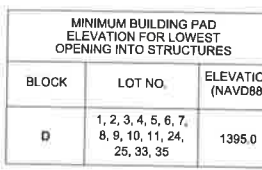




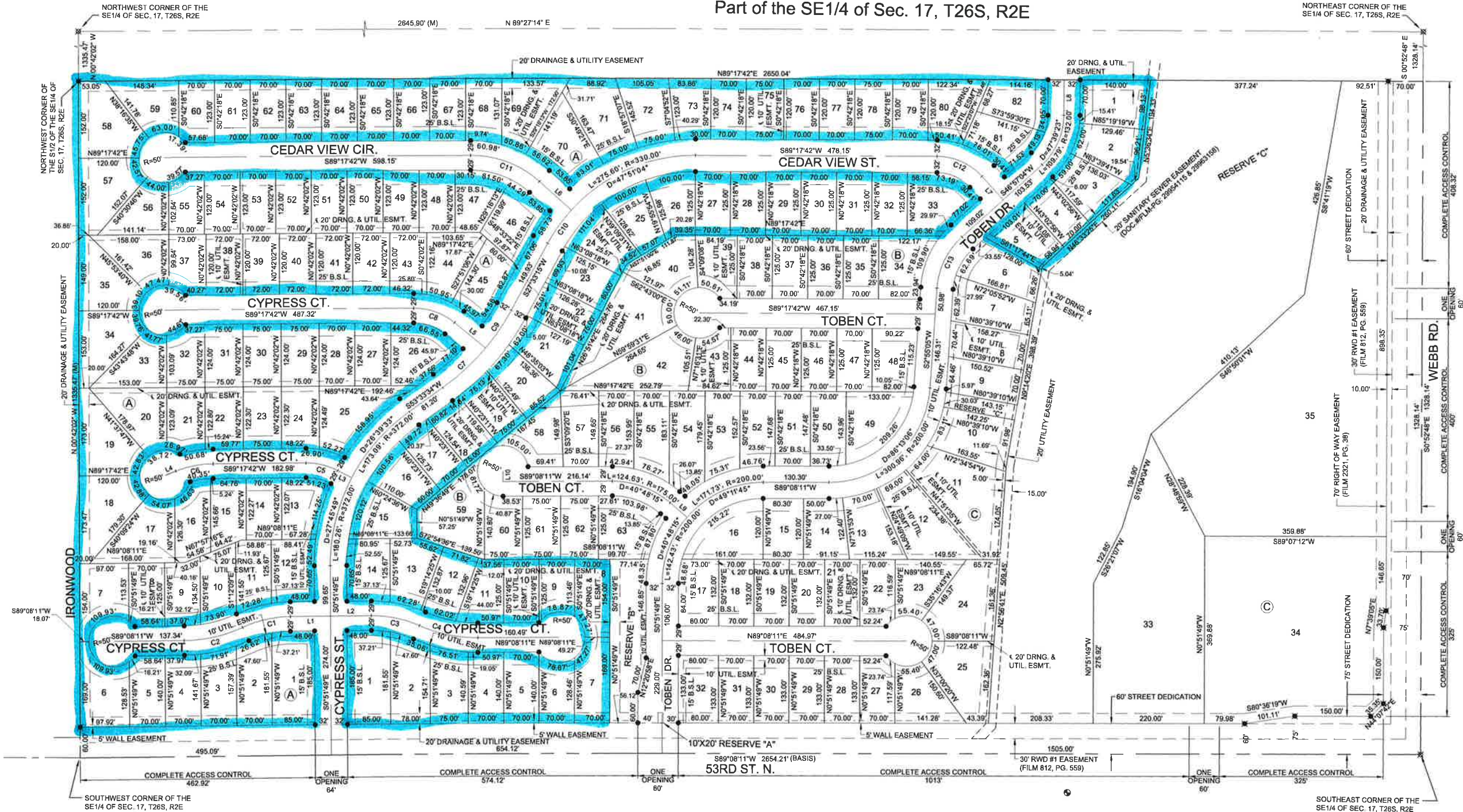
Bel Aire, Sedgwick County, Kansas
Part of the SE1/4 of Sec. 17, T26S, R2E



GARVER
8535 E. 21st Street N.
Suite 130
Wichita, KS 67206
(316) 264-8008
www.GarverUSA.com

CEDAR PASS ADDITION

Bel Aire, Sedgwick County, Kansas
Part of the SE1/4 of Sec. 17, T26S, R2E



Line Table		
Line #	Length	Direction
L1	80.00	S89° 08' 11\"W
L2	80.00	N89° 08' 11\"E
L3	30.96	N83° 05' 59\"W
L4	21.96	N67° 57' 16\"E
L5	78.98	S50° 59' 12\"E
L6	84.69	S48° 33' 22\"E
L7	62.41	N43° 02' 56\"W
L8	70.00	S00° 42' 16\"E
L9	44.03	S50° 03' 33\"E
L10	21.00	S00° 51' 49\"E

Curve Table			
Curve #	Length	Radius	Delta
C1	97.11	229.00	24°17'53\"
C2	118.32	279.00	24°17'53\"
C3	97.11	229.00	24°17'53\"
C4	118.32	279.00	24°17'53\"
C5	65.20	135.32	27°36'19\"
C6	74.49	200.00	21°20'26\"
C7	114.25	450.00	14°32'46\"
C8	86.65	125.00	39°43'06\"
C9	90.00	450.00	11°27'33\"
C10	80.00	330.00	13°53'24\"
C11	147.13	200.00	42°08'56\"
C12	99.81	120.00	47°39'22\"
C13	115.28	150.00	44°02'00\"

MINIMUM BUILDING PAD ELEVATION FOR LOWEST OPENING INTO STRUCTURES		
BLOCK	LOT NO.	ELEVATION (NAVD88)
D	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 24, 25, 33, 35	1395.0

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(BASIS) = Basis of Bearings = Kansas Coordinate System of 1983 South Zone Grid Bearing
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5/8\" REBAR W/CAP (FOUND - ORIGIN UNKNOWN)
1/2\" REBAR W/GARVER CAP (SET)
MONUMENT TO BE SET WITH THE STREET CONSTRUCTION PROJECT BY THE STREET DESIGNER

BENCHMARK #1:
CHISELED SQUARE AT THE NORTHWEST CORNER OF A CONCRETE VAULT AT THE NORTHWEST CORNER OF A LOT STATION, 702' WEST AND 76' SOUTH OF THE SOUTHEAST QUARTER CORNER OF SEC. 17, T26S, R2E, ELEVATION = 1400.08 (NAVD88, G12B)

BENCHMARK #2:
CHISELED SQUARE AT THE NORTHWEST CORNER OF A CONCRETE VAULT AT THE NORTHWEST CORNER OF THE CITY OF WICHITA CHLORINATION BUILDING, 702' WEST AND 76' SOUTH OF THE NORTHEAST QUARTER CORNER OF SEC. 20, T26S, R2E, ELEVATION = 1400.08 (NAVD88, G12B)

 = PHASE 1 SANITARY PETITION

CEDAR PASS ADDITION

Bel Aire, Sedgwick County, Kansas
Part of the SE1/4 of Sec. 17, T26S, R2E



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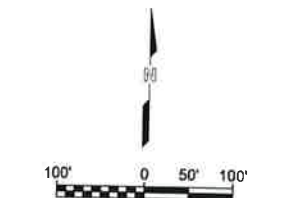
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BLOCK	LOT NO.	ELEVATION (NAVD88)
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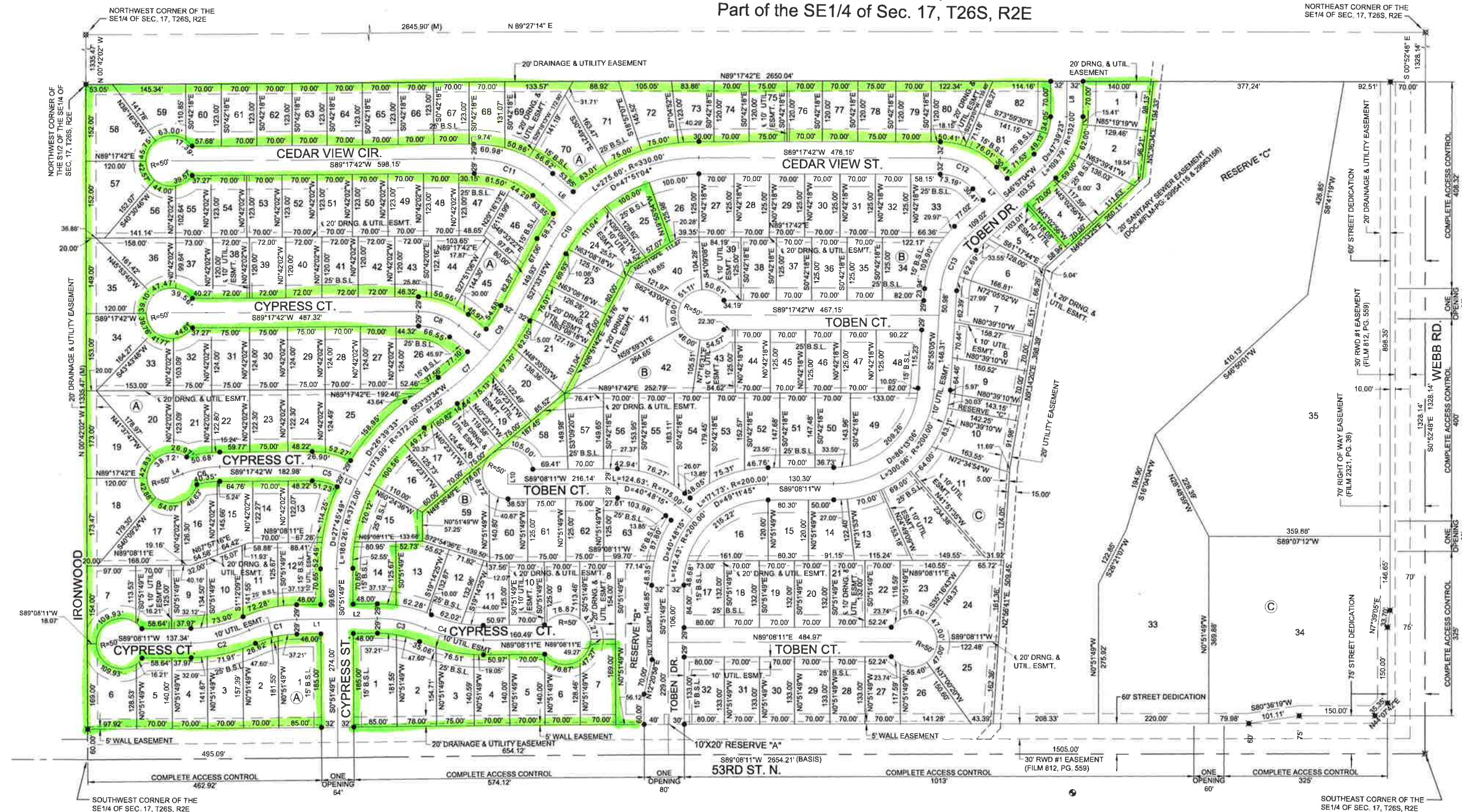
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☐ = PHASE 2 SANITARY PETITION

CEDAR PASS ADDITION

Bel Aire, Sedgwick County, Kansas
Part of the SE1/4 of Sec. 17, T26S, R2E



Line Table		
Line #	Length	Direction
L1	80.00	S89°08'11\"W
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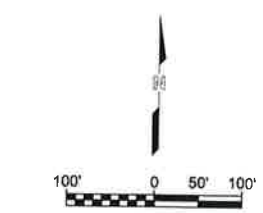
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BLOCK	LOT NO.	ELEVATION (NAVD88)
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5/8\" REBAR W/CAP (FOUND - ORIGIN UNKNOWN)
1/2\" REBAR W/GARVER CAP (SET)
MONUMENT TO BE SET WITH THE STREET CONSTRUCTION PROJECT BY THE STREET DESIGNER

BENCHMARK #1:
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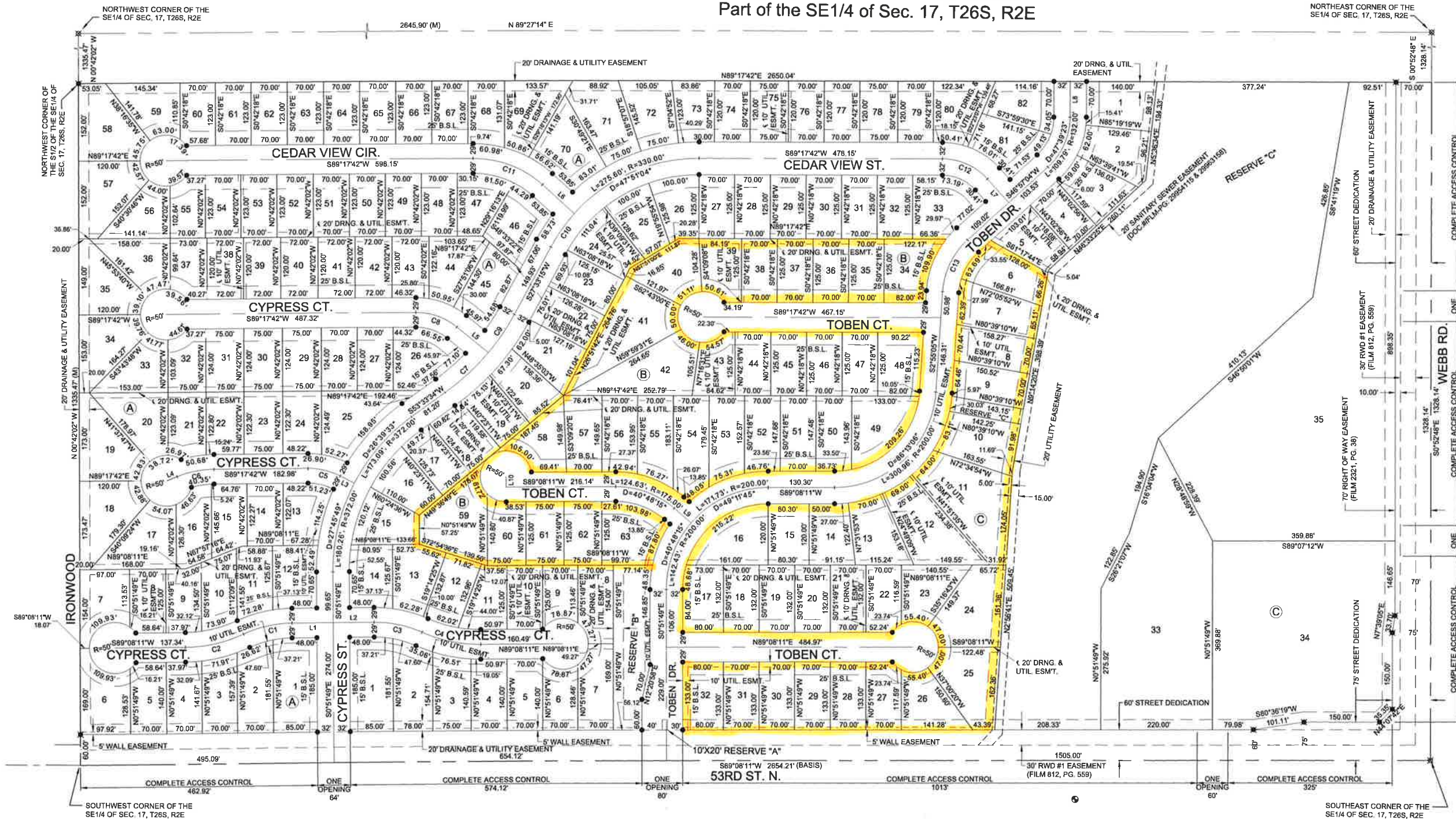
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DWG FILE: 21S04012 SURVEY BASE
PROJECT NO. 21S04012
MARCH 22, 2022

CEDAR PASS ADDITION

Bel Aire, Sedgwick County, Kansas
Part of the SE1/4 of Sec. 17, T26S, R2E



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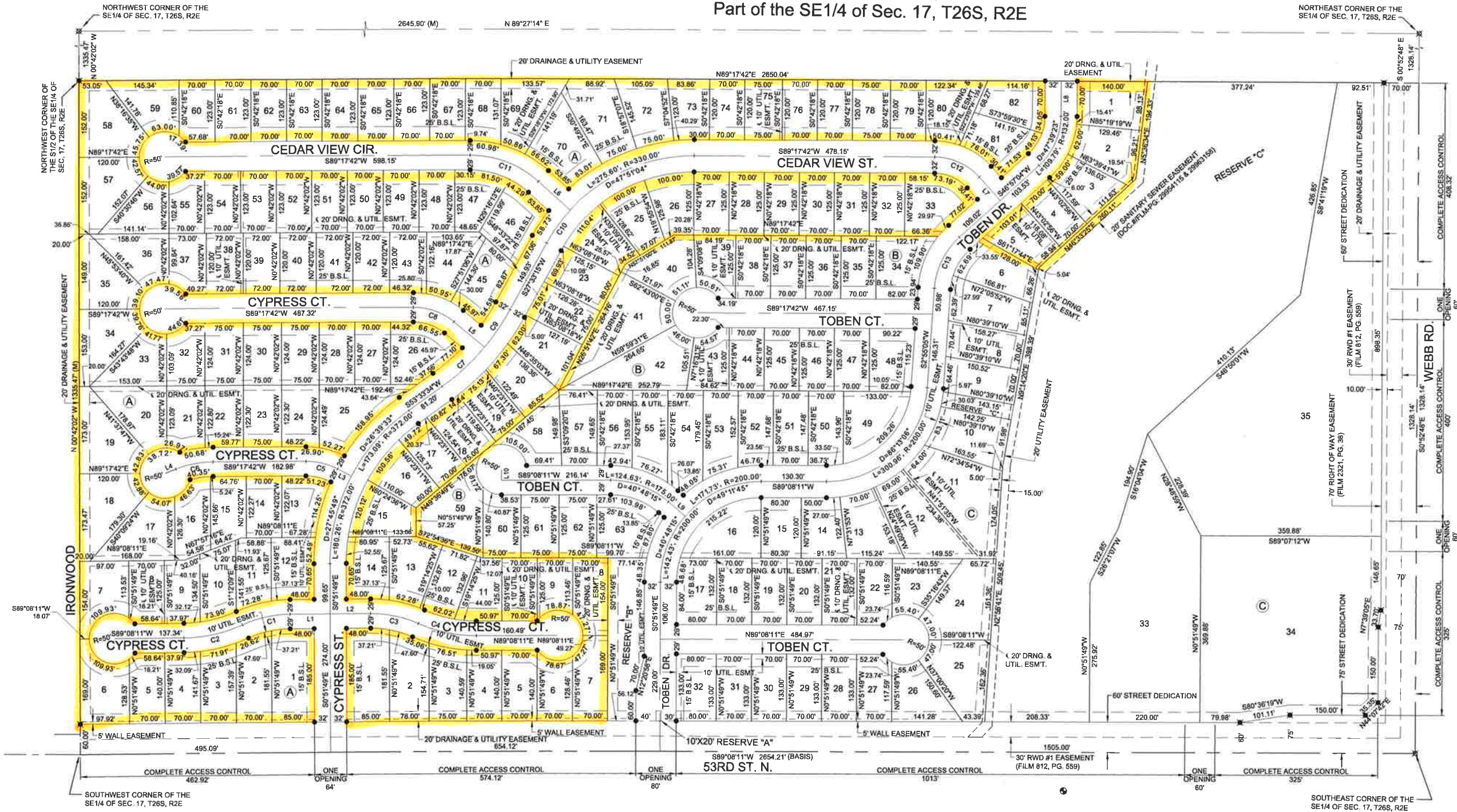
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MONUMENT TO BE SET WITH THE STREET
CONSTRUCTION PROJECT BY THE STREET DESIGNER

D = PHASE 2 PAVEMENT PETITION

CEDAR PASS ADDITION

Bel Aire, Sedgwick County, Kansas
Part of the SE1/4 of Sec. 17, T26S, R2E



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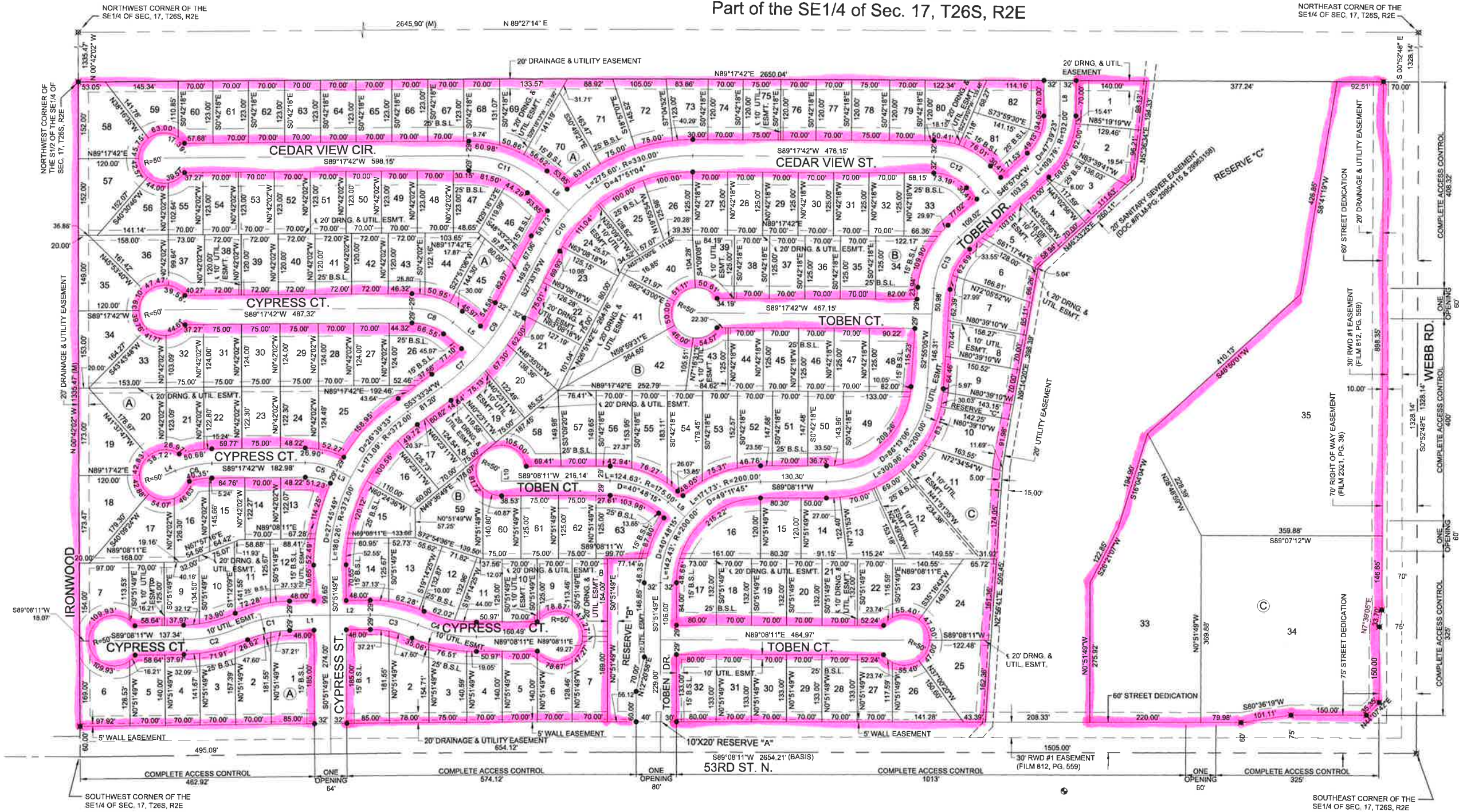
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 = PHASE I STORM WATER DRAIN PETITION

CEDAR PASS ADDITION

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SURVEY MARKER LEGEND

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