SPACES        |
| NEW PARKING SPACES   |   | 134 SPACES        |
| HANDICAP PARKING   |   | 5 SPACES          |
| <b>TOTAL PARKING PROVIDED</b>  |   | <b>291 SPACES</b> |

**SITE AREA CALCULATIONS (EXISTING)**

| BUILDINGS FOOTPRINT  | AREA (±S.F.)         | ACRES              | %               |
|--|----------------------|--------------------|-----------------|
| EXISTING BUILDINGS   | 75,729 ±S.F.         |                    |                 |
| TOTAL EXISTING CONCRETE, SIDEWALK & ASPHALT (*)                              | 187,460 ±S.F.        |                    |                 |
| <b>TOTAL IMPERVIOUS AREA</b>   | <b>263,189 ±S.F.</b> | <b>6.04 ±AC.</b>   | <b>40.70 %</b>  |
| EXISTING IMPERVIOUS TO BE REMOVED (OLD TEXACO SITE & OTHERS) (-)41,222 ±S.F. |                      |                    |                 |
| EXISTING IMPERVIOUS TO BE REMOVED (OLD BANK OF AMER. SITE) (-)35,340 ±S.F.   |                      |                    |                 |
| <b>POND AREAS</b>  | <b>55,222 ±S.F.</b>  | <b>1.27 ±AC.</b>   | <b>8.56 %</b>   |
| <b>PERVIOUS AREA</b>   | <b>327,891 ±S.F.</b> | <b>7.53 ±AC.</b>   | <b>50.74 %</b>  |
| <b>TOTAL SITE AREA</b>   | <b>646,302 ±S.F.</b> | <b>14.84 ±AC.*</b> | <b>100.00 %</b> |

**SITE AREA CALCULATIONS (PROPOSED & EXISTING)**

| BUILDINGS FOOTPRINT                                  | AREA (±S.F.)         | ACRES              | %               |
|--|----------------------|--------------------|-----------------|
| EXISTING BUILDINGS                                   | 75,729 ±S.F.         |                    |                 |
| PROPOSED BUILDINGS                                   | 47,450 ±S.F.         |                    |                 |
| PROPOSED & EXISTING CONCRETE, SIDEWALK & ASPHALT (*) | 166,775 ±S.F.        |                    |                 |
| <b>IMPERVIOUS AREA</b>                               | <b>289,954 ±S.F.</b> | <b>6.66 ±AC.</b>   | <b>44.88 %</b>  |
| <b>POND AREAS</b>                                    | <b>71,185 ±S.F.</b>  | <b>1.63 ±AC.</b>   | <b>10.98 %</b>  |
| <b>PERVIOUS AREA</b>                                 | <b>282,163 ±S.F.</b> | <b>6.55 ±AC.</b>   | <b>44.14 %</b>  |
| <b>TOTAL SITE AREA</b>                               | <b>646,302 ±S.F.</b> | <b>14.84 ±AC.*</b> | <b>100.00 %</b> |

**MAXIMUM IMPERVIOUS REQUIREMENTS**

| CITY OF BELLE ISLE | ALLOWABLE IMPERVIOUS SURFACE RATIO - ISR | PROPOSED IMPERVIOUS SURFACE RATIO - ISR |
|--------------------|--|---|
| CITY OF BELLE ISLE | 0.80                                     | 0.45                                    |

**BUILDING SETBACKS**

| STREET            | BUILDINGS            | REQUIRED | PROPOSED |
|-------------------|----------------------|----------|----------|
| HANSEL AVENUE     | (BUILDINGS D & E)    | 15'      | 15.5'    |
| WALTHAM AVENUE    | (BUILDINGS A1 & E)   | 14'      | 14.6'    |
| FAIRLANE AVENUE   | (BUILDINGS B, C & D) | 7'       | 7.5'     |
| E. WALLACE STREET | (BUILDING D)         | 4'       | 4.3' (*) |
| RANDOLPH AVENUE   | (BUILDING G)         | 5'       | 5'       |

(\*) DUMPSTER WALL: ZERO SETBACK

**LANDSCAPE BUFFERS (REQUIRED)**

| STREET            | REQUIRED | PROPOSED |
|-------------------|----------|----------|
| HANSEL AVENUE     | 15'      | 15'      |
| WALTHAM AVENUE    | 14'      | 14'      |
| FAIRLANE AVENUE   | 7'       | 7'       |
| E. WALLACE STREET | 4'       | 4'       |
| RANDOLPH AVENUE   | 5'       | 5'       |

**OPEN SPACE CALCULATIONS**

OPEN SPACE PROVIDED: 44%

**RECREATION AREA:**

SPORT FIELD AREA: 2.66 AC

**LIGHTING NOTE:**

LIGHTING SHALL MEET CITY OF BELLE ISLE REQUIREMENTS.

**STORMWATER NOTE:**

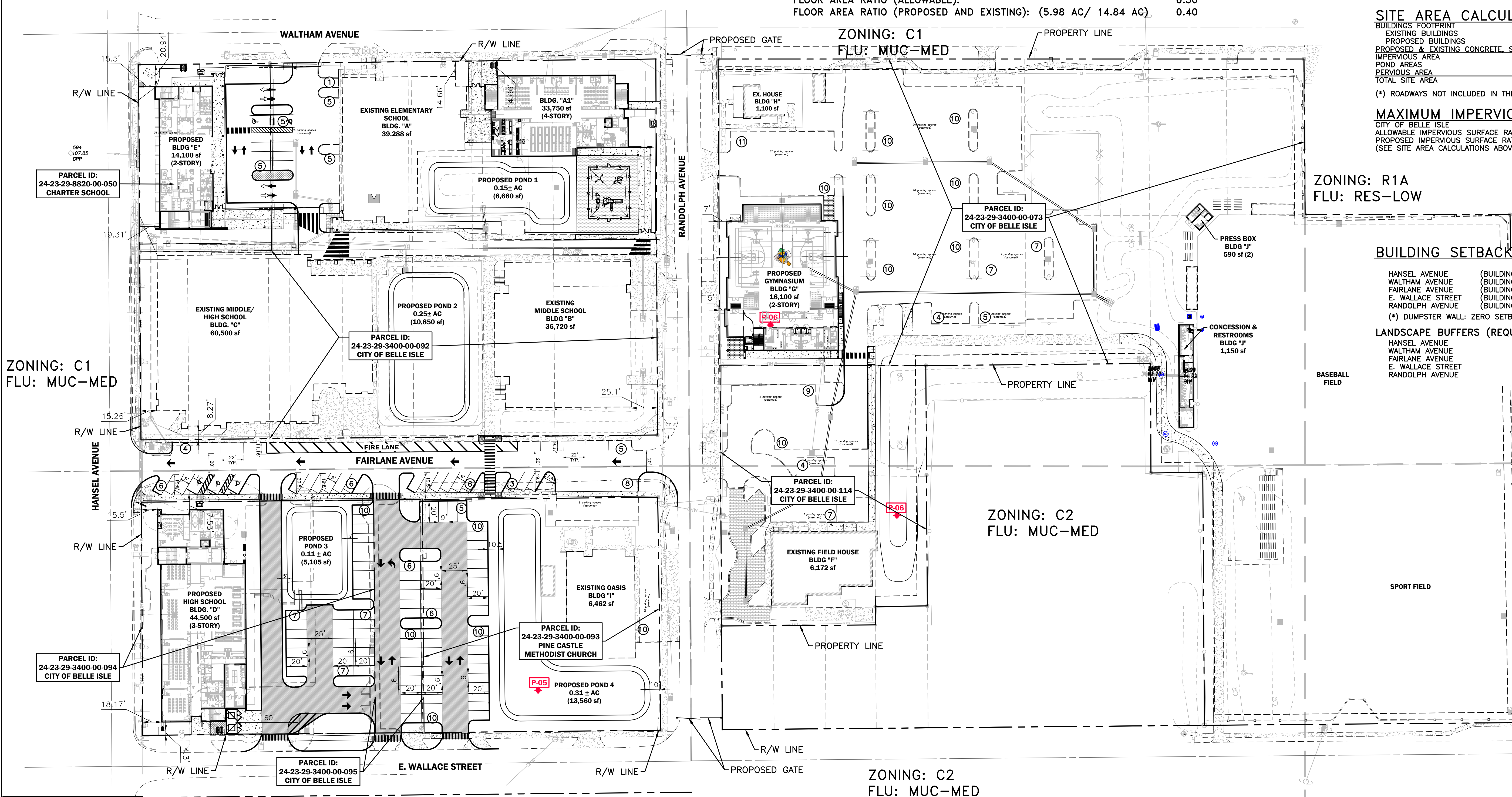
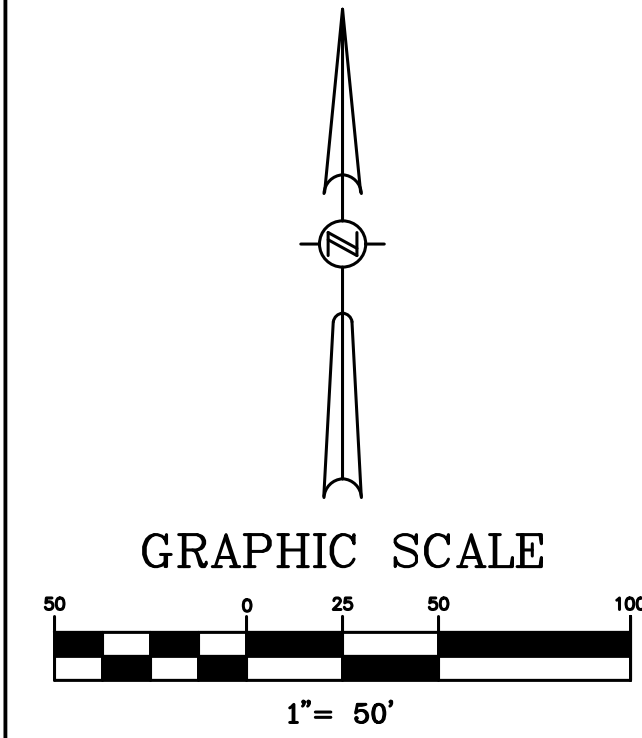
THE PROPOSED STORMWATER SYSTEM WILL BE DESIGNED TO MEET THE CITY OF BELLE ISLE AND SJRWMD REQUIREMENTS.

**UTILITIES NOTE:**

THE PROPOSED WATER AND SEWER DESIGN WILL BE DESIGNED TO MEET ORANGE COUNTY UTILITIES AND ORLANDO UTILITIES COMMISSION REQUIREMENTS.

**SITE NOTE:**

ALL CONSTRUCTION DETAILS ARE CONCEPTUAL AND SUBJECT TO REVIEW AND MODIFICATION DURING THE APPROVAL OF FINAL CONSTRUCTION PLANS.



| DATE | REVISIONS | BY | CHECKED |
|------|-----------|----|---------|
|      |           |    |         |

**CORNERSTONE CHARTER ACADEMY**  
**MASTER PLAN**  
**CITY OF BELLE ISLE, FLORIDA**



5127 S. Orange Avenue, Suite 200  
 Orlando, FL 32809  
 Phone: 407-895-0324  
 Fax: 407-895-0325  
 www.feg-inc.us

**OVERALL MASTER SITE PLAN**

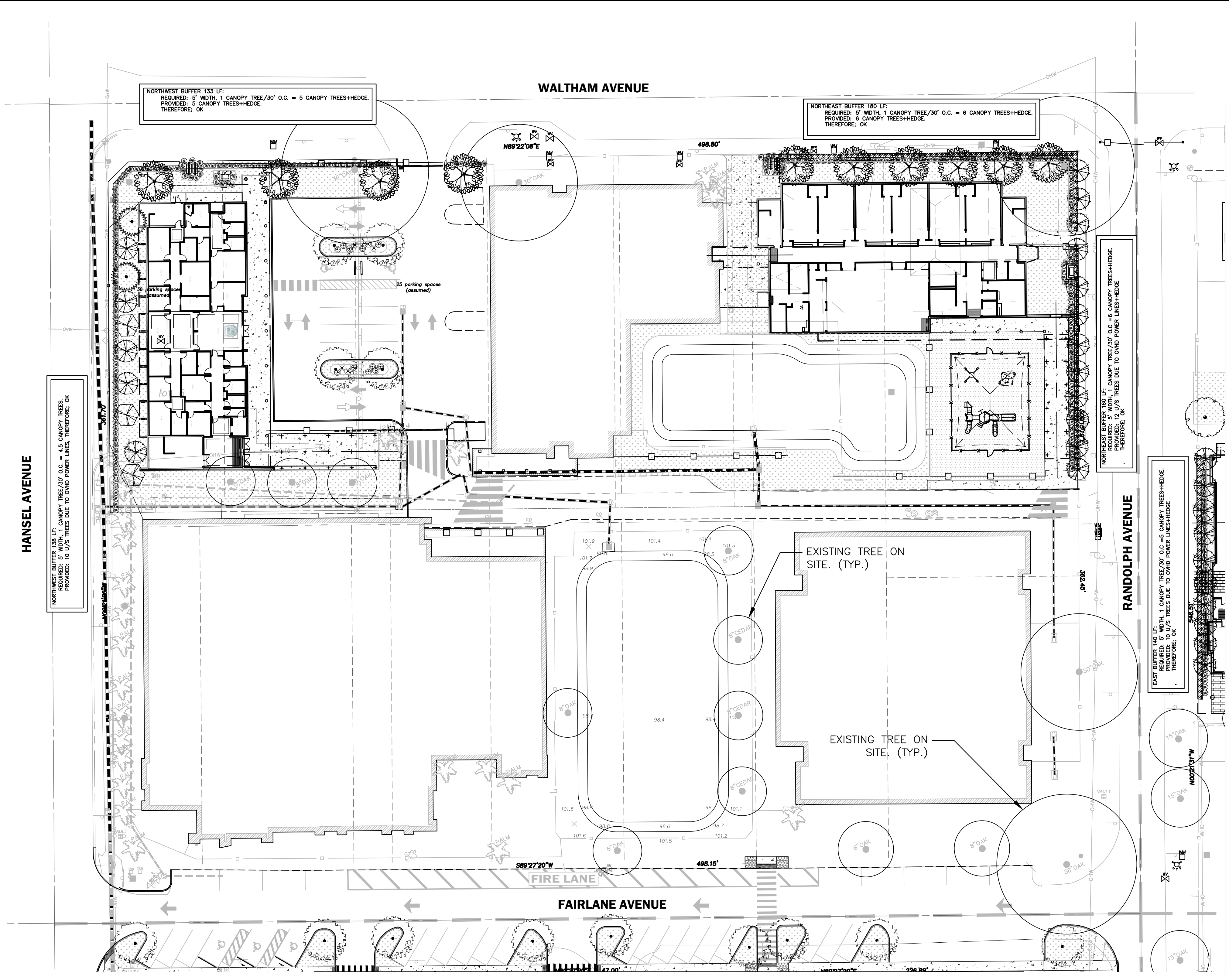
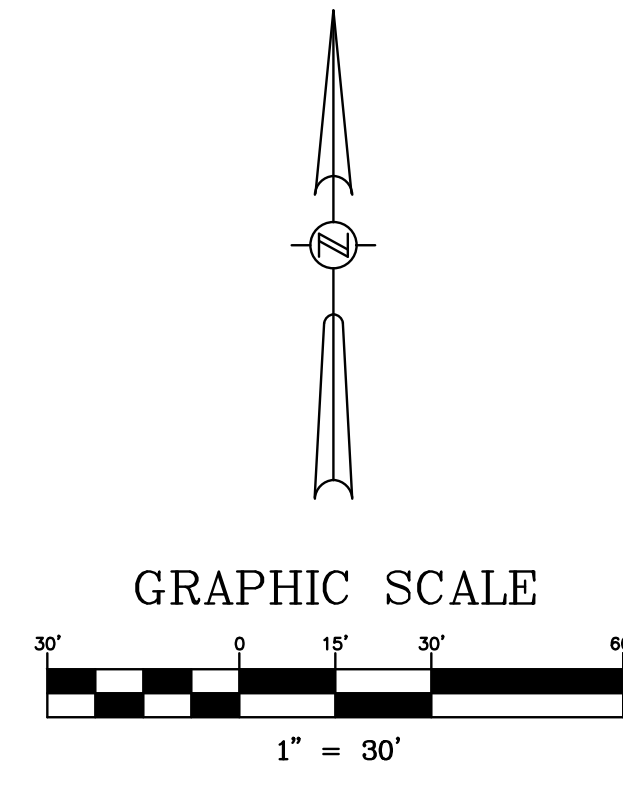
| DESIGNED BY | DRAWN BY | CHECKED BY | APPROVED BY |
|-------------|----------|------------|-------------|
| JAA         | VP       | JAA        | JAA         |

PROJECT NO. 22-010  
 SCALE 1" = 50'  
 DATE FEBRUARY 9, 2023  
 SHEET NO. C-9  
 SHEET 9 OF 12

Digitally signed by JEAN M. ABLI-AOUN  
 DN: c=US, o=FLORIDA ENGINEERING GROUP INC, ou=A01410D00000172C87078BF0000F7AE, cn=JEAN M ABLI-AOUN  
 Date: 2023.02.09 10:24:38 -0500

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY (ENGINEER), P.E. ON (DATE) USING A SHA-1 AUTHENTICATION CODE.  
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA-1 AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

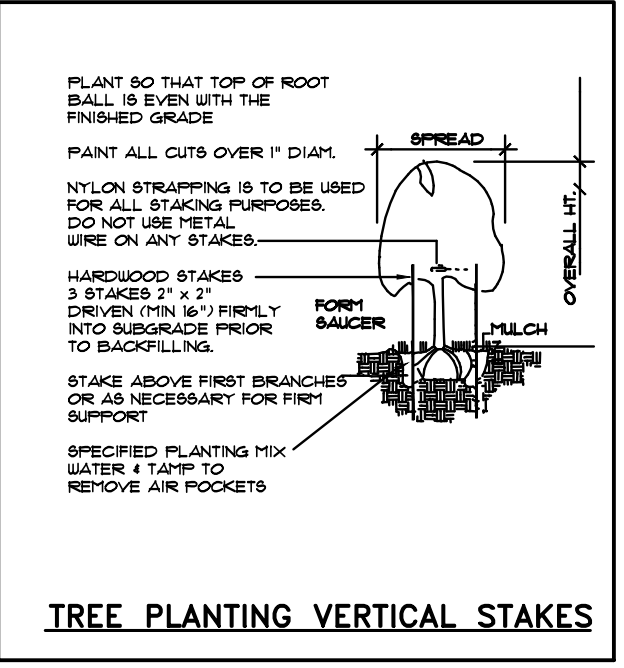
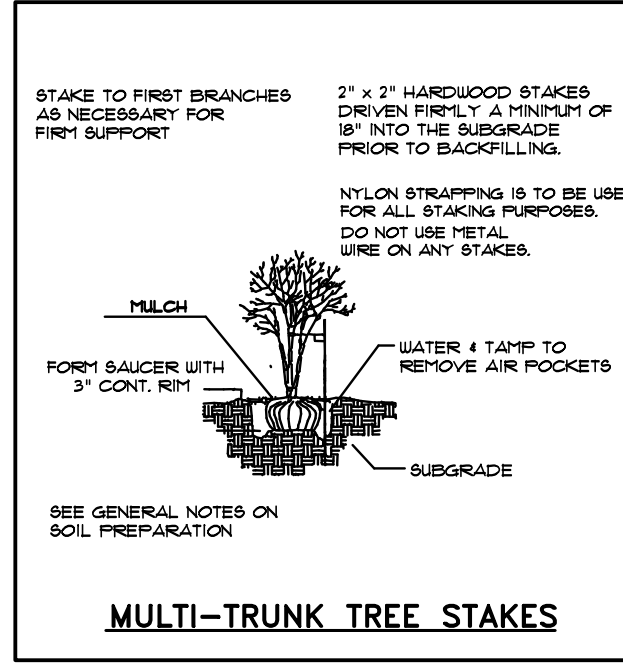
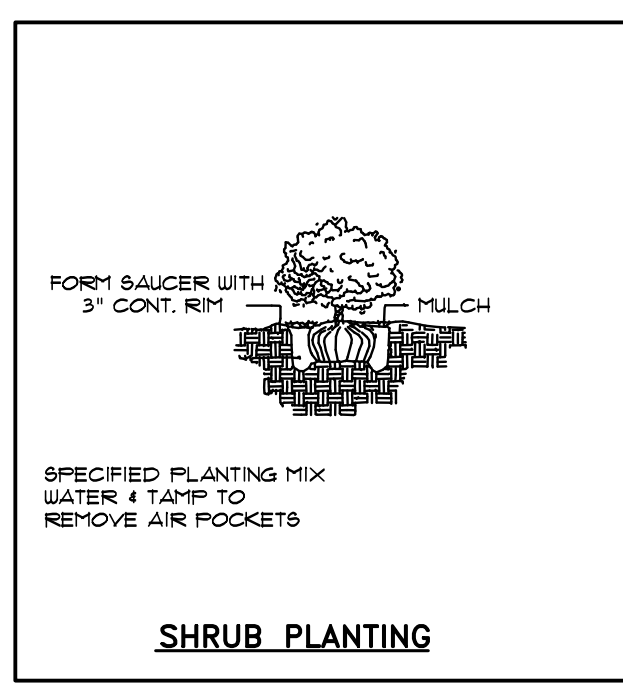




| FLORIDA NATIVE LANDSCAPE SCHEDULE |      |                                |                           |                         |          |                         |
|-----------------------------------|------|--------------------------------|---------------------------|-------------------------|----------|-------------------------|
| SYMBOL                            | ABR. | BOTANICAL NAME                 | COMMON NAME               | CANOPY TREES            |          |                         |
|                                   |      |                                |                           | MINIMUM SIZE            | QUANTITY | REMARKS                 |
|                                   | QV   | QUERCUS VIRGINICA 'HIGH RISE'  | HIGH RISE LIVE OAK        | 12' HT. 4" CAL.         | 41       | SPECIMEN Y              |
|                                   | AR   | ACER RUBRUM                    | RED MAPLE                 | 10'-12' HT. 3" CAL.     | 1        | SPECIMEN Y              |
|                                   | UA   | ULMUS ALATA                    | WINGED ELM                | 10'-12' HT. 3" CAL.     | 10       | SINGLE STRAIGHT TRUNK Y |
|                                   | LL   | LIGUSTRUM LUCIDUM              | TREE LIGUSTRUM            | 10'- HT.                | 10       | Y                       |
|                                   | IA   | ILEX ATTENUATA 'EAGLESTON'     | EAGLESTON HOLLY           | 6'-8" HT. 3" CAL.       | 35       | Y                       |
|                                   | LI   | LAGERSTROEMIA INDICA 'NATCHEZ' | NATCHEZ CRAPE MYRTLE      | 10' HT                  | 7        | Y                       |
| SHRUBS                            |      |                                |                           |                         |          |                         |
|                                   | VB   | VIBURNUM ODORATISSIMUM         | VIBURNUM                  | 30" HT. 36" O.C.        | X        | Y                       |
|                                   | PA   | PLUMBAGO AURICULATA            | PLUMBAGO                  | 3 GAL. 24" HT. 36" O.C. | X        | Y                       |
|                                   | TA   | DWARF ASIATIC JASMINE          | TRACHELOSPERMUM ASIATICUM | 1 GAL. 12" O.C.         | X        | Y                       |
| SOD/MISC.                         |      |                                |                           |                         |          |                         |
|                                   | SOD  | BAHIA HYBRID                   | QTY. BY CONTRACTOR        |                         |          |                         |

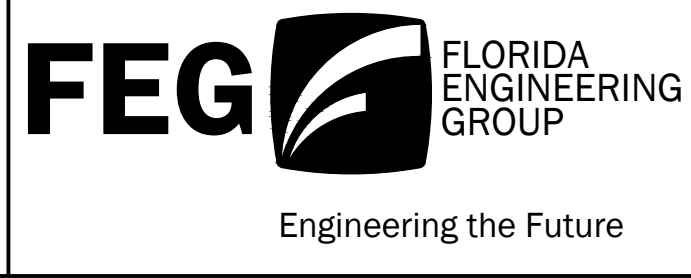
**LANDSCAPE NOTES**

- IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE ACTUAL NUMBER OF PLANTS SHOWN ON THE PLAN, THE PLAN SHALL CONTROL. THE LANDSCAPE CONTRACTOR SHALL NOTIFY FEG OF ANY DISCREPANCY PRIOR TO ISSUANCE OF BIDS.
- ALL NEW PLANTINGS MUST COMPLY WITH THE SIZES AND QUANTITIES SHOWN IN THE PLANT LIST. ALL PLANTS MUST COMPLY WITH THE APPLICABLE JURISDICTIONAL CODE. PER THE FLORIDA GUIDES AND STANDARDS MANUAL ALL NEW TREES SHALL HAVE THEIR CALIPER MEASURED AT 6" ABOVE GRADE FOR ALL TREES UP TO AND INCLUDING 4" CALIPER TREES AND 12" ABOVE GRADE FOR ALL LARGER TREES.
- ALL PLANTING BEDS AND TREE SAUCERS TO HAVE ORGANIC MULCH TO A DEPTH OF 2" MINIMUM. AREAS WITH SLOPES GREATER THAN 4:1 SHALL HAVE MULCH RINGS OR TERRACED IN LONGER BEDS DESIGNED TO CAPTURE WATER AND REDUCE EROSION. TOPS OF MULCH RINGS OR TERRACES ARE TO BE LEVEL WITH RESPECT TO GRADE AND MULCH ON THE HIGH SIDE OF THE PLANTS.
- A TWELVE MONTH WARRANTY IS TO BE PROVIDED FOR ALL NEW PLANT MATERIALS STARTING FROM THE DATE OF FINAL CERTIFICATE OF OCCUPANCY OR ACCEPTANCE BY THE OWNER. WARRANTY CAN EXCLUDE PLANTS LOST DUE TO ACTS OF GOD OR VANDALISM. REPLACEMENT OF DEAD OR UNHEALTHY PLANT MATERIALS SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR WITHIN 30 DAYS OF NOTIFICATION IN CONFORMANCE WITH THE APPROVED LANDSCAPE PLAN.
- ALL DISTURBED AREAS WITHIN THE PROJECT LIMITS SHALL BE FULLY SODDED ASIDE FROM DEFINED PLANTING BEDS. SOD SHALL BE FREE OF WEEDS AND NOXIOUS PESTS OR DISEASES. DISTURBED AREAS OUTSIDE OF PROJECT LIMITS SHALL BE SEEDED AND MULCHED UNLESS STEEPER THAN 5:1. PROVIDE SOD ON SLOPES STEEPER THAN 5:1. ALL DRY PONDS CAN BE SEEDED AND MULCHED ON THE BOTTOMS AND SIDE SLOPES. WET PONDS ARE TO BE SODDED DOWN TO THE BOTTOM OF DESIGNED 5:1 OR 4:1 SIDE SLOPES.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OCCURRING ON SITE OR ADJACENT AREAS, INCLUDING, BUT NOT LIMITED TO BUILDINGS, PAVING, UTILITIES, ETC., WHICH IS CAUSED BY PREPARING OR INSTALLING ANY AND ALL PLANT MATERIAL.
- GRADE, DRESS AND SOD OR SEED AREAS THAT HAVE BEEN DISTURBED AS SOON AS POSSIBLE TO PREVENT EROSION.
- ALL PLANT MATERIAL SHALL BE SET BACK FROM THE BACK OF CURBS OR PAVEMENT. SET TREES 3 FEET BACK FROM CURBS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING IF THERE ARE ANY INVASIVE OR EXOTIC TREES LOCATED ON THE SITE AND IS REQUIRED TO REMOVE ALL INVASIVE SPECIES PER THE LOCAL JURISDICTION'S INVASIVE SPECIES LIST LOCATED IN THEIR CODE OF ORDINANCES. GENERAL CONTRACTOR TO CONFIRM WITH THE LANDSCAPE INSTALLER THAT NO INVASIVE OR EXOTIC PLANT MATERIALS EXIST ON SITE. INFORM LANDSCAPE ARCHITECT IF ANY OF THESE PLANTS EXIST.
- ANY PRUNING OF EXISTING TREES OR VEGETATION TO REMAIN AS A LANDSCAPE ELEMENT MUST BE CONDUCTED BY A CERTIFIED ARBORIST HOLDING A CURRENT CREDENTIAL WITH THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA). ALL PRUNING SHALL CONFORM TO THE ANSI A300 STANDARDS, PART 1; PRUNING. THE SPECIFICATIONS FOR PRUNING SHALL BE DETERMINED BY THE CERTIFIED ARBORIST OR A PERSON QUALIFIED TO CREATE PRUNING SPECIFICATIONS ACCORDING TO THE ANSI STANDARD. THE GREATEST EMPHASIS IN PRUNING SHALL BE THE SAFETY, HEALTH AND WELFARE OF THE TRAVELING OR PEDESTRIAN TRAFFIC ESPECIALLY AS IT RELATES TO PEOPLE OR PROPERTY WITHIN THE FAILURE FOOTPRINT OF THE TREE OR VEGETATION TO BE PRUNED. WHEN THERE ARE EXISTING TREES OR VEGETATION TO REMAIN, CONTRACTOR SHALL EMPLOY A CERTIFIED TREE SURGEON TO SELECTIVELY PRUNE AND TRIM ALL EXISTING PLANT MATERIALS TO PROVIDE A BALANCED APPEARANCE WHILE ALSO ELIMINATING ANY INTERFERENCE WITH THE NEW CONSTRUCTION OR SAFETY, VISIBILITY CORRIDORS.
- IRRIGATION (100% COVERAGE) SHALL BE PROVIDED IN ALL NEWLY PROPOSED PLANTING AREAS IN ACCORDANCE WITH THE JURISDICTIONAL LAND DEVELOPMENT CODE. SEE SHEET L-2, IRRIGATION PLAN FOR SPECIFICS.



| DATE | REVISIONS | BY | CHECKED |
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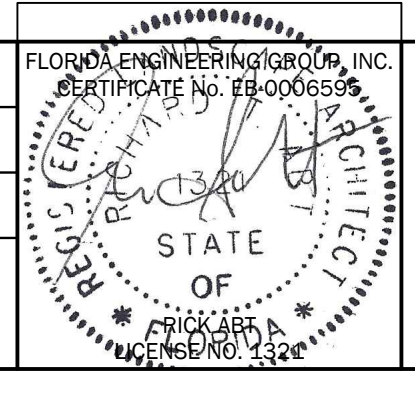
CORNERSTONE CHARTER ACADEMY  
 MASTER PLAN  
 CITY OF BELLE ISLE, FLORIDA



5127 S. Orange Avenue, Suite 200  
 Orlando, FL 32809  
 Phone: 407-895-0324  
 Fax: 407-895-0325  
 www.feg-inc.us

| SITE LANDSCAPE PLAN (1 OF 3) |          |            |             |
|------------------------------|----------|------------|-------------|
| DESIGNED BY                  | DRAWN BY | CHECKED BY | APPROVED BY |
| RTA                          | RTA      | RTA        | RTA         |

|             |                  |
|-------------|------------------|
| PROJECT NO. | 22-010           |
| SCALE       | 1" = 30'         |
| DATE        | FEBRUARY 9, 2023 |
| SHEET NO.   | L-1              |
| SHEET       | 10 OF 12         |



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MATCH LINE - SEE SHEET C-X

HANSEL AVENUE

SOUTH BUFFER (FAIRLANE AVE.) 300 LF=47 LF (DRIVEWAYS)=343 LF.  
REQUIRED: 5' WIDTH, 1 CANOPY TREE/30' O.C. = 12 CANOPY TREES+HEDGE.  
PROVIDED: 12 CANOPY TREES+HEDGE.  
THEREFORE, OK.

FAIRLANE AVENUE

S89°27'20"W

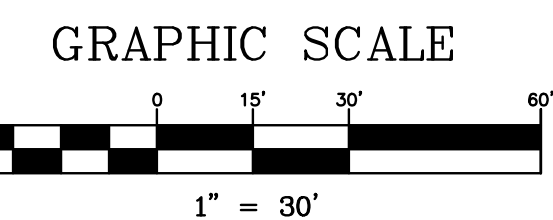
498.15'

47.00'

N89°27'20"E

224.80'

EXISTING TREE ON SITE. (TYP.)



1" = 30'

MATCH LINE - SEE SHEET L-3

RANDOLPH AVENUE

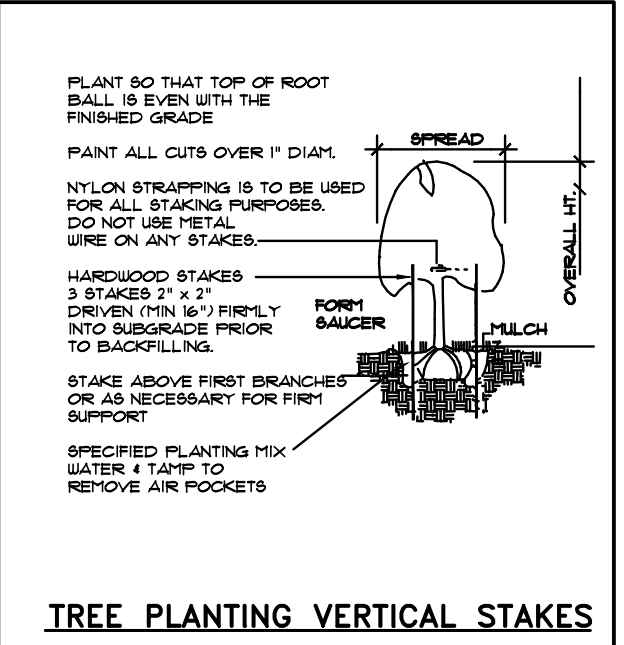
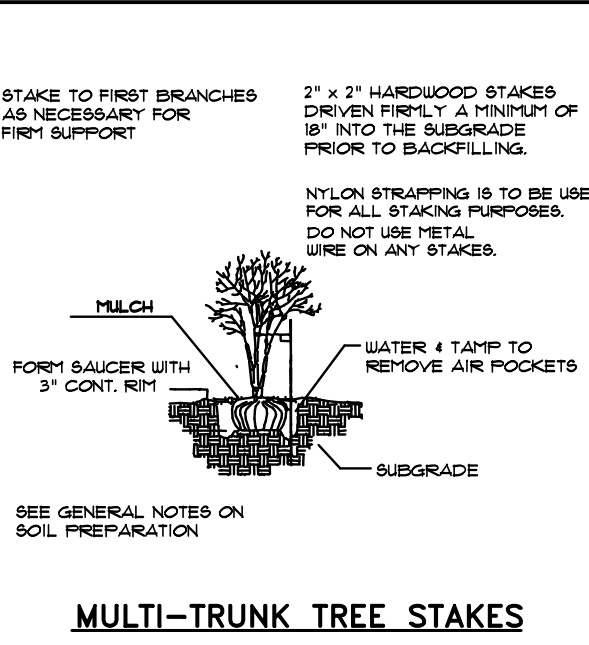
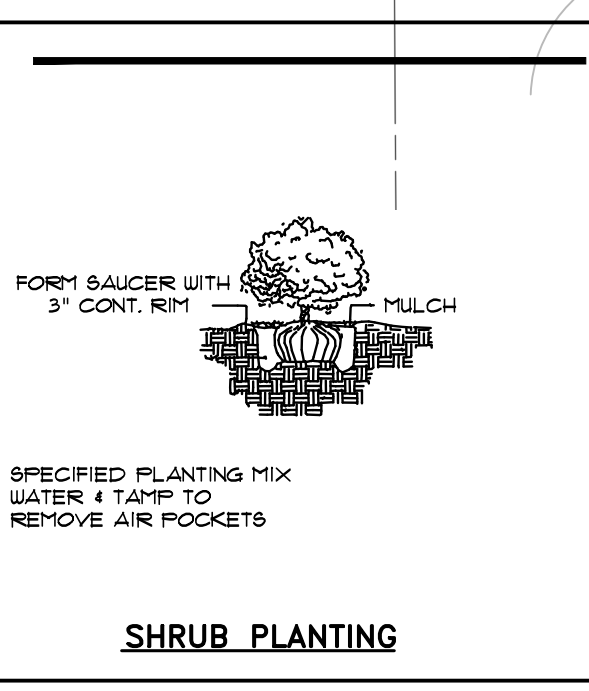
P-05

S89°26'22"W

47.00'

E. WALLACE STREET

SOUTHWEST BUFFER 500 LF=78 LF (DRIVEWAYS)=422 LF.  
REQUIRED: 5' WIDTH, 1 CANOPY TREE/30' O.C. = 14 CANOPY TREES+HEDGE.  
PROVIDED: 14 CANOPY TREES+HEDGE.  
THEREFORE, OK.



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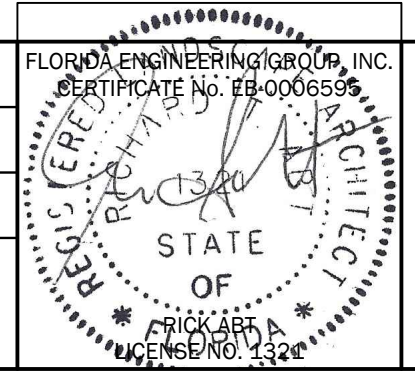


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SITE LANDSCAPE PLAN (2 OF 3)

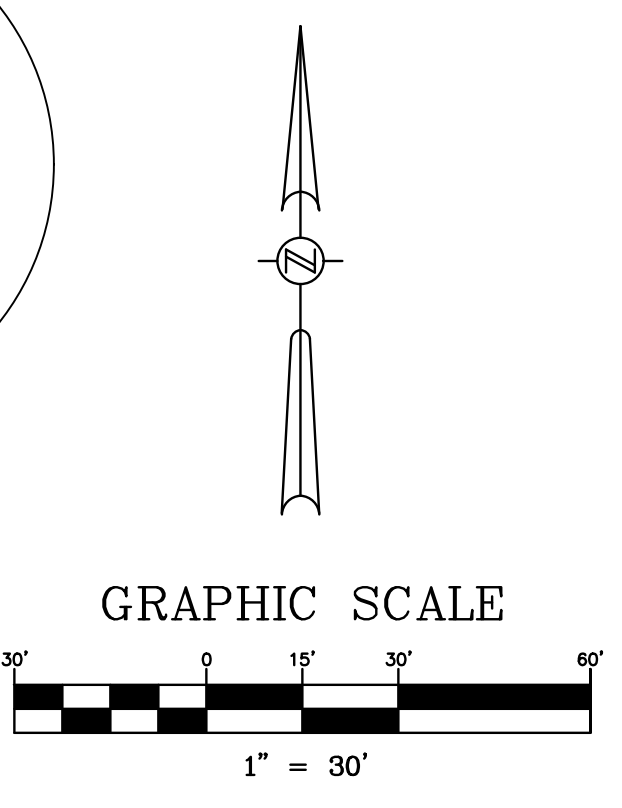
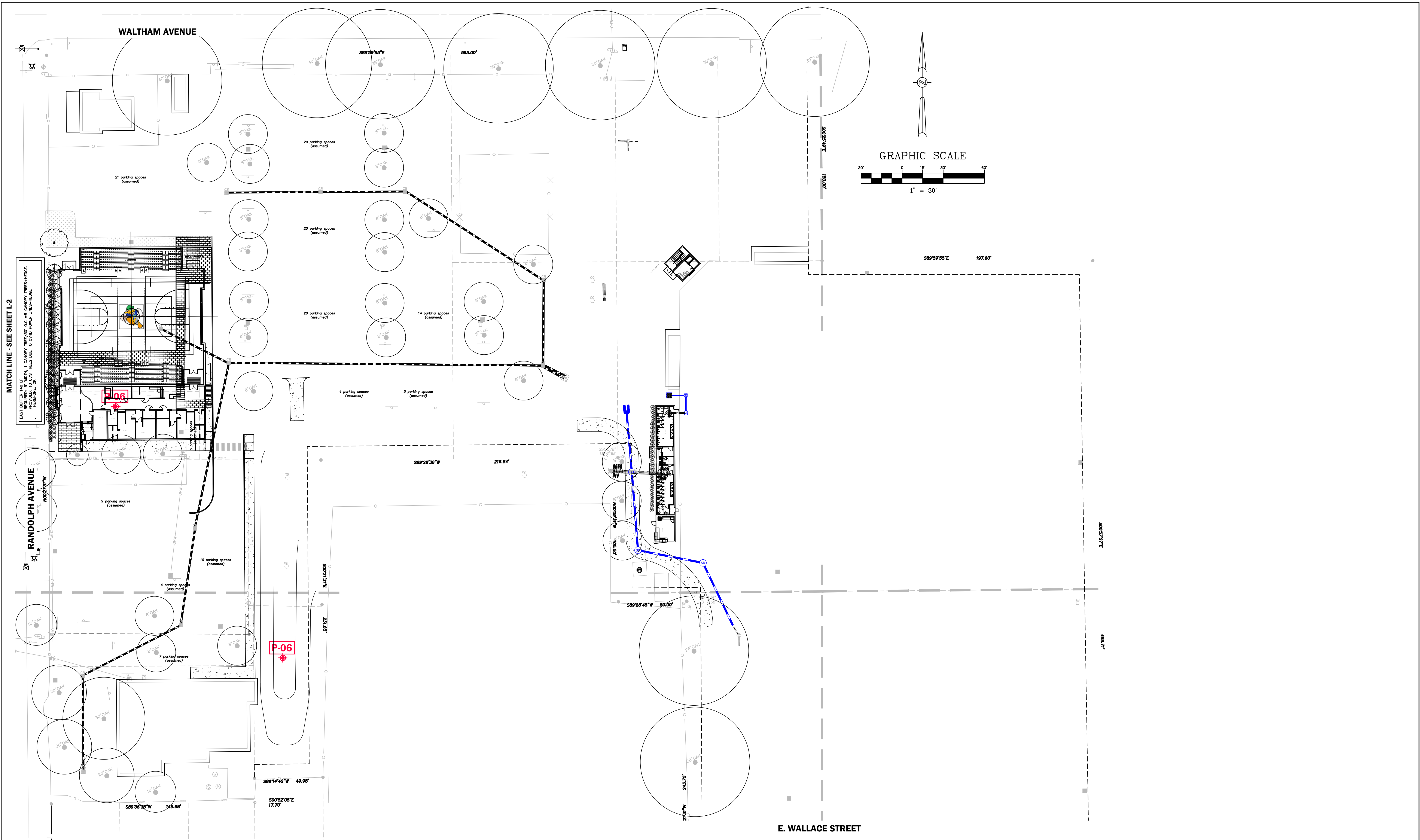
|             |          |            |             |
|-------------|----------|------------|-------------|
| DESIGNED BY | DRAWN BY | CHECKED BY | APPROVED BY |
| RTA         | RTA      | RTA        | RTA         |

|             |                  |
|-------------|------------------|
| PROJECT NO. | 22-010           |
| SCALE       | 1" = 30'         |
| DATE        | FEBRUARY 9, 2023 |
| SHEET NO.   | L-2              |
| SHEET       | 11 OF 12         |



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MATCH LINE - SEE SHEET L-2

RANDOLPH AVENUE

E. WALLACE STREET

| DATE | REVISIONS | BY | CHECKED |
|------|-----------|----|---------|
|      |           |    |         |
|      |           |    |         |
|      |           |    |         |

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 MASTER PLAN  
 CITY OF BELLE ISLE, FLORIDA

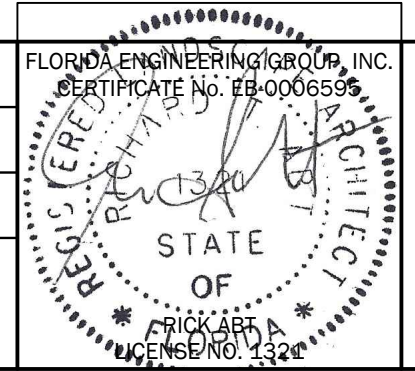


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SITE LANDSCAPE PLAN (3 OF 3)

|                    |                 |                   |                    |
|--------------------|-----------------|-------------------|--------------------|
| DESIGNED BY<br>RTA | DRAWN BY<br>RTA | CHECKED BY<br>RTA | APPROVED BY<br>RTA |
|--------------------|-----------------|-------------------|--------------------|

|             |                  |
|-------------|------------------|
| PROJECT NO. | 22-010           |
| SCALE       | 1" = 30'         |
| DATE        | FEBRUARY 9, 2023 |
| SHEET NO.   | L-3              |
| SHEET       | 12 OF 12         |



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