

MEMORANDUM

TO: Planning and Zoning Board
DATE: September 23, 2025
RE: Variance Application 2801 Hoffner Avenue

Planning and Zoning Case Number 2025-08-014

PURSUANT TO SECTION 42-64, THE CITY OF BELLE ISLE PLANNING AND ZONING BOARD SHALL REVIEW AND TAKE ACTION ON A REQUESTED VARIANCE FROM SECTION 50-73 (A), SECTION 50-102 (A)(2), AND SECTION 50-102 (A)(5)(F) TO ALLOW A DETACHED GARAGE TO BE BUILT THAT WOULD PROJECT INTO THE REQUIRED SIDE YARD BUILDING SETBACK AREA, BE LOCATED IN THE FRONT YARD, AND EXCEED THE MAXIMUM SIZE ALLOWED, SUBMITTED BY APPLICANT DANIEL KENNEDY, THE PROPERTY OWNER FOR THE PROPERTY LOCATED AT 2801 HOFFNER AVENUE, BELLE ISLE, FLORIDA 32812, ALSO KNOWN AS PARCEL ID # 18-23-30-4388-03-970.

Background:

1. On August 11, 2025, the applicant submitted a Variance application and the paperwork.
2. On September 11, 2025, letters to the abutting property owners were mailed within 300 feet of the subject property, and a legal advertisement was placed in the Orlando Sentinel on September 13, 2025.
3. The Board may adopt all, some, or none of these determinations as part of its findings of fact and add any additional findings of fact presented at the public hearing. The Board must determine if the criteria outlined in Chapter 42, Article III, Section 42-64(1) of the Land Development Code have been met and approve, approve with conditions, or deny this request.

SAMPLE MOTION TO APPROVE: "I MOVE, PURSUANT TO BELLE ISLE CODE 42—64, 50-73(A), SECTION 50-102 (A)(2), AND SECTION 50-102 (A)(5)(F) TO APPROVE A DETACHED GARAGE TO BE BUILT THAT WOULD PROJECT INTO THE REQUIRED SIDE YARD BUILDING SETBACK AREA, BE LOCATED IN THE FRONT YARD, AND EXCEED THE MAXIMUM SIZE ALLOWED, SUBMITTED BY APPLICANT DANIEL KENNEDY, THE PROPERTY OWNER FOR THE PROPERTY LOCATED AT 2801 HOFFNER AVENUE, BELLE ISLE, FLORIDA 32812, ALSO KNOWN AS PARCEL ID # 18-23-30-4388-03-970.

SAMPLE MOTION TO DENY: "I MOVE, PURSUANT TO BELLE ISLE CODE 42-64, 50-73(A), SECTION 50-102 (A)(2), AND SECTION 50-102 (A)(5)(F), HAVING NOT BEEN MET, TO DENY *[use only if NONE of the justifying criteria have been met] the requirements of, Subsections: [state only the subsections below that are not satisfied] having NOT been met; [may be used in addition to above or alone]* A DETACHED GARAGE TO BE BUILT THAT WOULD PROJECT INTO THE REQUIRED SIDE YARD BUILDING SETBACK AREA, BE LOCATED IN THE FRONT YARD, AND EXCEED THE MAXIMUM SIZE ALLOWED, SUBMITTED BY APPLICANT DANIEL KENNEDY, THE PROPERTY OWNER FOR THE PROPERTY LOCATED AT 2801 HOFFNER AVENUE, BELLE ISLE, FLORIDA 32812, ALSO KNOWN AS PARCEL ID # 18-23-30-4388-03-970.

Or the Board can request that it be tabled to a date certain to allow for revisions as discussed.

SUBSECTION (D), a literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship, and that said hardship is created by special conditions and circumstances peculiar to the land, structure, or building involved, including but not limited to dimensions, topography, or soil conditions.

SUBSECTION (E), personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Code or for the purpose of obtaining a variance.

SUBSECTION (F), the variance is the minimum variance that will make possible the reasonable use of the land, building or structure.

SUBSECTION (G), the granting of the variance will be in harmony with the general purpose and intent of the Code, will not be injurious to the neighborhood, will not be detrimental to the public welfare, and will not be contrary to the public interest.



City of Belle Isle

1600 Nela Avenue, Belle Isle, FL 32809

Tel 407-851-7730 * Fax 407-240-2222 * www.belleislefl.gov

CITY OF BELLE ISLE
BUILDING DEPARTMENT
RCD: 8/11/25
1:20 pm

Variance and Special Exception Application

City Code Chapter 42, Art. II, Sec. 41-61 thru 41-72 AND Sec 42-64 Land Development Code

APPLICANT <u>Daniel Kennedy</u>	OWNER <u>George & Debra Kennedy Family Trust</u>
ADDRESS <u>2801 Hoffner Ave Belle Isle</u>	PROJECT ADDRESS <u>2801 Hoffner Ave</u>
CONTACT NUMBER <u>321-689-2866</u>	OWNER'S CONTACT NUMBER <u>321 689 2866</u>
EMAIL <u>DKennedy084@gmail.com</u>	OWNER'S EMAIL <u>DKennedy084@gmail.com</u>
PARCEL ID# <u>18-23-30-4388-03-976</u>	
LAND USE CLASSIFICATION	ZONING DISTRICT <u>R-1-AA Single family home</u>
SECTION OF THE CODE VARIANCE REQUESTED ON <u>50-102(a)(2) 50-102(a)(5)</u>	
DETAILED VARIANCE REQUEST <u>see attached letter please</u>	
<ul style="list-style-type: none"> The applicant hereby states that the property for which this hearing is requested has not been the subject of a hearing before the Planning and Zoning Board of the kind and type requested in the application within nine (9) months. Further, the requested user does not violate any deed restriction of the property. By applying, I authorize City of Belle Isle employees and members of the P&Z Board to enter my property during reasonable hours to inspect the area to which the application applies. The applicant shall provide a minimum of ten (10) sets of three (3) photographs in support of this application as follows: at least one (1) picture of the front of the property and at least two photos (from different angles) of the specific area of the property to which the application applies. 	
APPLICANTS SIGNATURE <u>[Signature]</u>	OWNER'S SIGNATURE <u>[Signature]</u>
<input checked="" type="checkbox"/> VARIANCE <input type="checkbox"/> SPECIAL EXCEPTION <input type="checkbox"/> OTHER	P&Z CASE NUMBER <u>2025-08-014</u> DATE OF HEARING <u>9-23-2025</u>

Sec. 42-64. - Variances. The Board shall have the power to approve, conditionally approve or deny applications for a variance from the terms of the Land Development Code.

Criteria. The Board shall not approve an application for a variance from terms of the Land Development Code unless and until:

- A written application for a variance is submitted to the city manager or the city manager's designee on a form provided by the city clerk setting forth all of the special conditions and circumstances that exist in favor of the granting of the variance and addressing the requirements of subsections (1)d—g of this section of the criteria set forth in this section. Upon submission of the properly completed application and the appropriate fee, the city manager or the city manager's designee shall refer the application to the board.

- Notice of public hearing for the variance shall be given as required by the article for hearing before the board.
- The public hearing on the application for the variance shall be held. The applicant, the applicant's agent as evidenced by a signed writing or the applicant's attorney shall appear before the board.
- It is determined that literal enforcement of the provisions of the zoning ordinances would result in unnecessary hardship and that said hardship is created by special conditions and circumstances peculiar to the land, structure or building involved, including but not limited to dimensions, topography or soil conditions.
- It has been determined that personal hardship is not being considered as grounds for a variance since the variance will continue to affect the character of the neighborhood after title to the property has passed and that the special conditions and circumstances were not created in order to circumvent the Land



City of Belle Isle

Universal Engineering Sciences 3532 Maggie Blvd., Orlando, FL 32811
Tel 407-581-8161 * Fax 407-581-0313 * www.universalengineering.com

Building / Land Use Permit Application

DATE: _____

PERMIT # _____

PROJECT ADDRESS 2801 Hoffman Ave, Belle Isle, FL 32809 ✓ 32812

PROPERTY OWNER George & Debra Kennedy Family Trust PHONE 321 689 2866 VALUE OF WORK (labor & material) \$ 30,000

PLEASE LIST THE NATURE OF YOUR PROPOSED IMPROVEMENTS

Detached garage for storage, etc. Will match existing structure architecturally.

Please provide information, if applicable.

- **SINGLE FAMILY RESIDENCE:** 8.5"x11" Plat Survey, Plot Plan of Home and Floor Plans of New Construction/Revision Required
- **BOAT DOCK:** DEP Clearance Required with Application (Call 407-897-4100); please provide a copy of their report
- **SEPTIC SYSTEM (RESIDENTIAL):** - Provide verification of OC Health Dept approval for on-site septic tank system, per FAC Chap. 64E-6
- Homeowners will be required to have a contractor on record for homes that are rented and/or not homestead

Please Complete for the City of Belle Isle Zoning Review: **Parcel Id Number:** 18-23-30-4588-03-970

To obtain this information, please visit <http://www.ocpafil.org/Searches/ParcelSearch.aspx>

SPECIAL CONDITIONS: STRUCTURES MAY NOT ENCROACH INTO ANY EASEMENT OR REQUIRED SETBACK. Survey specific foundation plan required to show compliance with zoning setbacks. Note: this Zoning Approval MAY or MAY NOT be in conflict with your Deed Restrictions. For New Single Family Residence, a Traffic Impact Fee and School Impact will be assessed.

PLANNING & ZONING APPROVAL: _____
DATE _____

PLEASE COMPLETE for Building Review (min. of 2 sets of signed/sealed plans required)

CONSTRUCTION TYPE Detached garage
OCCUPANCY GROUP _____ Comm _____ Res: ✓ Single Fam _____ Multi Fam _____
#BLDG. _____ #UNITS _____ #STORIES 1 **TOTAL SQ.FT.** 905
MAX. FLOOR LOAD _____ MAX. OCCUPANCY _____
MIN. FLOOD ELEV. _____ LOW FLOOR ELEV. _____
WATER SERVICE _____ WELL _____ SEPTIC _____

BUILDING REVIEWER _____ DATE _____

VERIFIED CONTRACTOR'S LICENSE & INSURANCE ARE ON FILE _____ DATE _____

Per FSS 105.3.3:

An enforcing authority may not issue a building permit for any building construction, erection, alteration, modification, repair or addition unless the permit either includes on its face or there is attached to the permit the following statement: "NOTICE: In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies, or federal agencies."

JJ's Waste & Recycling is by legal contract the sole authorized provider of garbage, recycling, yard waste, and commercial garbage and construction debris collection and disposal services with the city limits of the City. Contractors, homeowners and commercial businesses may JJ's Waste & Recycling at 407 298-3932 setup accounts for Commercial, Construction Roll Off, or other services needed. Rates are fixed by contract and are available at City Hall or from JJ's Waste & Recycling. The City enforces the contract through its code enforcement office. Failure to comply will result in a stop work order.

SEPARATE PERMITS ARE REQUIRED FOR ROOFING, ELECTRICAL, PLUMBING, GAS, MECHANICAL, SIGNS, POOLS, ENCLOSURES, ETC.

Wind Exposure Category: B ✓ C _____ D _____

SPRINKLERS REQ'D		Y	N	
If Required - SUBMIT COPY OF PLANS FOR FIRE				
REVIEW	Date: Sent		RCD	
ZONING	Y	N		\$ _____
CERT OF OCC	Y	N		\$ _____
TRAFFIC	Y	N		\$ _____
SCHOOL	Y	N		\$ _____
FIRE	Y	N		\$ _____
SWIMMING POOL	Y	N		\$ _____
SCREEN ENCLOSURE	Y	N		\$ _____
ROOFING	Y	N		\$ _____
BOAT DOCK	Y	N		\$ _____
BUILDING	Y	N		\$ _____
WINDOW(S)	Y	N		\$ _____
DOOR(S)	Y	N		\$ _____
FENCE	Y	N		\$ _____
SHED	Y	N		\$ _____
DRIVEWAY	Y	N		\$ _____
OTHER	Y	N		\$ _____

1% BCAIB FEE _____

1.5% DCA FEE _____

TOTAL _____

OTHER PERMITS REQUIRED:

ELECTRICAL	Y	NA
PREPOWER	Y	NA
MECHANICAL	Y	NA
PLUMBING	Y	NA
ROOFING	Y	NA
GAS	Y	NA

To Whom It May Concern,

My name is Daniel Kennedy, and I am the owner of the property located at 2801 Hoffner Avenue, Belle Isle, FL 32812. I am writing to formally request a variance from the City of Belle Isle Land Development Code in order to construct a detached garage/accessory structure on my property.

Due to the unique orientation and layout of my lot, it is not feasible to construct the proposed accessory structure in the rear yard as required by current zoning regulations. The existing home is positioned in a way that severely limits usable space in the rear yard, leaving the front yard as the only practical location for the proposed garage. As such, I am respectfully requesting a variance to allow for the construction of an accessory structure in the front yard that will be utilized as parking & storage.

The proposed garage will be designed and constructed to match the architectural style and materials of the existing residence to ensure visual cohesion and maintain the aesthetic character of the neighborhood. The structure will comply with all applicable sections of the Florida Building Code and LDC, except those directly addressed in this variance request.

The relevant code sections from the Belle Isle Land Development Code that will be non-compliant include:

- Section 50-102(a)(2) – Accessory buildings, including garages, are only permitted in the side and rear yards and are prohibited in the front yard.
- Section 50-102(a)(5) – Provides dimensional and placement requirements for garages in residential districts, including setbacks, height, and square footage limits.

I also respectfully submit that similar structures are present in the front yards of other properties along Hoffner Avenue, including:

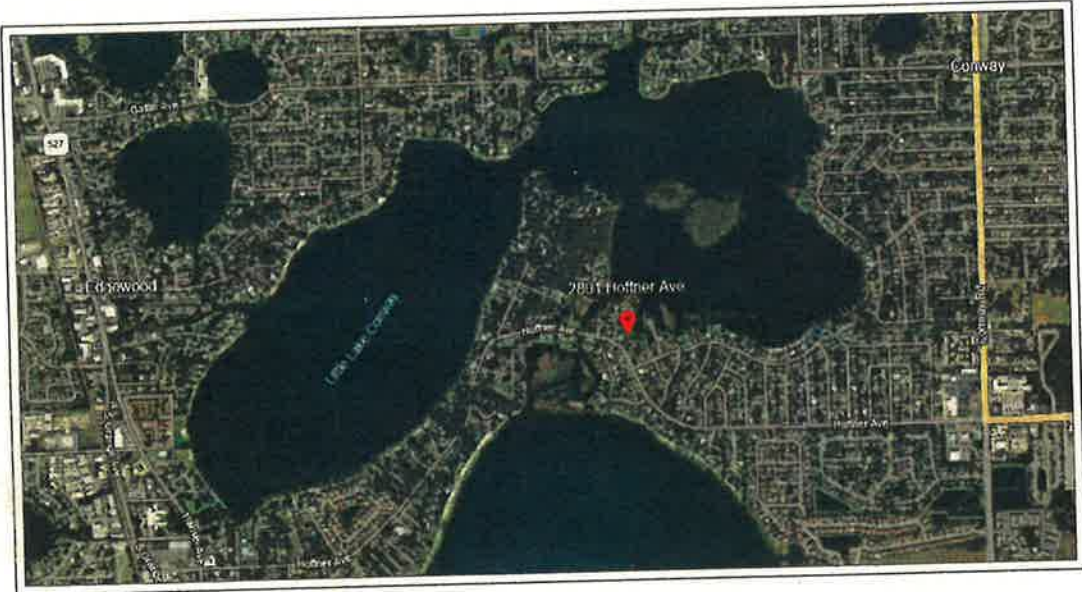
- 2526 Hoffner Ave
- 1959 Hoffner Ave

These examples illustrate that the presence of accessory structures in front yards is not without precedent in the area.

I am committed to ensuring that any construction on my property aligns with the character of the community and complies with the City's standards as closely as possible. I appreciate your consideration of my request and am happy to provide any additional information or documentation as needed. Please do not hesitate to reach out, should you have any questions or require further clarification.

NEW DETACHED GARAGE

2801 HOFFNER AVE.
BELLE ISLE, FL 32812



PROJECT DESCRIPTION: THIS PROJECT IS TO CONSTRUCT A NEW, 25.5'x35.5' (905 SF) SECONDARY, DETACHED GARAGE IN THE FRONT YARD FOR ADDITIONAL STORAGE FOR TRAILER; BASED ON THE GARAGE'S PROPOSED LOCATION AND SIZE, A VARIANCE WILL BE REQUIRED TO BE SUBMITTED AND APPROVED PRIOR TO ANY CONSTRUCTION



SHEET INDEX

- S0 - GENERAL NOTES
- S1 - EXIST. SURVEY & PROPOSED SITE PLAN
- S2 - FOUNDATION PLAN
- S3 - ROOF FRAMING PLAN
- S4 - SECTION & CONNECTION DETAILS & MEP PLAN
- A1- ELEVATIONS
- C1- DRAINAGE PLAN

ACCESSORY STRUCTURES SHALL COMPLY WITH SECTION 50-102 OF THE LAND DEVELOPMENT CODE FOR THE CITY OF BELLE ISLE

ZONING DISTRICT:	R-1-AA / SINGLE-FAMILY HOME
LOT SIZE:	18,895 SF
ATTACHED STRUCTURE:	NO
SECONDARY GARAGE:	YES
GARAGE LOCATION:	FRONT YARD (VARIANCE REQUIRED)
MAXIMUM SIZE ALLOWED:	600 SF (VARIANCE REQUIRED)
MAXIMUM HEIGHT (TOP OF ROOF PEAK):	20'
MINIMUM SIDE YARD SET BACK:	7.5'
MINIMUM FRONT YARD SET BACK:	30' (VARIANCE REQUIRED)
MINIMUM REAR YARD SET BACK:	10'



T: (813)-364-2036
E: ESCOBARENGINEERINGLLC@GMAIL.COM

PROJECT NO: 240420 DATE: 3/31/2025



ESCobar, Grant, Timothy Herbert, P.E.
263317315
Date: 2023.03.31
09:07:20 -04'00'

ACCURACY STATEMENT:
This document has been electronically signed and sealed by the Engineer above using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

PROJECT:	NEW DETACHED GARAGE	CLIENT:	DANIEL KENNEDY 2801 HOFFNER AVE. BELLE ISLE, FL 32812
REVISION:		DATE:	
TITLE:	COVER SHEET		
SHEET:	COVER		

DESIGN CRITERIA

ALL WORK SHALL CONFORM TO THE 8TH EDITION OF THE FLORIDA BUILDING CODE, 2023

ULT WIND SPEED (Vult): 150 MPH
NOM WIND SPEED (Vasd): 116 MPH
WIND EXPOSURE CAT: B
RISK CAT: II

ROOF LIVE LOAD: 20 PSF
ROOF DEAD LOAD: 20 PSF
FLOOR LIVE LOAD: 40 PSF
FLOOR DEAD LOAD: 15 PSF

FEMA FLOOD ZONE: X & AE (ELEV. 88')

GENERAL

- FLORIDA LICENSED CONTRACTOR AND ALL SUB-CONTRACTOR SHALL ADHERE TO ALL LOCAL AND COUNTY APPLICABLE BUILDING AND ZONING CODES; THIS INCLUDES ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE CODES
- ALL CONSTRUCTION SHALL COMPLY WITH THE MINIMUM REQUIREMENTS AND STANDARDS SET FORTH IN THE APPLICABLE BUILDING CODES
- ALL FLORIDA APPROVED PRODUCTS, MATERIALS, AND STRUCTURAL CONNECTIONS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS
- NO STRUCTURAL CHANGES OR DEVIATIONS FROM THE APPROVED PLANS SHALL BE MADE WITHOUT EXPRESSED WRITTEN APPROVAL FROM THE ENGINEER-OF-RECORD
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER PROJECT DRAWINGS, CONSTRUCTION NOTES, AND/OR PROJECT SPECIFICATIONS; ANY DISCREPANCY SHOULD BE REPORTED TO THE ENGINEER-OF-RECORD IMMEDIATELY

EXISTING AS-BUILT STRUCTURES

- THE CONTRACTOR AND/OR OWNER (IF OWNER-BUILDER) MUST VERIFY IN FIELD (VIS) ALL EXISTING (E) CONDITIONS AND DIMENSIONS NOTED ON PLANS PRIOR TO CONSTRUCTION. THE AS-BUILT DRAWINGS HAVE BEEN PREPARED BASED ON INFORMATION PROVIDED BY OTHERS OR BY INFORMATION COLLECTED IN THE FIELD BY THE ENGINEER DURING SITE VISIT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER-BUILDER TO NOTIFY THE ENGINEER-OF-RECORD OF ANY OMISSIONS OR DISCREPANCIES IN WRITING IF THE EXISTING CONDITIONS DO NOT MATCH THE AS-BUILT DRAWINGS. ADDITIONALLY, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY STRUCTURAL DAMAGE OR CODE VIOLATIONS ARE IDENTIFIED DURING ANY TIME THROUGHOUT THIS PROJECT.
- THE ENGINEER'S SEAL ONLY APPLIES TO THE ARCHITECTURAL AND STRUCTURAL COMPONENTS WITHIN THIS DOCUMENT. THE SEAL DOES NOT INCLUDE CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR SAFETY PRECAUTIONS WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL SHOWING OF EXISTING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY SHOWING SHOWN ON THE PLANS IS CONCEPTUAL ONLY.
- INSPECTIONS DURING THE PROJECT REQUIRED BY THE CONTRACTOR, OWNER, LENDER, INSURER, BUILDING DEPARTMENT, OR ANY OTHER PARTY WILL BE ACCOMPLISHED BY THE ENGINEER-OF-RECORD AT THE OWNER'S EXPENSE. THE ENGINEER MUST BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE.

SOIL

- DESIGN ASSUMES MINIMUM ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF UNDO.
- SOIL TO BE COMPACTED TO A 95% STANDARD PROCTOR UTILIZING VIBRATORY COMPACTOR; CONTRACTOR TO VERIFY.
- TESTING AND VERIFICATION OF SUB-GRADE CONDITIONS AND PREPARATION SHALL BE PERFORMED BY TESTED LOCATIONS FAILING TO MEET REQUIREMENTS SHALL BE RE-COMPACTED AND RETESTED PRIOR TO CONSTRUCTION
- TERMITE-TREAT EXPOSED SOIL WITH APPROVED BAITING SYSTEMS AND/OR PEST COES PRIOR TO CONSTRUCTION

FOUNDATION

- FOUNDATIONS IS DESIGNED BASED ON PRESUMPTIVE SAFE MINIMUM ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF ON COMPACTED FILL
- GRADING, SOIL, AND FOUNDATION CONSTRUCTION SHALL COMPLY WITH THE REQUIREMENTS OF THE GEOTECHNICAL REPORT PERFORMED BY OTHERS
- ALL FOOTINGS SHALL BE CENTERED UNDER WALLS AND COLUMNS UNDO.

CONCRETE

- OPERATION, INSTALLATION, AND PROCEDURES TO COMPLY WITH ACI 118 AND ACI 308 STANDARDS
- MINIMUM COMPRESSIVE STRENGTH (F'c) OF 2000 PSI AT 28 DAYS UNDO.
- STEEL REINFORCEMENT SHALL COMPLY WITH THE REQUIREMENTS OF ASTM A615, A616, AND A617 AND HAVE A MINIMUM YIELD STRENGTH (Fy) OF 60,000 PSI (GRADE 60) UNDO.
- CONCRETE SHALL BE MIXED AND DELIVERED IN MIXER TRUCKS TO THE SITE. CONCRETE SHALL BE PLACED AND FINISHED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS FOR READY-MIX CONCRETE (ASTM C147) OR CONCRETE MADE BY VOLUNTARY BATCHING AND CONTINUOUS MIXING (ASTM C94).
- POLYETHYLENE VAPOR RETARDER SHALL BE 4-MIL THICK AND SHALL BE APPLIED OVER THE POROUS LAYER (BASE COURSE OR SUBGRADE) AND/OR THE CONCRETE FLOOR SLAB (BELOW THE SLAB AND FOOTING); ALL JOINTS TO BE LAPPED MINIMUM 6" AND SEALED
- SLABS ARE DESIGNED AS UNREINFORCED PLAIN CONCRETE SLABS ON GRADE
- ONE OF THE FOLLOWING METHODS OF CRACK CONTROL SHALL BE USED:
 - CONTRACTION JOINTS SHALL BE CUT OR TOOLED IN THE SLAB A MINIMUM OF 6" AND TO BE MADE WITHIN 24 HOURS OF CONCRETE PLACEMENT; CONTRACTION JOINTS IN A 4" THICK SLAB SHALL BE PLACED NO MORE THAN 10' APART IN BOTH DIRECTIONS
 - 4-MIL WELDED WIRE REINFORCEMENT FABRIC (WWF) SHALL CONFORM TO ASTM A646 AND A647
 - MICRO OR MACRO SYNTHETIC FIBER REINFORCEMENT SHALL BE 10" TO 2 1/4" IN LENGTH, DRY WEIGHT 0.0015 LBS PER CUBIC FOOT, AND TO BE MIXED WITH 24 HOURS OF CONCRETE PLACEMENT; CONTRACTION JOINTS IN A 4" THICK SLAB SHALL BE PLACED NO MORE THAN 10' APART IN BOTH DIRECTIONS
- SPECIFICATIONS, SYNTHETIC FIBERS SHALL COMPLY WITH ASTM C1106
- MINIMUM CONCRETE COVER OVER REINFORCEMENT SHALL BE 2" FOR CONCRETE PLACED AGAINST EARTH, 1 1/2" FOR STRUCTURAL SLABS ON GRADE, 2" FOR FORMED CONCRETE WITH EARTH BACKFILL, AND 3/4" FOR CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND
- KEEP REINFORCEMENT CLEAN AND FREE OF DIRT AND OIL; CHECK FOR CORROSION PRIOR TO PLACEMENT AND REPLACE IF NECESSARY
- CONCRETE SHALL NOT BE PLACED DURING RAIN; FOLLOWING PLACEMENT OF CONCRETE, PROTECT FROM RAIN DURING PERIOD OF INITIAL SET
- INSTALL AND PLACE ALL EMBEDDED ITEMS SUCH AS ANCHOR BOLTS, DOWELS, STRAPPING, ETC. IMMEDIATELY PRIOR TO PLACEMENT OF CONCRETE OR DURING POURING OPERATIONS

WOOD FRAMING

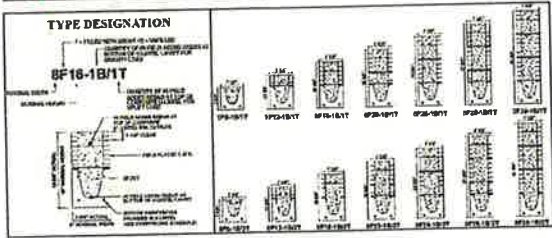
- LUMBER SHALL BE SAW THE NATIONAL GRADING RULES AND SHALL BEAR GRADE STAMP OF SPIB OR OTHER RECOGNIZED AND APPROVED ASSOCIATED BY THE AMERICAN INSTITUTE OF WOOD CONSTRUCTION
- NOMINAL 2x LUMBER OR LESS IN THICKNESS SHALL NOT EXCEED 10% MOISTURE CONTENT AT TIME OF INSTALLATION AND SHALL BE STAMPED "S-DRY, K-2, OR MCW"
- ALL WOOD FRAMING SHALL COMPLY WITH THE LATEST EDITION OF THE NDS FOR WOOD CONSTRUCTION
- ALL LOAD BEARING COMPONENTS TO BE #1 SYP OR BETTER UNDO, PARTITION (NON-LOAD BEARING) COMPONENTS SHALL BE SYP UTILITY GRADE OR EQUAL
- ALL EXPOSED WOOD OR WOOD IN CONTACT WITH THE GROUND, MASONRY, OR CONCRETE SHALL BE PRESERVED TREATED
- ENGINEERED WOOD PRODUCTS TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND SHALL NOT BE UTILIZED FOR EXTERIOR USE UNDO
- "LVL" DENOTES 1-1/4" WIDE "2" DE MICRO LAM LVL BEAM MANUFACTURED BY TRUS JOIST CORP. OF THE DESIGN INDICATED
- "I-J" DENOTES MANUFACTURED WOOD I-JOISTS BY TRUS JOIST CORP. OF THE SERIES AND DESIGN INDICATED
- GENERAL WOOD FRAMING AND FASTENERS NOT SPECIFICALLY SPECIFIED SHALL COMPLY WITH THE PRESCRIPTIVE (NON-ENGINEERED) REQUIREMENTS OF THE BUILDING CODE
- SCREWS, NAILS, AND BOLTS SHALL COMPLY WITH THE AMERICAN INSTITUTE OF WOOD CONSTRUCTION AND SHALL MATCH MATERIAL AND COATING OF HANDERS AND OTHER CONNECTIONS; DO NOT MIX STAINLESS STEEL WITH GALVANIZED PRODUCTS; ALL EXPOSED AND EXTERIOR FASTENERS SHALL BE GALVANIZED
- WALL, FLOOR, AND ROOF FRAMING
 - ALL WALL STUDS SHALL BE CONTINUOUS FROM FLOOR TO FLOOR OR FROM FLOOR TO ROOF
 - INSTALL BLOCKING AT ALL WALL STUDS OVER 8'-0" IN HEIGHT AT MID-HEIGHT
 - ALL BEAMS AND HEADERS SHALL BE BRACED AGAINST ROTATION AT POINTS OF BEARING AND SHALL BE A MINIMUM OF (2) PLAYS UNDO
 - ALL BUILT-UP STUD COLUMNS (STUD PACK COLUMNS) TO NAIL ALL LAMINATIONS WITH 8d @ 12" FULL-HEIGHT, STAGGERED
 - DOUBLED AND TRIPLED MEMBERS (E.G., COLUMNS OR (2) STUDS) SHALL BE SPIKED TOGETHER 2-4" WITH 16D NAILS AT 16" O.C. FOR DOUBLED MEMBERS, ALTERNATE SIDE FROM WHICH NAILS ARE GIVEN FOR TRIPLED MEMBERS, SPIKE AT 16" O.C. FROM BOTH SIDES
 - ALL COLUMNS MUST HAVE A CONTINUOUS LOAD PATH TO FOUNDATION
 - EXTERIOR AND INTERIOR BEARING WALLS SHALL BE 2x4 FRAMING SPACED AT 16" ON CENTER UNDO
 - INTERIOR PARTITION (NON-LOAD BEARING) WALLS SHALL BE 2x4 FRAMING SPACED AT 16" ON CENTER UNDO
- STRUCTURAL SHEATHING
 - ALL PLYWOOD AND ORIENTED STRAND BOARD (OSB) SHALL BE SAW APA PS 1-01 WITH ALL SHEETS BEARING APPROPRIATE GRADING STAMP OF APA AND SPAN RATING
 - SHEATHING SHALL NOT EXCEED 10% MOISTURE CONTENT WHEN INSTALLED
 - EXTERIOR WALL SHEATHING SHALL BE MINIMUM 1/2" THICK 24" SPAN RATED STRUCTURAL SHEATHING WITH ALL EDGES BLOCKED AND NAILED
 - FLOOR SHEATHING SHALL BE MINIMUM 23/32" THICK 24" SPAN RATED FOR FLOOR SYSTEMS SPACED AT 16" O.C. AND 18" SPAN RATED FOR FLOOR SYSTEMS SPACED GREATER THAN 16" O.C. TO BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS WITH NO NAILS @ 12" O.C. IN THE FIELD AND 6" O.C. AT ALL PANEL EDGES
 - ROOF SHEATHING SHALL BE MINIMUM 1 1/8" THICK SUPPORTED OVER 24" MAXIMUM SPAN UNDO WITH FASTENERS SPECIFIED IN ROOF FRAMING DETAIL

MASONRY

- MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF THIS 402.6.02, ACI 530, AND ASCE 8
- CONCRETE MASONRY UNITS (CMU) BLOCKS SHALL MEET ASTM C-90, GRADE N-1 FOR HOLLOW LOAD BEARING CELLS WITH TYPE I MASONRY WITH A COMPRESSIVE STRENGTH OF (900 PSI) MINIMUM BASED ON THE NET CROSS SECTIONAL AREA
- CMU BLOCKS SHALL BE NORMAL WEIGHT, 16" x 8" x 8" TWO-HOLE, SQUARE END BLOCKS UNDO; UNITS SHALL HAVE A ROUGH TEXTURE FOR STUCCO APPLICATION
- ALL MORTAR SHALL CONFORM TO ASTM C111, TYPE "S" OR "M"
- COURSE GROUT SHALL CONFORM TO ASTM C111 WITH A MAXIMUM AGGREGATE SIZE OF 3/8" AND A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI
- FILL CMU BLOCK CELLS WITH GROUT AT ALL UNITS RECEIVING REINFORCEMENT AS INDICATED ON DRAWINGS
- FILL SOLID FIRST COURSE BELOW CHARGE IN WALL THICKNESS AND AT TOP OF ALL CMU BLOCK WALLS UNDO
- GROUT SHALL BE PLACED FLUSH TO THE TOP OF ALL LINTELS AND BOND BEAMS
- GROUT SHALL BE PLACED FLUSH TO THE TOP OF ALL LINTELS AND BOND BEAMS
- CONSOLIDATE AND RECONSOLIDATE GROUT WITH VIBRATOR FOR FULL HEIGHT OF FILLED CELLS, BOND BEAMS, AND LINTELS
- VERTICAL REINFORCEMENT SHALL BE HELD IN POSITION AT THE TOP AND THE BOTTOM AND AT A MAXIMUM SPACING OF 8'-0" UNDO; REINFORCEMENT SHALL BE PLACED IN THE CENTER OF THE MASONRY CELL
- EXPANSION TYPE ANCHORS ARE NOT TO BE USED IN BOND COURSE; EMBEDDED ANCHORS OR EPOXY FASTENED STUDS SHALL BE USED
- ALL MASONRY UNITS SHALL BE LAID IN RUNNING BOND UNDO
- VERTICAL FILLED CELLS SHALL HAVE A MINIMUM OF (2) #5 BAR LAPPED AND TIED INTO THE FOUNDATION DOWEL, AND A STANDARD 90° HOOK AT THE TOP, LAPPED AND TIED TO THE HORIZONTAL REINFORCING IN THE TOP OF THE WALL; SEE CHART BELOW FOR MINIMUM LAP AND HOOK LENGTHS

REINFORCING STEEL MINIMUM REQUIREMENTS			
BAR SIZE	MINIMUM LAP	MINIMUM BEND DIA.	MINIMUM ANCHOR
#4	20"	3"	10"
#5	25"	3-1/2"	10"
#6	30"	4-1/2"	12"
#7	40"	5-1/4"	12"

- PROVIDE TEMPORARY BRACING FOR ALL CMU BLOCK WALLS AND STEM WALLS DURING CONSTRUCTION
- PROVIDE MASONRY CONTROL JOINTS AS REQUIRED BY ACI 530
- ALL LINTELS TO BE PRECAST LINTELS BY CAST-CRETE UNDO.



- MINIMUM COMPRESSIVE STRENGTH FOR PRECAST LINTELS OF 3000 PSI
- REBAR PROVIDED IN PRECAST LINTEL PER ASTM A615 GRADE 60
- 7/8" WIRE PER ASTM A615
- FOR LINTEL LENGTHS NOT SHOWN, USE SAFE LOAD FROM NEXT LONGEST LENGTH
- PROVIDE FULL WELDED WIRE AND REIN UNITS
- SHORE FILLED LINTELS AS REQUIRED
- INSTALLATION OF LINTELS MUST COMPLY WITH DRAWINGS
- ALL VALUES ARE BASED ON MINIMUM 4" BEARING; SAFE LOADS ARE TOTAL SUPERIMPOSED ALLOWABLE LOADS ON THE SECTION SPECIFIED
- ONE #7 REBAR MAY BE USED FOR (2) #5 REBAR IN 8" LINTELS ONLY
- ALL SAFE LOADS IN UNITS OF POUNDS PER LINEAR FOOT, ALL SAFE LOADS BASED ON SIMPLY SUPPORTED SPAN

FASTENERS & CONNECTIONS

- ALL SCREWS, NAILS, AND BOLTS SHALL COMPLY WITH AMERICAN INSTITUTE OF WOOD CONSTRUCTION REQUIREMENTS AND SHALL MATCH MATERIAL AND COATING OF HANDERS AND OTHER CONNECTIONS; DO NOT MIX STEEL WITH GALVANIZED PRODUCTS. ALL NAILS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED
- WOOD CONNECTIONS, STRAPS, OR HOLD-DOWNS SPECIFIED IN THE DRAWINGS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S DRAINAGE AND RECOMMENDATIONS
- FASTENERS AND CONNECTORS USED ON NON-TREATED LUMBER EXPOSED TO THE ENVIRONMENT SHALL BE GALVANIZED
- CONNECTION HARDWARE SHALL BE SIMPSON STRONG-TIE UNDO
- CAST-IN-PLACE ANCHOR BOLTS SHALL BE 1/2" IN DIAMETER EMBEDDED 7", USE 1/2" LONG ANCHOR BOLTS AT 24" SILL PLATES UNDO; ANCHOR BOLTS SHALL BE FULL BODY AND HAVE CUT THREADS OR NOMINAL DIAMETER ROLLED THREADS; ALL ANCHOR BOLTS TO HAVE 2" 4" X 1/2" PLATE WASHERS
- EXPANSION ANCHORS IN CONCRETE SHALL MEET THE REQUIREMENTS OF ACI 308.2, PRE-APPROVED EXPANSION ANCHORS SHALL BE SIMPSON STRONG-BOLT
- ADHESIVE ANCHORS IN CONCRETE SHALL MEET THE REQUIREMENTS OF ACI 308.2, PRE-APPROVED ADHESIVE ANCHORS SHALL BE SIMPSON SET-XP OR SIMPSON AT-XP
- SCREW ANCHORS IN CONCRETE SHALL MEET THE REQUIREMENTS OF ACI 308.2, PRE-APPROVED SCREW ANCHORS SHALL BE SIMPSON TREN-HD AND CAN ONLY BE INSTALLED IN DRY, INTERIOR, OR NON-CORROSIVE ENVIRONMENTS, NOT INTENDED FOR EXTERIOR EXPOSED APPLICATIONS
- BOLT BOLTS SHALL BE 1/4" MAXIMUM LARGER THAN BOLT SIZE; USE STANDARD CUT WASHERS UNDER BOLT HEADS OR NUTS AGAINST WOOD

ELECTRICAL

- ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE (NEC) AND THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) AS WELL AS ANY OTHER LOCAL ORDINANCES
- ALL WIRING SHOWN IN DIAGRAMS FOR SWITCHES AND CONTROLS; ALL LIGHT FIXTURES SHALL BE CONNECTED TO EXISTING CIRCUITRY AND RUN THROUGH ELECTRICAL PANEL
- THE ELECTRICAL CONTRACTOR SHALL VISIT THE SITE AND EXAMINE ALL CONDITIONS AFFECTING THE EXECUTION OF THE ELECTRICAL LAYOUT PLAN AND NOTIFY THE ENGINEER-OF-RECORD OF ANY DISCREPANCIES
- IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO COORDINATE AND OVERSEE ALL ELECTRICAL WORK WITHIN THE PLANS WITH ALL TRADES
- SMALL DETECTORS SHALL COMPLY WITH NFPA 720 AND SHALL BE HARDWIRED WITH BATTERY BACKUP TO A NON-SWITCHABLE LIGHTING CIRCUIT AND SHALL NOT BE CONNECTED TO THE LOAD SIDE OF A GROUND FAULT CIRCUIT INTERRUPTER AND SHALL NOT BE PLACED WITHIN 3 FEET OF ANY A/C GRILL, BATHROOM OR KITCHEN DOORS, OR ANY FAN BLADE
- THE ELECTRICAL CONTRACTOR SHALL CHECK AND VERIFY EQUIPMENT FURNISHED AGAINST THOSE SPECIFIED OR INTENDED AND REVERSE BRANCH CIRCUITS AS MAY BE REQUIRED WITH PRIOR APPROVAL OF ENGINEER-OF-RECORD
- CHECK ALL EQUIPMENT FOR PROPER VOLTAGE, PHASE, AND CURRENT BEFORE CONNECTION TO CIRCUIT
- ALL 120V IN AND 20 AMP CIRCUITS TO BE ARC-FAULT PROTECTED; ALL 15 AND 20 AMP RECEPTACLES TO BE TAMPER RESISTANT
- ALL NEW ELECTRICAL SHALL COMPLY TO NEC 2017-2020
- THESE PLANS DO NOT SHOW EVERY MAJOR DETAIL OF CONSTRUCTION; THE ELECTRICAL CONTRACTOR IS RESPONSIBLE TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND MEET ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER

PLUMBING

- ALL PLUMBING WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE NATIONAL STANDARD PLUMBING CODE (NSPC) AS WELL AS ANY OTHER LOCAL ORDINANCES
- DRAWINGS ARE DIAGRAMMATIC; THEY ARE NOT INTENDED TO SHOW A COMPLETE WORKING SYSTEM; ITEMS REASONABLY INFERRED AS NECESSARY TO PROVIDE A COMPLETE AND FUNCTIONAL SYSTEM SHALL BE PROVIDED WHETHER SPECIFICALLY SHOWN OR NOT AND ANY DISCREPANCY OR OMISSION SHALL BE BROUGHT TO THE ENGINEER-OF-RECORD
- THE CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING AND PATCHING REQUIRED FOR THE COMPLETION OF THE WORK AND ALL MATERIAL SHALL BE NEW AND BEAR UNDERWRITER'S LABELS AS APPLICABLE
- ALL COPPER PIPES SHALL BE ISOLATED FROM DISSIMILAR METAL HANGERS
- IF APPLICABLE, ALL PENETRATIONS THROUGH RATED WALLS OR FLOORS SHALL BE PROTECTED WITH EQUALLY FIRE RATED FOAM, CAULK, OR PUTTY
- THE CONTRACTOR SHALL BE FAMILIAR WITH ALL EXISTING CONDITIONS, INCLUDING DETERMINATION OR ALL EXISTING PIPING SYSTEMS INCLUDING BUT NOT LIMITED TO: SANITARY, DOMESTIC WATER, AND STORM DRAINAGE
- PROVIDE DIELECTRIC FITTINGS BETWEEN ALL DISSIMILAR PIPING CONNECTIONS; ALL FIXTURES ARE TO BE SUPPLIED WITH APPROVED WATER HAMMER ARRESTORS
- IN THE INSTALLATION OR REMOVAL OF ANY PART OF A DRAINAGE SYSTEM, DEAD ENDS SHALL BE PROHIBITED
- ALL HOT WATER PIPING SHALL BE INSULATED WITH 1" AERAPLEX OR APPROVED EQUAL
- ALL FLOOR DRAINS ARE TO BE SUPPLIED WITH 1/2" TRAP PRIMES
- PROVIDE SHUT-OFF VALVES AT EACH FIXTURE WATER SUPPLY
- THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE WATER LINES AND SANITARY LINES HAVE THE REQUIRED SEPARATION
- PROVIDE A MINIMUM PITCH OF 1/4" FOR 1" OR LARGER PIPES AND 1/8" FOR PIPES LESS THAN 1"
- NO HOT WATER WITH A TEMPERATURE HIGHER THAN 140 DEGREES TO DISCHARGE INTO SANITARY SYSTEM AND ALL FIXTURES USING HOT WATER UNIT FLOW TO 0.5 GPM

FLORIDA PRODUCT APPROVAL INFORMATION

CATEGORY	MANUFACTURER	PRODUCT NO.
STRUCTURAL COMPONENTS	SIMPSON STRONG-TIE	16544.1 / 11473.3 / 10456.6
ROOFING - UNDERLAYMENTS	OWENS CORNING	9777.1
ROOFING - TILE	MONAIRE TILE	606-R6
ROOFING - BUILT UP	GAF	18715-R4
ROOFING - TPO	GAF	5293-R57
ROOFING - MODIFIED BITUMEN	GAF	5680-R41
ROOFING - ASPHALT SHINGLE	GAF	10124.1
PANEL - SOFFIT	AMERIMAX HOME PRODUCTS	5896.1

NOTE: P.A.C. LISTED ABOVE ARE GENERIC, MEET REQUIRED STANDARDS, AND ARE FOR SIMPLE REFERENCE; HOWEVER, CONTRACTOR MAY USE PRODUCTS NOT LISTED ABOVE BUT MUST PROVIDE A SUBMIT P.A.C. SEPARATELY DURING PERMITTING REVIEW PROCESS; THIS INCLUDES ALL DOORS, WINDOWS, AND OTHER BUILDING MATERIAL APPLICABLE TO THE PROJECT

CURRENT FLORIDA BUILDING CODE STANDARDS

- 2023 FBC, BUILDING, 8TH EDITION
- 2023 FBC, PLUMBING, 8TH EDITION
- 2023 FBC, ENERGY CONSERVATION, 8TH EDITION
- 2023 FBC, MECHANICAL, 8TH EDITION
- 2023 FBC, RESIDENTIAL, 8TH EDITION
- 2023 FBC, WIND LOAD STANDARDS ASCE 7-22



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PROJECT NO: 240420 DATE: 3/31/2025



ESCOBAR, Digitally signed by GRANT.T. ESCOBAR, GRANT.MOTHY HERBERT.1 7315 Date: 2025.03.31 263317315 0907:38 -0400
GRANT ESCOBAR, P.E. LICENSE NO: 91898

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PROJECT: NEW DETACHED GARAGE

REVISION:

DATE:

TITLE:

GENERAL NOTES

SHEET:

50



SIZE	IN SQ. FT.	COV.	REQUIRED
GREEN SPACE	9,636 SQ. FT.	5%	284.58 IN.
IMPERVIOUS SURFACES	9,739 SQ. FT.	40%	469.56 IN.
PRIMARY STRUCTURE	6,123 SQ. FT.		
DRIVEWAY	2,541 SQ. FT.		
WALK/WALKWAYS / AC	1,410 SQ. FT.		
ACCESSORY STRUCTURES	165 SQ. FT.		
EXIST. SITE OR TO GREEN SPACE 4.1% / 5.9%			

- Site improvements include the addition of a new 905 SF detached, garage for trailer storage (accessory structure)
- Improvements to the existing driveway as per plan to match existing driveway adding 472 SF of impervious surface
- Changes to ISR: Green space ratio - see table (To note only impervious surfaces are shown on proposed site plan, refer to survey for site details and locations regarding sea wall, deck, and boatslip
- Actual Impervious Area (AIA) is greater than BASE; therefore, additional onsite retention is required
- No changes to primary structure
- No changes within the R/W
- There are no protected tree species within 20' of proposed construction or staging areas ; therefore no tree protection is required



PROJECT NO: 240420	DATE: 3/31/2025
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PROJECT: NEW DETACHED GARAGE

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BELLE ISLE, FL 32812

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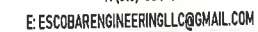
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SITE PLAN

SHEET:

S1



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PROJECT:

NEW DETACHED GARAGE

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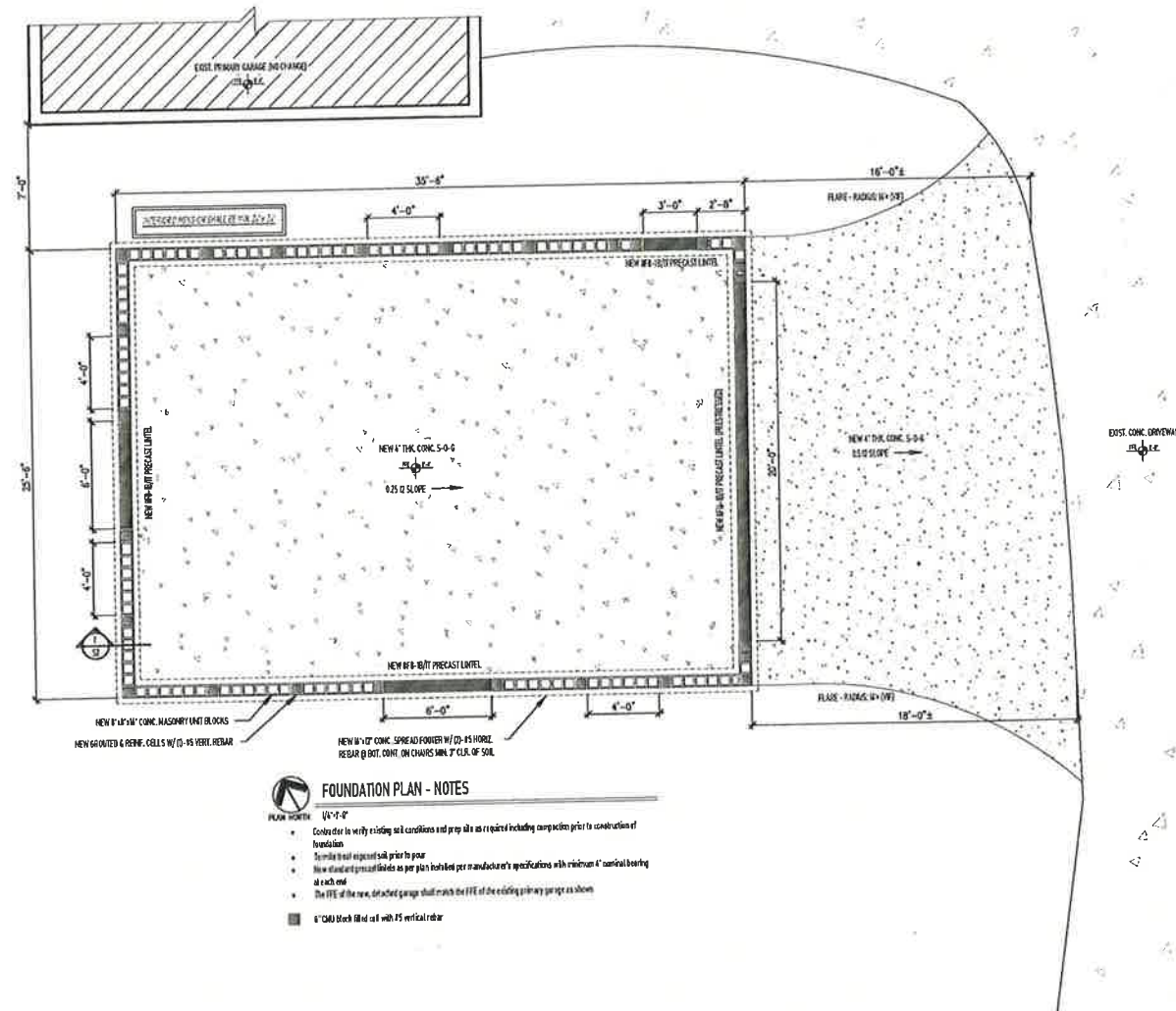
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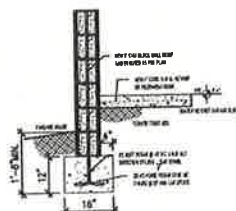
FOUNDATION PLAN

SHEET:

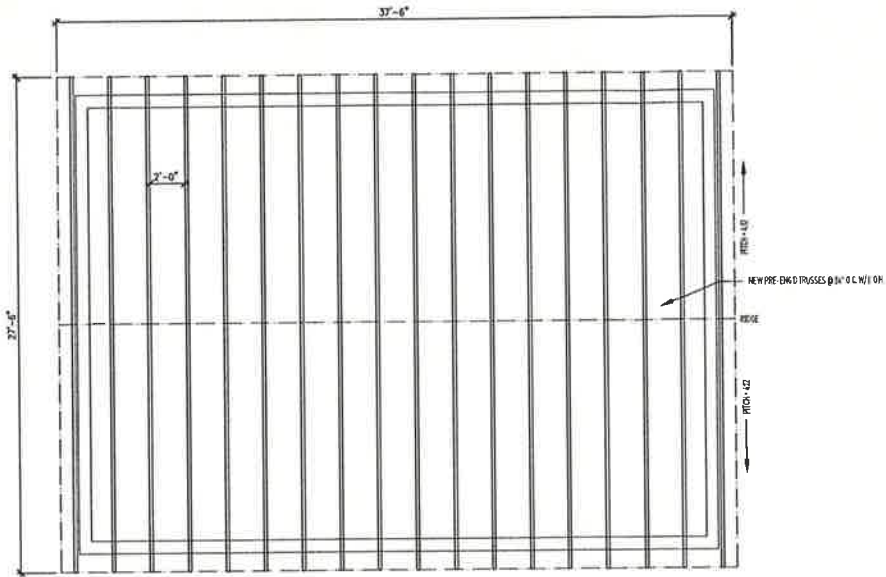
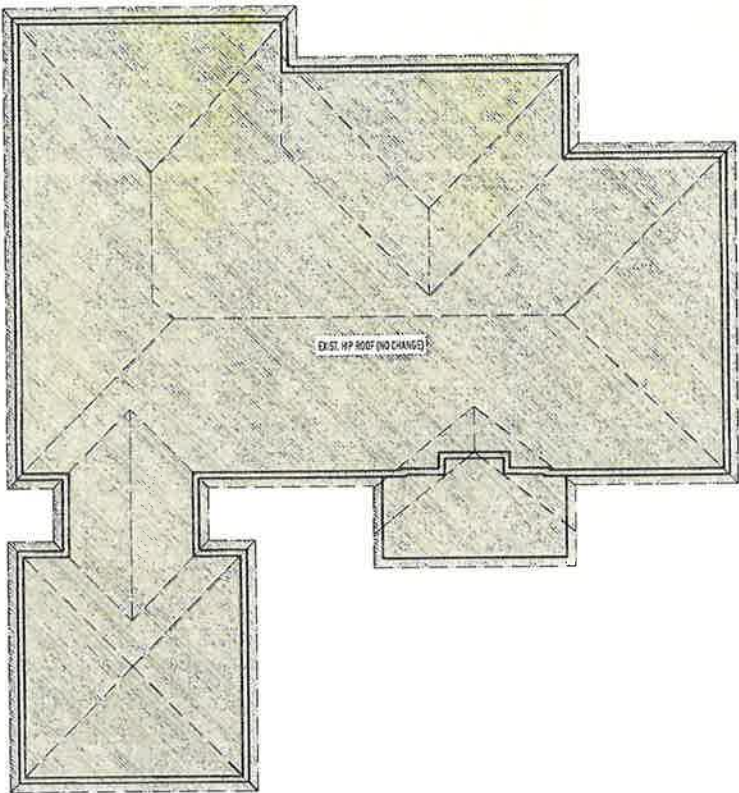
S2

 FOUNDATION PLAN - NOTES NO SMOKING $\sqrt{6} \cdot 7 \cdot 8$

- Contractor to verify existing soil conditions and pay stubs as required including compaction prior to construction of foundation
 - Existing fill to exposed soil prior to pour
 - New standard spreader/finishes as per plan includes per manufacturer's specifications with minimum 4" nominal bearing at each end
 - The FFE of the new, detached garage shall match the FFE of the existing primary garage as shown
- 6" CMU block filled out with 15 vertical rebar

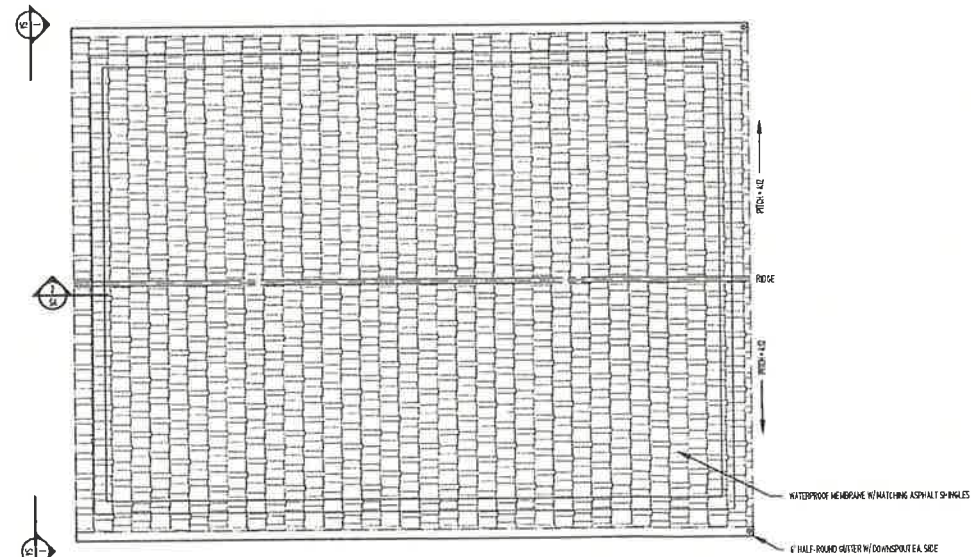


TYP. BRG. WALL FOUNDATION
DETAIL  1/2"=1'-0"



ROOF PLAN (GABLE) - NOTES

- New roof to match existing architectural style to include pitch of principal dwelling unit
- Roof to be completed of pre-engineered trusses spaced at 24" on center with a 4/12 pitch and flat ceiling
- Framing plan for Gable roof not intended to serve as a truss design; plan is preliminary layout to be utilized by the truss system engineer and manufacturer
- Align trusses on all sheet rock with the construction from floor to ceiling
- Provide gable end bracing and blocking per IRC Section 609.2.1 Summary Sheet (Building Code Safety Information), in a detail to bracing and blocking shown on shop drawings provided by the selected truss system engineer
- All truss-to-truss connections, both gravity and up lift, are to be designed by the truss system engineer and specified on the manufacturer's shop drawings



ROOF PLAN (GABLE) - NOTES

- New Gable roof with 4/12 pitch as per plan
- Install gutters on each side of the Gable roof
- Asphalt shingles for new detached garage to match existing shingles from principal dwelling unit

TRUSS DESIGN NOTES

TRUSS DESIGN LEADS ARE AS FOLLOWS:
DEAD LOAD (DL) CHORD - 1 PSF
DEAD LOAD (DL) TOP CHORD - 0 PSF
LIVE LOAD (LL) TOP CHORD - 0 PSF

DESIGN TRUSSES ON MAXIMUM LIVE LOAD DEFLECTION OF 1/400 MAXIMUM DEFLECTION UNDER RITUAL LOAD SUPERIMPOSED LOADS SHALL BE TEN TIMES OF 1/400 OR 1/40

ALL TRUSS-TO-TRUSS CONNECTIONS SHALL BE DESIGNED BY TRUSS SYSTEM ENGINEER

WOOD STRUCTURAL PANEL SHEATHING SHALL BE A MINIMUM THICKNESS OF 5/8" AND FASTENED TO TRUSS FRAMING WITH NAILS 16" ON CENTER WHERE SHEATHING IS GREATER THAN 48" SHEATHING SHALL BE FASTENED WITH ASTM F1554-02A D 1/2" x 6" CITY BARS SHOWN NAILS OR ASTM F1554-02A D 1/2" x 6" CITY BARS

NAIL SPACING @ EDGES 6"
NAIL SPACING @ FIELDS 12"

FASTENERS AND CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE TO MANUFACTURER'S SPECIFICATIONS AND

2021 IBC SECTION 1003.1 VENTILATION OPENINGS SHALL HAVE A MINIMUM DIMENSION OF AT LEAST 1/4" MINIMUM AND OR VENTILATION OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM TO POLLS AND SHALL OPEN TO THE OUTSIDE AIR AND SHALL BE PROTECTED TO PREVENT ENTRY OF BIRDS, RODENTS, INSECTS, AND OTHER SIMILAR CREATURES

MINIMUM VENTILATION AREA SHALL BE 1/80 OF THE AREA OF THE VENTED SPACE

NEW DETACHED GARAGE SHALL HAVE 1/80 OF A 1/80 OR 1/80 OF VENTILATED AREA, CONSTRUCTION TO SIZE AND INSTALL APPROPRIATE VENTILATION IN ACCORDANCE WITH CODE REQUIREMENTS

NEW ROOF TO HAVE DRAINAGE DRAINAGE @ ROOF LEAVE



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PROJECT NO: 240420 DATE: 3/31/2025



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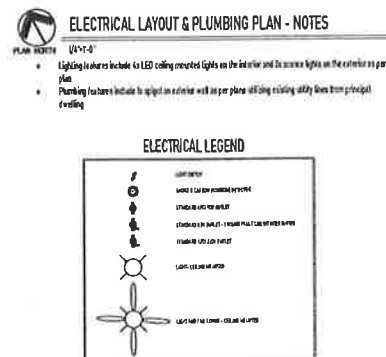
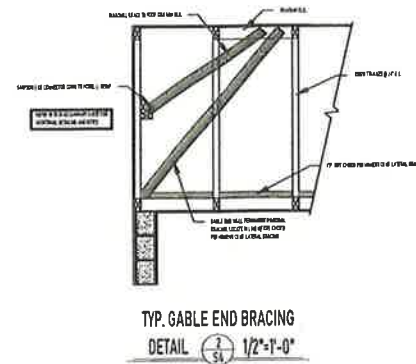
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NEW DETACHED GARAGE

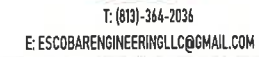
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BELLE ISLE, FL 32812

REVISION:	DATE:

TITLE:
ROOF FRAMING PLAN

SHEET:
S3





PROJECT NO: 240420	DATE: 3/31/2025
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PROJECT:

NEW DETACHED GARAGE

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BELLE ISLE, FL 32812

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DATE:

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ELEVATIONS

SHEET:

A1



SOUTH ELEVATION



NORTH ELEVATION

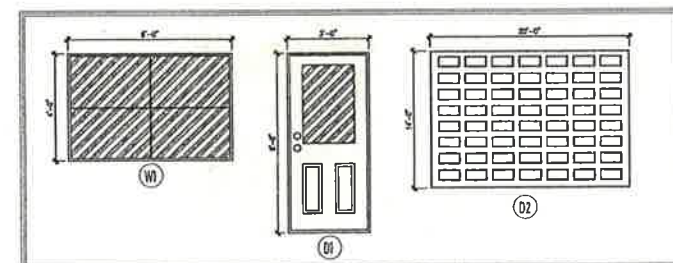


WEST ELEVATION



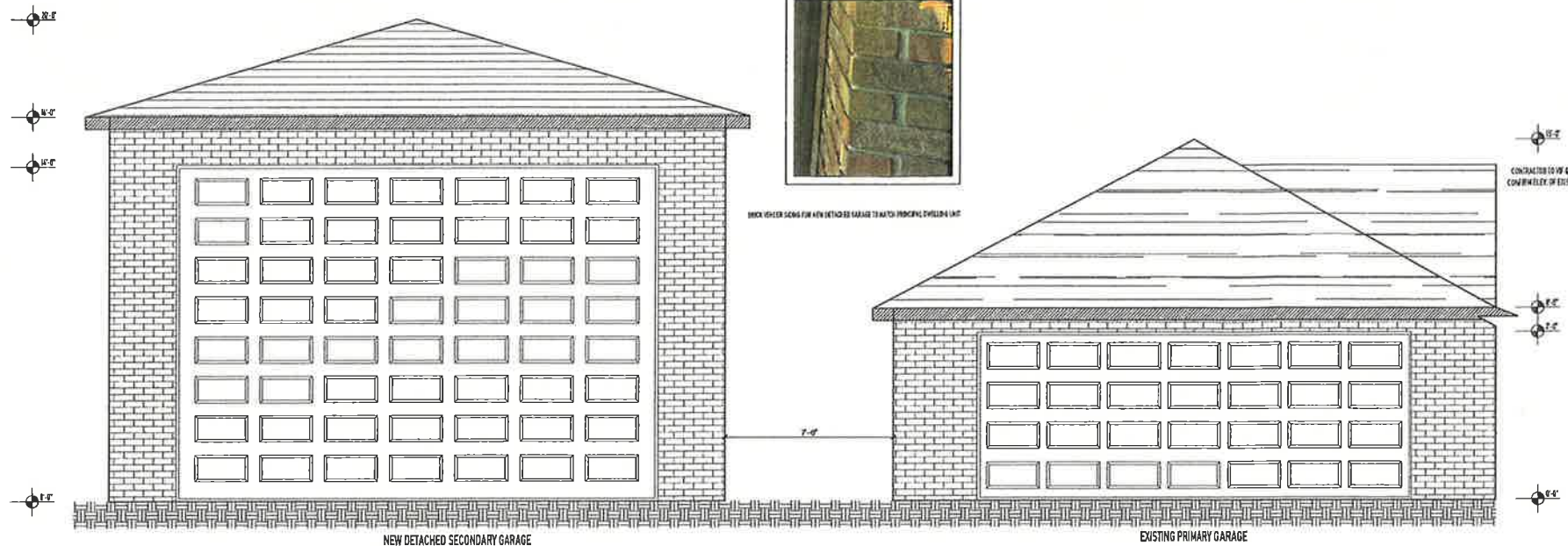
EAST ELEVATION

DOOR & WINDOW SCHEDULE



NEW WINDOWS TO BE PGT WINGUARD SINGLE HUNG 5800 SERIES (FL # 2161B-R2)
NEW EXTERIOR DOOR TO BE THERMATRU HALF LITE 2 PANEL IMPACT RATED DOOR (FL # 20461.9)
NEW VEHICULAR DOOR TO BE CUSTOM MADE BY OTHERS

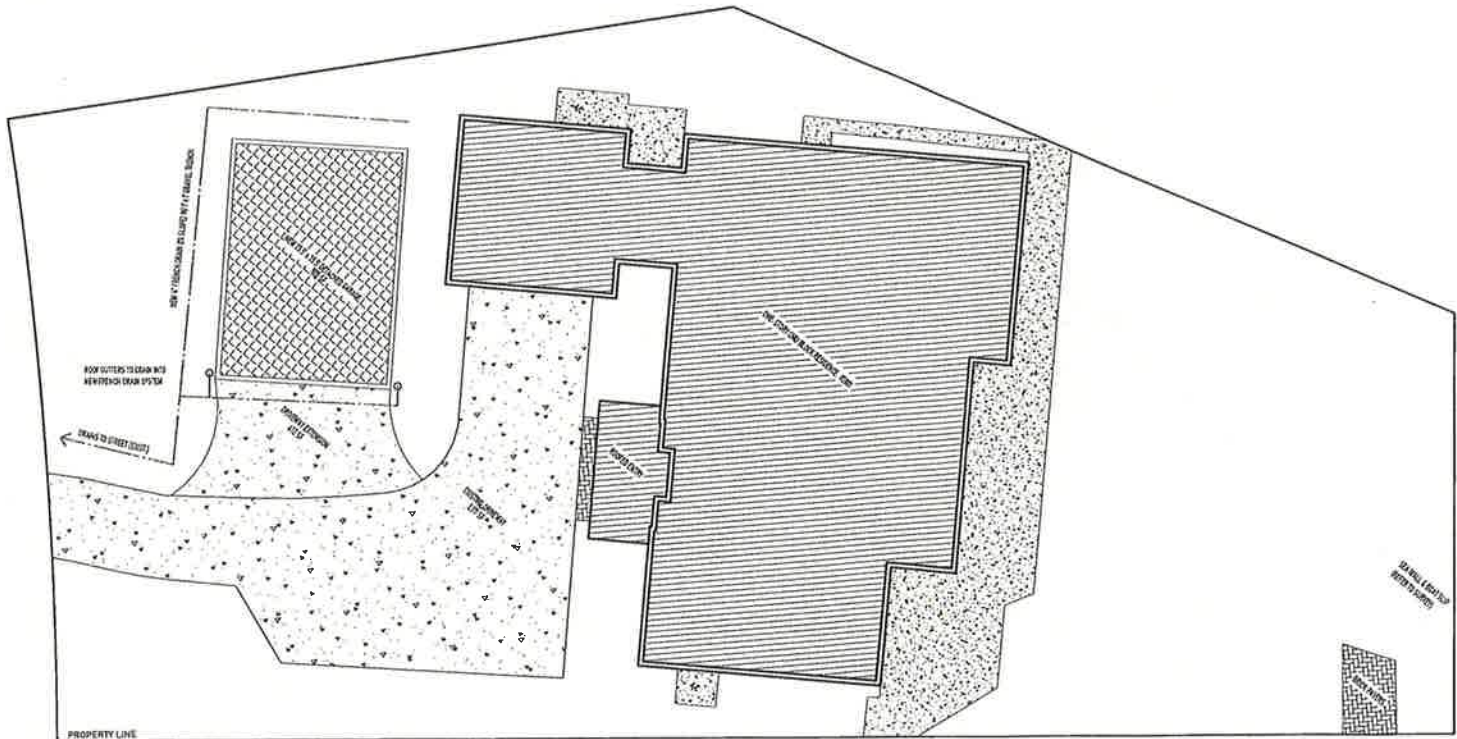
NOTE- VERIFY ALL NEW WINDOW OPENING SIZES PRIOR TO ORDERING. CONTRACTOR TO SUBMIT SEPARATE APPROVAL COCES IF OTHER DOORS OR WINDOWS ARE UTILIZED



SIDE-BY-SIDE ELEVATION WITH MATCHING SIDING

- DRAINAGE PLAN - NOTES**
- Actual Impervious Area (AIA) is greater than BASE, therefore, additional on-site retention is required.
 - The change in AIA (current site to proposed site) is 2% of the site and will require 22 CY of additional retention.
 - New French drain system to be installed along perimeter of proposed detached garage with 4" perforated pipe, 1 x 1' gravel trench, and permeable fabric per manufacturer's specifications.

ONSITE RETENTION CALCULATION			
EXISTING PERVIOUS SURFACES	1,412 SF	4%	CURRENT DESIGN
EXISTING IMPERVIOUS	2,343 SF	10%	CURRENT DESIGN
PROPOSED PERVIOUS SURFACES	1,524 SF	4%	ADDED IN LIST OF 20
PROPOSED IMPERVIOUS	1,412 SF	10%	ADDED IN LIST OF 20
EXISTING GAR EXCEEDS BASE, THEREFORE, ADDITIONAL RETENTION WILL BE REQUIRED ON OUTFALLS BETWEEN THE NEW GAR AND THE EXISTING GAR.			
8" x 10" MANHOLE 12" PER FOOT x LIST OF 20 = 100 CY OF STORAGE NEEDED			



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PROJECT:	NEW DETACHED GARAGE	CLIENT:	DANIEL KENNEDY 2801 HOFFNER AVE. BELLE ISLE, FL 32812
REVISION:		DATE:	
TITLE:	DRAINAGE PLAN		
SHEET:	C1		