

LOT SUMMARY LDR-1
PLANNING AREA 1
LOT NO., LOT WIDTH AT R.O.W., LOT AREA (SQ. FT.), PAD AREA (SQ. FT.)

LOT SUMMARY LDR-2
PLANNING AREA 2
LOT NO., LOT WIDTH AT R.O.W., LOT AREA (SQ. FT.), PAD AREA (SQ. FT.)

LOT SUMMARY LDR-3
PLANNING AREA 3
LOT NO., LOT WIDTH AT R.O.W., LOT AREA (SQ. FT.), PAD AREA (SQ. FT.)

LOT SUMMARY LDR-4
PLANNING AREA 4
LOT NO., LOT WIDTH AT R.O.W., LOT AREA (SQ. FT.), PAD AREA (SQ. FT.)

LOT SUMMARY LDR-5
PLANNING AREA 5
LOT NO., LOT WIDTH AT R.O.W., LOT AREA (SQ. FT.), PAD AREA (SQ. FT.)

LOT SUMMARY LDR-6
PLANNING AREA 6
LOT NO., LOT WIDTH AT R.O.W., LOT AREA (SQ. FT.), PAD AREA (SQ. FT.)

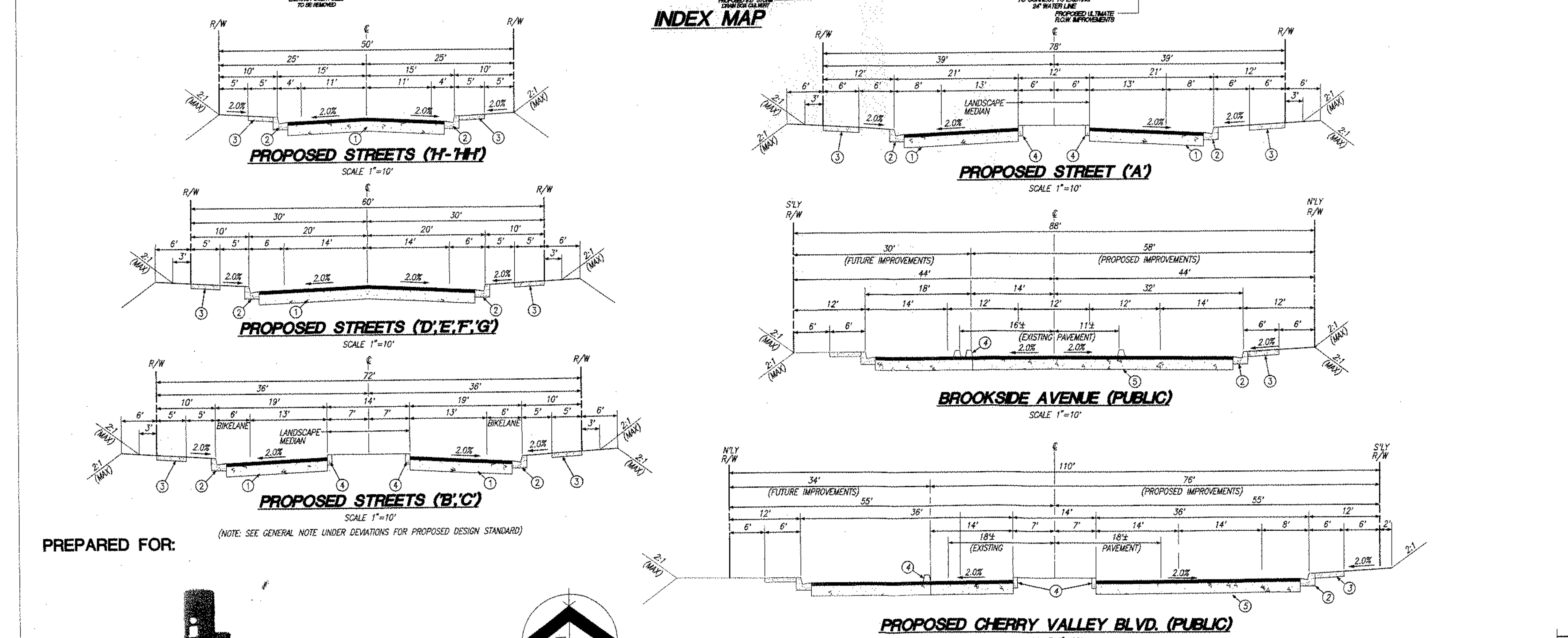
LOT SUMMARY LDR-7
PLANNING AREA 7
LOT NO., LOT WIDTH AT R.O.W., LOT AREA (SQ. FT.), PAD AREA (SQ. FT.)

LOT SUMMARY LDR-8
PLANNING AREA 8
LOT NO., LOT WIDTH AT R.O.W., LOT AREA (SQ. FT.), PAD AREA (SQ. FT.)

LOT SUMMARY LDR-9
PLANNING AREA 9
LOT NO., LOT WIDTH AT R.O.W., LOT AREA (SQ. FT.), PAD AREA (SQ. FT.)

- LEGAL DESCRIPTION
PARCEL ONE: THE WESTERLY 2087.71 FEET OF THE NORTHERLY 107.55 FEET OF THE SOUTH HALF OF SECTION 28, TOWNSHIP 2 NORTH, RANGE 1 WEST, SAN BERNARDINO COUNTY, CALIFORNIA...
SHEET INDEX
SHEET 1: TITLE SHEET
SHEET 2: TENTATIVE TRACT MAP (SITE CROSS SECTIONS)
SHEET 3: TENTATIVE TRACT MAP (SITE CROSS SECTIONS)
SHEET 4: COMPOSITE TENTATIVE TRACT MAP

- LEGEND
EXISTING STREET ELEVATION: --- EX. 48'-00" ---
EXISTING STORM DRAIN: --- EX. 21" ---
EXISTING WATER SYSTEM: --- EX. 6" ---
PROPOSED PLANNING AREA BOUNDARY: ---
PROPOSED CONCRETE SIDEWALK: ---
PROPOSED CENTERLINE RADIUS: R=300'
PROPOSED LOT NUMBER: ---
PROPOSED PUBLIC UTILITY EASEMENT: ---
PROPOSED PAD ELEVATION: ---
PROPOSED RETAINING WALL: ---
PROPOSED RETAINING WALL HEIGHTS: ---
PROPOSED STREET ELEVATION: ---
PROPOSED STORM DRAIN LINE: ---
PROPOSED STORM DRAIN CATCH BASIN: ---
PROPOSED SEWER LINE: ---
PROPOSED WATER LINE: ---
PROPOSED TRACT BOUNDARY: ---
PROPOSED 2:1 SLOPE: ---
PROPOSED 1:1 SLOPE: ---
PROPOSED SITE SECTIONS: ---
PROPOSED GRADING "DAY LIGHT" LINE: ---
PROPOSED LIMITED USE (SHORT DISTANCE): ---
PROPOSED JURISDICTIONAL LINE: ---
UTILITIES
WATER: BEAUMONT CHERRY VALLEY WATER DISTRICT
SEWER: SOUTHERN CALIFORNIA GAS COMPANY
CABLE: AT&T
CABLE: ADIPAC CABLE
CABLE: 11722 ORANGE TREE LINE
CABLE: BEAUMONT, CA 92523
ALLEGED: SOUTHERN CALIFORNIA GAS COMPANY
DEVIATIONS
1. THE APPLICANT IS REQUESTING APPROVAL FOR DETAINING THE PROPOSED CENTERLINE RADIUS ON STREET 'C' FROM 600' TO 300'.
BASIS OF BEARINGS
CENTERLINE OF BROOKSIDE AVENUE TAKEN AS NORTH 89°29'28" EAST PER TRACT MAP NO. 123128 IN BOOK 1188 AS RECORDED AT RIVERSIDE COUNTY, CALIFORNIA
ACCESSORS PARCEL NUMBERS
407-180-016, 407-180-017, 407-230-022, 407-230-023, 407-230-024, 407-230-025, 407-230-026, 407-230-027, 407-230-028
SUMMARY OF RECOMMENDATIONS
GROSS ACRES: 192.61 ACRES
NET ACRES: 182.8 ACRES
NUMBER OF RESIDENTIAL LOTS: 497
GROSS DENSITY: 2.58 U/LAC
NET DENSITY: 2.25 U/LAC
LAND USE SUMMARY
TOTAL: 516
SINGLE-FAMILY RESIDENTIAL: 497
PARK SITES: 17
WATER QUALITY / DETENTION BASINS: 3
OPEN SPACE: 10
WELL SITES: 3
SEWER LIFT STATION: 1
GROSS ACRES: 192.61 AC
PERCENT(%) 100.0%



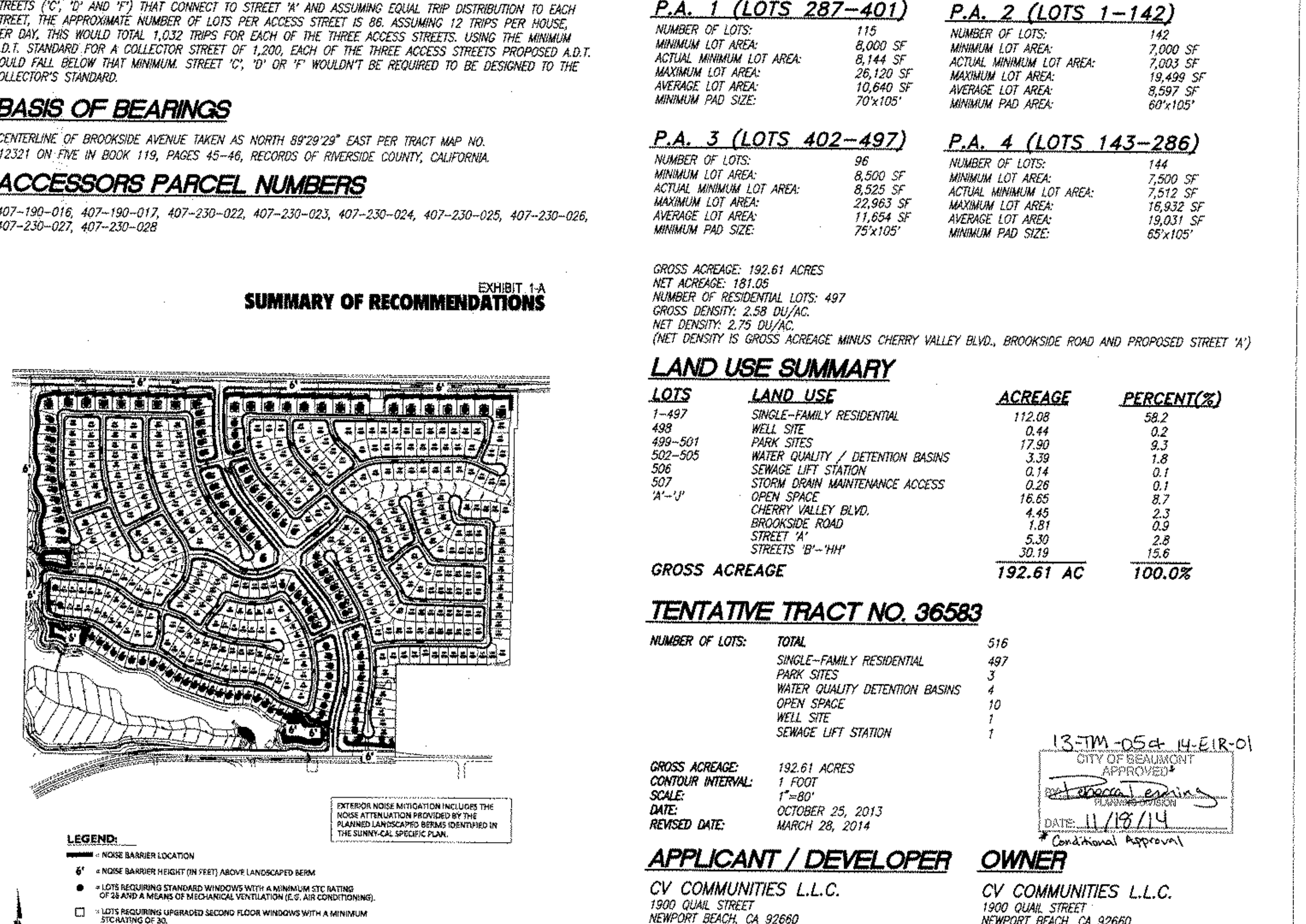
PA 1 LOTS 287-400
NUMBER OF LOTS: 113
MINIMUM LOT AREA (PER S.F.): 5,000 S.F.
ACTUAL MINIMUM LOT AREA (PER S.F.): 5,143 S.F.
MAXIMUM LOT AREA: 8,000 S.F.
AVERAGE LOT AREA: 5,817 S.F.

PA 2 LOTS 402-497
NUMBER OF LOTS: 96
MINIMUM LOT AREA (PER S.F.): 5,000 S.F.
ACTUAL MINIMUM LOT AREA (PER S.F.): 5,143 S.F.
MAXIMUM LOT AREA: 8,000 S.F.
AVERAGE LOT AREA: 5,817 S.F.

PA 3 LOTS 408-497
NUMBER OF LOTS: 96
MINIMUM LOT AREA (PER S.F.): 5,000 S.F.
ACTUAL MINIMUM LOT AREA (PER S.F.): 5,143 S.F.
MAXIMUM LOT AREA: 8,000 S.F.
AVERAGE LOT AREA: 5,817 S.F.

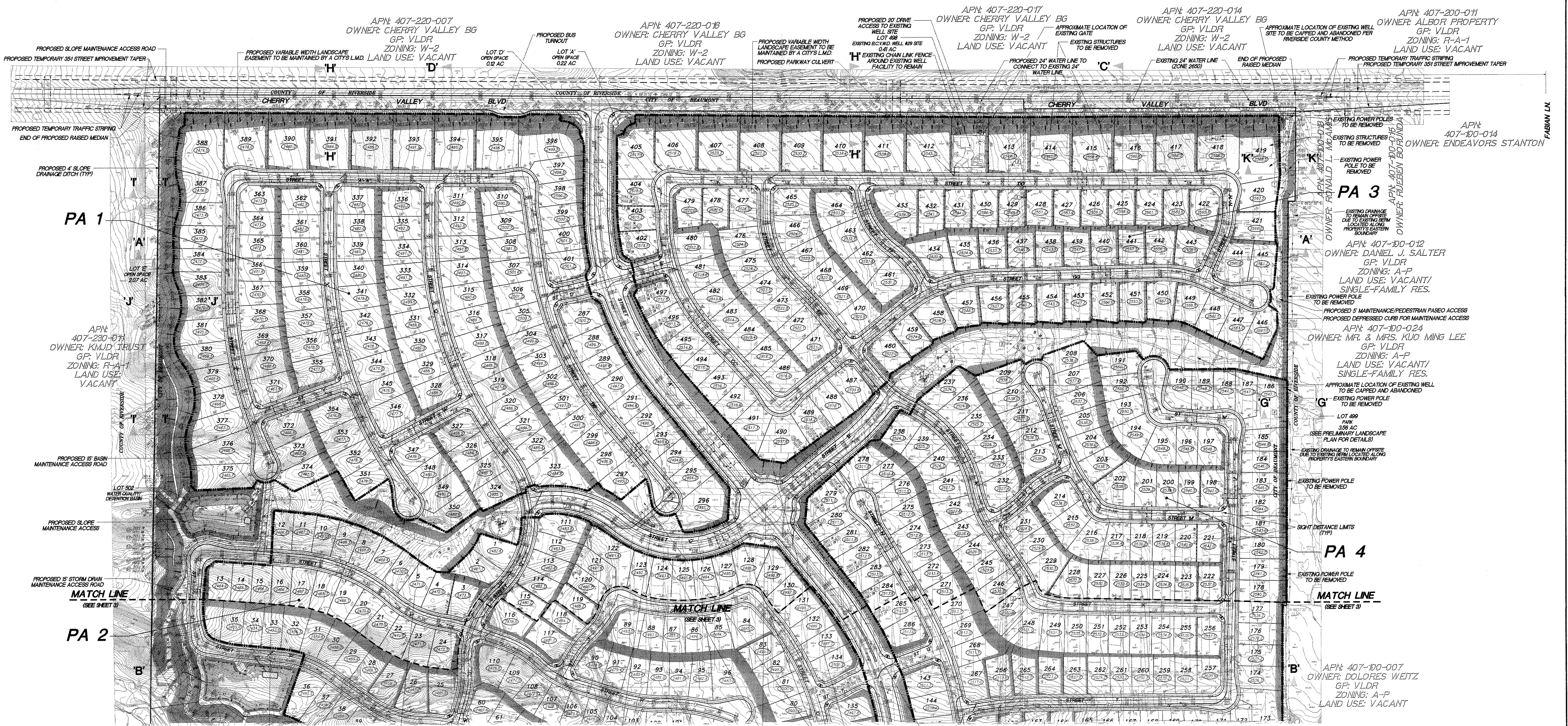
PA 4 LOTS 143-286
NUMBER OF LOTS: 144
MINIMUM LOT AREA (PER S.F.): 5,000 S.F.
ACTUAL MINIMUM LOT AREA (PER S.F.): 5,143 S.F.
MAXIMUM LOT AREA: 8,000 S.F.
AVERAGE LOT AREA: 5,817 S.F.

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CV Communities logo and contact information. PREPARED BY: MDS CONSULTING. 17329 Rancho Ave., Suite 300, Irvine, CA 92614. Phone: 949-251-8821. FAX: 949-251-0574.

SUNNY-CAL TENTATIVE TRACT MAP TENTATIVE TRACT No. 36583 CITY OF BEAUMONT, STATE OF CALIFORNIA SHEET 1 OF 4. Includes CV Communities L.L.C. logo and address: 1900 QUAIL STREET, NEWPORT BEACH, CA 92660. Phone: (949) 258-2534. CONTACT: MICHAEL WHITE.



PREPARED FOR:

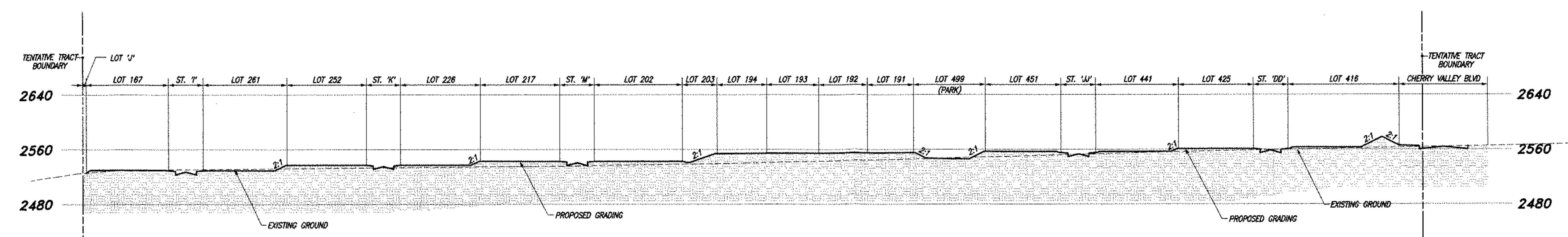
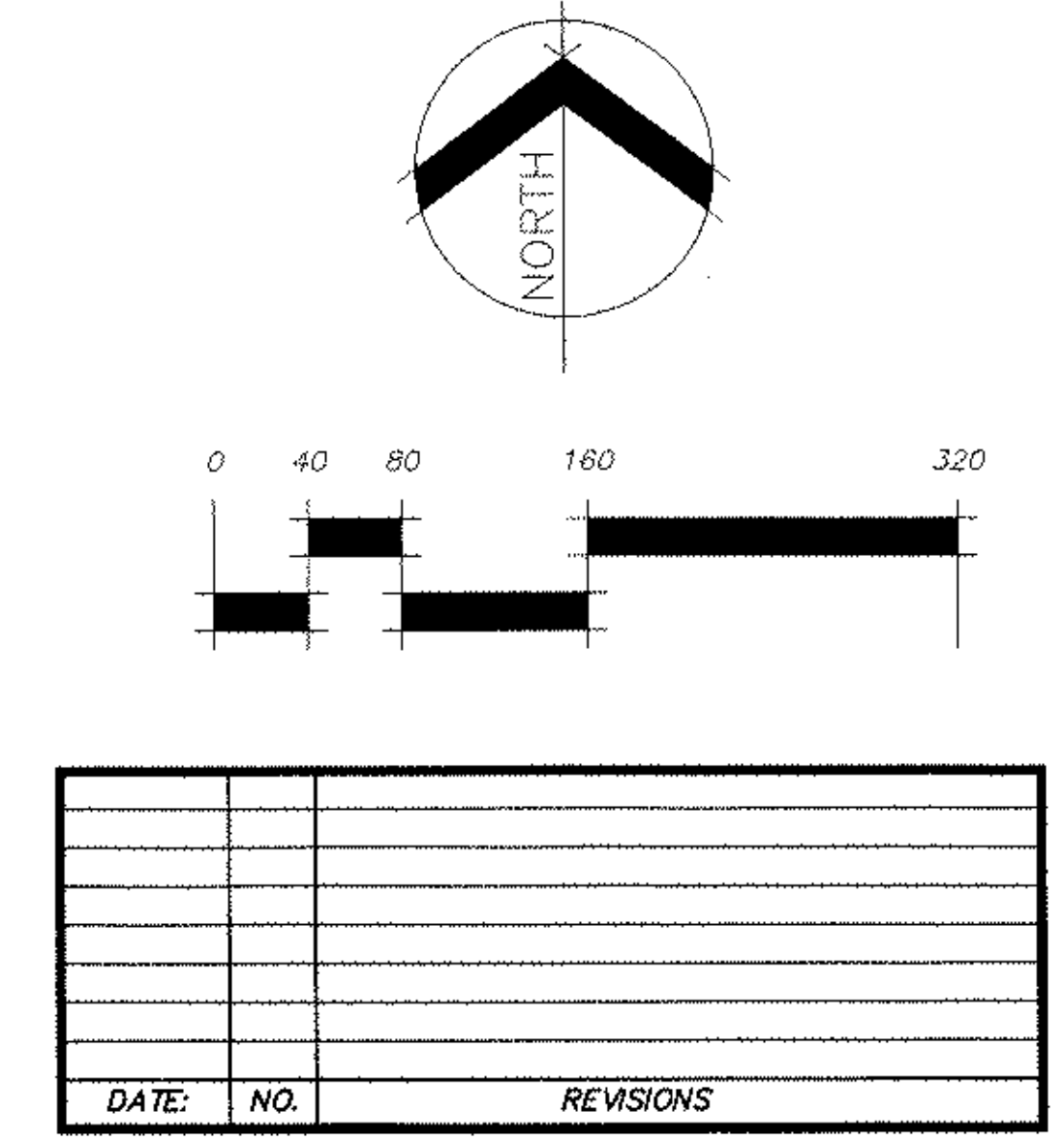
CV Communities

PREPARED BY:

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PLANNERS ENGINEERS SURVEYORS



SUNNY-CAL
TENTATIVE TRACT MAP
TENTATIVE TRACT No. 36583
 CITY OF BEAUMONT, STATE OF CALIFORNIA
 SHEET 2 OF 4

MATCH LINE
(SEE SHEET 2)

MATCH LINE
(SEE SHEET 2)

MATCH LINE
(SEE SHEET 2)

LOT 506
SEWER LIFT STATION
PROPOSED 15' MAINTENANCE ACCESS ROAD
PROPOSED 15' STORM DRAIN MAINTENANCE ACCESS ROAD
LOT 503
WATER QUALITY/ DETENTION BASIN
AC
PROPOSED 5' PEDESTRIAN TRAIL
PROPOSED PEDESTRIAN BRIDGE
(SEE PRELIMINARY LANDSCAPE PLAN FOR DETAILS)

PA 2
APN: 407-230-020
OWNER: MEI LING PROPERTIES
GP: VLDR
ZONING: R-A-1
LAND USE: VACANT

LOT 501
PARK
1247 AC
(SEE PRELIMINARY LANDSCAPE PLAN FOR DETAILS)

APN: 400-010-008
OWNER: GREGORY MORRISON
GP: COMMERCIAL
ZONING: W-2
LAND USE: VACANT

APN: 400-010-000
OWNER: VICTORIA HWANG
GP: COMMUNITY COMMERCIAL
ZONING: CC (COMMERCIAL COMMUNITY)
LAND USE: SINGLE-FAMILY RES./ RES./ GRADED VACANT

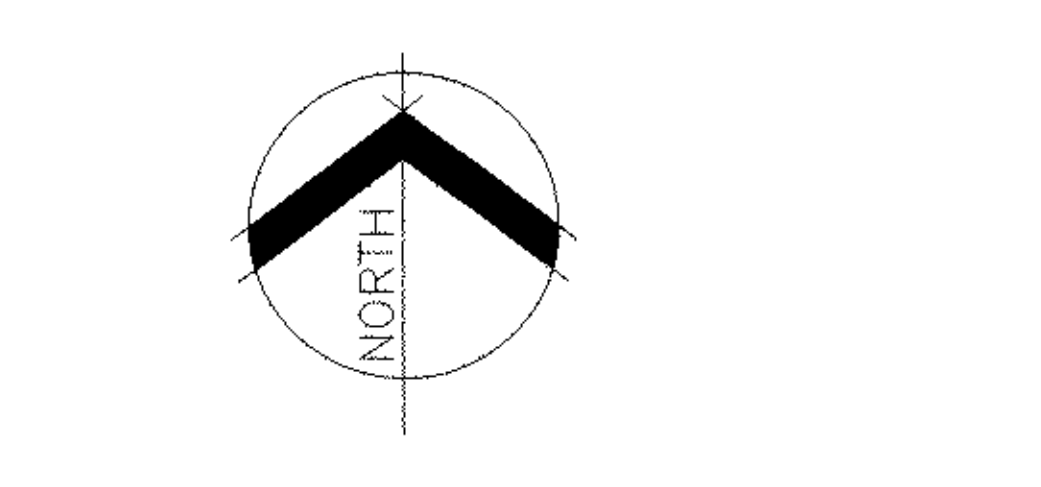
APN: 400-010-010
OWNER: MR. & MRS. MICHAEL ADLER
GP: COMMUNITY COMMERCIAL
ZONING: CC (COMMERCIAL COMMUNITY)
LAND USE: SINGLE-FAMILY RES./ RES./ VACANT

APN: 400-010-011
OWNER: COLORADO RIVER MOBILE HOMES
GP: SINGLE-FAMILY RES.
ZONING: RSF (RES. SINGLE-FAMILY)
LAND USE: VACANT/ RV STORAGE

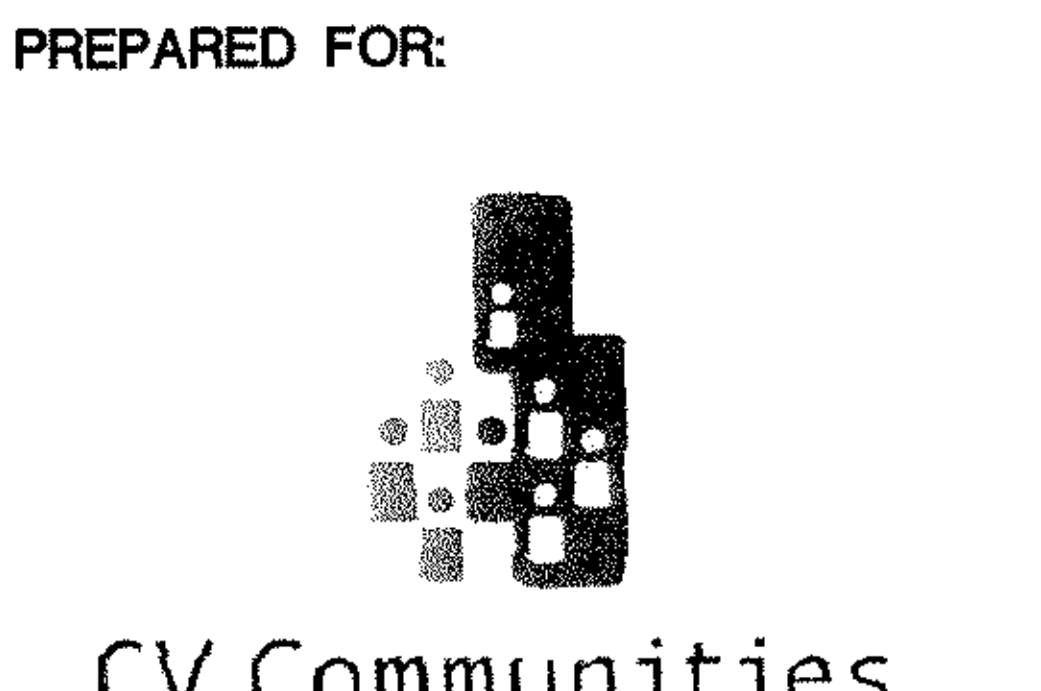
LOT 507
STORM DRAIN MAINTENANCE ACCESS AND OPEN SPACE
EXISTING DRAINAGE TO REMAIN OFFSITE
PROPOSED STORM DRAIN MAINTENANCE ACCESS DRIVE
PROPOSED 30' STORM DRAIN EASEMENT
APN: 407-100-008
COUNTY OF RIVERSIDE
TRACT 28416
GP: VLDR
ZONING: R-A-1
LAND USE: VACANT

PA 4
LOT 505
WATER QUALITY BASIN
0.19 AC
PROPOSED VARIABLE WIDTH STORM DRAIN EASEMENT
PROPOSED 20' STORM DRAIN EASEMENTS
LOT 504
WATER QUALITY/ DETENTION BASIN
172 AC
EXISTING POWER POLES TO BE RELOCATED
PROPOSED 15'7" STORM DRAIN BOX CULVERT
PROPOSED 15' MAINTENANCE ACCESS ROAD
PROPOSED 15'7" STORM DRAIN BOX CULVERT
LOT 502
WATER QUALITY/ DETENTION BASIN
172 AC
EXISTING POWER POLES TO BE RELOCATED
PROPOSED 15'7" STORM DRAIN BOX CULVERT
PROPOSED 24" WATER LINE TO CONNECT TO EXISTING 24" WATER LINE
PROPOSED ULTIMATE R.O.W. IMPROVEMENTS
PROPOSED 15' FORCE MAIN SEWER TO CONNECT TO EXISTING 15" SEWER LINE
EXISTING DEDICATION R.O.W. (80' FROM CENTERLINE)
EXISTING EDGE OF PAVEMENT
PROPOSED TRANSITION IMPROVEMENTS TO JOIN EXISTING PAVEMENT
EXISTING IMPROVEMENTS (58') PER TRACT 30779
EXISTING EDGE OF PAVEMENT
N. DEODAR DR.
TRACT 30779
GP: SINGLE-FAMILY RES.
ZONING: RSF (RES. SINGLE-FAMILY)
LAND USE: EXISTING SINGLE-FAMILY RES.

LOT 508
WATER QUALITY/ DETENTION BASIN
0.19 AC
PROPOSED VARIABLE WIDTH STORM DRAIN EASEMENT
PROPOSED 20' STORM DRAIN EASEMENTS
LOT 509
WATER QUALITY/ DETENTION BASIN
172 AC
EXISTING POWER POLES TO BE RELOCATED
PROPOSED 15'7" STORM DRAIN BOX CULVERT
PROPOSED 15' MAINTENANCE ACCESS ROAD
PROPOSED 15'7" STORM DRAIN BOX CULVERT
LOT 510
WATER QUALITY/ DETENTION BASIN
172 AC
EXISTING POWER POLES TO BE RELOCATED
PROPOSED 15'7" STORM DRAIN BOX CULVERT
PROPOSED 24" WATER LINE TO CONNECT TO EXISTING 24" WATER LINE
PROPOSED ULTIMATE R.O.W. IMPROVEMENTS
PROPOSED 15' FORCE MAIN SEWER TO CONNECT TO EXISTING 15" SEWER LINE
EXISTING DEDICATION R.O.W. (80' FROM CENTERLINE)
EXISTING EDGE OF PAVEMENT
PROPOSED TRANSITION IMPROVEMENTS TO JOIN EXISTING PAVEMENT
EXISTING IMPROVEMENTS (58') PER TRACT 30779
EXISTING EDGE OF PAVEMENT
N. DEODAR DR.
TRACT 30779
GP: SINGLE-FAMILY RES.
ZONING: RSF (RES. SINGLE-FAMILY)
LAND USE: EXISTING SINGLE-FAMILY RES.

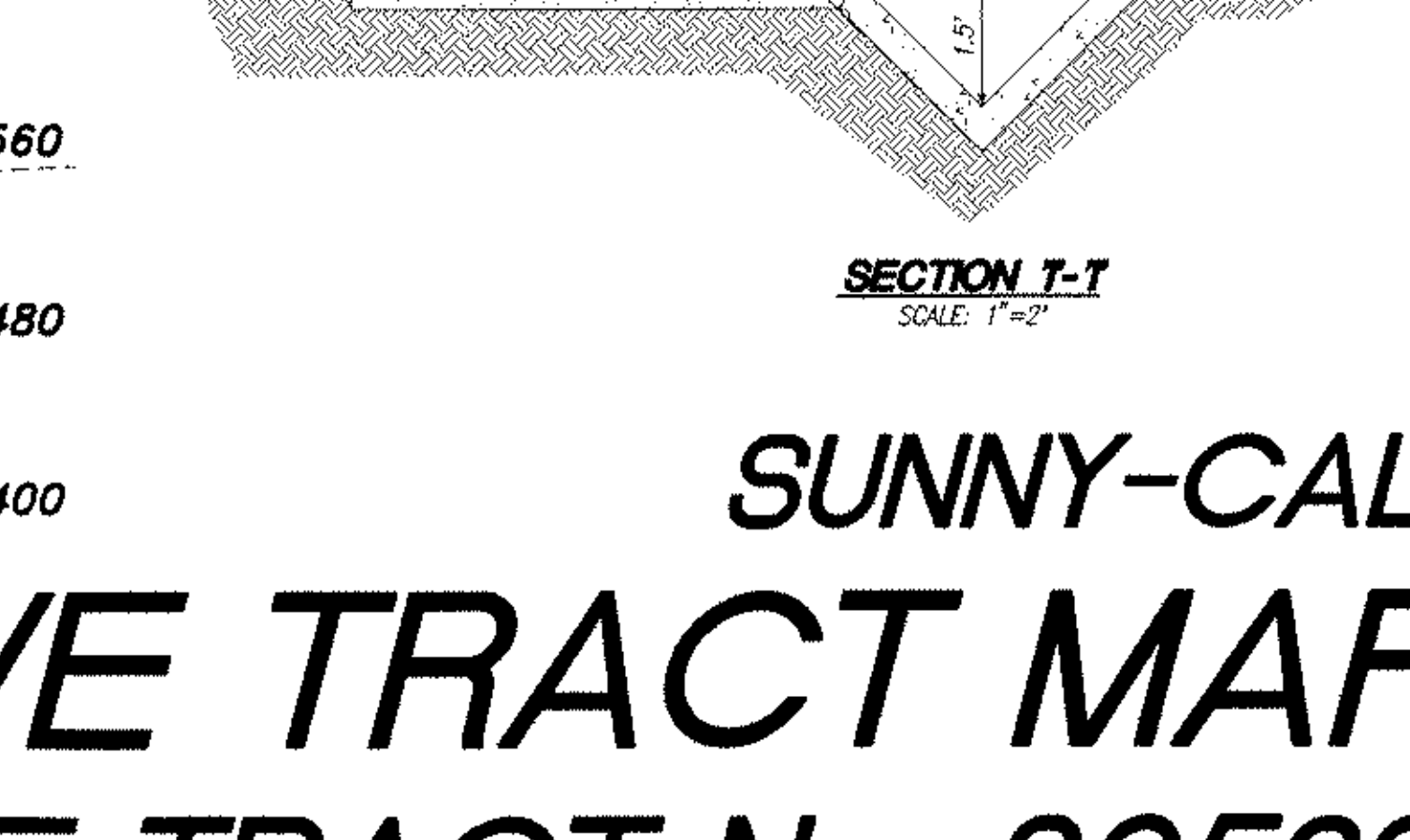
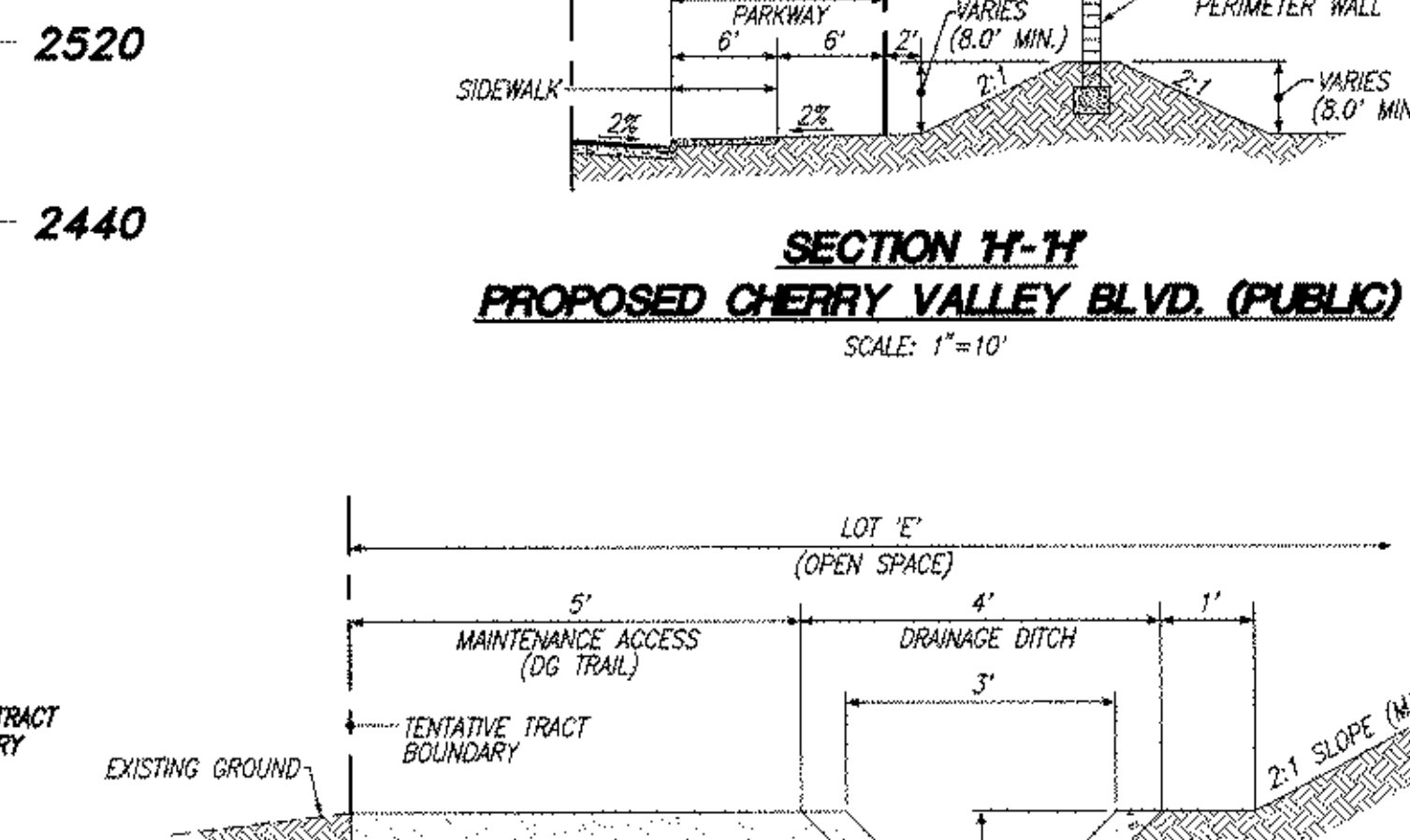
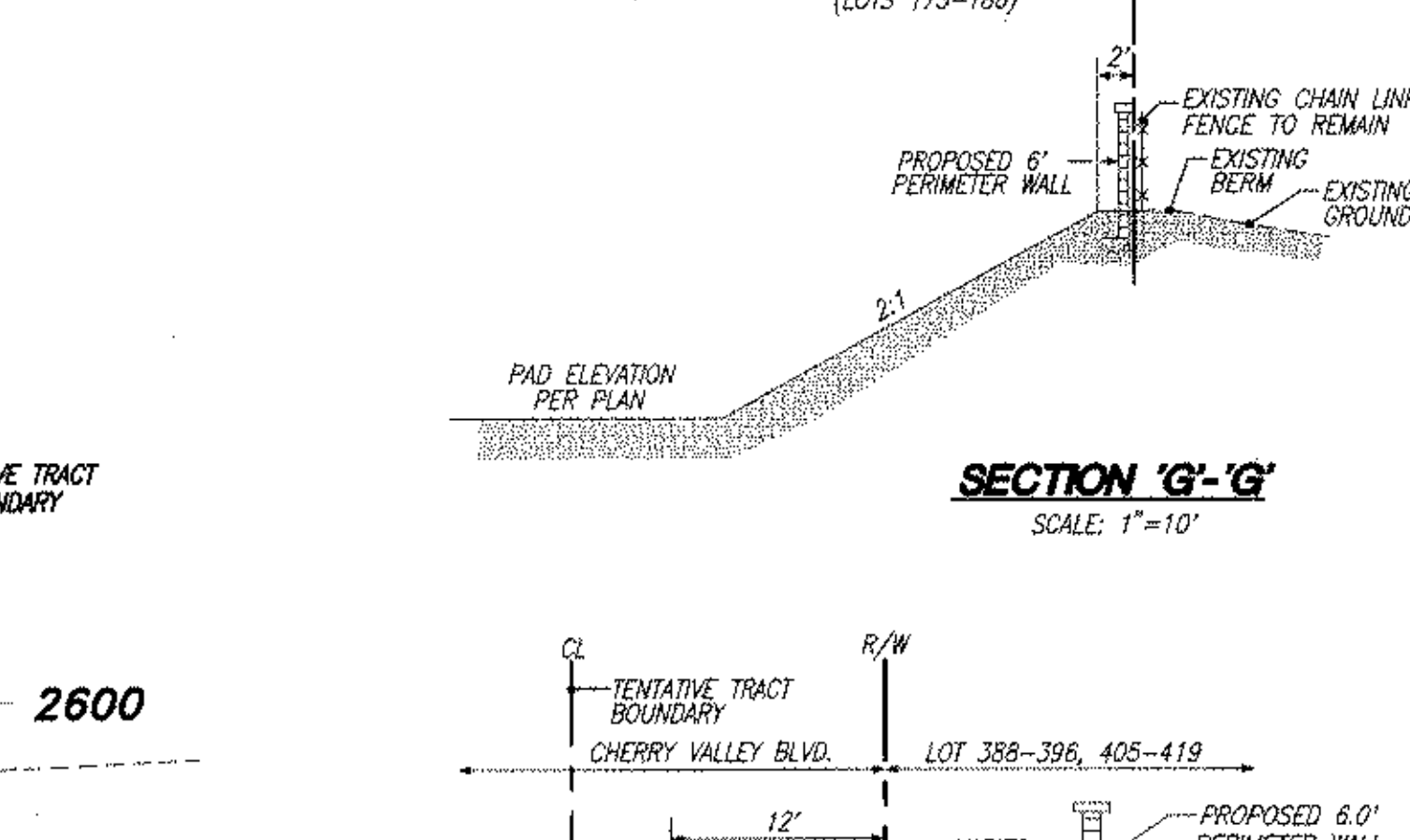
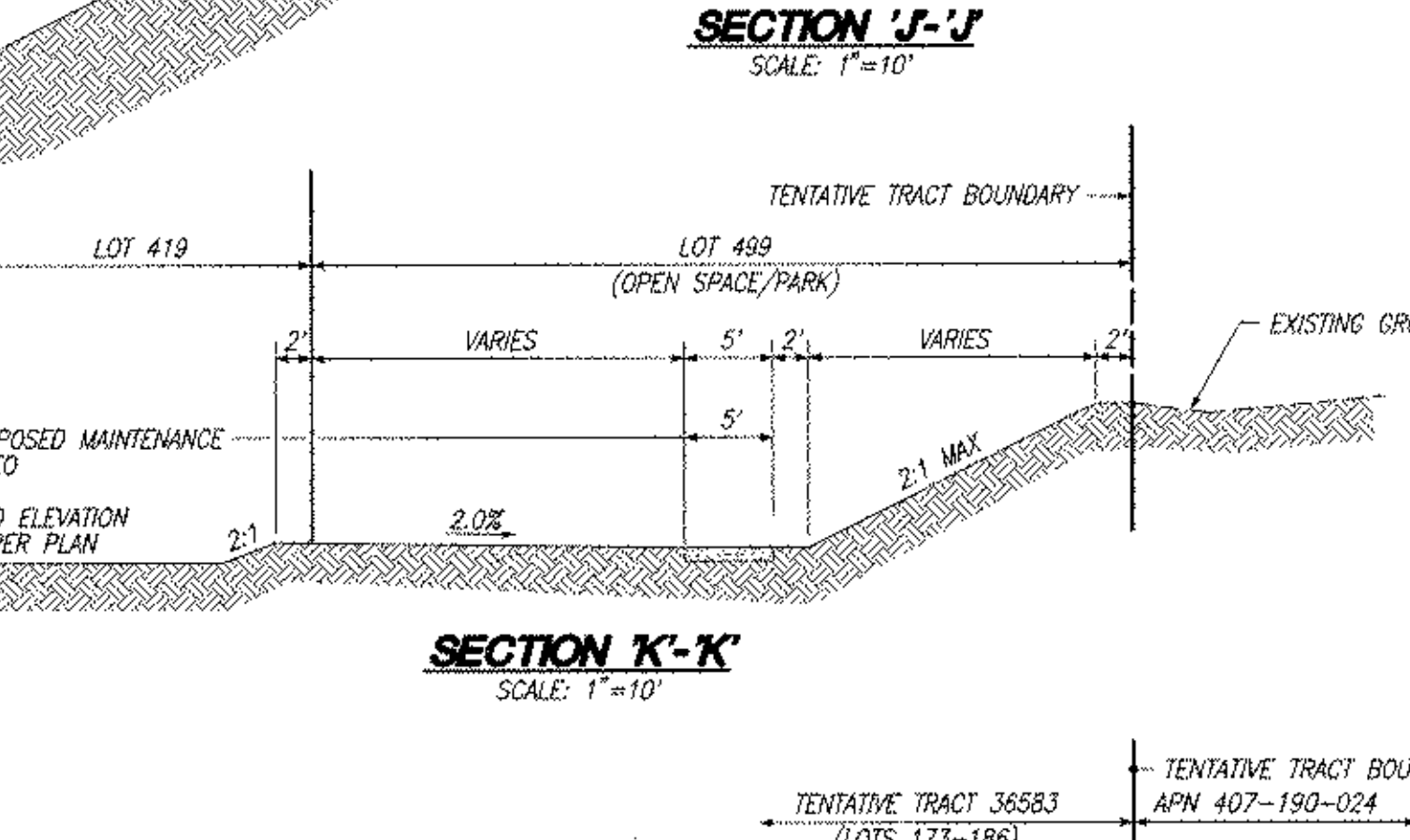
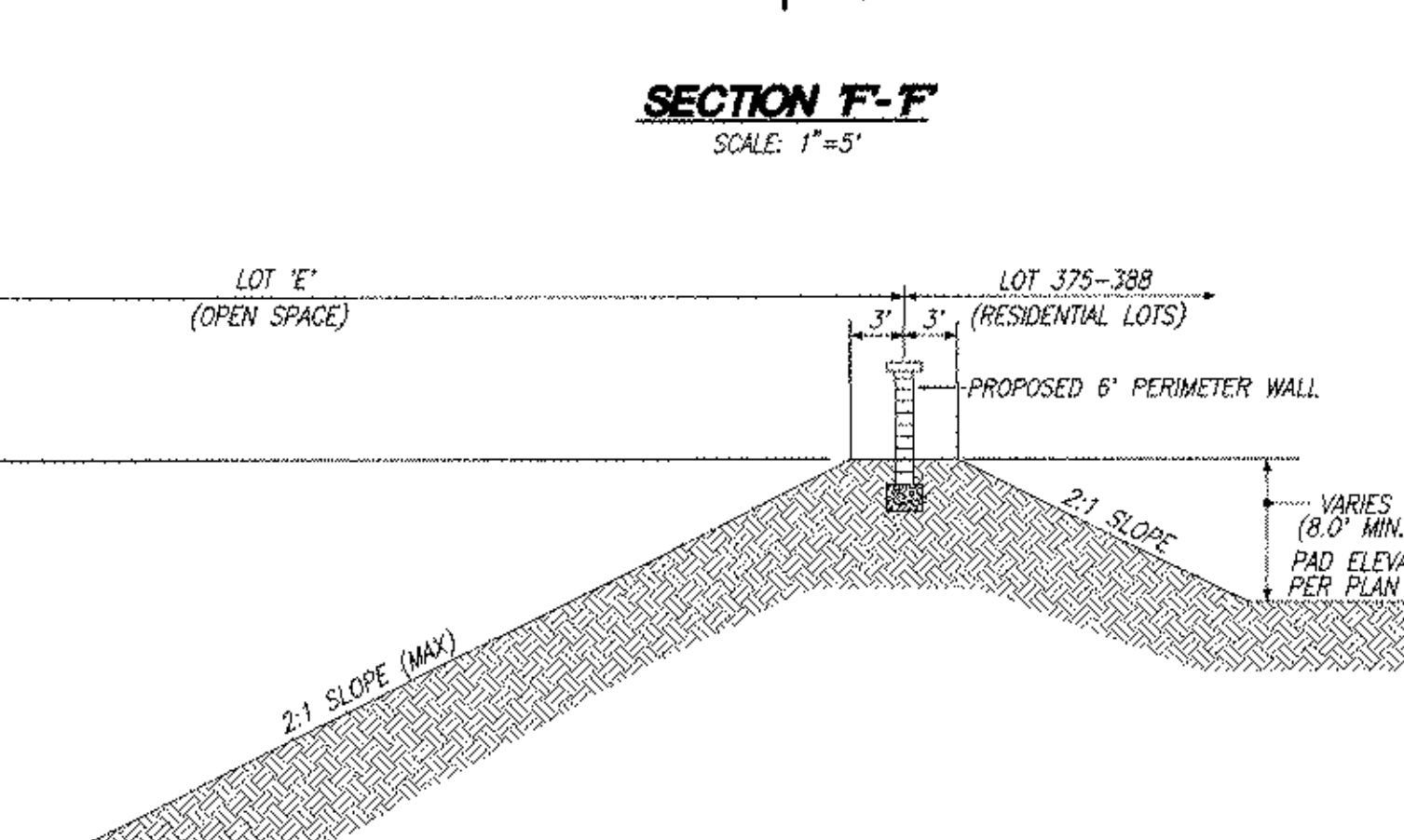
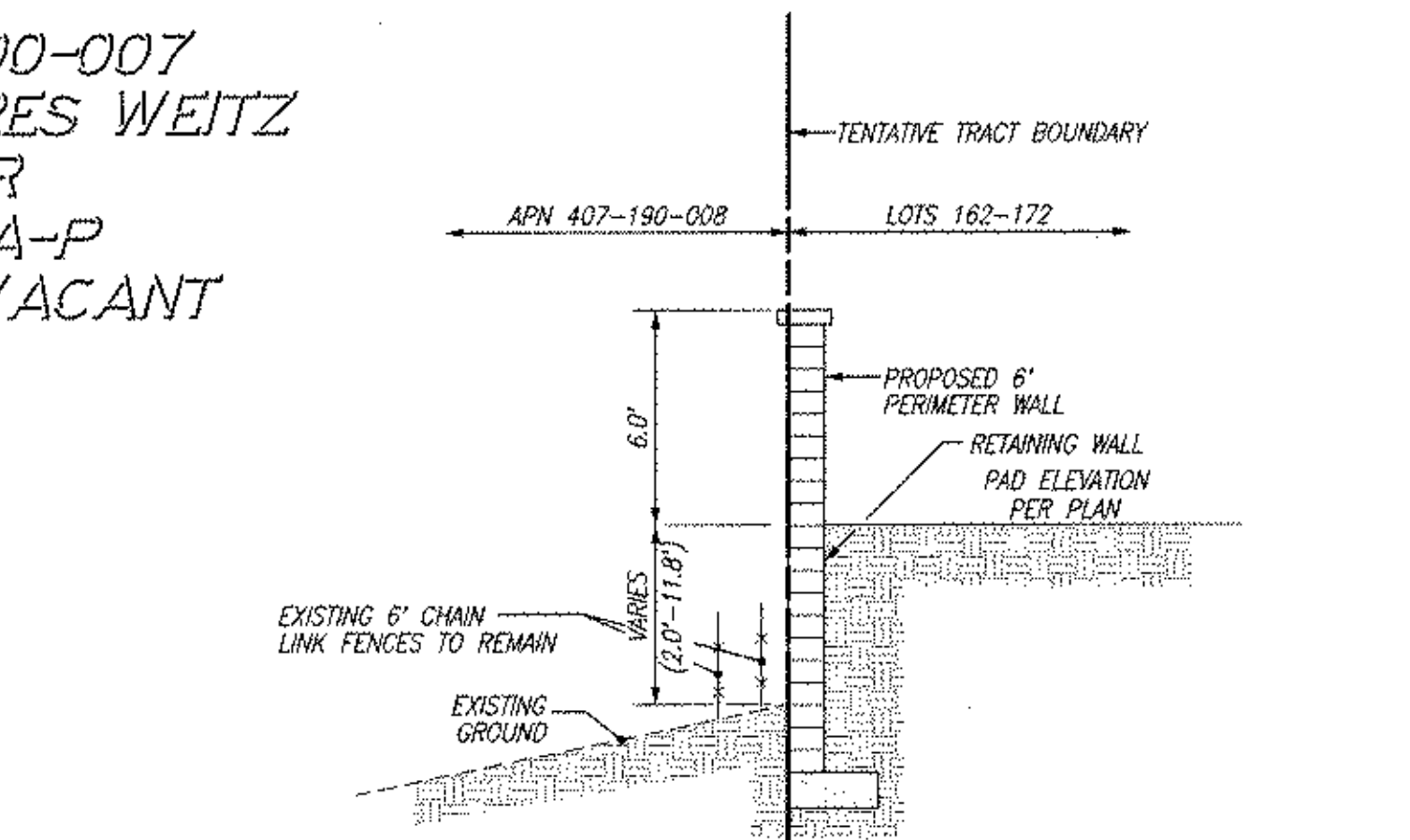
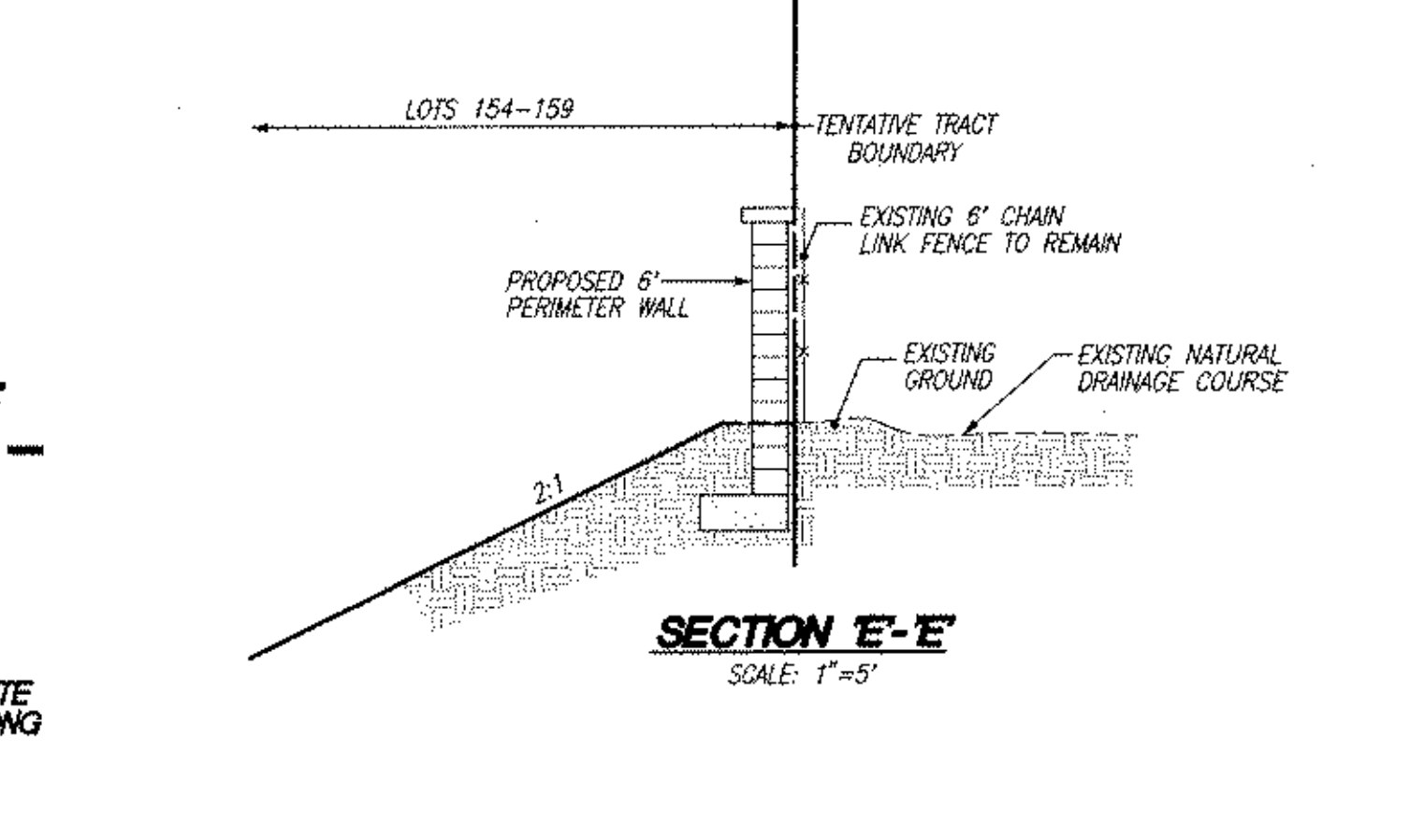
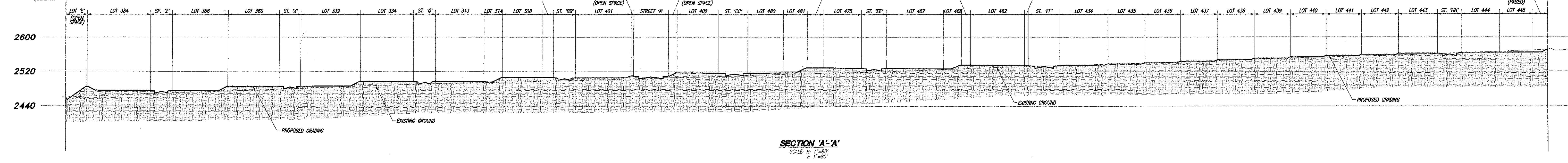
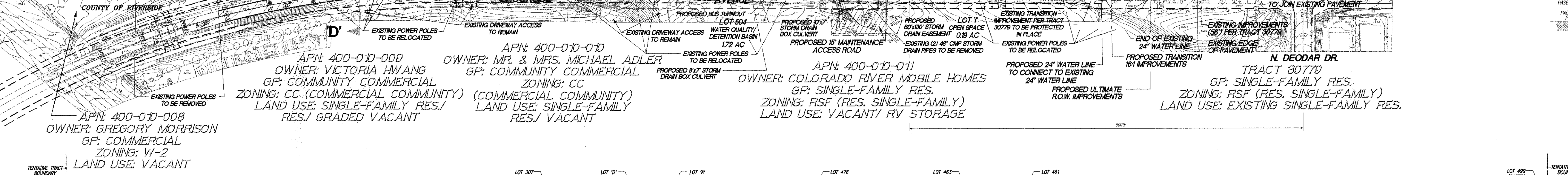
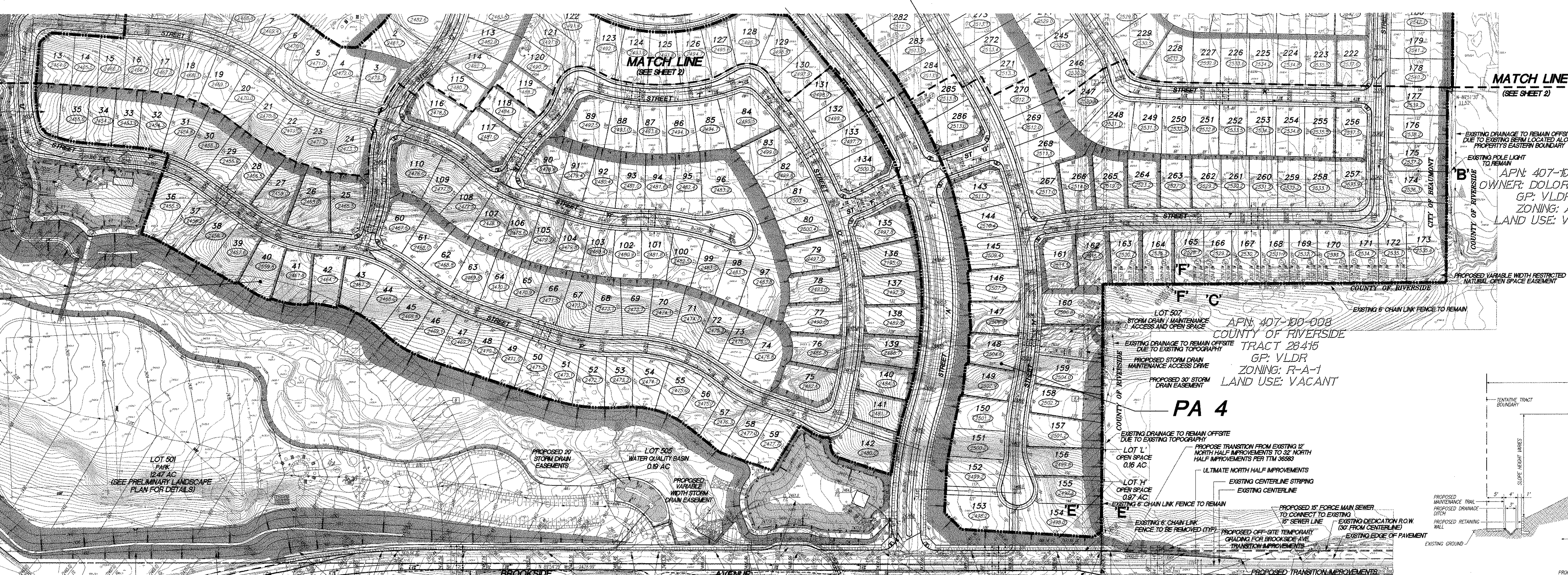


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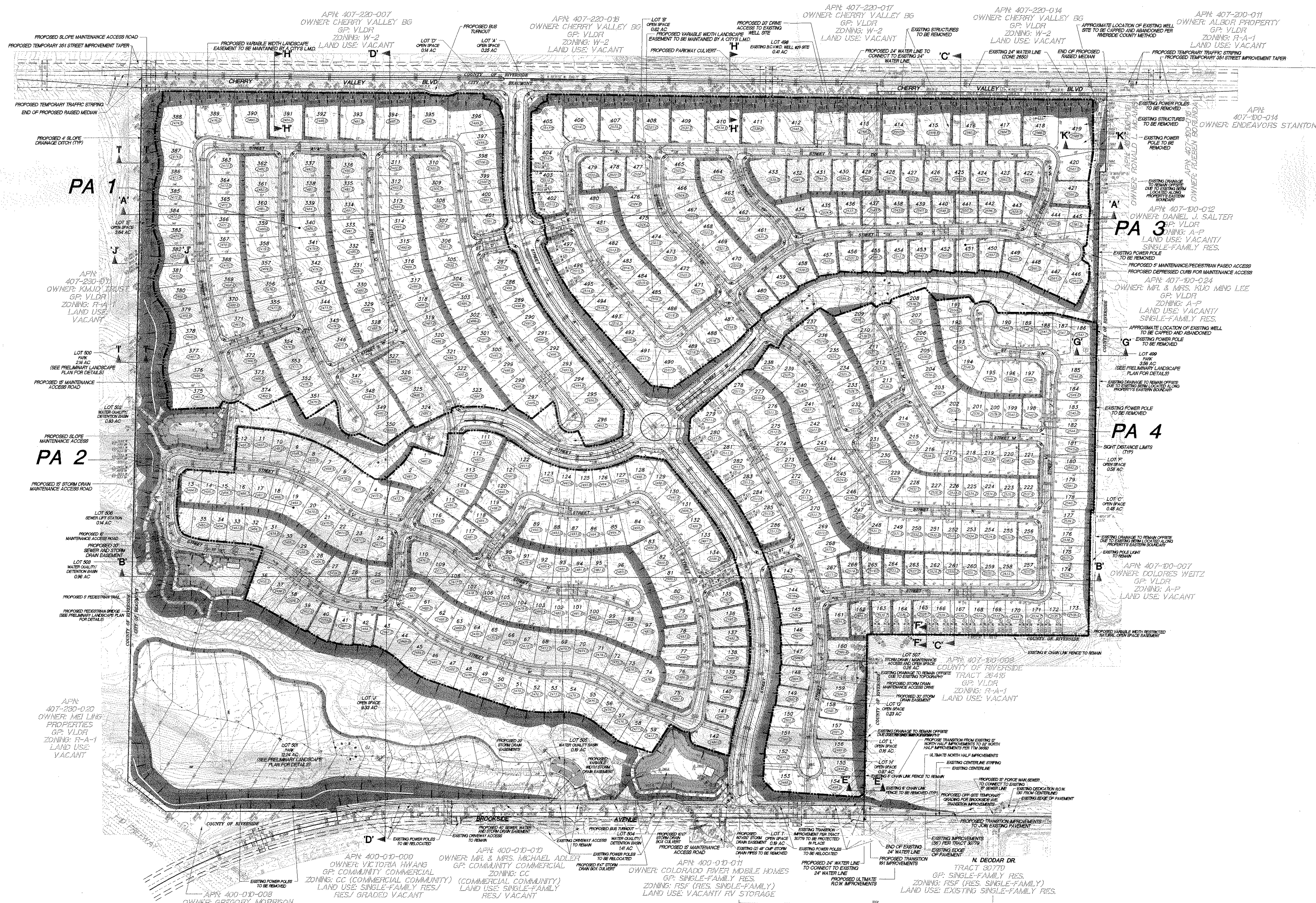
DATE	NO.	REVISIONS



SUNNY-CAL TENTATIVE TRACT MAP

TENTATIVE TRACT No. 36583

CITY OF BEAUMONT, STATE OF CALIFORNIA
SHEET 3 OF 4



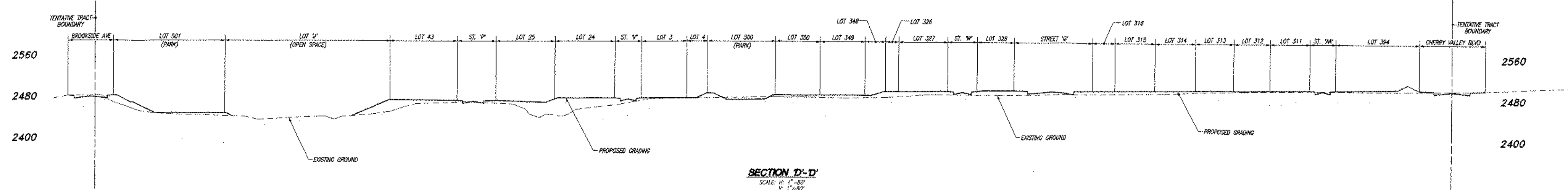
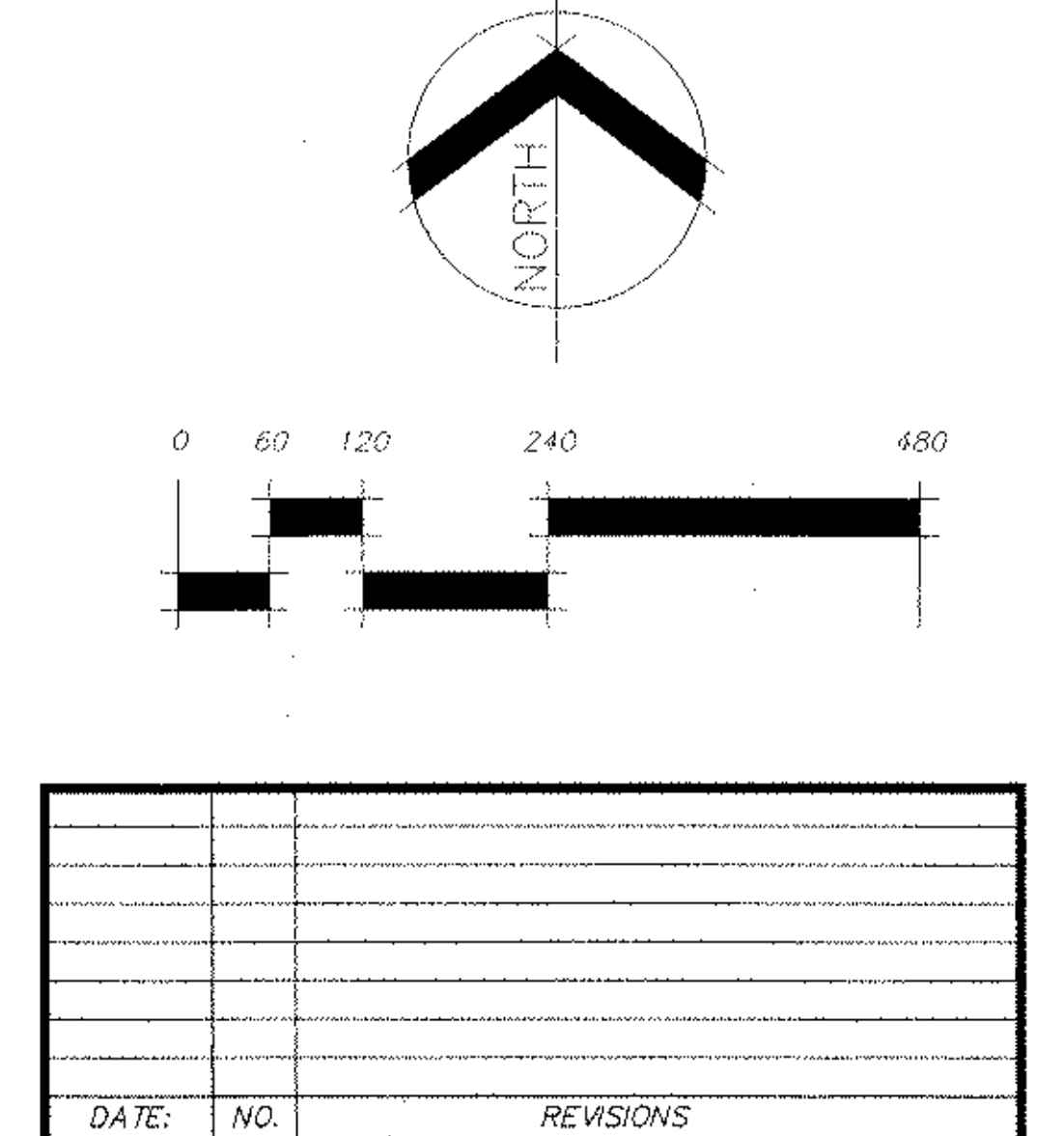
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SUNNY-CAL

COMPOSITE TENTATIVE TRACT MAP

TENTATIVE TRACT No. 36583

CITY OF BEAUMONT, STATE OF CALIFORNIA
SHEET 4 OF 4