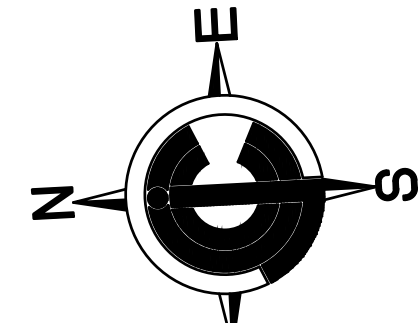


**SITE PLAN**

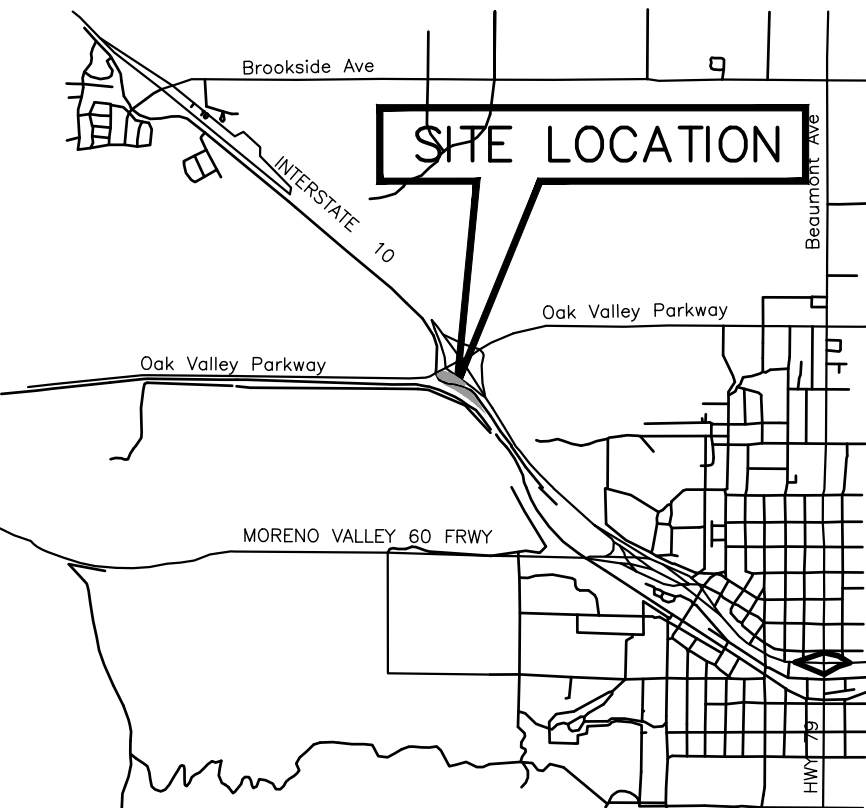
SCALE: 1"=20'-0"

SITE DATA INFORMATION				
DEVELOPER'S INFORMATION: OSCAR ETEMADIAN 35 POPPY HILLS ROAD LAGUNA NIGUEL, CA. 92677		ACCESSOR'S PARCEL NUMBER - ZONING: COMMERCIAL		
CONTACT: OSCAR ETEMADIAN				
GAS STATION LOT AREA	SQ. FT.	ACRE	RATIO	
46,275.0		1.1	-	
AMPM BUILDING AREA				
— OCCUPANCY: M	3,800.0	-	8.6%	
— CONSTRUCTION: V-B				
CANOPY AREA				
— OCCUPANCY: M	6,700.0	-	15.2%	
— CONSTRUCTION: V-B				
CAR WASH AREA				
— OCCUPANCY: B	1,500.0	-	3.4%	
— CONSTRUCTION: V-B				
LANDSCAPING AREA	8,518.0	-	19.0%	
RETAIL: 1/200	TYPE	SIZE	REQUIRED	PROVIDED
	HANDICAP	17'X19'	1	2
	REGULAR	9'X19'	18	17
	TOTAL:		19	19



DATE SIGNED: \_\_\_\_\_  
SEAL

**VICINITY MAP**



ISSUES / REVISIONS

1	04/30/18 REV. PER TERMINAL
2	03/16/20 REV. PER CITY PLNG
3	4/7/20 REV. T.E. LOC. PER PLNG
4	05/19/20 REV. PER TRAFFIC ENG.
5	
6	

**CONSTRUCTION NOTES**

- 1.10 6" CONCRETE CURB
- 1.20 20'H LED AREA LIGHT WITH PHOTO-CELL AND TIME CLOCK SWITCHING PER "CALGREEN" AND TITLE 24 REQUIREMENTS. HOOD AND ARRANGE SO AS NOT TO CAUSE A NUISANCE TO ADJACENT STREET TRAFFIC OR TO LIVING ENVIRONMENT. THE AMOUNT OF LIGHT THAT SHALL BE PROVIDED SHALL BE PER THE PUBLIC WORKS STANDARDS AND CALGREEN
- 1.30 LANDSCAPING WITH AUTOMATIC IRRIGATION
- 1.40 6" CONCRETE DRIVE SLAB WITH #3 BARS @ 18" O.C. OR AS SPECIFIED IN SOILS REPORT IF AVAILABLE.
- 1.50 6" OVER 4" A.B. ASPHALT PAVING OR AS SPECIFIED IN SOILS REPORT IF AVAILABLE.
- 1.60 HANDICAP PATH OF TRAVEL (MIN. 48" WIDE AND SLOPE NOT TO EXCEED 2% EACH WAY)
- 1.70 HANDICAP PARKING SPACE WITH ALL RELATED SIGNAGE (SLOPE NOT TO EXCEED 2% E.W.)
- 1.75 BICYCLE PARKING (MIN. 3) PER CAL GREEN CODE
- 1.80 9'X18" STANDARD PARKING SPACES
- 1.85 LOADING ZONE STRIPE
- 1.90 CONCRETE HANDICAP RAMP (SLOPE 8.33%)
- 1.91 CONCRETE SIDEWALK (MIN. 48" WIDE WITH 2% CROSS SLOPE WHERE HANDICAP PATH OF TRAVEL OCCURS)
- 2.10 TRASH ENCLOSURE PER CITY OF BEAUMONT PUBLIC WORKS STANDARD
- 2.20 6" CONCRETE FILLED STEEL GUARD POSTS
- 2.21 U-SHAPE STEEL GUARD POSTS
- 2.30 AIR/WATER AND VACUUM UNIT
- 2.35 ELECTRIC CHARGING STATION INFRASTRUCTURE
- 2.40 UNDER GROUND STORAGE TANKS (2) 20,000 GALLON AND (1) 30,000 GALLON UNDER REINFORCED CONCRETE SLAB
- 2.41 TANK VENT RISERS CARBON CANISTER
- 2.45 1,500 GALLON CAR WASH CLARIFIER
- 2.50 CONCRETE ISLAND W/ (1) MULTI PRODUCT DISPENSER (6" MIN. & 8" MAX. HEIGHT)
- 2.70 FUELING CANOPY
- 2.71 FUELING CANOPY COLUMNS
- 2.80 ID SIGNAGE
- 2.85 FREEMWAY SIGN
- 3.10 ADA PARKING LOT ENTY SIGN PER CHAPTER 11B OF CBC
- 10.10 CONCRETE DRIVEWAY PER CITY OF BEAUMONT PUBLIC WORKS STANDARD
- 10.20 CONCRETE SIDEWALK PER CITY OF BEAUMONT PUBLIC WORKS STANDARD

**CJC Design, Inc.** Permitting  
Design Planning

22485 La Palma Avenue, Suite 202, Yorba Linda, CA 92887  
Tel: (714) 920-8643  
www.cjcdp.com

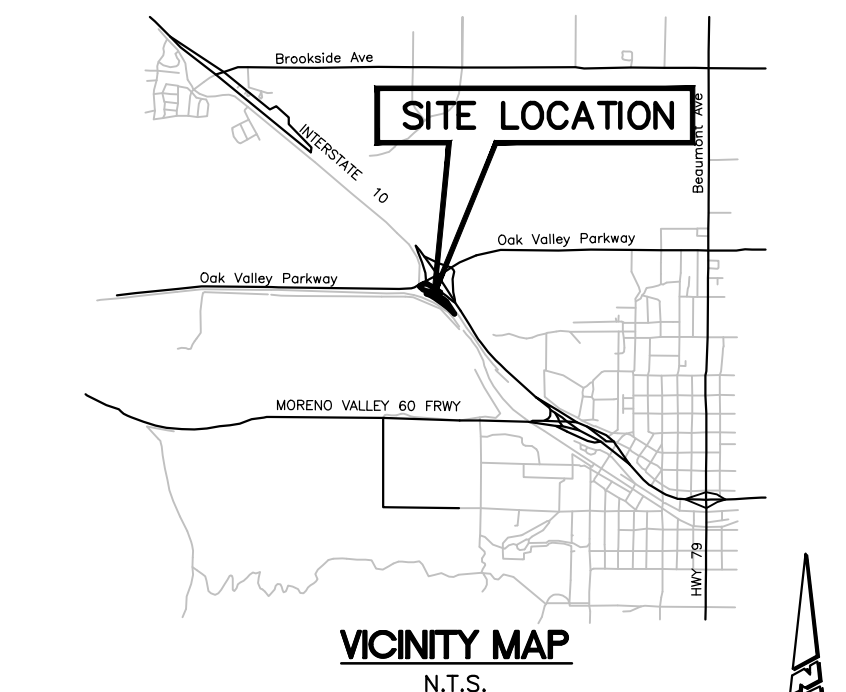


SHEET TITLE  
**GAS STATION SITE PLAN**

PROJECT NO: 18034

# PLOT PLAN BEAUMONT LANDING CITY OF BEAUMONT

INTERSTATE HIGHWAY No. 10



**DEVELOPER**  
BEAUMONT LANDING, LLC  
OSCAR ETEMADIAN  
10995 INDIANA AVE.  
RIVERSIDE, CA. 92503  
909-236-1372

**OWNER**  
OAK VALLEY PARTNERS, LP  
CRAIG MARTIN  
6212 RIVER HIGHLANDS DR.  
MCKINNEY, TX. 75070  
469-855-8300

**ENGINEER**  
PROACTIVE ENGINEERING  
CONSULTANTS WEST, INC.  
25109 JEFFERSON AVE., SUITE 200  
MURRIETA, CA 92562  
(951) 200-6840

04/30/18 REV. PER TERMINAL

**ASSESSOR'S PARCEL NUMBERS**

414-090-007 & 414-090-005

**LEGAL DESCRIPTION**

**PARCEL 1:**  
THAT PORTION OF THE NORTHEAST QUARTER OF FRACTIONAL SECTION 5, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF BEAUMONT, LYING NORTHEASTERLY OF THE SOUTHERN PACIFIC RAILROAD COMPANY RIGHT OF WAY AND SOUTHERLY AND WESTERLY OF THE SOUTH FRONTAGE ROAD OF INTERSTATE 10, AS SHOWN ON RECORD OF SURVEY FILED IN BOOK 80, PAGE(S) 78 THROUGH 89, OF RECORDS OF SURVEY, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

**PARCEL 2:**  
THAT PORTION OF THE NORTHEAST QUARTER OF FRACTIONAL SECTION 5, TOWNSHIP 3 SOUTH, RANGE 1 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF BEAUMONT, DESCRIBED AS FOLLOWS:  
COMMENCING AT MOST WESTERLY CORNER OF THE THIRD DESCRIBED PARCEL DESCRIBED IN THE DEED TO THE STATE OF CALIFORNIA, RECORDED OCTOBER 31, 1949 AS INSTRUMENT NO. 3519, IN BOOK 1119, PAGE(S) 172 OF OFFICIAL RECORDS; THENCE ALONG THE SOUTHEASTERLY LINE OF SAN TIMOTEO CANYON ROAD, 80 FEET WIDE, AS DESCRIBED IN THE DEED TO THE COUNTY OF RIVERSIDE, RECORDED JUNE 26, 1946 AS INSTRUMENT NO. 4344, BOOK 755 PAGE 427 OF OFFICIAL RECORDS, SOUTH 55°09'00" WEST, 201.97 FEET; THENCE SOUTH 34°51'00" EAST, 32.77 FEET TO THE TRUE POINT OF BEGINNING; THENCE SOUTH 60°18'08" WEST, 101.64 FEET; THENCE ALONG A TANGENT CURVE CONCAVE EASTERLY WITH A RADIUS OF 30 FEET, THROUGH AN ANGLE OF 99°35'38" A DISTANCE OF 52.15 FEET; THENCE ALONG A COMPOUND CURVE CONCAVE NORTHEASTERLY WITH A RADIUS OF 270 FEET FROM A TANGENT BEARING SOUTH 39°17'30" EAST, THROUGH AN ANGLE OF 40°58'35" A DISTANCE OF 193.10 FEET; THENCE SOUTH 80°16'05" EAST, 250.02 FEET; THENCE ALONG A TANGENT CURVE CONCAVE SOUTHERLY WITH A RADIUS OF 680 FEET, THROUGH AN ANGLE OF 10°12'33" A DISTANCE OF 121.16 FEET; THENCE NORTH 19°56'28" EAST, 47.41 FEET; THENCE ALONG A NON-TANGENT CURVE CONCAVE SOUTHWESTERLY WITH A RADIUS OF 1,600 FEET FROM A TANGENT BEARING NORTH 52°34'07" WEST, THROUGH AN ANGLE OF 10°29'03" A DISTANCE OF 292.77 FEET; THENCE ALONG A COMPOUND CURVE CONCAVE SOUTHERLY WITH A RADIUS OF 650 FEET FROM A TANGENT BEARING NORTH 6°30'31" WEST, THROUGH AN ANGLE OF 18°28'31" A DISTANCE OF 209.60 FEET TO THE TRUE POINT OF BEGINNING.

**PROJECT SUMMARY**

EXISTING PROJECT AREA:  
APN 414-090-007 1.44 ACRES  
APN 414-090-005 1.59 ACRES  
TOTAL NET AREA 3.03 ACRES

PROPOSED PROJECT AREA:  
GROSS ROAD BASIN MITIGATION NET  
PARCEL 1 2.28 AC -- 0.41 AC 0.35 AC 0.28 AC  
PARCEL 2 1.07 AC -- 0.17 AC 0.35 AC 0.31 AC

**PROPOSED ZONING:**

PARCEL 1 - CC  
PARCEL 2 - CC

**PROPOSED LAND USE:**

PARCEL 1 - COMMERCIAL RETAIL  
PARCEL 2 - COMMERCIAL RETAIL

**SURROUNDING ZONING:**

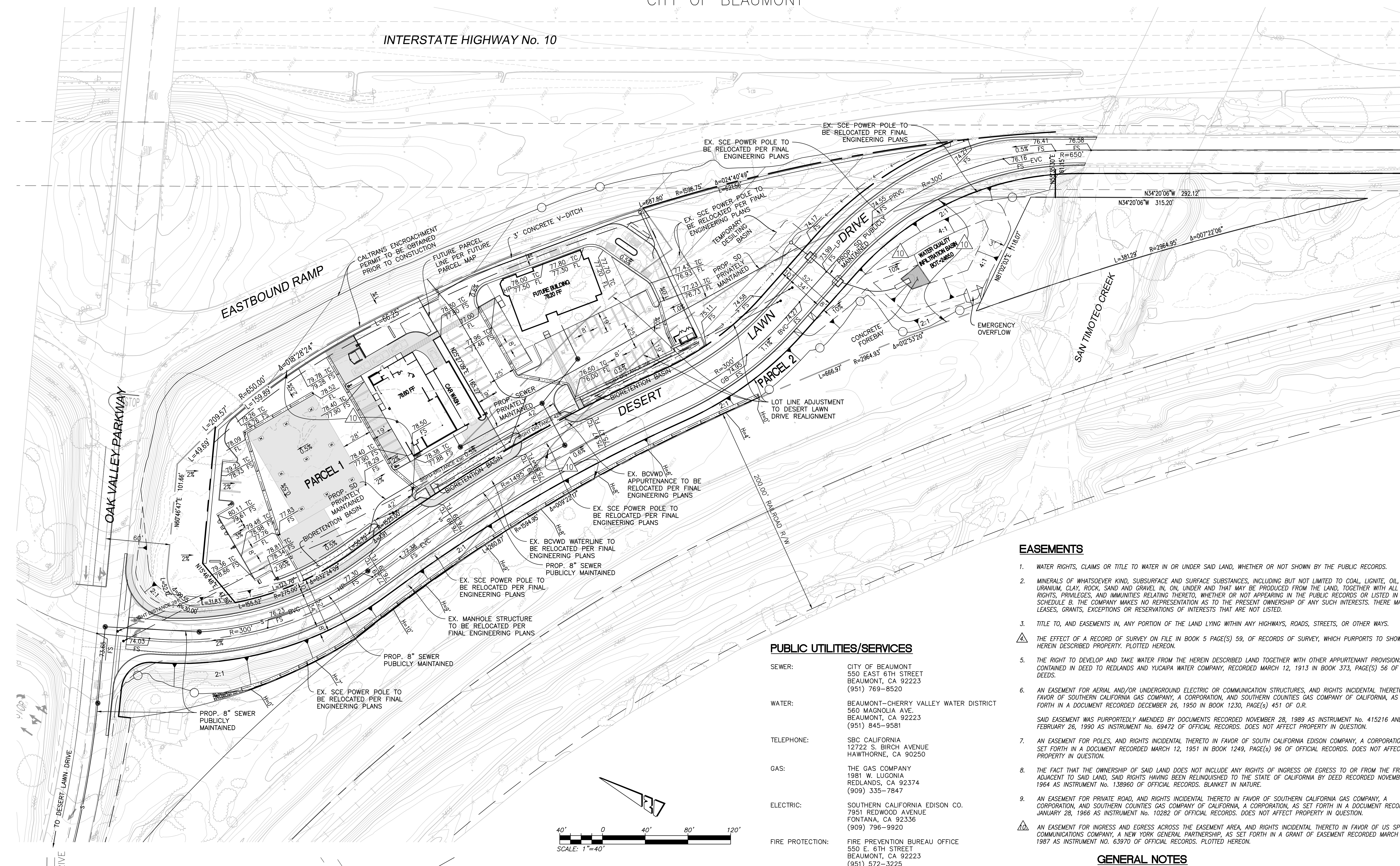
NORTH - CC  
EAST - CC/M  
SOUTH - M  
WEST - CC

**SURROUNDING LAND USE:**

NORTH - FREEWAY  
EAST - VACANT/FREEWAY  
SOUTH - VACANT/RR  
WEST - VACANT/RR

**LEGEND**

- CENTER LINE
- PROPOSED CURB
- EXISTING EASEMENT
- PROPOSED EASEMENT
- PROJECT BOUNDARY
- EXISTING PARCEL BOUNDARY
- PROPOSED PARCEL BOUNDARY PER FUTURE PARCEL MAP
- PROPOSED RIGHT-OF-WAY
- SETBACK LINE
- LINE OF SIGHT
- PROPOSED STORM DRAIN
- PROPOSED SEWER



**EASEMENTS**

- WATER RIGHTS, CLAIMS OR TITLE TO WATER IN OR UNDER SAID LAND, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.
- MINERALS OF WHATSOEVER KIND, SUBSURFACE AND SURFACE SUBSTANCES, INCLUDING BUT NOT LIMITED TO COAL, LIGNITE, OIL, GAS, URANIUM, CLAY, ROCK, SAND AND GRAVEL IN, ON, UNDER AND THAT MAY BE PRODUCED FROM THE LAND, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, WHETHER OR NOT APPEARING IN THE PUBLIC RECORDS OR LISTED IN SCHEDULE B. THE COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS. THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED.
- TITLE TO, AND EASEMENTS IN, ANY PORTION OF THE LAND LYING WITHIN ANY HIGHWAYS, ROADS, STREETS, OR OTHERWAYS.

**PUBLIC UTILITIES/SERVICES**

**SEWER:** CITY OF BEAUMONT  
550 EAST 6TH STREET  
BEAUMONT, CA 92223  
(951) 769-8520

**WATER:** BEAUMONT-CHERRY VALLEY WATER DISTRICT  
560 MAGNOLIA AVE.  
BEAUMONT, CA 92223  
(951) 845-9581

**TELEPHONE:** SBC CALIFORNIA  
12722 S. BIRCH AVENUE  
HAWTHORNE, CA 90250

**GAS:** THE GAS COMPANY  
1981 W. LUGONIA  
REDLANDS, CA 92374  
(909) 335-7847

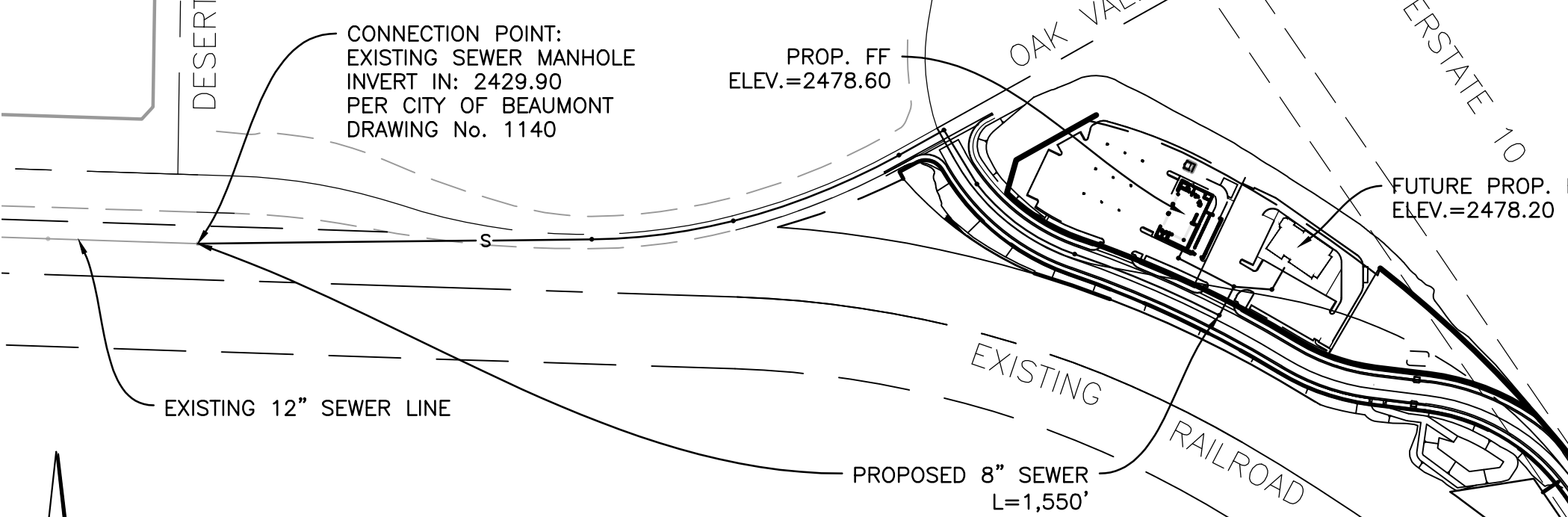
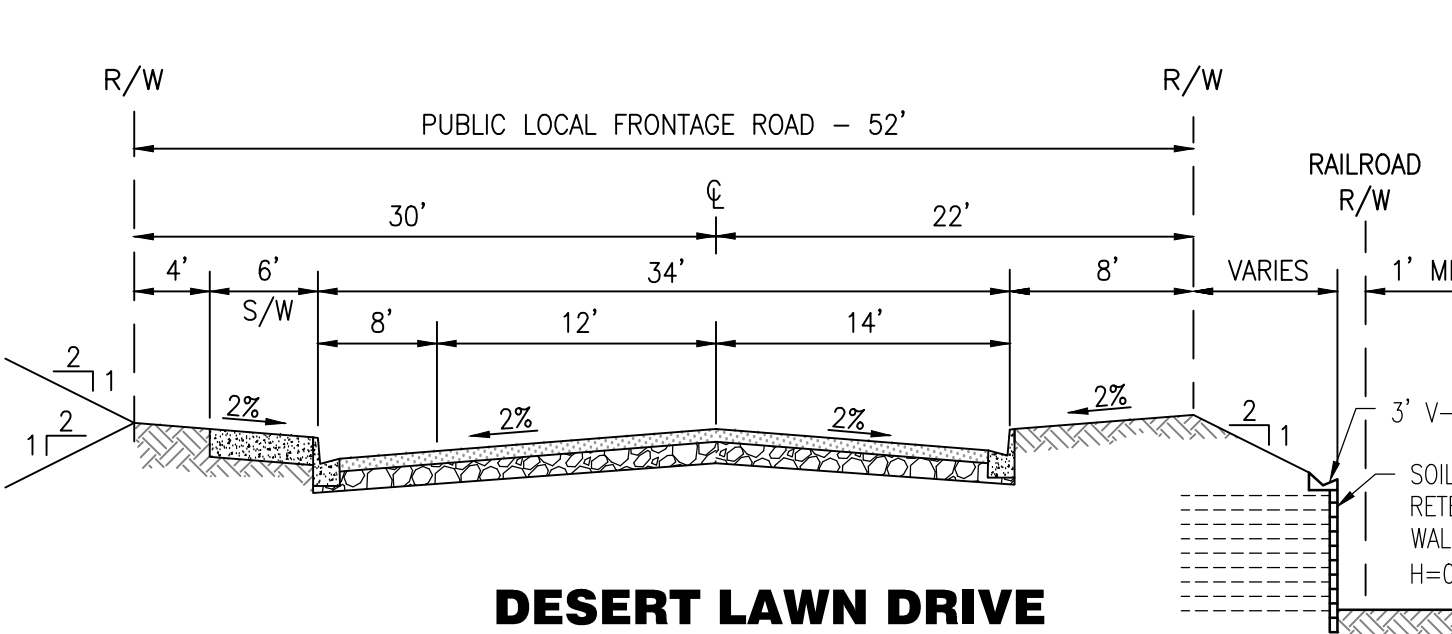
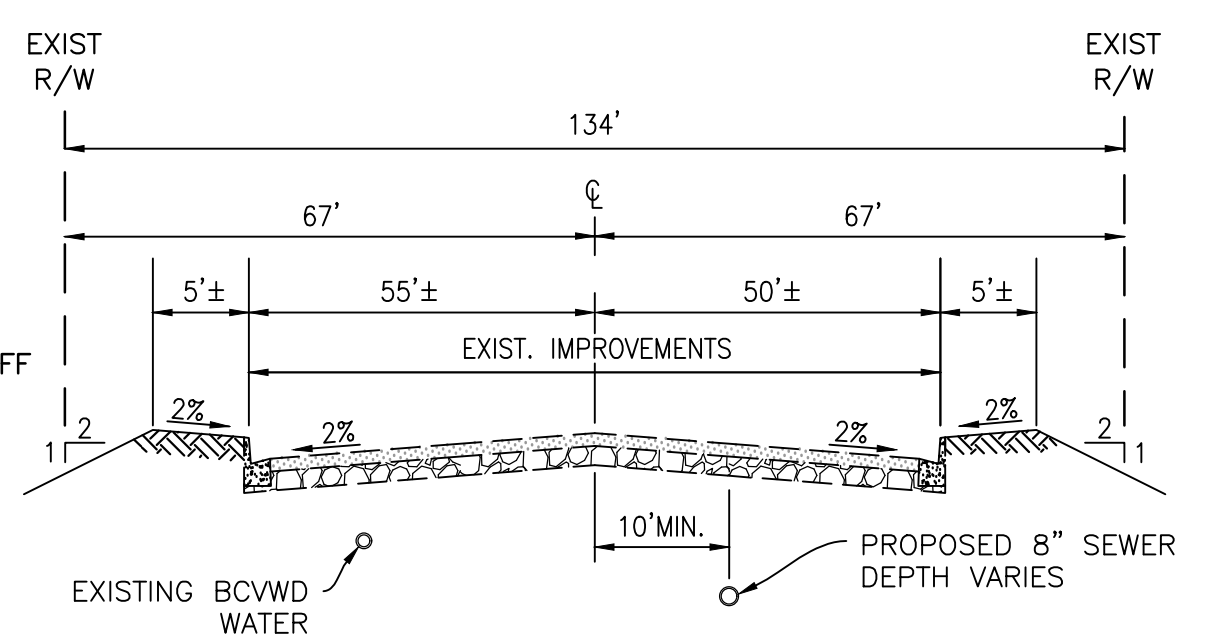
**ELECTRIC:** SOUTHERN CALIFORNIA EDISON CO.  
7951 REDWOOD AVENUE  
FONTANA, CA 92336  
(909) 796-9920

**FIRE PROTECTION:** FIRE PREVENTION BUREAU OFFICE  
550 E. 6TH STREET  
BEAUMONT, CA 92223  
(951) 572-3225

**SCHOOL DISTRICT:** BEAUMONT UNIFIED SCHOOL DISTRICT

**GENERAL NOTES**

- ASSESSORS PARCEL NUMBER: 414-090-007 & 414-090-005
- PROPOSED IMPROVEMENT SCHEDULE: XX
- THOMAS BROTHERS GUIDE, PG. 720 GRID E1 (RIVERSIDE COUNTY 2003 EDITION)
- THIS PLOT PLAN INCLUDES THE ENTIRE CONTIGUOUS OWNERSHIP OF THE LAND DIVIDER
- THIS PROPERTY IS NOT WITHIN A SPECIFIC PLAN
- TOWNSHIP/RANGE: T3, R1W, SEC. 5 NE
- NO EASEMENTS OF RECORD ARE KNOWN TO EXISTING ON THE PROPERTY SITE EXCEPT AS SHOWN HEREON.
- THIS SITE IS WITHIN COMMUNITY SERVICE DISTRICT: XX
- THERE IS NO EXISTING WELL LOCATED ON THIS SITE.
- PROJECT WILL BE ON A SEWER SYSTEM.
- THIS SITE IS SUBJECT TO MODERATE LIQUEFACTION. THIS SITE IS NOT SUBJECT TO OVERFLOW, INUNDATION, OR FLOOD HAZARD.
- FEMA ZONE DESIGNATION: "X". FEMA PANEL NUMBER: XX
- AERIAL TOPOGRAPHY SOURCE: XX
- THERE ARE NO EXISTING DWELLINGS, BUILDINGS OR OTHER STRUCTURES LOCATED ON THE SITE.
- ALL SLOPES WILL BE 2:1, UNLESS NOTED OTHERWISE.
- SETBACKS OF SLOPES TO PROPERTY LINES SHALL CONFORM TO CITY STANDARDS.
- THE HEIGHT OF PROPOSED STRUCTURES WILL VARY AND IN NO CASE WILL PROPOSED HEIGHT EXCEED THE REQUIREMENTS ESTABLISHED IN THE BEAUMONT MUNICIPAL CODE.
- THE SUBDIVIDER RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS, PER SEC. 66456.1 OF THE STATE MAP ACT.
- BUILDING SETBACKS OF PROPOSED BUILDINGS WILL CONFORM TO THE SETBACK REQUIREMENTS OF THE BEAUMONT MUNICIPAL CODE.
- THE HEIGHT OF PROPOSED STRUCTURES WILL VARY AND IN NO CASE WILL PROPOSED HEIGHT EXCEED THE REQUIREMENTS ESTABLISHED IN THE BEAUMONT MUNICIPAL CODE.
- NO HAZARDOUS MATERIALS HAVE BEEN KNOWN TO BE STORED ON THIS SITE.



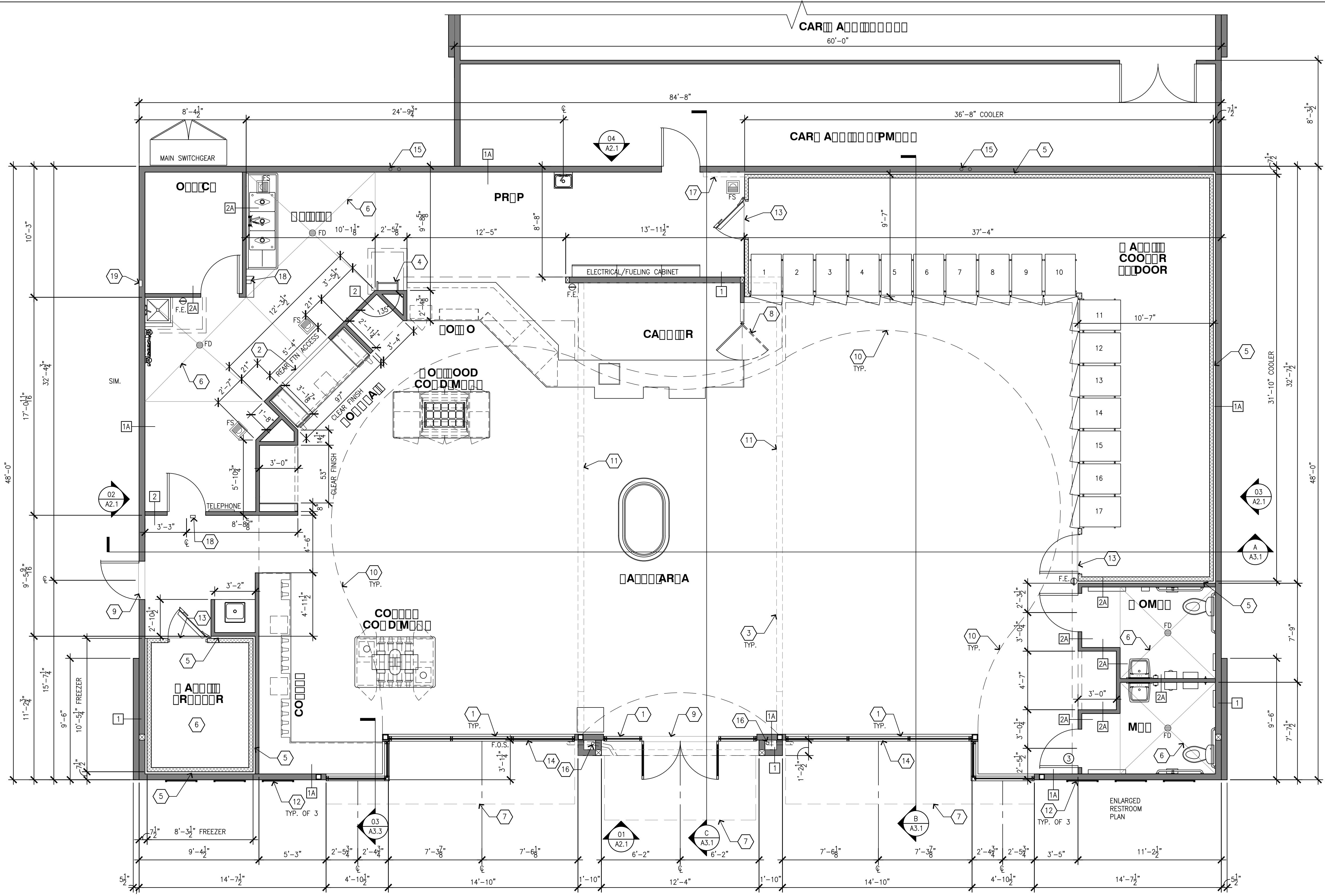
**SEWER CONNECTION  
EXHIBIT**  
N.T.S.

NO.	BY	DATE	REVISIONS	DESCRIPTION	APPROV.	DATE

PREPARED BY:  
  
PROACTIVE ENGINEERING  
CONSULTANTS WEST, INC.  
25109 JEFFERSON AVE., SUITE 200  
MURRIETA, CA 92562  
951-200-6840

**BEAUMONT LANDING  
PLOT PLAN**  
CITY OF BEAUMONT CALIFORNIA

**SHEET  
1  
OF 1**



- RA**
- A. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
  - B. ALL DENOTED DIMENSIONS ARE TO BE USED. PLANS SHALL NOT BE SCALED.
  - C. EXTERIOR WALL ARE 2x6, INTERIOR WALLS 2x4 U.N.O., SEE STRUCTURAL PLANS FOR FRAMING REQUIREMENTS.
  - D. SEE PLUMBING PLANS FOR DIMENSIONS TO PLUMBING FIXTURES
  - E. REFER TO SHEET Q1.1 FOR EQUIPMENT PLAN.
  - F. REFER TO SHEET Q2.1 FOR EQUIPMENT SCHEDULE.
  - G. ALL EQUIPMENT SHALL MEET ACCESSIBILITY REACH RANGE REQUIREMENTS.
  - H. PROVIDE PLASTIC CORNER GUARDS AT EDGES BELOW 6'-0".
  - I. ALL COUNTERTOPS SHALL BE MAX. 3/4" A.F.F. WITH A 3'-FOOT WIDE TRANSACTION AREA AT CASHIER. CONTRACTOR SHALL COORDINATE WORK WITH CABINET INSTALLER FOR CABINET INSTALLATION. CONTRACTOR TO ROUTE UTILITIES THROUGH CABINETS. CONTACT CABINET INSTALLER FOR SITE SPECIFIC CABINET SHOP DRAWINGS.
  - J. 4" HIGH BACKSPLASH AT ALL COUNTERTOPS THAT TERMINATE AT WALL. BACKSPLASH TO MATCH COUNTERTOP MATERIAL.
  - K. THE CONTRACTOR SHALL ASSIST STORE PERSONNEL BY ASSEMBLING MERCHANDISE CONDOLOS AND SHELVING AS SHOWN ON Q1.1.
  - L. ALL EQUIPMENT AND CABINETS SHALL BE FREE OF SHARP EDGES. CONTACT MANUFACTURER OR PREP EDGES FOR SAFETY.
  - M. CONTRACTOR SHALL ROUTE ALL CONDENSATE DRAIN LINES TO FLOOR SINKS.
  - N. CONTRACTOR SHALL INSTALL NEW PARTITIONS/WALLS WITH GYPSUM WALL BOARD AND FINISHES AS NOTED ON FINISH SCHEDULE AND INTERIOR ELEVATIONS ON SHEET A2.3 THRU A2.6. ALL PARTITIONS/WALLS SHALL BE BRACED FOR LATERAL FORCES, PER BUILDING CODE REQUIREMENTS.
  - O. FLAME SPREAD CLASSIFICATIONS FOR INTERIOR WALLS SHALL COMPLY WITH LOCAL CODES.
  - P. FIRE EXTINGUISHERS (2A:10B:C) SHALL BE INSTALLED AT SALES COUNTER, BACK ROOM, OFFICE, & FUEL CANOPY LOCATIONS IF NOT SHOWN ELSEWHERE ON THESE DRAWINGS. VERIFY WITH OWNER FOR DETAILS. CONFIRM FINAL DETAILS WITH LOCAL FIRE INSPECTOR.
  - Q. CONTRACTOR SHALL ASSIST THE OWNER WITH STORE EQUIPMENT TO PREPARE A DELIVERY STAGING AREA. COORDINATE WITH OWNER FOR THE DELIVERY SCHEDULE AND SHIPPING DAMAGES, AS APPLICABLE.
  - R. CONTRACTOR SHALL PROVIDE A CLEAN, SMOOTH SURFACE FOR GRAPHICS INSTALLATION.
  - S. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR FROM CABINET AND EQUIPMENT CLEARANCES PRIOR TO WALL ERECTION. DISCREPANCIES SHALL BE DIRECTED TO OWNER.
  - T. WATER HEATERS SHALL BE CAPABLE OF DELIVERING MIN. 120° WATER TO ALL SINKS.
  - U. ALL FLOOR/WALL TILE AND COVE BASE SHALL BE INSTALLED BY THE GENERAL CONTRACTOR ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
  - V. ALL DOORS MUST HAVE NO MORE THAN 5 LBS OPENING FORCE AND MUST HAVE A SWEEP PERIOD OF 3 SECONDS TO CLOSE FROM 70° OPEN TO 3° FROM THE LATCH.
  - W. CARBONATOR BACK-FLOW PREVENTOR DRAIN LINE OUTLET SHALL BE TO NEW FLOOR SINK PROVIDED FOR THIS AREA.

DATE SIGNED: \_\_\_\_\_  
SEAL

ISSUES / REVISIONS

NO.	DESCRIPTION
1	
2	
3	
4	
5	
6	

DATE DESCRIPTION  
DRAWN BY: G. DE VERA  
CHKD BY: F. COHEN  
3800 AM/PM + CAR WASH  
S.E.C. OAK VALLEY PKWY  
INTERSTATE 10  
BEAUMONT  
CA 92223  
PROJECT NAME AND ADDRESS

- D**
- 1 ALUMINUM ENTRANCE AND STOREFRONT SYSTEM, REFER TO SHEET A5.1 & SPECIFICATION.
  - 2 INSTALL 6" PVC CHASE FOR FOUNTAIN SYRUP LINES.
  - 3 FLOOR RECEPTACLES, REFER TO ELECTRICAL PLANS.
  - 4 ROOF LADDER PER DETAIL 7/A4.1
  - 5 1" MINIMUM AIR GAP AT PREFABRICATED COOLER/FREEZER
  - 6 DEPRESSED SLAB, REFER TO SLAB PLAN.
  - 7 LINE OF CANOPY ABOVE
  - 8 DOUBLE SWING METAL GATE PROVIDED BY SHOPCO
  - 9 THRESHOLD, REFER TO DOOR SCHEDULE ON SHEET A5.1
  - 10 LINE OF SOFFIT ABOVE
  - 11 LINE OF CLERESTORY CEILING OPENING, REFER TO WINDOW SCHEDULE ON SHEET A5.1
  - 12 WALL SIGNS
  - 13 TRANSITION STRIP
  - 14 STEEL COLUMNS UNDER WINDOW SILL FOR STOREFRONT PROTECTION, REFER TO STRUCTURAL PLANS FOR SIZE AND LOCATION.
  - 15 ROOF DRAIN AND OVERFLOW, REFER TO CIVIL PLANS FOR CONTINUATION
  - 16 CANOPY DOWNSPOUT, REFER TO CIVIL PLANS FOR CONTINUATION
  - 17 FUTURE SOLAR EQUIPMENT
  - 18 CO2 SAFETY MONITORING EQUIPMENT, REFER TO SHEETS Q1.1 AND Q2.1 FOR LOCATION AND SPECIFICATION
  - 19 RECESSED STAINLESS STEEL FILL BOX WITH QUICK-DISCONNECT MALE FILL AND VENT HOSE CONNECTION FOR CO2 TANK

- D**
- WOOD FRAMED WALL
  - PREFABRICATED COOLER/FREEZER WALL
  - 1 2x6 STUDS @ 16"o.c.
  - 1A 2x6 STUDS @ 16"o.c. W/ THERMAL INSULATION
  - 2 2x4 STUDS @ 16"o.c.
  - 2A 2x4 STUDS @ 16"o.c. W/ SOUND BATT INSULATION
  - X DOOR SYMBOL, REFER TO SHEET A5.1 FOR DETAILS
  - W WINDOW SYMBOL, REFER TO SHEET A5.1 FOR DETAILS

01 - SCALE: 1/4"=1'-0"

ROOM	DESCRIPTION	ROOM	DESCRIPTION	ROOM	DESCRIPTION	ROOM	DESCRIPTION
RESTROOM	GLAZED PORCELAIN TILE REFER TO FINISH CALLOUT ON A1.2.	CAR WASH	PORCELAIN COVE BASE REFER TO FINISH CALLOUT ON A1.2.	OFFICE	QUARRY TILE REFER TO FINISH CALLOUT ON A1.2.	PREP	CLEAR CONCRETE SEALER REFER TO FINISH CALLOUT ON A1.2.
RESTROOM	CERAMIC SANITARY COVE BASE REFER TO FINISH CALLOUT ON A1.2.	RESTROOM	PORCELAIN COVE BASE REFER TO FINISH CALLOUT ON A1.2.	OFFICE	QUARRY SANITARY COVE BASE. REFER TO FINISH CALLOUT ON A1.2.	RESTROOM	INTEGRAL METAL COVE BASE WITH 3/8" RADIUS, BY COOLER MFR. REFER TO SPECIFICATION ON Q1.2.
RESTROOM	PAINTED SMOOTH FINISH 5/8" GYPSUM BOARD. REFER TO CALLOUT ON SHEET A2.3 - A2.6.	RESTROOM	WALL TILE OVER 5/8" WATER RESISTANT GYPSUM BOARD. REFER TO CALLOUT ON A2.6.	OFFICE	PAINTED SMOOTH FINISH 5/8" GYPSUM BOARD. REFER TO CALLOUT ON SHEET A2.6.	RESTROOM	STUCCO-GALVALUM. BY COOLER MFR. REFER TO SPECIFICATION ON Q1.2.
RESTROOM	FASCIA PAINTED SMOOTH FINISH 1/2" GYPSUM BOARD. REFER TO CALLOUT ON A2.3 & A2.4. SOFFIT PAINTED SMOOTH FINISH 5/8" WATER RESISTANT GYPSUM BOARD. REFER TO CALLOUT ON A1.3.	RESTROOM	NOT APPLICABLE	OFFICE	PAINTED SMOOTH FINISH 5/8" WATER RESISTANT GYPSUM BOARD. REFER TO CALLOUT ON A1.3.	RESTROOM	WASHABLE SUSPENDED WHITE CEILING TILE. REFER TO CALLOUT ON A1.3.
RESTROOM	PAINTED PLYWOOD AND OPEN WEB TRUSSES. REFER TO CALLOUT ON A1.3.	RESTROOM	PAINTED SMOOTH FINISH 5/8" GYPSUM BOARD. REFER TO CALLOUT ON A1.3.	OFFICE	PAINTED SMOOTH FINISH 5/8" GYPSUM BOARD. REFER TO CALLOUT ON A1.3.	RESTROOM	STUCCO-GALVALUM. BY COOLER MFR. REFER TO CALLOUT ON Q1.2 AND A1.3.

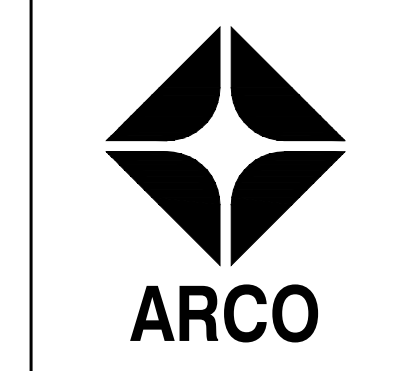
**OCC PA C OAD**

SALES - 2,319 S.F. (2319/60)	= 39
OFFICE - 72 S.F. (72/100)	= 1
RESTROOMS - 136 S.F. (EXEMPT)	= 0
PREP/UTILITY - 532 S.F. (532/200)	= 3
COOLER/FREEZER - 622 S.F. (622/300)	= 3
TOTAL (NET): 3,681 S.F.	= 46 OCCUPANTS
TOTAL (GROSS): 3,799 S.F.	

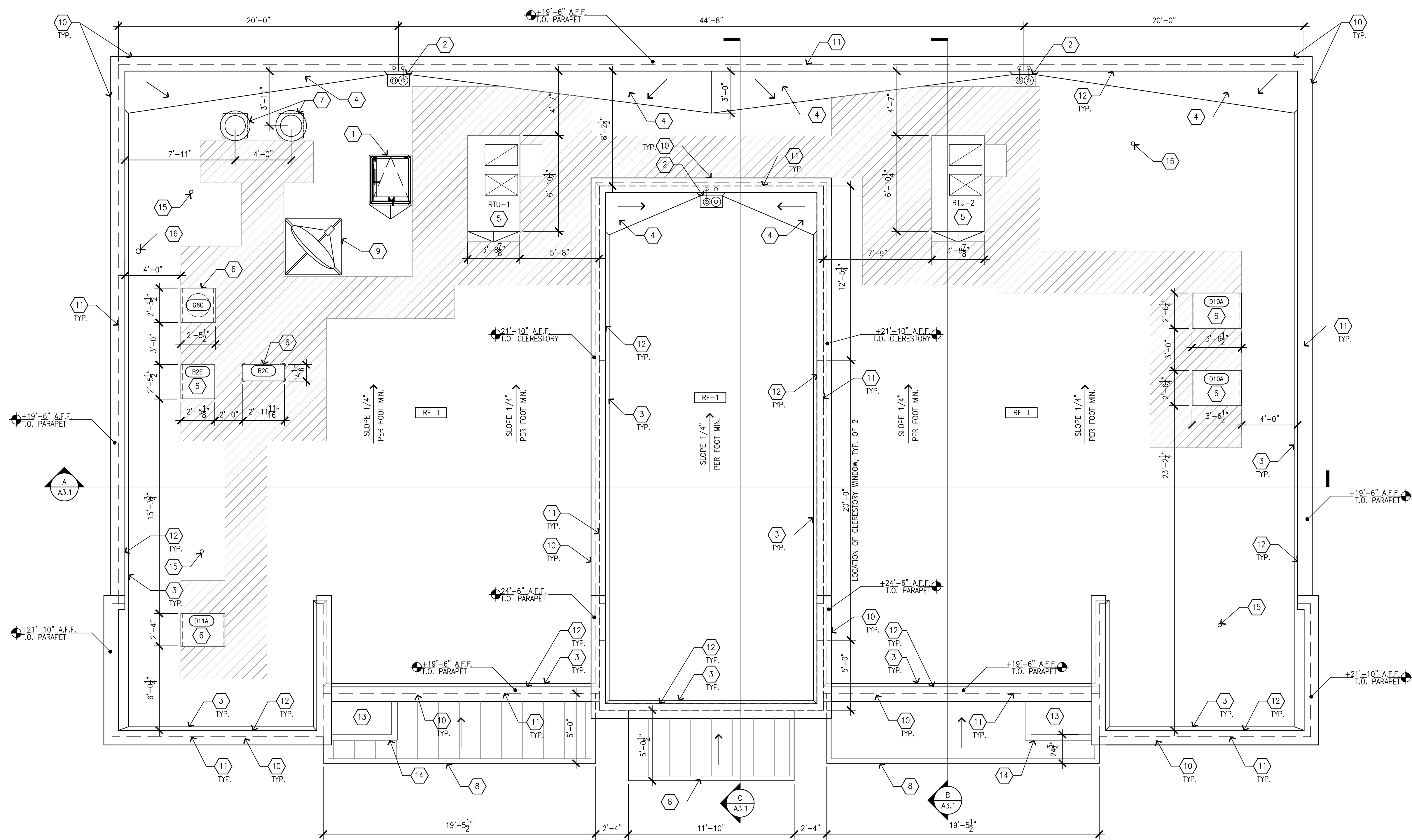
\*COOLER IS A NON OCCUPIABLE SPACE PER SECTION 202 DEFINITION OF AN OCCUPIABLE SPACE.

EXITS REQUIRED: 2  
EXITS PROVIDED: 2

**CJC Design, Inc.** Permitting  
Design  
22485 La Palma Avenue, Suite 202, Yorba Linda, CA 92887  
Tel: (714) 900-8643  
www.cjcdp.com



SHEET TITLE  
PROJECT NO: 18034  
**A**



01 ROO P A  
SCALE: 1/4"=1'-0"

ROO P A

- A. REFER TO SPECIFICATION SHEETS A7.3 & A7.4 FOR ROOF SYSTEM, INCLUDING GUARANTEES, CURBS, FLASHING, AND ECT.
- B. REFER TO ROOFING MANUFACTURERS WRITTEN INSTRUCTIONS AND DETAILS FOR ROOFING SYSTEM INSTALLATION. CONTRACTOR TO PROVIDE COMPLETE ROOFING PACKAGE PER MANUFACTURERS RECOMMENDATIONS.
- C. ROOF ASSEMBLY SHALL COMPLY WITH U.L. I-90 AND FM CLASS "B" RATINGS INCLUDING COPING, FLASHING, PARAPET WALL, AND ROOF SYSTEM.
- D. DO NOT STOCKPILE EQUIPMENT OR MATERIALS ON THE ROOF STRUCTURE, UNLESS APPROVED IN WRITING BY THE ARCHITECT, STRUCTURAL ENGINEER, AND THE TRUSS MANUFACTURER.
- E. FOR EQUIPMENT COMPRESSOR & CONDENSER REFER TO EQUIPMENT PLAN ON SHEET Q1.1 AND EQUIPMENT SCHEDULE ON SHEET Q2.1.
- F. GENERAL CONTRACTOR IS TO PROVIDE TEMPORARY CONSTRUCTION PERIMETER GUARDRAIL TO COMPLY WITH CODE OF FEDERAL REGULATIONS 29 C.F.R. 1926, SUBPART M (OSHA), GUARDRAIL TO BE 42" HEIGHT AND BE ABLE TO WITHSTAND 200 POUNDS AT TOP EDGE.
- H. REFER TO MECHANICAL PLANS FOR VENT PIPE PENETRATION AND CURB DETAILS. ALL ROOF PENETRATIONS SHALL BE THROUGH THE CURBS, UNLESS NOTED OTHERWISE.
- I. PARAPET ADJACENT TO MECHANICAL EQUIPMENT / ROOF ACCESS TO BE MINIMUM 42" HIGH WHEN WITHIN 10 FEET OF ROOF EDGE.

ROO D O

- 1 ROOF HATCH PER DETAIL 7/A4.1
- 2 ROOF DRAIN AND OVERFLOW
- 3 CANT STRIP PER DETAIL 8/A4.1
- 4 TAPERED INSULATION CRICKET
- 5 ROOFTOP UNIT, REFER TO MECHANICAL PLANS.
- 6 CONDENSER, REFER TO EQUIPMENT AND ELECTRICAL PLAN
- 7 EXHAUST FAN, REFER TO MECHANICAL PLANS
- 8 STEEL CANOPY BELOW, REFER TO SHEET A1.3 FOR DOWNSPOUT LOCATION
- 9 SATELLITE ON BALLASTED CURB
- 10 SHOP FORMED PRE-FINISHED METAL COPING, REFER TO DETAIL 1/A4.1
- 11 FACE OF EXTERIOR WALL BELOW
- 12 FACE OF PARAPET WALL
- 13 METAL LID FLASHING
- 14 STEEL CANOPY GUTTER, REFER TO SHEET A1.3 FOR DOWNSPOUT LOCATION
- 15 ROOF JACK, REFER TO MECHANICAL PLANS.
- 16 GAS WATER HEATER FLUE, REFER TO MECHANICAL PLANS.

ROO

- RF-1 TPO ROOFING MEMBRANE WITH PROTECTION BOARD AND RIGID INSULATION. REFER TO SPECIFICATIONS
- EQUIPMENT MAINTENANCE PATH

DATE SIGNED: \_\_\_\_\_  
SEAL

ISSUES / REVISIONS

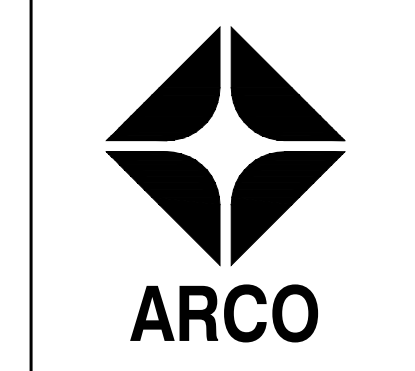
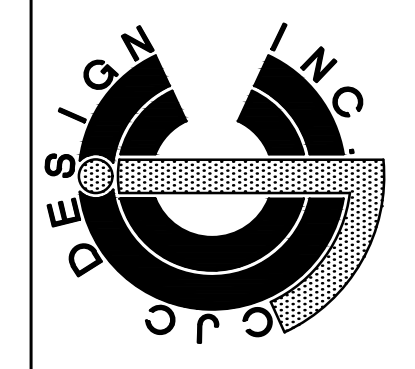
NO.	DESCRIPTION
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DATE DESCRIPTION  
DRAWN BY: G. DE VERA  
CHKD BY: F. COHEN

3800 AM/PM + CAR WASH  
S.E.C. OAK VALLEY PKWY  
INTERSTATE 10  
BEAUMONT  
CA 92223

PROJECT NAME AND ADDRESS  
LOCATION

**CJC Design, Inc.** Permitting  
Design Planning  
22485 La Palma Avenue, Suite 202, Yorba Linda, CA 92887  
Tel: (714) 900-8643  
www.cjcdesign.com

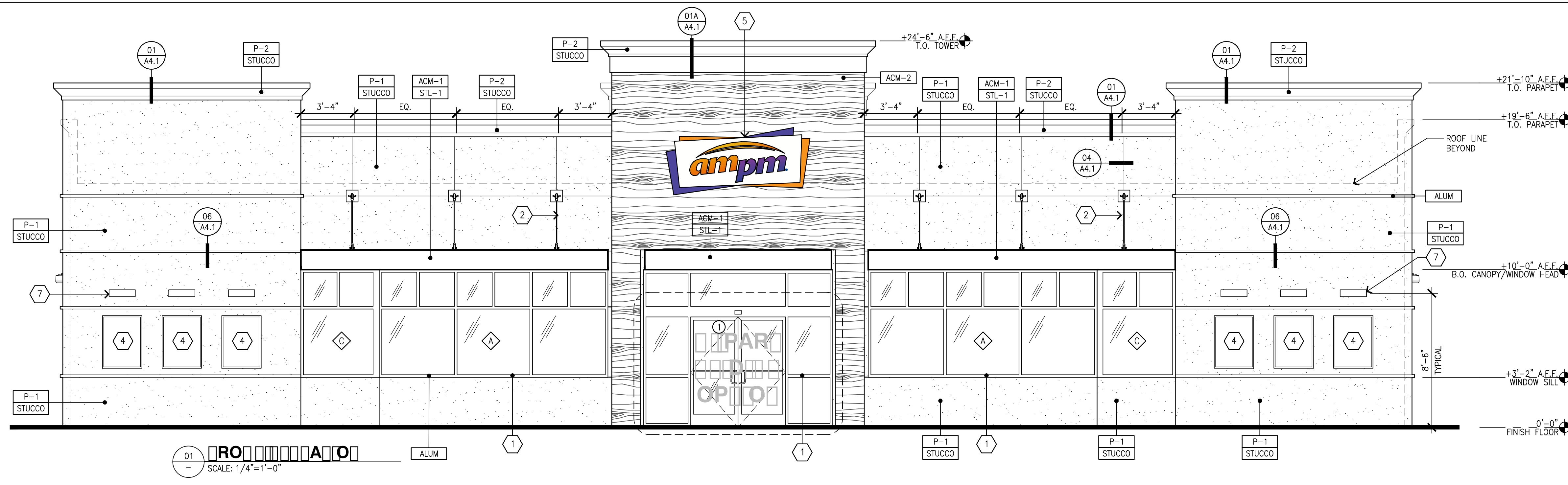


SHEET TITLE

ROO P A

PROJECT NO: 18034





01 **R** **A** **O**  
SCALE: 1/4"=1'-0"

P-2

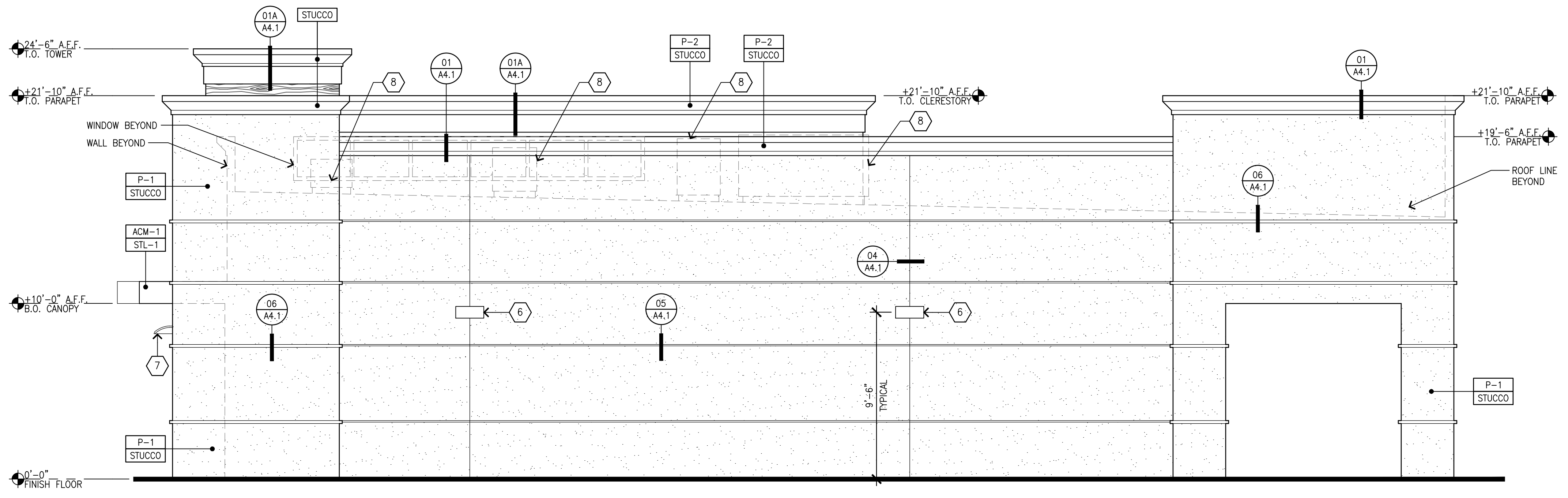
- RA□□□□□□□□
- A. REVEAL LOCATIONS IN FINISH SYSTEM SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.
- 
- ALUMINUM ENTRANCE AND STOREFRONT SYSTEM, REFER TO SHEET AS.1 & SPECIFICATION.
  - STEEL AWNING ROD AND CLEVIS
  - OVERFLOW DRAIN
  - WALL POSTER
  - INTERNALLY ILLUMINATED SURFACE MOUNTED WALL SIGN
  - WALL MOUNTED LED FIXTURE
  - WALL MOUNTED SIGN LIGHTING
  - ROOFTOP EQUIPMENT BEYOND
  - MAIN SWITCHGEAR
  - C02 FILL/VENT BOX, VERIFY LOCATION PRIOR TO INSTALLATION

**CO** **O** **R** **O** **R** **O** **O** **O** **O** **D**

- P-1 BENJAMIN MOORE, OC-69, "WHITE OPULENCE"
- P-2 BENJAMIN MOORE, 2121-30, "PEWTER", HIGH GLOSS

**MA** **O** **R** **R** **A** **O** **O** **O** **O** **D**

- STUCCO 3/8" CEMENT PLASTER, INSTALLED PER MFG. SPECIFICATIONS; TEXTURE: FINE SAND FINISH
- ACM-1 ALUMINUM COMPOSITE MATERIAL, PANTONE PMS 166c, "ORANGE"
- ACM-2 ALUMINUM COMPOSITE MATERIAL, ALUCOBOND, "RUSTIC WALNUT"
- ALUM CLEAR ANODIZED ALUMINUM
- STL-1 STEEL AWNING



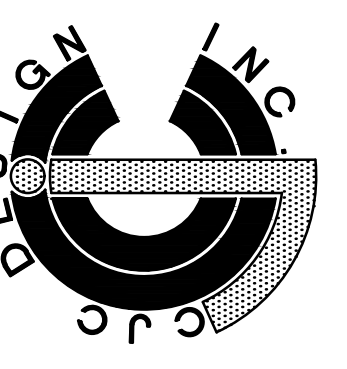
03 **R** **A** **O**  
SCALE: 1/4"=1'-0"

DATE SIGNED: \_\_\_\_\_  
SEAL

NO.	DATE	DESCRIPTION
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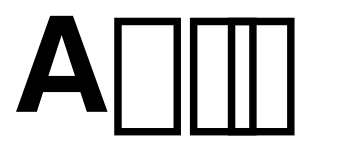
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DRAWN BY: G. DE VERA  
CHKD BY: F. COHEN  
PROJECT NAME AND ADDRESS

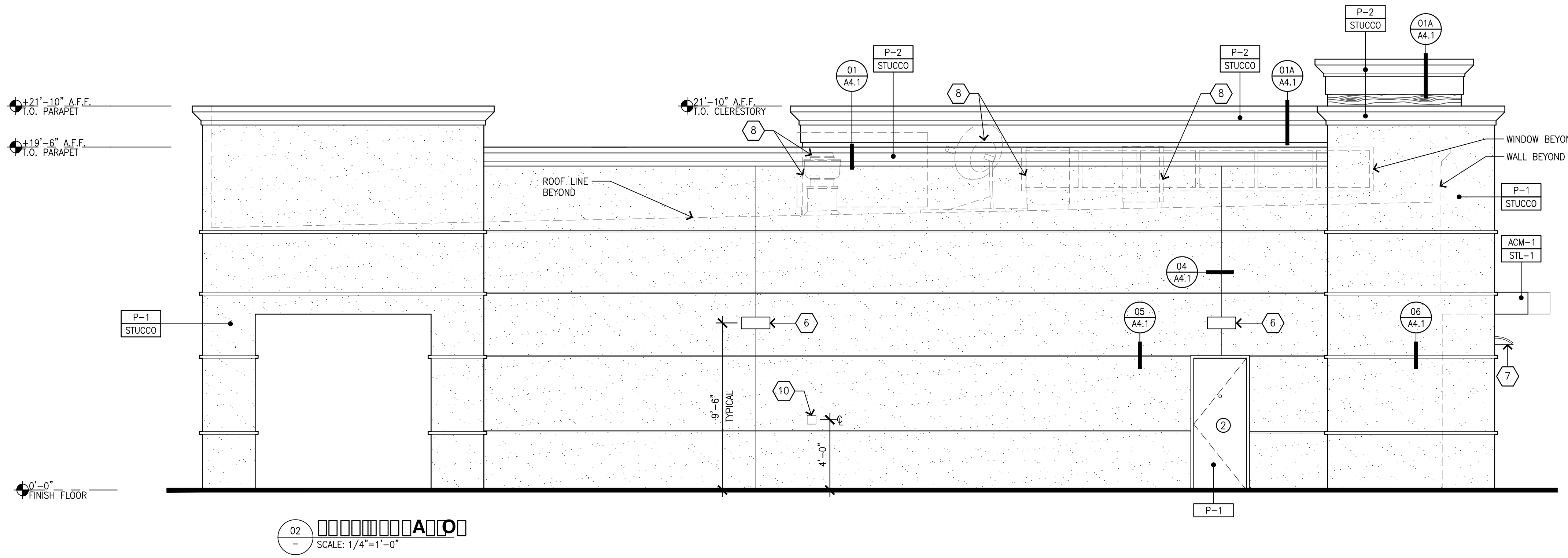
**CJC Design, Inc.** Permitting Design Planning  
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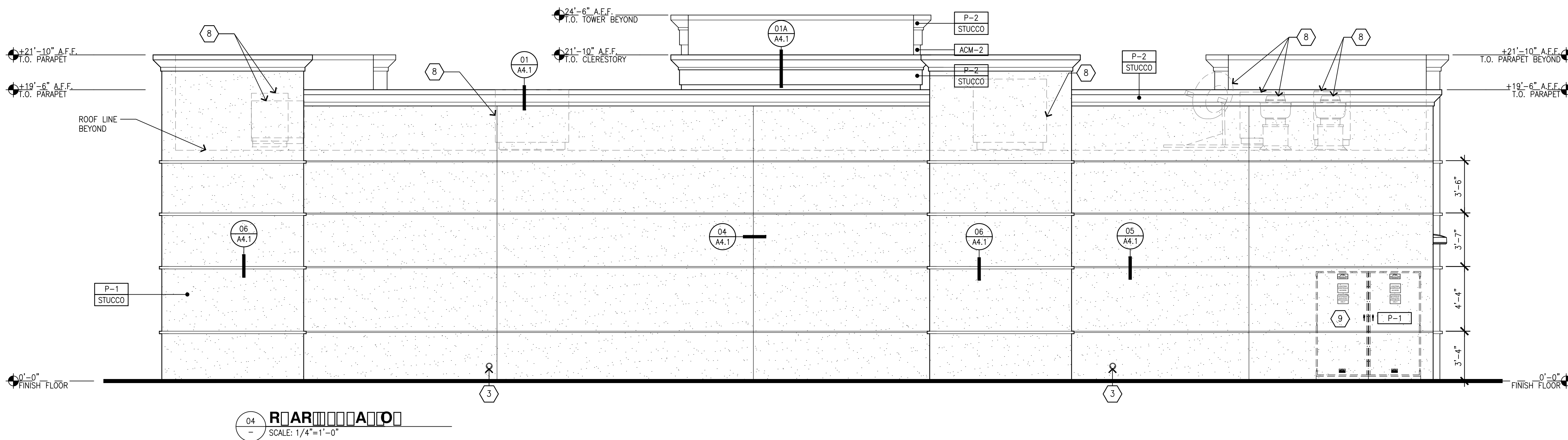
SHEET TITLE

PROJECT NO: 18034





02 RAARAAAD  
SCALE: 1/4"=1'-0"



04 RAARAAAD  
SCALE: 1/4"=1'-0"

RAARAAAD

A. REVEAL LOCATIONS IN FINISH SYSTEM SHOWN ARE TO ALIGN AS CLOSELY AS POSSIBLE TO ELEVATIONS.

DAARAAAD

- 1 ALUMINUM ENTRANCE AND STOREFRONT SYSTEM, REFER TO SHEET AS.1 & SPECIFICATION.
- 2 STEEL AWNING ROD AND CLEVIS
- 3 OVERFLOW DRAIN
- 4 WALL POSTER
- 5 INTERNALLY ILLUMINATED SURFACE MOUNTED WALL SIGN
- 6 WALL MOUNTED LED FIXTURE
- 7 WALL MOUNTED SIGN LIGHTING
- 8 ROOFTOP EQUIPMENT BEYOND
- 9 MAIN SWITCHGEAR
- 10 CO2 FILL/VENT BOX, VERIFY LOCATION PRIOR TO INSTALLATION

COORAAAD

- P-1 BENJAMIN MOORE, OC-69, "WHITE OPULENCE"
- P-2 BENJAMIN MOORE, 2121-30, "PEWTER", HIGH GLOSS

MAARAAAD

- STUCCO 3/8" CEMENT PLASTER, INSTALLED PER MFG. SPECIFICATIONS; TEXTURE: FINE SAND FINISH
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- ACM-2 ALUMINUM COMPOSITE MATERIAL, ALUCOBOND, "RUSTIC WALNUT"
- ALUM CLEAR ANODIZED ALUMINUM
- STL-1 STEEL AWNING

DATE SIGNED: \_\_\_\_\_

SEAL \_\_\_\_\_

ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
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DATE DESCRIPTION

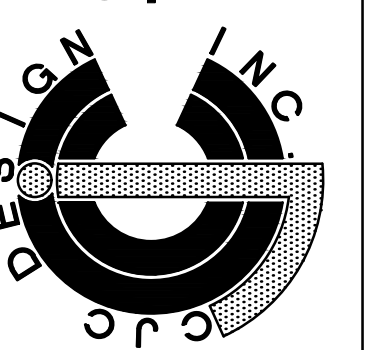
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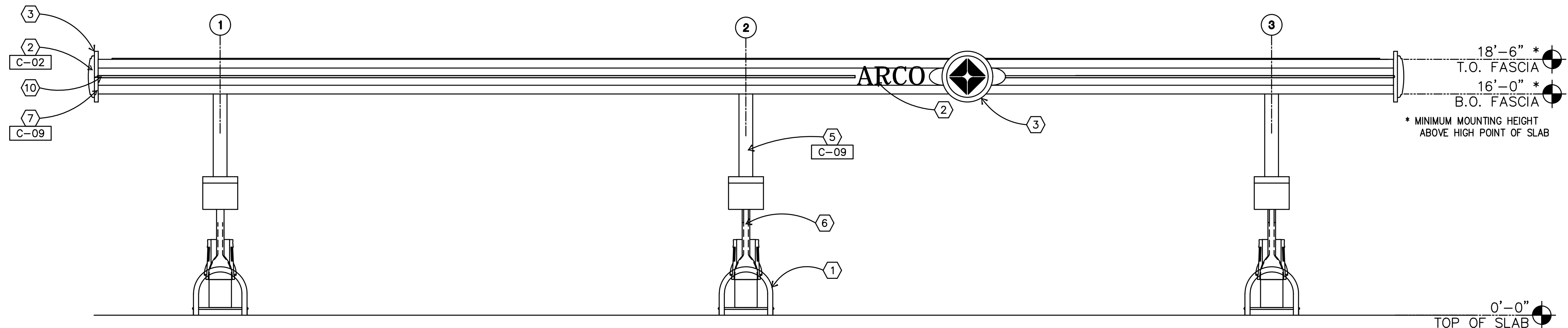


SHEET TITLE

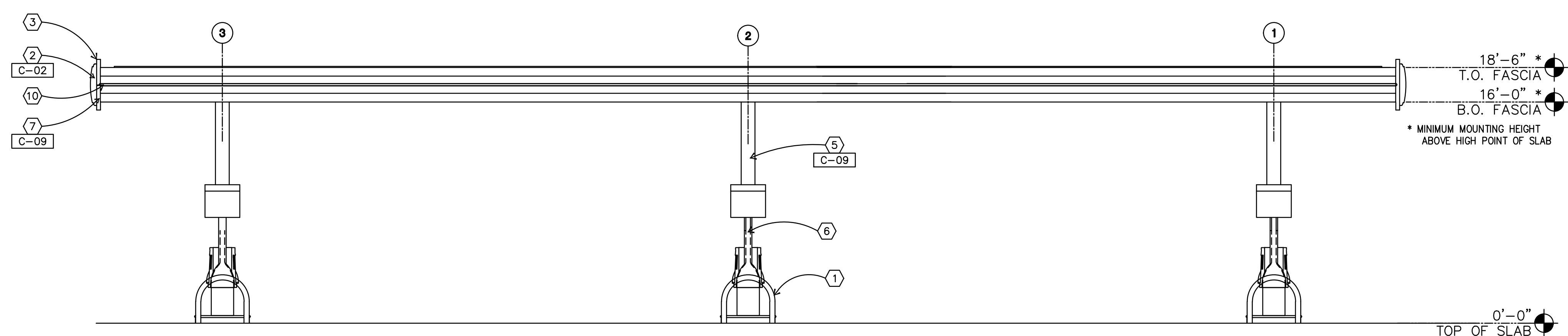
RAARAAAD

PROJECT NO: 18034

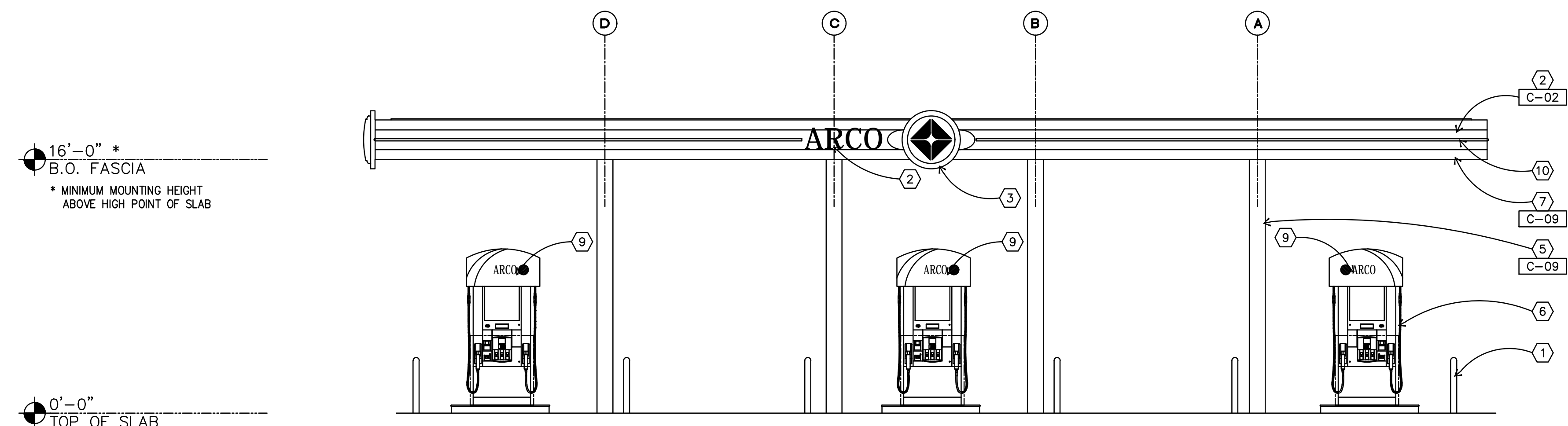
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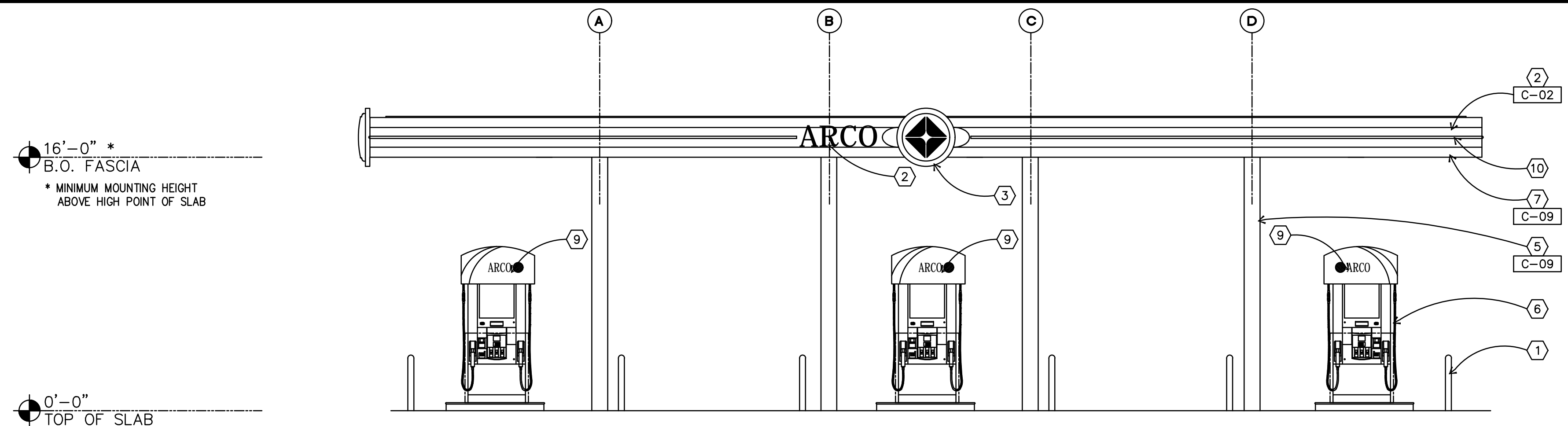
01 NORTH ELEVATION  
CA.1.1 SCALE: 3/16"=1'-0"



02 SOUTH ELEVATION  
CA.1.1 SCALE: 3/16"=1'-0"



03 EAST ELEVATION  
CA.1.1 SCALE: 3/16"=1'-0"



04 WEST ELEVATION  
CA.1.1 SCALE: 3/16"=1'-0"

**KEYED NOTES**

- 1 ARCHED BOLLARD
- 2 VINYL DECAL APPLIED TO ACM PANEL
- 3 ILLUMINATED SIGN BOX (BY OTHERS) FIELD VERIFY LOCATION
- 4 STEEL BEAM, REFER TO STRUCTURAL
- 5 STEEL COLUMN, REFER TO STRUCTURAL
- 6 FUEL DISPENSER AND CURB (BY OTHERS)
- 7 ALUMINUM COMPOSITE MATERIAL FASCIA PANELS (BY OTHERS)
- 8 NOT USED
- 9 4" x 6" HANDHOLE WITH COVERPLATE ON INSIDE FACE OF COLUMN (TYP.)
- 10 LED "LASER LIGHT" STRIP TO MATCH

**EXTERIOR PAINTS**

- C-02 COLOR: ARCO BLUE  
PMS 288C - SATIN FINISH
- C-09 COLOR: PEARL  
MATCH RAL 1013 - SEMI-GLOSS
- C-11 COLOR: ARCO LIGHT BLUE  
PMS 2935C - SATIN FINISH

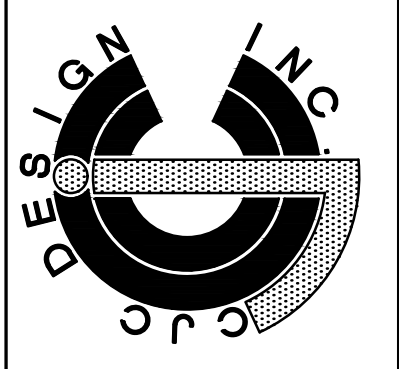
DATE SIGNED: \_\_\_\_\_  
SEAL

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22485 La Palma Avenue, Suite 202, Yorba Linda, CA 92867  
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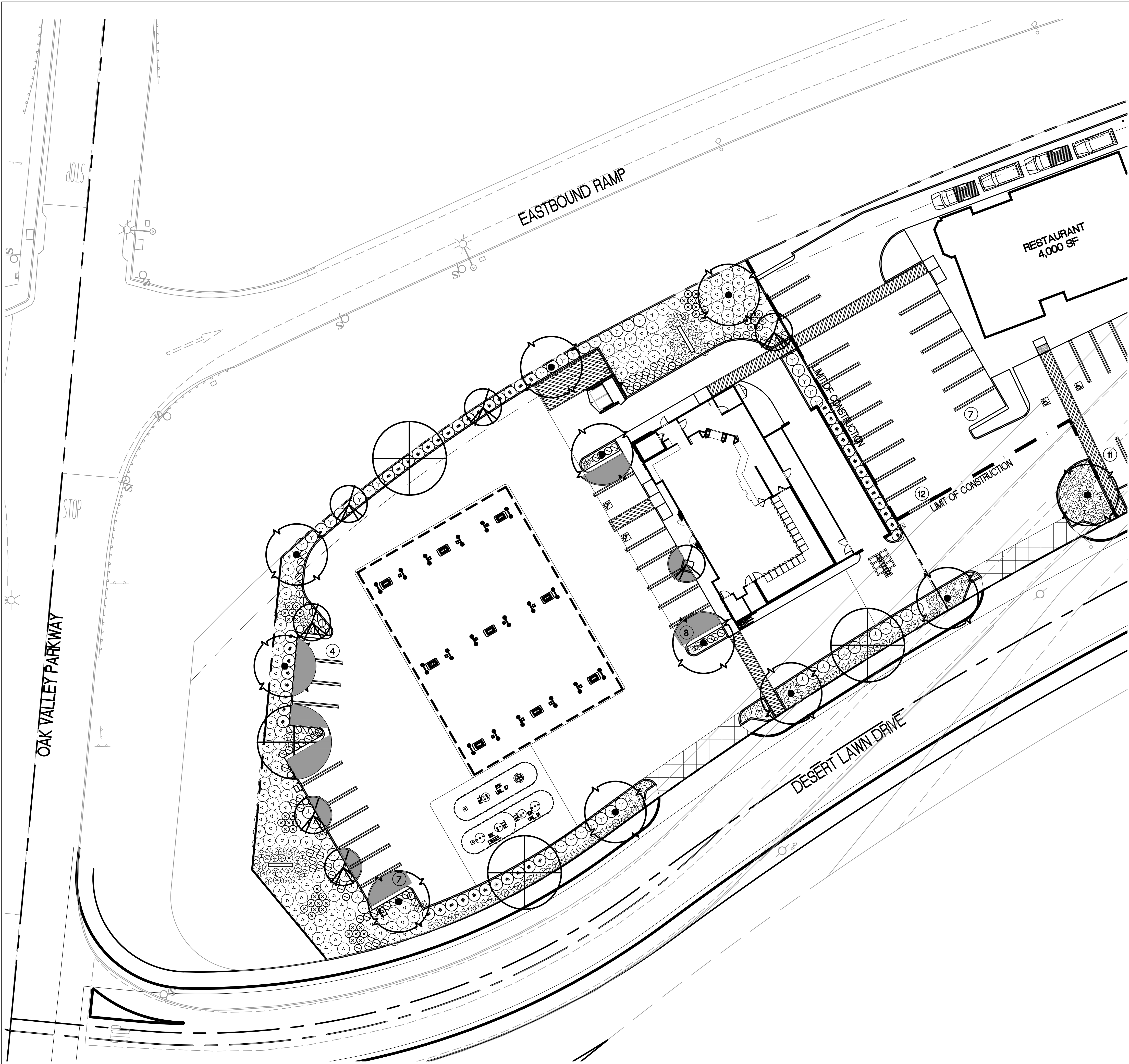


SHEET TITLE

**CANOPY ELEVATIONS**

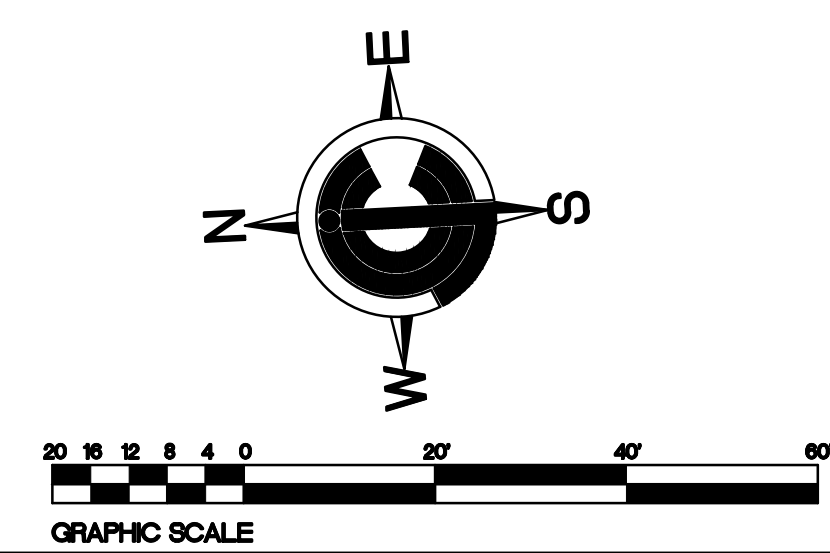
PROJECT NO: 18034

CA.1.1



LANDSCAPE PLAN

SCALE: 1"=20'-0"



PLANT LEGEND					
KEY	BOTANICAL NAMES	COMMON NAMES	WULCOB	SIZE	SPACING
	OLEA EUROPEA 'SWAN HILL'	FRUITLESS OLIVE	LOW	24" BOX	30' O.C.
	LAURS NOBILIS 'SARATOGA'	BAY LAUREL	LOW	24" BOX	20' O.C.
	CERCIDIUM X 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	LOW	24" BOX	30' O.C.
SHRUBS					
	HETEROMELES ARBUTIFOLIA	TOYON	LOW	5 GALLON	5' O.C.
	LEUCOPHYLLUM FRUTESCENS 'GR. CLOUD'	TEXAS RANGER	LOW	5 GALLON	5' O.C.
	CALLISTEMON VIMINALIS 'LITTLE JOHN'	DWARF BOTTLE BRUSH	LOW	5 GALLON	3' O.C.
	HESPERALOE PARVIFLORA	RED YUCCA	LOW	5 GALLON	3' O.C.
GROUND COVER					
	WESTRINGIA FRUTICOSA 'MUNDI'	MUNDI WESTRINGIA	LOW	5 GALLON	5' O.C.
	DIANELLA 'CASA BLUE' 'LITTLE JOHN'	BLUE DIANELLA	LOW	1 GALLON	3' O.C.
	ROSMARINUS OFFICINALIS 'PROSTRATUS'	PROSTRATE ROSEMARY	LOW	1 GALLON	3' O.C.
	MACFADYENA UNGUIS-CATI 'PROSTRATUS'	CAT'S CLAW	LOW	5 GALLON	10' O.C.

••IRRIGATION CONCEPT: DRIP IRRIGATION WITH SINGLE HYDROZONE

PLANTING NOTES

- A. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, THE WIDTH TWICE THE DIAMETER OF THE ROOTBALL AND 6" DEEPER THAN THE LENGTH OF THE ROOTBALL. EACH PLANT PIT SHALL BE BACKFILLED WITH THE FOLLOWING PREPARED SOIL MIX:  
 2 PARTS: NITROLIZED REDWOOD SHAVINGS  
 1 PART: NITROHUMUS  
 3 PARTS: EXCAVATED SOIL  
 21 GRAM 'AGRIFORM' PLANTING TABLET  
 PLANTING TABLETS SHALL BE APPLIED AS FOLLOWS:  
 1 TABLET PER 1 GALLON SIZE PLANT  
 2 TABLETS PER 5 GALLON SIZE PLANT  
 3 TABLETS PER 15 GALLON SIZE PLANT  
 LARGER PLANT MATERIAL WILL BE GIVEN ONE (1) TABLET PER 1/2" DIAMETER OF TRUNK CALIPER
- B. PREPARED SOIL SHALL BE TAMPED FIRMLY AT BOTTOM OF PLANT PIT. FILL PREPARED SOIL AROUND BALL OF PLANT 1/2" WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILLING AND WATER IN THOROUGHLY.
- C. TURF AREAS SHALL BE ROTOTILLED 3" DEEP WITH 3 CUBIC YARDS NITROLIZED REDWOOD SHAVINGS PER 100 SQ FT AFTER ROTOTILL SOIL SHALL BE GRADED SMOOTH

NOTE:

ALL SHRUB AND GROUND COVER AREAS TO RECEIVE 3" DEPTH SHREDDED BARK MULCH. SUBMIT SAMPLE TO CITY INSPECTOR FOR APPROVAL PRIOR TO INSTALLATION  
 CONTRACTOR TO CONDUCT THEIR OWN PLANT MATERIAL QUANTITY TAKEOFFS  
 CONTRACTOR TO CONDUCT AGRONOMIC SOIL TEST REPORT AND CONVEY RESULTS TO OWNER. TO BE PROVIDED WITH CONSTRUCTION DOCUMENTS SUBMITTAL.

TREE SHADING LEGEND:

PARKING AREA SHADED BY TREES

SHADING SUMMARY (ALL SHEETS)

TOTAL PARKING AREA: 3,249 S.F.  
 EXCLUDES DRIVE AISLES AND FUELING CANOPY AREA  
 30% SHADING REQUIRE FOR UNCOVERED AREAS: 975 S.F.  
 PARKING AREA SHADED BY TREES: 1,021 S.F.  
 42% OF UNCOVERED PARKING  
 TREE SIZE SHOWN AT 10 YEARS MATURITY

SHADING NOTES

- ① 19' PARKING SPACE PER CITY MINIMUM REQUIREMENTS

DATE SIGNED: \_\_\_\_\_  
 SEAL

ISSUES / REVISIONS	
1	03/16/20 REV. PER CITY PLAN
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DATE DESCRIPTION  
 DRAWN BY: G. DE VERA  
 CHK'D BY: F. COHEN  
 3800 AM/PM + CAR WASH  
 S.E.C. OAK VALLEY PKWY  
 INTERSTATE 10  
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 PROJECT NAME AND ADDRESS

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 22485 La Palma Avenue, Suite 202, Yorba Linda, CA 92887  
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 www.cjcdesign.com



SHEET TITLE  
**GAS STATION LANDSCAPE**  
 PROJECT NO: 18034



DESERT LAWN DRIVE

CONNECTION POINT:  
EXISTING SEWER MANHOLE  
INVERT IN: 2429.90  
PER CITY OF BEAUMONT  
DRAWING No. 1140

PROP. FF  
ELEV.=2478.60

OAK VALLEY PARKWAY

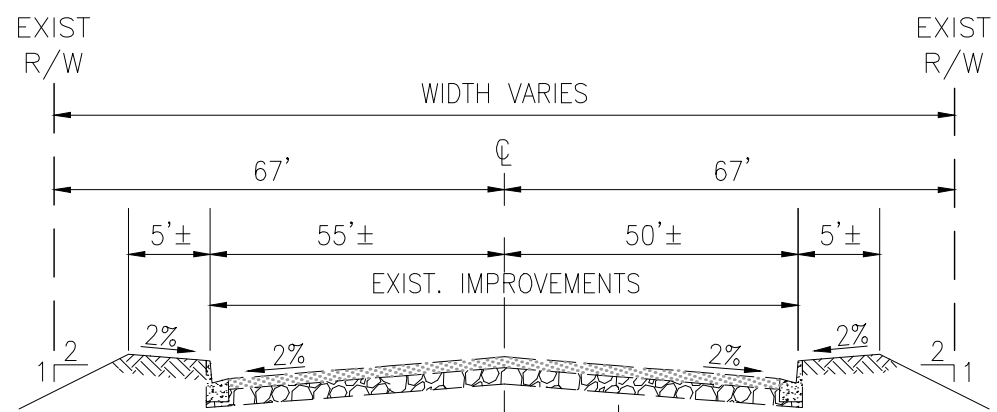
INTERSTATE 10  
INTERSTATE HIGHWAY No. 10

FUTURE PROP. FF  
ELEV.=2478.20

PROPOSED 8" SEWER  
L=1,550'

EXISTING 12" SEWER LINE

EXISTING RAILROAD

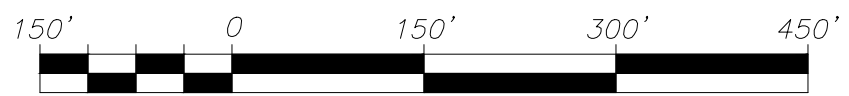
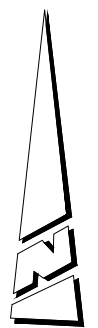


EXISTING BCVWD WATER

**OAK VALLEY PARKWAY**

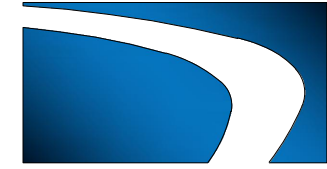
N.T.S.

PROPOSED 8" SEWER  
DEPTH VARIES

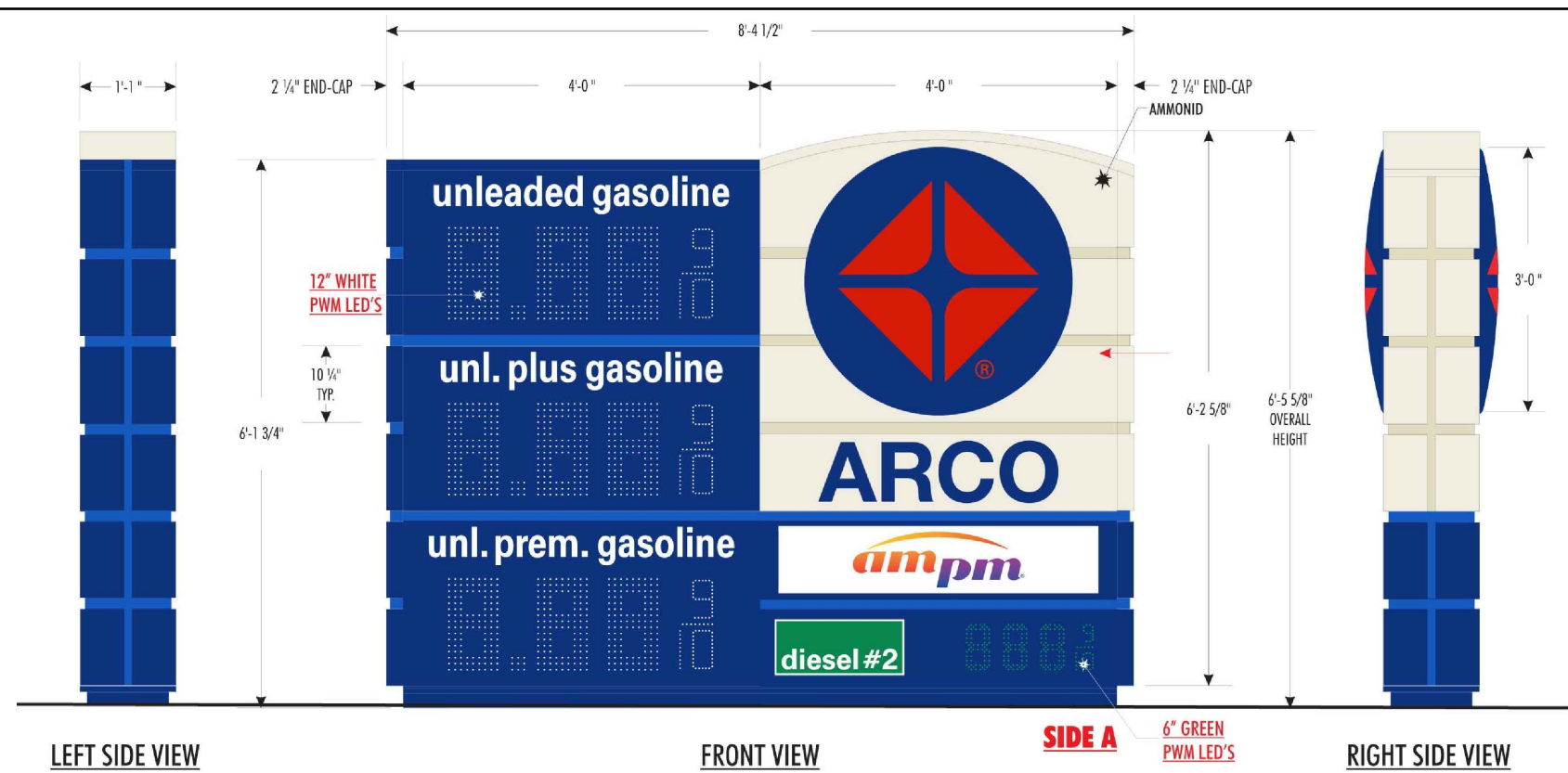


SCALE: 1"=150'

# SEWER CONNECTION EXHIBIT

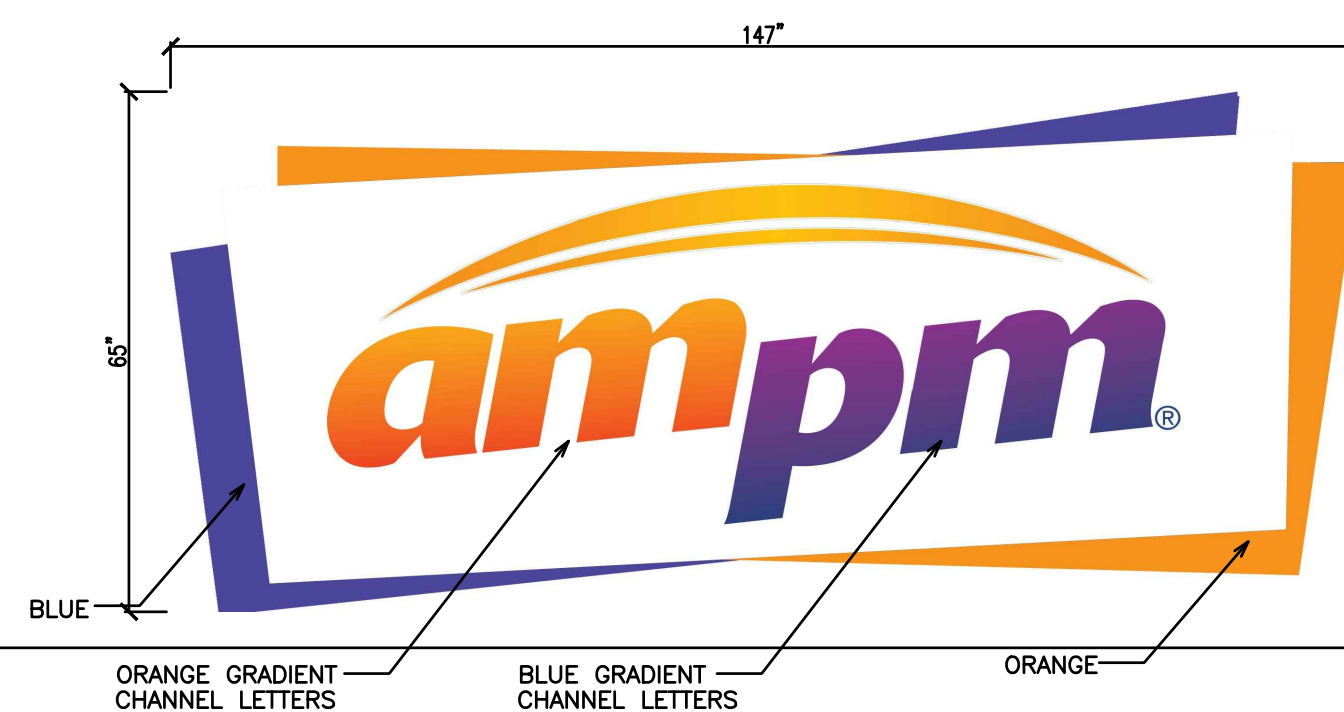


PROACTIVE ENGINEERING  
CONSULTANTS WEST, INC.  
25109 JEFFERSON AVE. SUITE 200 MURRIETA,  
CA 92562  
951-200-6840



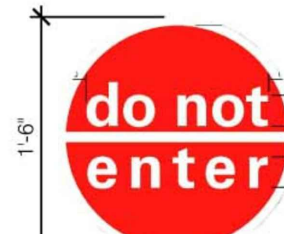
1A MONUMENT ID SIGN ON 24" PEDESTAL

SCALE: 1/2"=1'-0"

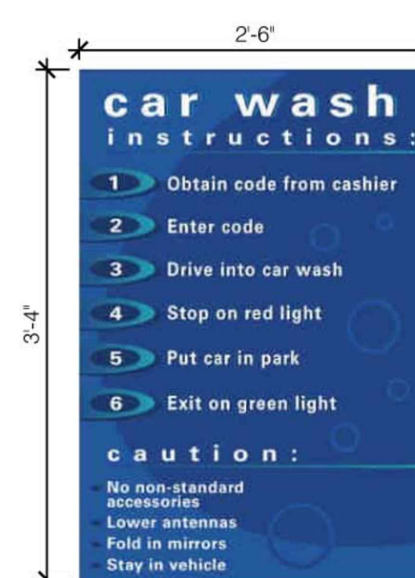


2 AM/PM BUILDING SIGN

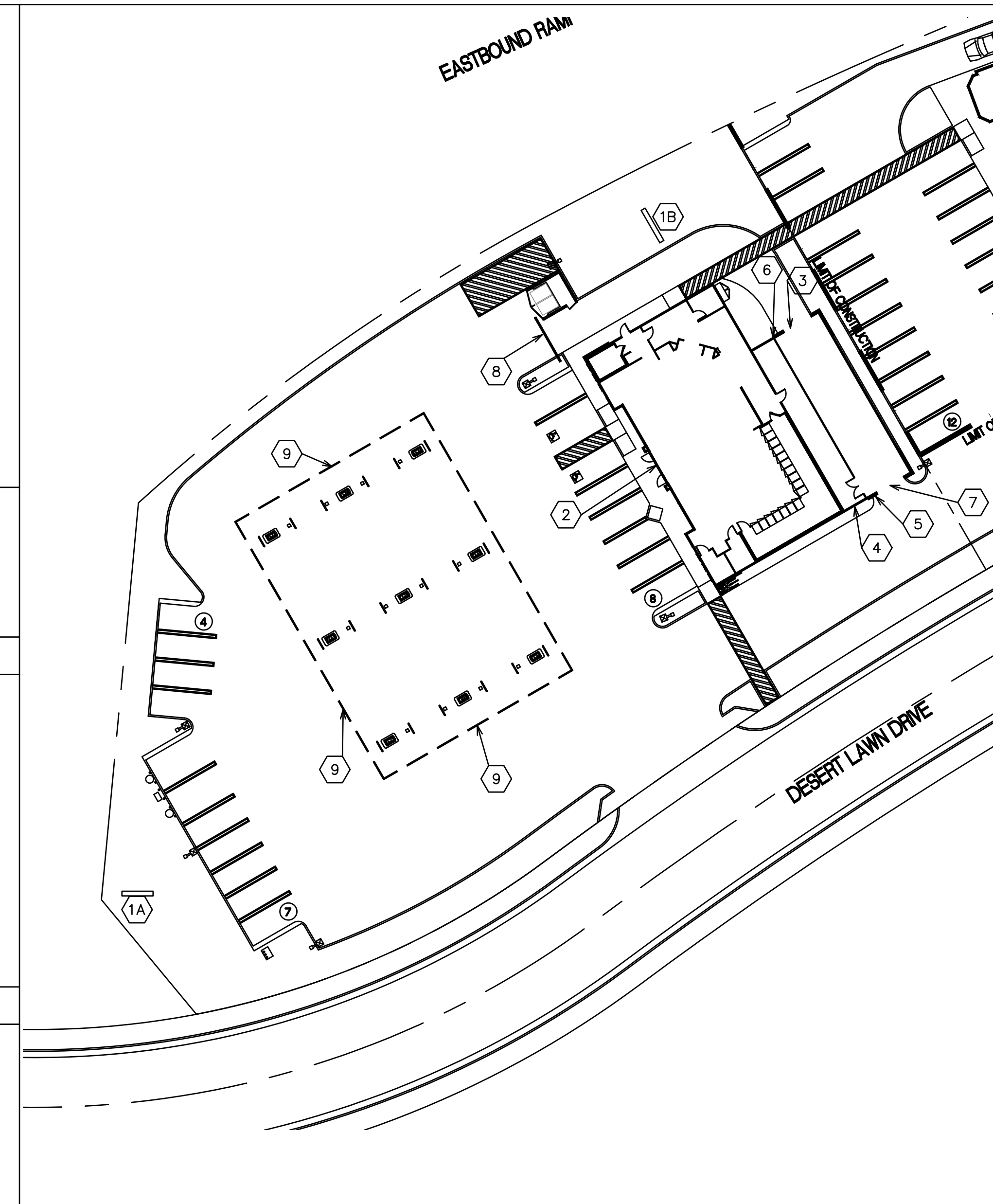
SCALE: 3/8"=1'-0"



5 CAR WASH INSTRUCTIONAL

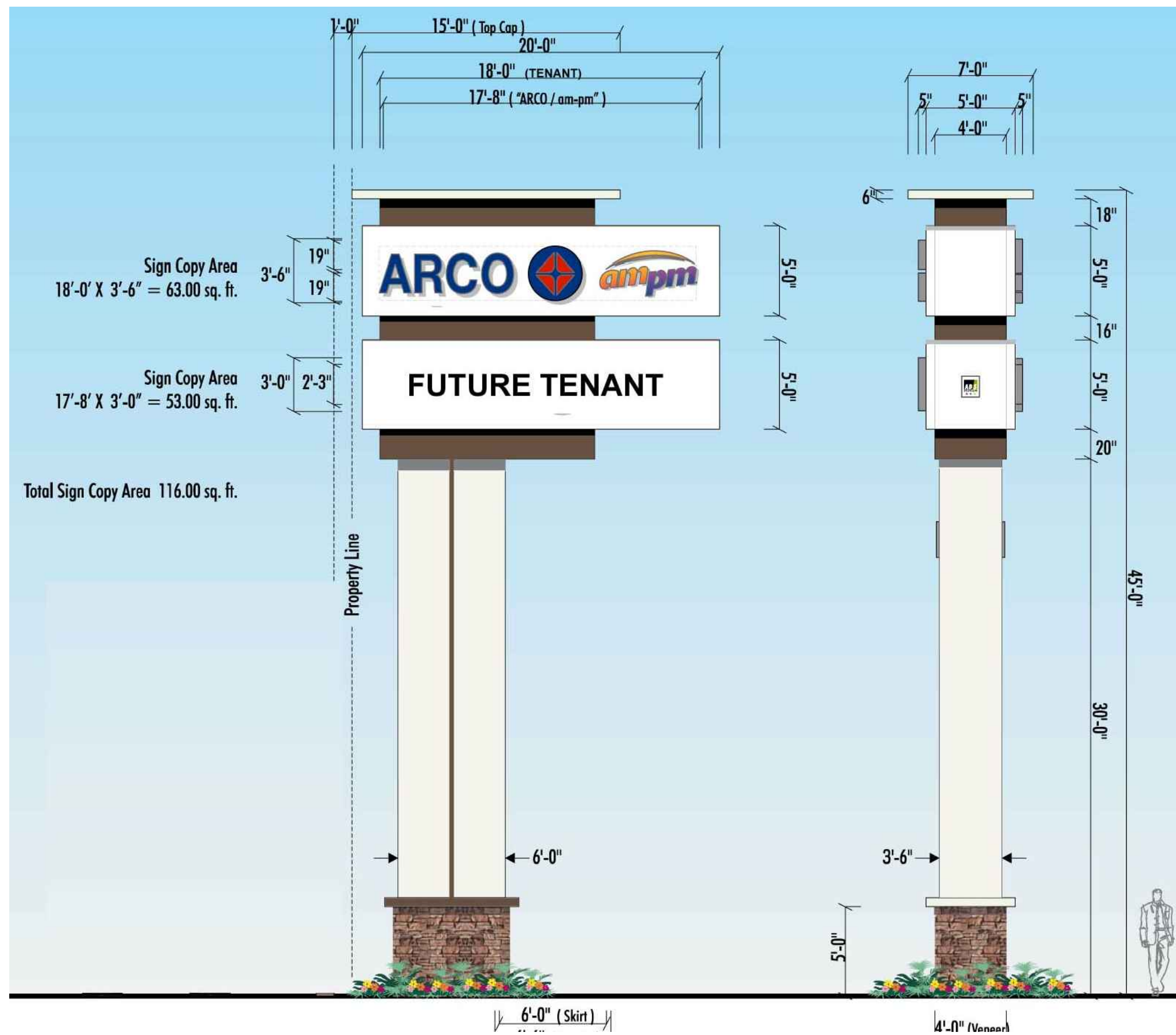


6 CAR WASH INSTRUCTIONAL



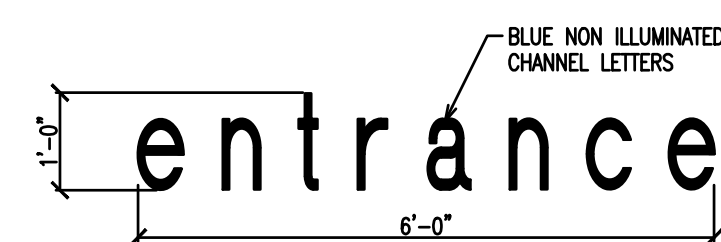
SITE PLAN

SCALE: 1"=30'-0"

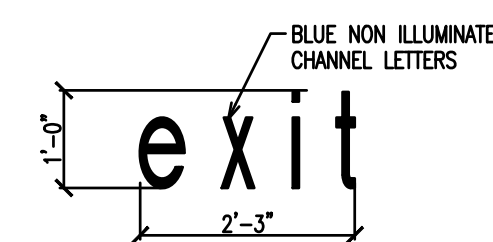


1B FREEWAY ID SIGN

SCALE: N.T.S.

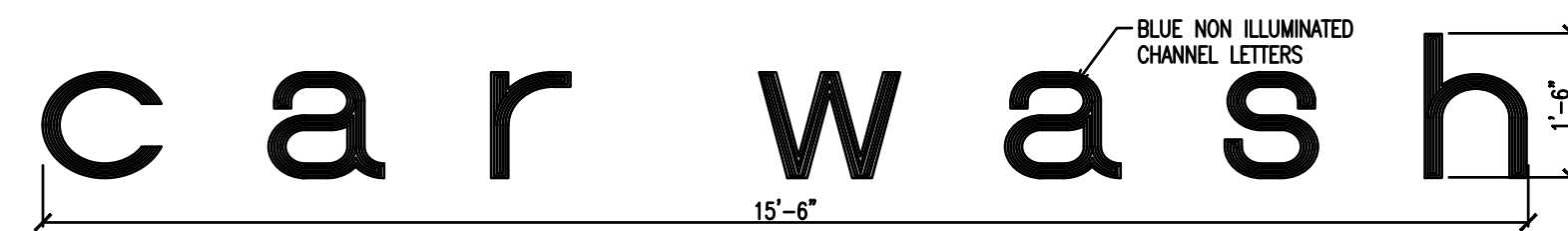


3 CAR WASH ENTRANCE



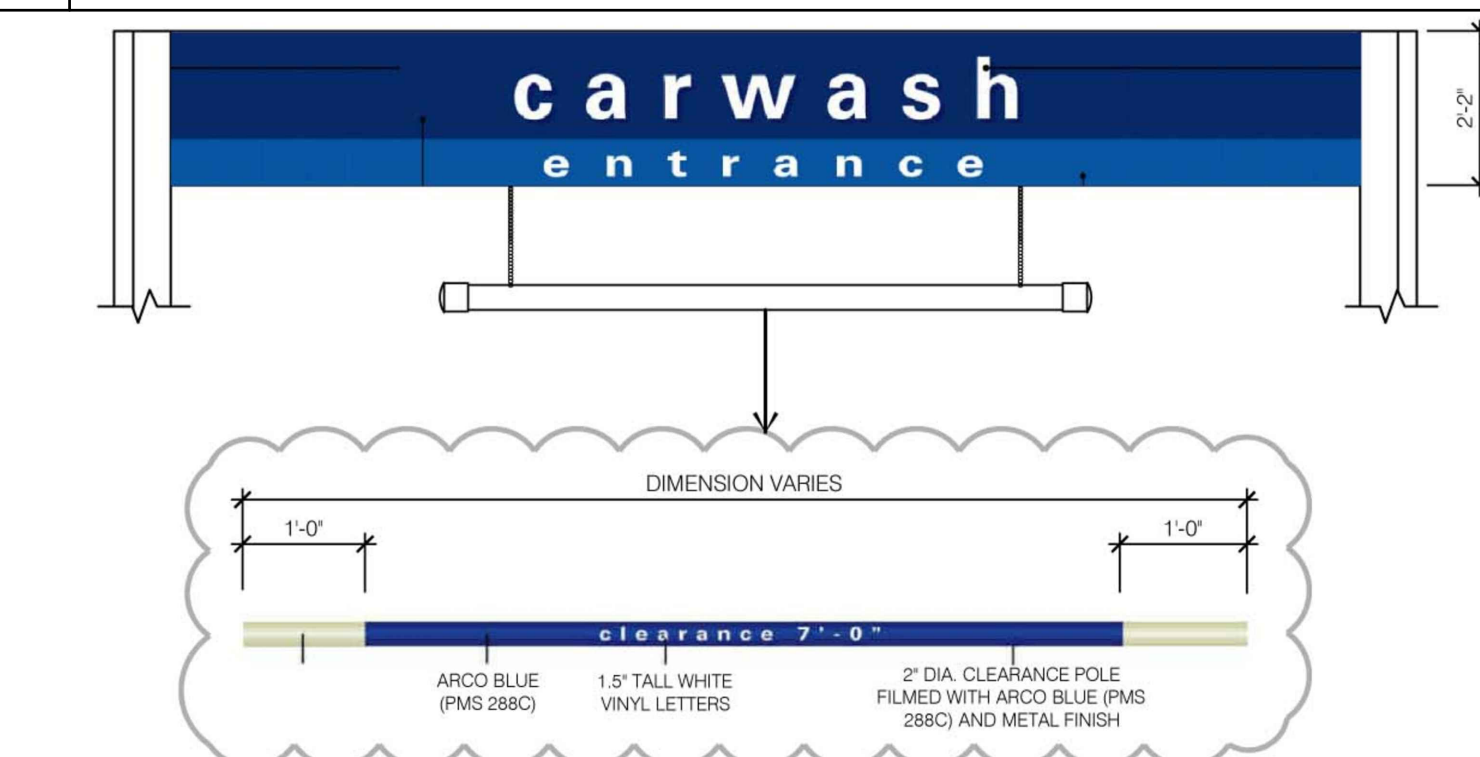
7 CAR WASH EXIT

SCALE: 1/2"=1'-0"



4 CAR WASH WALL SIGN

SCALE: 1/2"=1'-0"



8 CAR WASH BAR SIGN



DISPENSER ELEVATION



9 CANOPY SIGN

SIGN AREA CALCULATION

NO.	DESCRIPTION	ILLUM.	STATUS	AREA	QTY.	TOTAL
1A	MONUMENT ID SIGN	YES	NEW	48.0	1	48.0
1B	FREEWAY ID SIGN	YES	NEW	116.0	1	116.0
2	FOOD MART BUILDING SIGN	YES	NEW	66.4	1	66.4
3	CAR WASH ENTRANCE SIGN	NO	NEW	6.0	1	6.0
4	CAR WASH WALL SIGN	NO	NEW	23.25	1	23.25
5	DO NOT ENTER SIGN	NO	NEW	7.0	1	7.0
6	INSTRUCTIONAL SIGN	NO	NEW	8.3	1	8.3
7	CAR WASH EXIT SIGN	NO	NEW	2.25	1	2.25
8	CAR WASH CLEARANCE SIGN	NO	NEW	34.7	1	34.7
9	36" CANOPY ARCO SPARK SIGN 17sf (SPARK ONLY IS 7sf)	YES	NEW	-	3	31.0

TOTAL NEW SIGNAGE: 342.90 Sq. Ft.

DATE SIGNED: \_\_\_\_\_

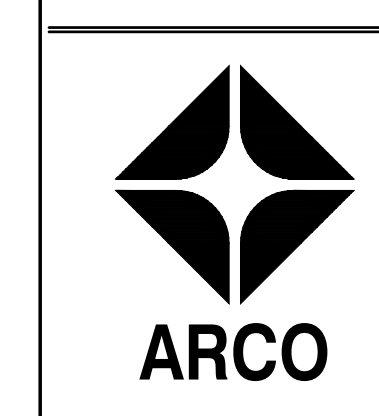
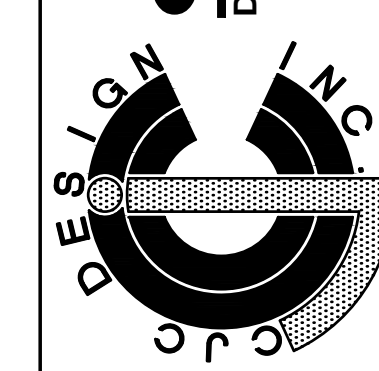
SEAL

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SHEET TITLE

**SIGN PLAN**

PROJECT NO: 18034

**SN1.1**