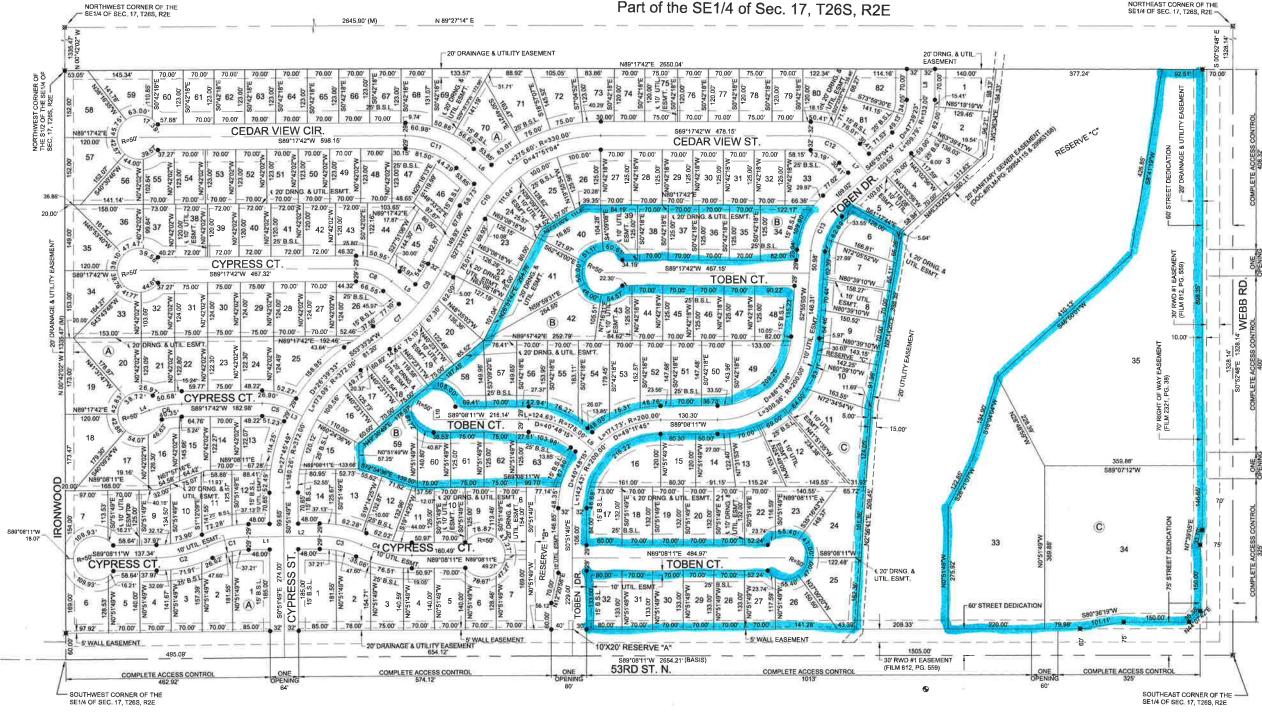
= PHASE I WATER PETITION

CEDAR PASS ADDITION

Bel Aire, Sedgwick County, Kansas Part of the SE1/4 of Sec. 17, T26S, R2E



	Line	Table
Line#	Length	Direction
L1	80.00	S89° 08' 11"W
L2	80,00	N89° 08' 11"E
L3	30,96	N63° 05' 59"W
L4	21.96	N67° 57' 16"E
L5	78.98	S50° 59' 12"E
L6	84.69	S48° 33' 22"E
L7	62.41	N43° 02' 56"W
L8	70.00	S00° 42' 18"E
L9	44.03	S50° 03' 33"E
L10	21.00	S00° 51' 49"E

Curve Table				
Curve #	Length	Radius	Delta	
C1	97.11	229.00	24°17'53"	
C2	118.32	279,00	24°17'53"	
С3	97_11	229,00	24°17'53"	
C4	118.32	279.00	24"17'53"	
C5	65 20	135,32	27°36'19"	
C6	74.49	200,00	21°20'26"	
C7	114.25	450,00	14°32'46"	
C8	86,65	125.00	39°43'06"	
C9	90.00	450.00	11°27'33"	
C10	80,00	330.00	13°53'24"	
C11	147.13	200.00	42°08'56"	
C12	99,81	120.00	47"39'22"	
C13	115.28	150,00	44°02'00"	

EL	INIMUM BUILDING F EVATION FOR LOW NING INTO STRUCT	EST
BLOCK	LOT NO	ELEVATION (NAVD88)
D	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 24, 25, 33, 35	1395.0

BENCHMARK #1:
CHISELED SQUARE AT THE NORTHWEST CORNER OF A
CONCRETE VAULT AT THE NORTHWEST CORNER OF A
LIFT STATION, 702 WEST AND 76'S SOUTH OF THE
SOUTHEAST QUARTER CORNER OF SEC. 17, 726S, R2E,
ELEVATION = 1400.08 (NAVDB8, G12B)

BENCHMARK #2:
CHISELED SQUARE AT THE NORTHWEST CORNER OF A
CONCRETE VAULT AT THE NORTHWEST CORNER OF THE
CITY OF WICHITA CHLORINATION BUILDING, 702 WEST
AND 76' SOUTH OF THE NORTHEAST QUARTER CORNER
OF SEC. 20, 7258, 72E,
ELEVATION = 1400.08 (NAVD88, G128)

Any land dedicated to or owned by a municipal authority shall be exempt from any and all assessments including those assessed by Homeowners Association Covenants. Land within this plat owned by such a municipal organization, exempt from taxation by the laws of the State of Kansas, shall not be subject to any non-taxing authority assessments throughout the duration of such ownership.

The Building Setbacks within R-5 zoning areas that are not shown shall be

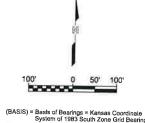
Rear yard building setback shall be 20 feet Side yard building setback shall be 6 feet

SHEET 1 OF 2

Accessory buildings
Accessory buildings are allowed on all lots, subject to the following:

1. All construction, including additions, alterations, modifications, and/or use of any detached shed, shall be subject to all applicable governmental laws, codes, regulations, licensure, permitting and inspection associated with construction and property maintenance within the City of Bel Aire, Kansas.

- 2. Sheds may be permitted within a rear set back line but no closer than 10°
- 3. The side yard shall be maintained at 6 feet, and no sheds may be located within a side yard setback. 4, All residential properties shall comply with the required 35-45% land
- coverage codes, as well as conform to the type and height structure



SURVEY MARKER LEGEND

5/8" REBAR W/CAP (FOUND - ORIGIN UNKNOWN) 1/2" REBAR W/GARVER CAP (SET)

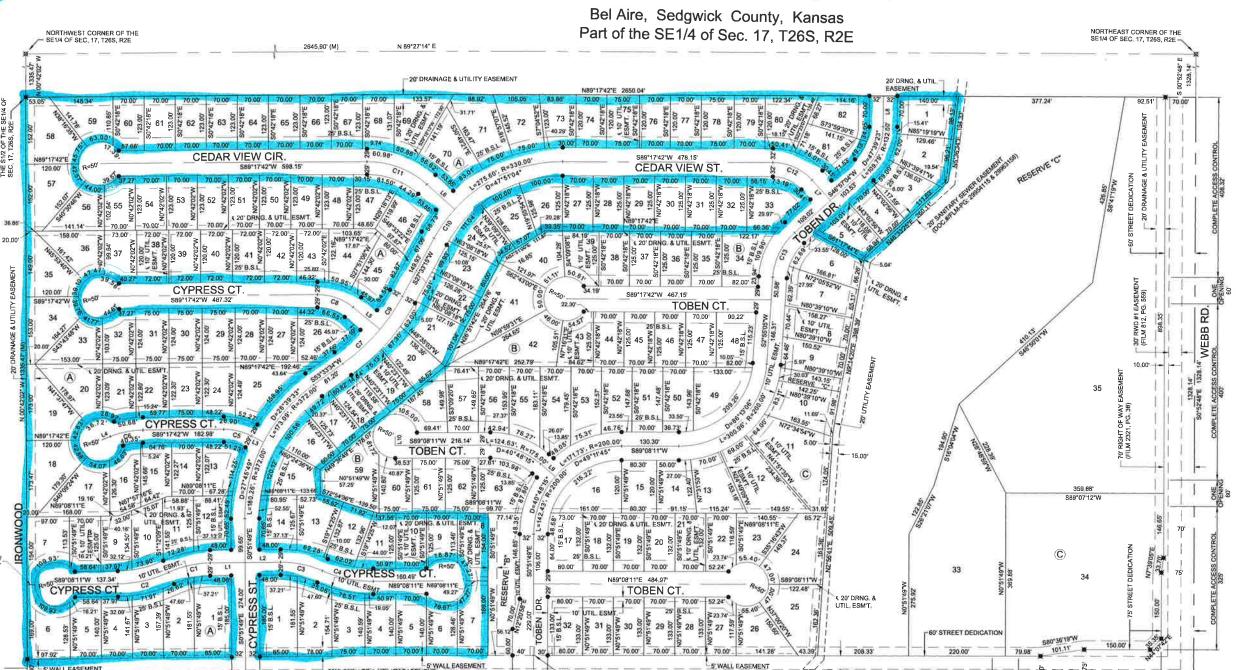
MONUMENT TO BE SET WITH THE STREET
CONSTRUCTION PROJECT BY THE STREET DESIGNER



GARVER 8535 E. 21st Street N Suite 130 Wichita, KS 67206

= PHASE 2 WATER PETITION

CEDAR PASS ADDITION



10'X20' RESERVE "A"

S89°08'11"W 2654 21' (BASIS) 53RD ST. N.

Line Table			
Line #	Length	Direction	
L1	80.00	S89" 08' 11"W	
L2	80.00	N89° 08' 11"E	
L3	30,96	N63° 05' 59"W	
L4	21.96	N67° 57' 16"E	
L5	78,98	S50° 59' 12"E	
L6	84,69	S48° 33' 22"E	
L7	62,41	N43° 02' 56"W	
LB	70.00	S00° 42' 18"E	
L9	44.03	S50° 03' 33"E	
L10	21.00	S00° 51' 49"E	

	Curv	e Table	е
Curve #	Length	Radius	Delta
C1	97_11	229.00	24°17'53"
C2	118.32	279.00	24°17'53"
C3	97,11	229.00	24°17'53"
C4	118,32	279.00	24°17'53"
C5	65,20	135,32	27°36'19"
C6	74.49	200,00	21"20'26"
C7	114.25	450.00	14°32'46"
CB	86.65	125 00	39°43'06"
C9	90.00	450.00	11°27'33"
C10	80,00	330,00	13°53'24"
C11	147.13	200.00	42°08'56"
C12	99.81	120.00	47°39'22"
C13	115.28	150.00	44°02'00"

EL	INIMUM BUILDING F EVATION FOR LOW NING INTO STRUCT	EST
BLOCK	LOT NO	ELEVATION (NAVD88)
D	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 24, 25, 33, 35	1395.0

BENCHMARK #1:
CHISELED SQUARE AT THE NORTHWEST CORNER OF A
CONCRETE VAULT AT THE NORTHWEST CORNER OF A
LIFT STATION, 702' WEST AND 76' SOUTH OF THE
SOUTHEAST QUARTER CORNER OF SEC. 17, T26S, R2E,
ELEVATION = 1400.08 (NAVD88, G12B)

BENCHMARK #2:
CHISELED SQUARE AT THE NORTHWEST CORNER OF A
CONCRETE VAULT AT THE NORTHWEST CORNER OF THE
CITY OF WICHITA CHLORINATION BUILDING, 702' WEST
NOT 76' SQUITH OF THE NORTHEAST QUARTER CORNER
OF SEC. 20, 726S, 726.

ELEVATION = 1400.08 (NAVD88, G128)

Any land dedicated to or owned by a municipal authority shall be exempt from any and all assessments including those assessed by Homeowners Association Covenants, Land within this plat owned by such a municipal organization, exempt from taxation by the laws of the State of Kansas, shall not be subject to any non-taxing authority assessments throughout the duration of such ownership

SOUTHWEST CORNER OF THE SE1/4 OF SEC_17, T26S, R2E

COMPLETE ACCESS CONTROL

The Building Setbacks within R-5 zoning areas that are not shown shall be

Rear yard building setback shall be 20 feet. Side yard building setback shall be 6 feet.

SHEET 1 OF 2

Accessory buildings

Accessory buildings are allowed on all lots, subject to the following:

 All construction, including additions, alterations, modifications, and/or use of any detached shed, shall be subject to all applicable governmental laws, codes, regulations, licensure, permitting and inspection associated with construction and property maintenance within the City of Bel Aire, Kansas

20' DRAINAGE & UTILITY EASEMENT 654, 12'

COMPLETE ACCESS CONTRO 574.12'

- 2. Sheds may be permitted within a rear set back line but no closer than 10' to a rear property line.
 3. The side yard shall be maintained at 6 feet, and no sheds may be located
- A. All residential properties shall comply with the required 35-45% land coverage codes, as well as conform to the type and height structure



(BASIS) = Basis of Bearings = Kansas Coordinate System of 1983 South Zone Grid Bearli

COMPLETE ACCESS CONTRO

SURVEY MARKER LEGEND

1505.00" -30" RWD #1 EASEMENT

(FILM 812, PG, 559)

5/8" REBAR W/CAP (FOUND - ORIGIN UNKNOWN) 1/2" REBAR W/GARVER CAP (SET) MONUMENT TO BE SET WITH THE STREET
CONSTRUCTION PROJECT BY THE STREET DESIGNER

GARVER

GARVER 8535 E. 21st Street N Suite 130 Wichita, KS 67206 (316) 264-8008 www.GarverUSA.co

DWG FILE: 21S04012 SURVEY BASE PROJECT NO. 21S04012 MARCH 22, 2022

SOUTHEAST CORNER OF THE

= PHASE I SANITARY PETITION

NORTHWEST CORNER OF THE

CEDAR PASS ADDITION



Line Table Line # Length Direction L1 80.00 S89° 08' 11"W L2 80.00 N89° 08' 11"E L3 30.96 N63° 05' 59"W L4 21.96 N67° 57' 16"E L5 78.98 S50° 59' 12"E L6 84.69 S48° 33' 22"E L7 62.41 N43° 02' 56"W LB 70.00 S00° 42' 18"E L9 44.03 S50° 03' 33"E L10 21.00 S00° 51' 49"E

	Curv	e Table	е
Curve #	Length	Radius	Delte
C1	97,11	229.00	24°17'53"
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СЗ	97.11	229.00	24°17'53"
C4	118.32	279.00	24°17'53"
C5	65.20	135.32	27°36'19"
C6	74,49	200.00	21°20'26"
C7	114.25	450.00	14°32'46"
СВ	86,65	125 00	39°43'06"
C9	90.00	450,00	11°27'33"
C10	80,00	330.00	13°53'24"
C11	147.13	200.00	42°08'56"
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C13	115.28	150.00	44°02'00"

EL	INIMUM BUILDING F EVATION FOR LOW NING INTO STRUCT	EST
BLOCK	LOT NO.	ELEVATION (NAVD88)
D	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 24, 25, 33, 35	1395.0

BENCHMARK #1:
CHISELED SQUARE AT THE NORTHWEST CORNER OF A
CONCRETE VAULT AT THE NORTHWEST CORNER OF A
LIFT STATION, 702 WEST AND 76' SOUTH OF THE
SOUTHEAST QUARTER CORNER OF SEC. 17, 126S, R2E,
ELEVATION = 1400.08 (NAVD88, G128)

BENCHMARK #2:
CHISELED SQUARE AT THE NORTHWEST CORNER OF A
CONCRETE VAULT AT THE NORTHWEST CORNER OF THE
CITY OF WICHIT CHLORINATION BUILDING, 702' WEST
AND 76' SOUTH OF THE NORTHEAST QUARTER CORNER
OF SEC. 20, T26S, R2E,
ELEVATION = 1400.08 (NAVD88, G12B)

	SE1/4 OF SEC. 17, T26S, R2E	2645.90' (M)	√ 89°27'14" E	rait of the SE 1/4 of Sec. 17, 126	oS, R2E	SE1/4 OF SEC. 17, T26S, R2E
3	1202: W	2043,30 (W)				248° E
	13 0000		20' DRAINAGE & UTILITY EASEMENT	NB9"17'42"E 2650.04"	20 DRNG & UTIL EASEMENT	5 00°5.
NORTHWEST CORNER OF THE S1/2 OF THE SE1/4 OF SEC, 17, T26S, R2E	53.05 145.34 70.00		133.57 88.92 105.05 105	83.86 70.00 75.00 75.00 75.00 75.00 75.00 75.00 80.00 122.34 80.00 75.00 75.00 75.00 75.00 75.00 80.00 122.34 80.00 75.0	14.16 b 32 32 8 140.00 377. 82 8 1 15.75 5 8 1 129.46 1	FEASEMENT
EASEMENT 20 '00 '02	14114 NN 70.00 70.	25 B.S.L 50 78 49 0 78 1 9 0 70 1 101 L ESMT 7 70.00 70.00 70.00 48.65 48.	16 d	0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	100 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	EMENT 68' STREET DEDICATIO 59) — 20' DRAINGGE ONE COMPLETE ACCES FENING GR372 GR372
ZD DRAINAGE & UTILITY	34 44 37 27 75.00 75.00 75.00 70.00	70.00 44.32 56 55 25 8.51 27 8.52 8.26 45.97 8.52 8.52 8.52 8.52 8.52 8.52 8.52 8.52	20 DRNG & UTIL 30 05 50 8 9 9 55 8 9 9 1 55 8 8 9 1 55 8 8 1 55 8 8 1 55 8 8 1 55 8 8 1 55 8 8 1 55 8 8 1 55 8 8 1 55 8 8 1 55 8 8 1 55 8 8 1 55 8 1	70.00 70.00 70.00 90.22 8 90.2	NBO*39*10*W	95 WAY EASEMENT PG. 39) 1328 14 1328 14 50'5248'E 1338 14 WPLETE ACCESS CONTROL. 10'7
COMNO WOO	180 00 1 120	16 59 80 80 80 80 80 80 80 80 80 80 80 80 80	TOBEN CT. D=qq, R=173 dq 18 18 18 18 18 18 18 18 18 18 18 18 18	13.80 15.8 200.00 130.30 S89°08′11′W S89°08′11′W 80.30 50.00 12.00	5.00° — 15.0	359 88, 25, 25, 15, 10, 10, 10, 10, 10, 10, 10, 10, 10, 10
16.97	00 6 5 97.1 2 2 1 1 8 5 1 1 9 5 1 9 1 9	77.21	70.00-70.00 70.00	10'X20' RESERVE "A"	48	24 DOG 101.11, 100.00,
	COMPLETE ACCESS CONTROL ONE 462.92 OPENING 64'	COMPLETE ACCESS 574.12	CONTROL ONE OPENING 80'	53RD ST. N. COMPLETE ACCESS CONTR	OPENING	OMPLETE ACCESS CONTROL 325
L	SOUTHWEST CORNER OF THE SE1/4 OF SEC, 17, T26S, R2E		00		€ 60°	SOUTHEAST CORNER OF THE SE1/4 OF SEC. 17, T26S, R2E
						22.11 S. SEO. 17, 1285, NZE

Any land dedicated to or owned by a municipal authority shall be exempt from any and all assessments including those assessed by Homeowners Association Covenants, Land within this plat owned by such a municipal organization, exempt from taxation by the laws of the State of Kansas, shall not be subject to any non-taxing authority assessments throughout the duration of such ownership.

The Building Setbacks within R-5 zoning areas that are not shown shall be as follows:

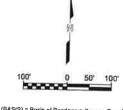
Rear yard building setback shall be 20 feet. Side yard building setback shall be 6 feet.

SHEET 1 OF 2

Accessory buildings
Accessory buildings are allowed on all lots, subject to the following:

1. All construction, including additions, alterations, modifications, and/or use of any detached shed, shall be subject to all applicable governmental laws, codes, regulations, licensure, permitting and inspection associated with construction and property maintenance within the City of Bel Aire, Kansas. 2. Sheds may be permitted within a rear set back line but no closer than 10'

- to a rear property line. 3. The side yard shall be maintained at 6 feet, and no sheds may be located within a side vard setback.
- 4. All residential properties shall comply with the required 35-45% land coverage codes, as well as conform to the type and height structure



(BASIS) = Basis of Bearings = Kansas Coordinate System of 1983 South Zone Grid Bearing

SURVEY MARKER LEGEND

5/8" REBAR W/CAP (FOUND - ORIGIN UNKNOWN) 1/2" REBAR W/GARVER CAP (SET) MONUMENT TO BE SET WITH THE STREET CONSTRUCTION PROJECT BY THE STREET DESIGNER

DWG FILE: 21S04012 SURVEY BASE PROJECT NO. 21S04012 MARCH 22, 2022



GARVER 8535 E. 21st Street N. Suite 130 Wichita, KS 67206 (316) 264-8008

= PHASE 2 SANITARY PETITION

CEDAR PASS ADDITION

Bel Aire, Sedgwick County, Kansas Part of the SE1/4 of Sec. 17, T26S, R2E



	Line	Table
Line #	Length	Direction
L1	80,00	S89° 08' 11"W
L2	80,00	N89° 08' 11"E
L3	30.96	N63° 05' 59°W
L4	21,96	N67° 57' 16"E
L5	78.98	S50° 59' 12"E
L6	84,69	S48° 33' 22"E
L7	62.41	N43° 02' 56"W
L8	70.00	S00° 42' 18"E
L9	44.03	S50° 03' 33"E
L10	21.00	S00° 51' 49"E

Curve Table				
Curve #	Length	Redius	Delta	
C1	97,11	229.00	24°17'53'	
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СЗ	97,11	229.00	24°17'53"	
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C5	65,20	135.32	27°36'19"	
C6	74.49	200.00	21°20'26"	
C7	114,25	450.00	14°32'46"	
C8	86 65	125.00	39°43'06"	
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C10	80,00	330,00	13°53'24"	
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EL	INIMUM BUILDING F EVATION FOR LOW NING INTO STRUCT	EST
BLOCK	LOT NO	ELEVATION (NAVD88)
D	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 24, 25, 33, 35	1395,0

BENCHMARK #1:
CHISELED SQUARE AT THE NORTHWEST CORNER OF A
CONCRETE VAULT AT THE NORTHWEST CORNER OF A
LIFT STATION, 702 WEST AND 76' SOUTH OF THE
SOUTHEAST QUARTER CORNER OF SEC. 17, T26S, R2E,
ELEVATION = 1400.08 (NAVD88, G12B)

BENCHMARK #2:
CHISELED SQUARE AT THE NORTHWEST CORNER OF A
CONORETE VAULT AT THE NORTHWEST CORNER OF THE
CITY OF WIGHTA CHLORINATION BUILDING, 702 WEST
AND 76 SOUTH OF THE NORTHEAST QUARTER CORNER OF SEC. 20, T26S, R2E, ELEVATION = 1400,08 (NAVD88, G12B)

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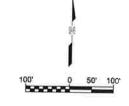
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SHEET 1 OF 2

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- 4. All residential properties shall comply with the required 35-45% land coverage codes, as well as conform to the type and height structure



(BASIS) = Basis of Bearings = Kansas Coordinate System of 1983 South Zone Grid Bearing

5/8" REBAR W/CAP (FOUND - ORIGIN UNKNOWN) .1/2" REBAR W/GARVER CAP (SET)
MONUMENT TO BE SET WITH THE STREET

SURVEY MARKER LEGEND

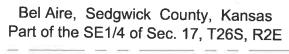
GARVER

GARVER 8535 E. 21st Street N. Suite 130 Wichita, KS 67206 (316) 264-8008

DWG FILE: 21804012 SURVEY BASI PROJECT NO. 21804012 MARCH 22, 2022

= PHASE I PAVEMENT PETITION

CEDAR PASS ADDITION





Line Table			
Line#	Length	Direction	
L1	80.00	S89° 08' 11"W	
L2	80.00	N89° 08' 11"E	
L3	30.96	N63° 05' 59"W	
L4	21,96	N67° 57' 16"E	
L5	78,98	S50° 59' 12"E	
L6	84.69	S48° 33' 22"E	
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Curve Table			
Curve #	Length	Radius	Delta
C1	97,11	229.00	24°17'53'
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СВ	86,65	125.00	39°43'06"
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EL	INIMUM BUILDING F EVATION FOR LOW NING INTO STRUCT	EST
BLOCK	LOT NO.	ELEVATION (NAVD88)
D	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 24, 25, 33, 35	1395.0

★ BENCHMARK #1: CHISELED SQUARE AT THE NORTHWEST CORNER OF A CONCRETE VAULT AT THE NORTHWEST CORNER OF A LIFT STATION, 702 WEST AND 76 SQUITH OF THE SQUITHEAST QUARTER CORNER OF SEC. 17, T26S, R2E, ELEVATION = 1400.08 (NAVD88, G12B)

BENCHMARK #2:
CHISELED SQUARE AT THE NORTHWEST CORNER OF A
CONCRETE VAULT AT THE NORTHWEST CORNER OF THE
CITY OF WICHITA CHLORINATION BUILDING, 707 WEST
AND 70' SOUTH OF THE NORTHEAST QUARTER CORNER
OF SEC. 20, 725S, 72E,
ELEVATION = 1400.08 (NAVD88, G12B)

from any and all assessments including those assessed by Homeowners Association Covenants. Land within this plat owned by such a municipal organization, exempt from taxation by the laws of the State of Kansas, shall not be subject to any non-taxing authority assessments throughout the duration of such ownership.

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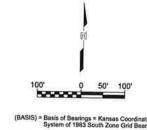
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SHEET 1 OF 2

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SURVEY MARKER LEGEND

5/8" REBAR W/CAP (FOUND - ORIGIN UNKNOWN) 1/2" REBAR W/GARVER CAP (SET)

MONUMENT TO BE SET WITH THE STREET
CONSTRUCTION PROJECT BY THE STREET DESIGNER

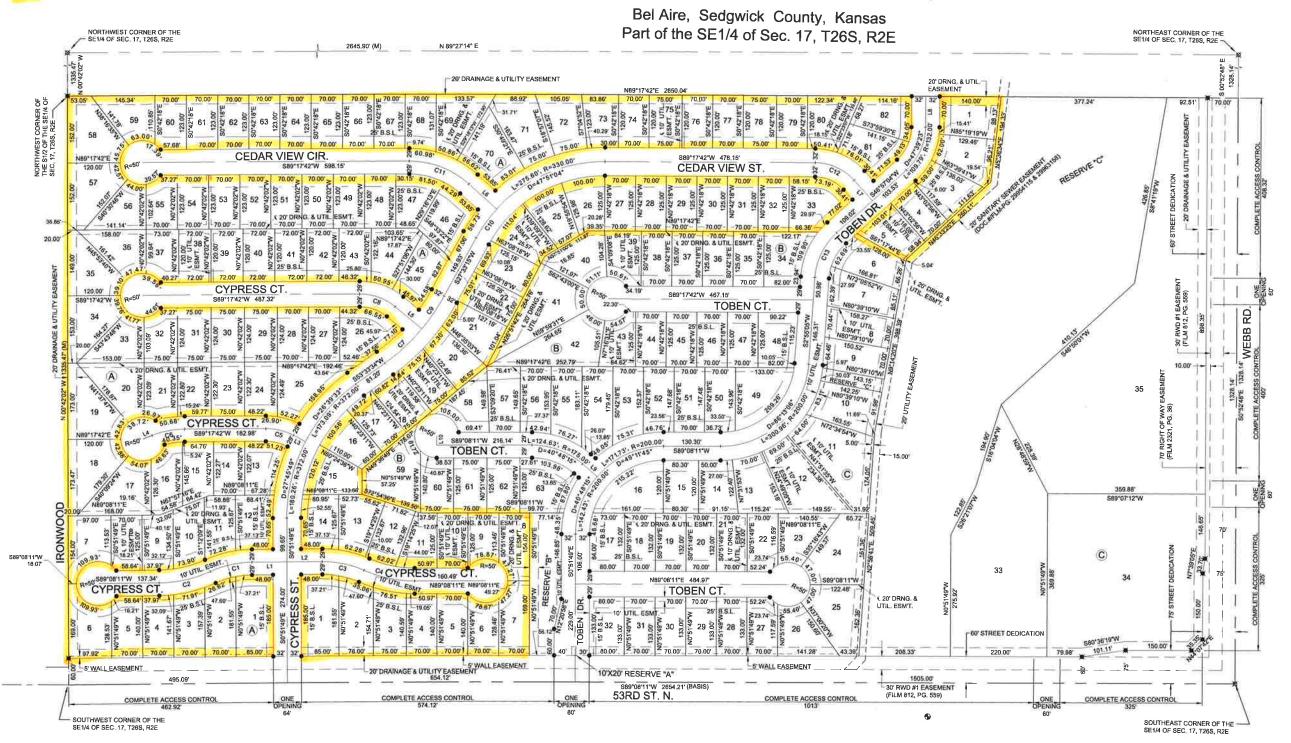


GARVER 8535 E. 21st Street N Suite 130 Wichita, KS 67206

DWG FILE: 21S04012 SURVEY BASE PROJECT NO. 21S04012 MARCH 22, 2022

= PHASE 2 PAVEMENT PETITION

CEDAR PASS ADDITION



Line Table Line# Length Direction L1 80.00 S89° 08' 11"W L2 80.00 N89° 08' 11"E L3 30.96 N63° 05' 59"W L4 21,96 N67° 57' 16"E L5 78.98 S50° 59' 12"E L6 84.69 S48° 33' 22"E L7 62.41 N43° 02' 56"W L8 70,00 S00° 42' 18"E L9 44 03 S50° 03' 33"E L10 21.00 S00° 51' 49"E

Curve Table			
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C6	74.49	200.00	21°20'26"
C7	114.25	450.00	14°32'46"
CB	86.65	125 00	39°43'06"
C9	90.00	450,00	11°27'33"
C10	80.00	330,00	13°53'24"
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C13	115.28	150.00	44°02'00"

	EL	INIMUM BUILDING I EVATION FOR LOW NING INTO STRUCT	/EST
1	BLOCK	LOT NO	ELEVATION (NAVD88)
	D	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 24, 25, 33, 35	1395.0

BENCHMARK #1:
CHISELED SQUARE AT THE NORTHWEST CORNER OF A
CONCRETE VAULT AT THE NORTHWEST CORNER OF A
LIFT STATION, 702 WEST AND 78 SOUTH OF THE
SOUTHEAST QUARTER CORNER OF SEC. 17, 126S, RZE,
ELEVATION = 1400.08 (NAVD88, G128)

BENCHMARK #2:
CHISELED SQUARE AT THE NORTHWEST CORNER OF A
CONCRETE VALLT AT THE NORTHWEST CORNER OF THE
CITY OF WICHITA CHLORINATION BUILDING, 702' WEST
AND 76' SOUTH OF THE NORTHEAST QUARTER CORNER
OF SEC. 20, 726S, R2E,
ELEVATION = 1400.08 (NAVD88, G12B)

Any land dedicated to or owned by a municipal authority shall be exempt from any and all assessments including those assessed by Homeowners Association Covenants, Land within this plat owned by such a municipal organization, exempt from taxation by the laws of the State of Kansas, shall not be subject to any non-taxing authority assessments throughout the duration of such ownership.

The Building Setbacks within R-5 zoning areas that are not shown shall be

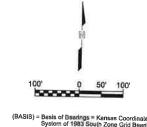
Rear yard building setback shall be 20 feet. Side yard building setback shall be 6 feet.

SHEET 1 OF 2

Accessory buildings are allowed on all lots, subject to the following:

Additional management of a more of any detached shed, shall be subject to all applicable governmental laws, codes, regulations, licensure, permitting and inspection associated with construction and property maintenance within the City of Bel Aire, Kansas

- 2. Sheds may be permitted within a rear set back line but no closer than 10' to a rear property line. 3. The side yard shall be maintained at 6 feet, and no sheds may be located
- 4. All residential properties shall comply with the required 35-45% land coverage codes, as well as conform to the type and height structure



SURVEY MARKER LEGEND

5/8" REBAR W/CAP (FOUND - ORIGIN UNKNOWN)

1/2" REBAR W/GARVER CAP (SET)
MONUMENT TO BE SET WITH THE STREET

DWG FILE: 21S04012 SURVEY BASE PROJECT NO 21S04012 MARCH 22, 2022



GARVER 8535 E. 21st Street N. Suite 130 Wichita, KS 67206 (316) 264-8008

= PHASE | STORM WATER DRAIN PETITION

CEDAR PASS ADDITION

Bel Aire, Sedgwick County, Kansas Part of the SE1/4 of Sec. 17, T26S, R2E



Line Table			
Line #	Length	Direction	
L1	80,00	S89° 08' 11"W	
L2	80,00	NB9° 08' 11"E	
L3	30,96	N63° 05' 59"W	
L4	21,96	N67° 57' 16"E	
L5	78,98	S50° 59' 12"E	
L6	84,69	S48° 33' 22"E	
L7	62.41	N43° 02' 56"W	
L8	70.00	S00° 42' 18"E	
L9	44,03	S50° 03' 33"E	
L10	21.00	S00° 51' 49"E	

Curve Table				
Curve #	Length	Radius	Delta	
C1	97.11	229.00	24°17'53'	
C2	118,32	279.00	24°17'53"	
C3	97,11	229,00	24°17'53"	
C4	118.32	279.00	24°17'53"	
C5	65 20	135,32	27°36'19"	
C6	74.49	200.00	21°20'26"	
C7	114.25	450,00	14°32'46"	
Св	86,65	125.00	39°43'06"	
C9	90,00	450.00	11°27'33"	
C10	80,00	330,00	13"53'24"	
C11	147.13	200,00	42°08'56"	
C12	99,81	120,00	47°39'22"	
C13	115,28	150.00	44°02'00"	

l EL	INIMUM BUILDING F EVATION FOR LOW NING INTO STRUCT	EST
BLOCK	LOT NO.	ELEVATION (NAVD88)
D	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 24, 25, 33, 35	1395,0

BENCHMARK #1:
CHISELED SQUARE AT THE NORTHWEST CORNER OF A
CONCRETE VAULT AT THE NORTHWEST CORNER OF A
LIFT STATION, 702 WEST AND 78 SOUTH OF THE
SOUTHEAST QUARTER CORNER OF SEC. 17, T26S, R2E,
ELEVATION = 1400.08 (NAVD89, G12B)

BENCHMARK #2:
CHISELED SQUARE AT THE NORTHWEST CORNER OF A
CONCRETE VAULT AT THE NORTHWEST CORNER OF THE
CITY OF WICHITA CHLORINATION BUILDING, 702 WEST
AND 76 SOUTH OF THE NORTHEAST QUARTER CORNER
OF SEC. 20, 7258, 72E,
ELEVATION = 1400.08 (NAVD88, G12B)

Any land dedicated to or owned by a municipal authority shall be exempt from any and all assessments including those assessed by Homeowners Association Covenants, Land within this plat owned by such a municipal organization, exempt from taxation by the laws of the State of Kansas, shall not be subject to any non-taxing authority assessments throughout the

The Building Setbacks within R-5 zoning areas that are not shown shall be

Rear yard building setback shall be 20 feet. Side yard building setback shall be 6 feet.

SHEET 1 OF 2

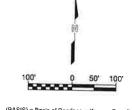
Accessory buildings are allowed on all lots, subject to the following:

1. All construction, including additions, alterations, modifications, and/or use

of any detached shed, shall be subject to all applicable governmental laws, codes, regulations, licensure, permitting and inspection associated with construction and property maintenance within the City of Bel Aire, Kansas. 2, Sheds may be permitted within a rear set back line but no closer than 10'

to a rear property line. 3. The side yard shall be maintained at 6 feet, and no sheds may be located within a side vard setback.

4. All residential properties shall comply with the required 35-45% land coverage codes, as well as conform to the type and height structure



(BASIS) = Basis of Bearings = Kansas Coordinate System of 1983 South Zone Grid Bearing

SURVEY MARKER LEGEND 5/8" REBAR W/CAP (FOUND - ORIGIN UNKNOWN

518' REBAR WIGARY (FOUND - ORIGIN UNKNOWN) 1/2" REBAR WIGARVER CAP (SET) MONUMENT TO BE SET WITH THE STREET CONSTRUCTION PROJECT BY THE STREET DESIGNER



GARVER 8535 E. 21st Street N Suite 130 Wichita, KS 67206 (316) 264-8008

DWG FILE: 21S04012 SURVEY BASE PROJECT NO. 21S04012 MARCH 22, 2022