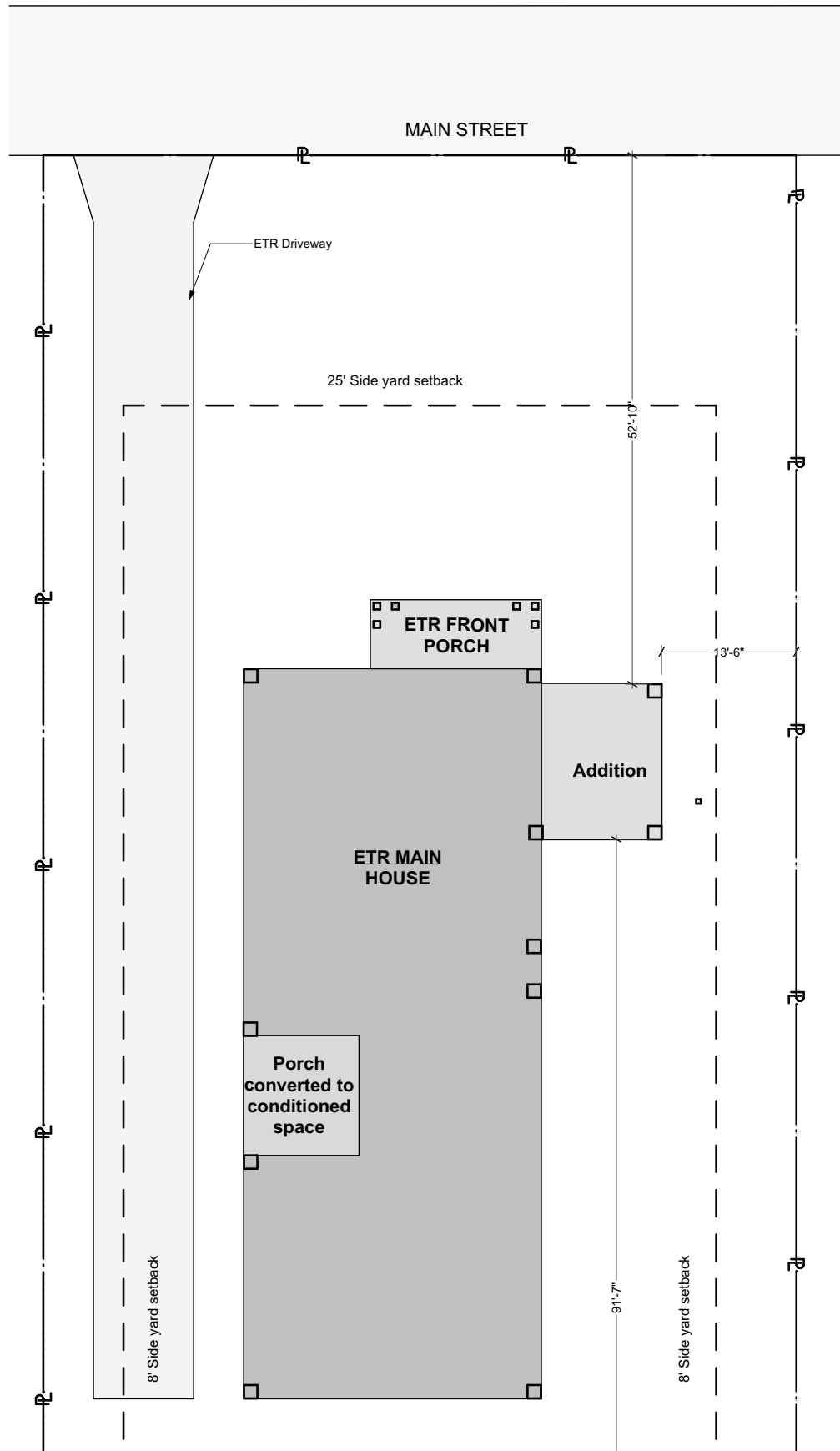
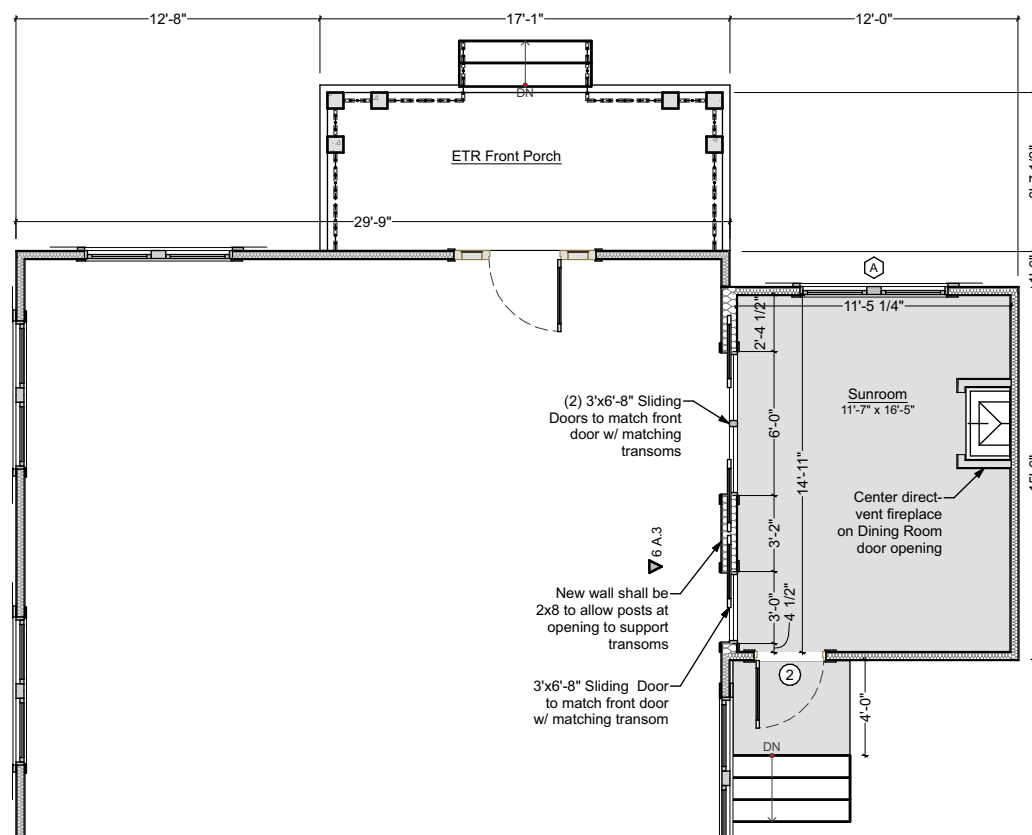




3 Site Plan
SCALE: 1/16" = 1'-0"



2 Main Level, Partial Floor Plan
SCALE: 1/8" = 1'-0"



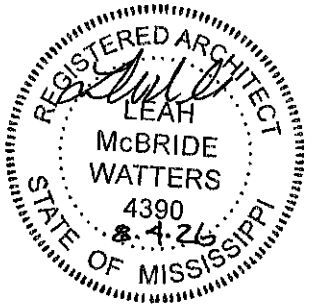
Front Elevation, Proposed



Front Elevation, Existing



1 North Elevation
SCALE: 3/32" = 1'-0"

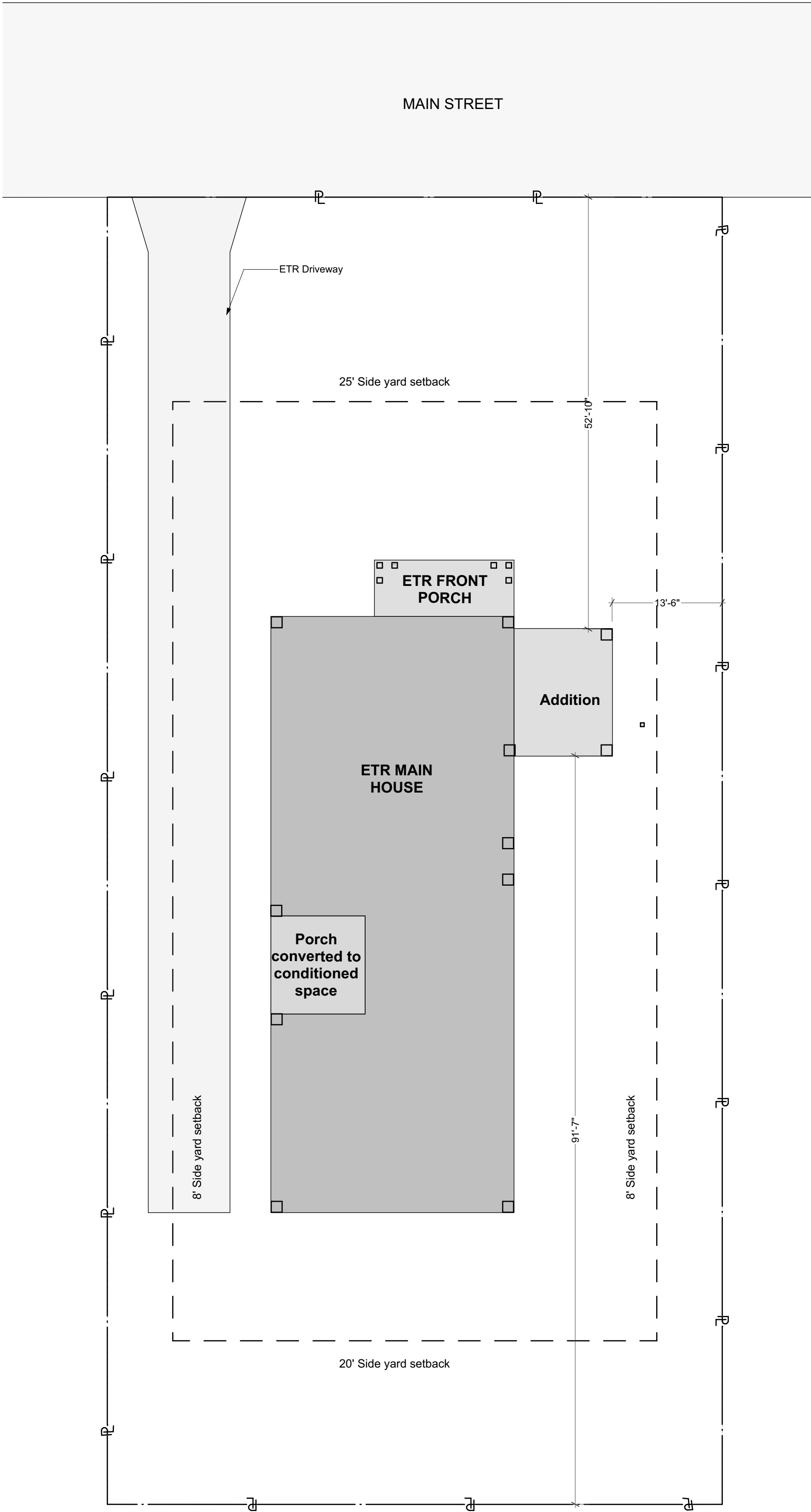


Stuart Residence Addition

328 Main St Bay St. Louis, MS 39520



Project Information		Project Team		Project Areas													
Site Address: 328 Main St, Bay St. Louis, MS 39520 Assessor Parcel Number: 149F-0-29-331.002 Zoning: R-2 Setbacks: Side 8', Rear 20', Front 25' Building Height: 28'		<u>Property Owner(s):</u> Robert Stuart 328 Main St. Bay St. Louis, MS 39520 <u>Architect Point-of-Contact</u> Watters Architecture Leah Watters 228.276.9006 leah@wattersarch.com		<table><tr><th colspan="2">Conditioned Space</th></tr><tr><td>Existing First Floor</td><td>2,022.72</td></tr><tr><th colspan="2">Covered Porch</th></tr><tr><td>New Screen Porch</td><td>186.65</td></tr><tr><td>New Side Porch</td><td>144.94</td></tr><tr><td></td><td>2,354.31 ft²</td></tr></table>		Conditioned Space		Existing First Floor	2,022.72	Covered Porch		New Screen Porch	186.65	New Side Porch	144.94		2,354.31 ft²
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	2,354.31 ft²																
Sheet Index		General Notes		Abbreviations													
A.1 Cover Sheet A.2 Demo Plan + Elevations A.3 Proposed Plan + Elevations A.4 Electrical + Structural Plans		1. All work shall conform to all applicable codes and ordinances. 2. Do not scale drawings: use calculated dimensions only. Verify existing "as-built" dimensions as req'd. All dimensions are to face of stud unless noted otherwise. 3. Verify all rough-in dimensions and locations for equipment, fixtures etc. Provide all blocking, buck-outs, backing and jacks required for installation. 4. All wood in contact with concrete to be pressure treated. 5. All flashing to be galvanized, galvalume or factory finish to be approved by architect and owner. 6. Contractor shall verify all existing conditions prior to initiating any portion of the work. 7. Provide all protection, shoring and bracing as required by site conditions in order to maintain a safe job site and protect components to remain. 8. Stair and guardrail openings to be less than 4". 9. All framing to be properly caulked, sealed, gasketed or otherwise treated to minimize air infiltration prior to sheathing and finishing.		AFF ABOVE FINISH FLOOR AFS ABOVE FINISH SLAB ALUM ALUMINUM BFE BASE FLOOD ELEVATION B.O. BOTTOM OF B/T BETWEEN C.O. CASED OPENING CL CLOSET CLG CEILING CONC CONCRETE DB DROPPED BEAM DP DESIGN PRESSURE DS DOWN SPOUT DTD DUSK TO DAWN EJ EXPANSION JOINT ETR EXISTING TO REMAIN EXG EXISTING F.O. FACE OF F.C. FIBER CEMENT GB GYPSUM BOARD GFCI GROUND FAULT CIRCUIT INTERRUPTER HVAC HEATING, VENTILATION, & AIR CONDITIONING HT HEIGHT MAX MAXIMUM MIN MINIMUM O.C. ON CENTER OF OWNER FURNISHED O.H. OVERHANG PT PRESSURE TREATED RO ROUGH OPENING SF SQUARE FEET STL STEEL T.O. TOP OF TYP TYPICAL UNO UNLESS NOTED OTHERWISE WD WOOD WH WATER HEATER VIF VERIFY IN FIELD													
Non-Negotiable Project Specifications																	
FRAMING	Provide sill-seal below framing. Seal the sill-plate to the foundation. Provide joist tape @ tops of all decking/porch locations.																
BOTTOM OF OSB	Seal bottom of OSB to slab with liquid flashing or Tremco ExoAir 110AT																
VAPOR BARRIER	Tape seams of Zip. Lap Zip sheathing per manufacture specifications.																
COMPLETE AIR BARRIER	Provide a complete air barrier of exterior envelope. Seal walls from foundation to bottom of roof.																
WINDOWS	Provide flashing pan per manufacture specs Tape sides of windows Lap house-wrap over top of window; tape Do not tape bottom of window It is ideal practice to provide a wind skirt where a strip of house wrap laps over lap of siding below.																
DOORS	Provide sill pan with side- and back-dam that drains to outdoors Seal jams and head similar to windows. Provide head flashing																
KICK-OUT FLASHING	Provide kick-out flashing at all wall-to-roof intersections																
ROOF FLASHING	Provide step-flashing at roof-to-wall transition Tape top edge of roof-to-wall flashing to wall. Lap house wrap over taped flashing Provide rake trim to enable future replacement of flashing																
PENETRATIONS	Wall penetrations shall be taped with flexible tape. Provide through wall flashing boot as applicable.																
LEDGER	Ledger shall have continuous house wrap behind and shall have taped flashing above Ledger shall be installed on 1/4" rubber washers to prevent trapped water																
FIBER CEMENT SIDING	Best practice is to install siding on furring to allow air movement Simple furring: sill seal @ 16" o.c vertically																



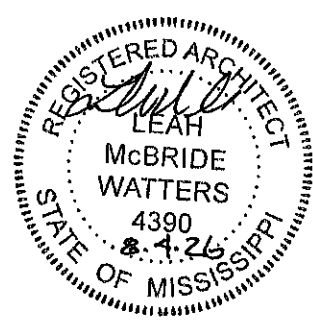
3 Site Plan
SCALE: 3/32" = 1'-0"

Drawings and Specifications as instruments of service are and shall remain the property of the Architect. They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the Architect.

The General Contractor is responsible for confirming and correlating dimensions at the job site. The Architect will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

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Bay St. Louis, MS 39520



328 Main St Bay St.
Louis, MS 39520

Stuart Addition

Cover Sheet
SCHEMATIC DESIGN

Date: 07.31.2026

A.1

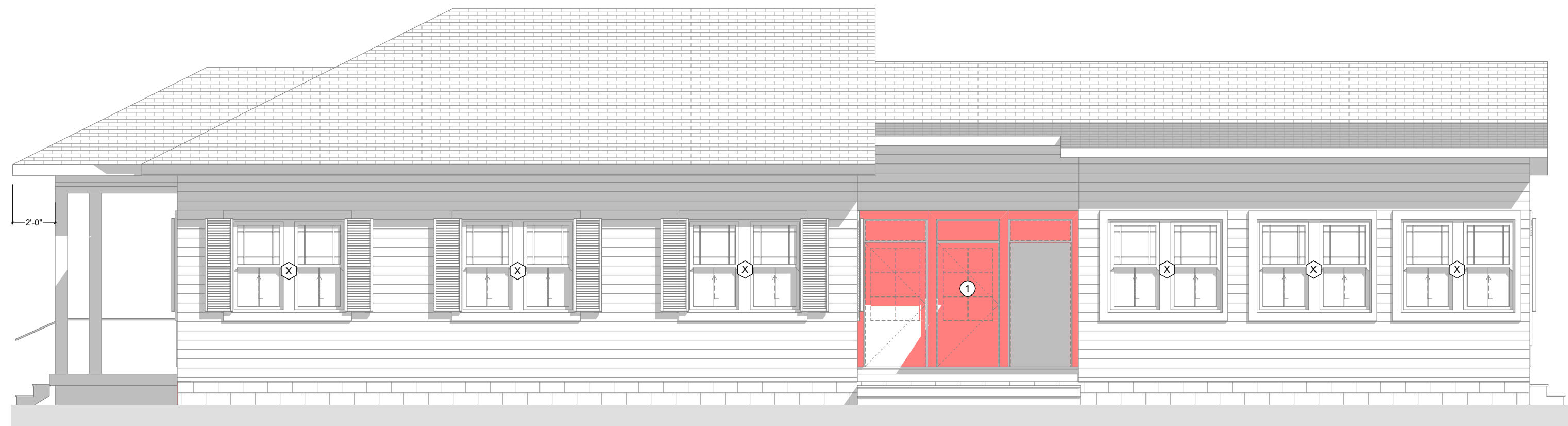
Plotted On: 8/4/26



5 South Elevation Demolition Plan
SCALE: 3/16" = 1'-0"



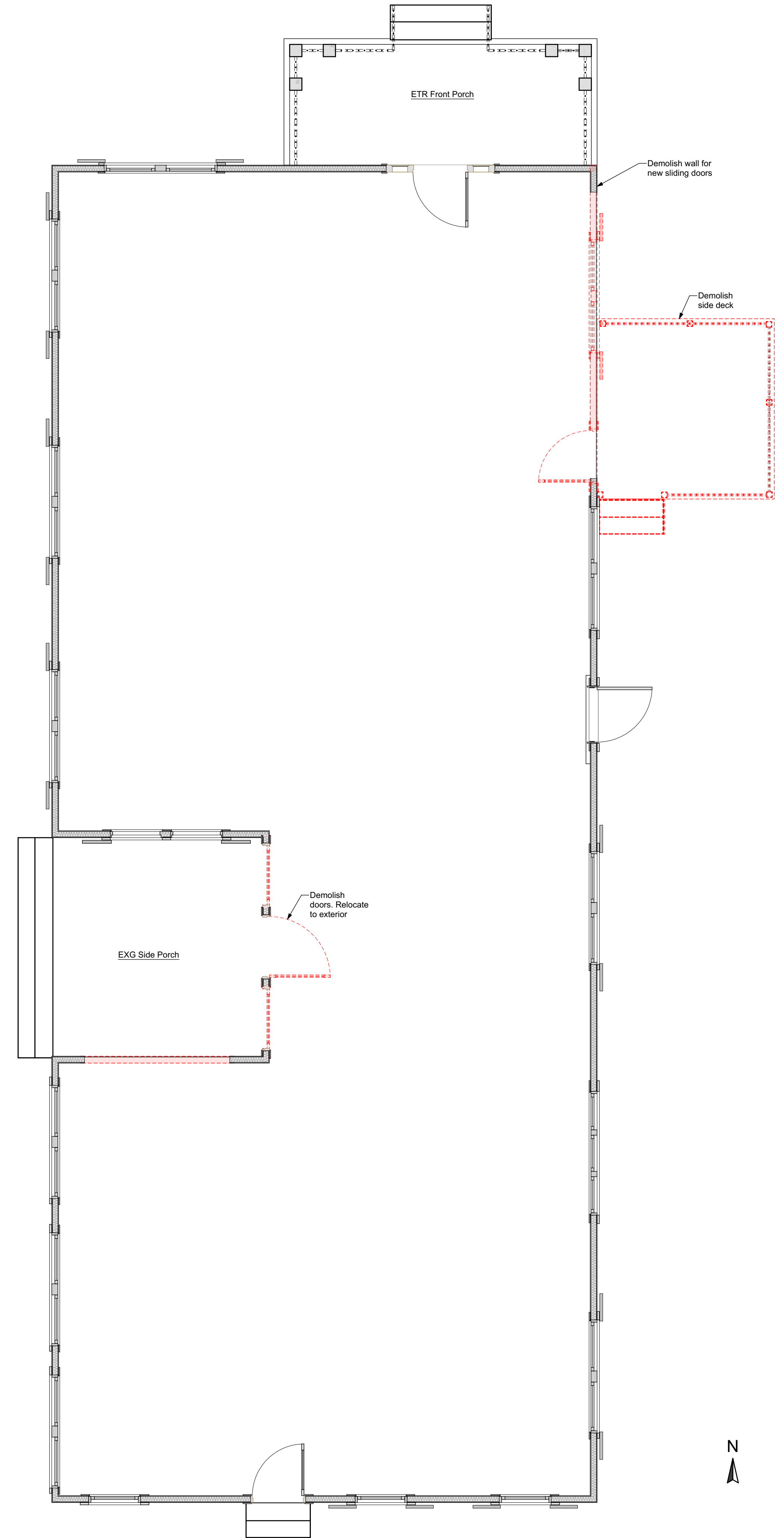
4 North Elevation Demolition Plan
SCALE: 3/16" = 1'-0"



3 East Elevation Demolition Plan
SCALE: 3/16" = 1'-0"



2 West Elevation Demolition Plan
SCALE: 3/16" = 1'-0"



1 Demolition Floor Plan
SCALE: 1/4" = 1'-0"



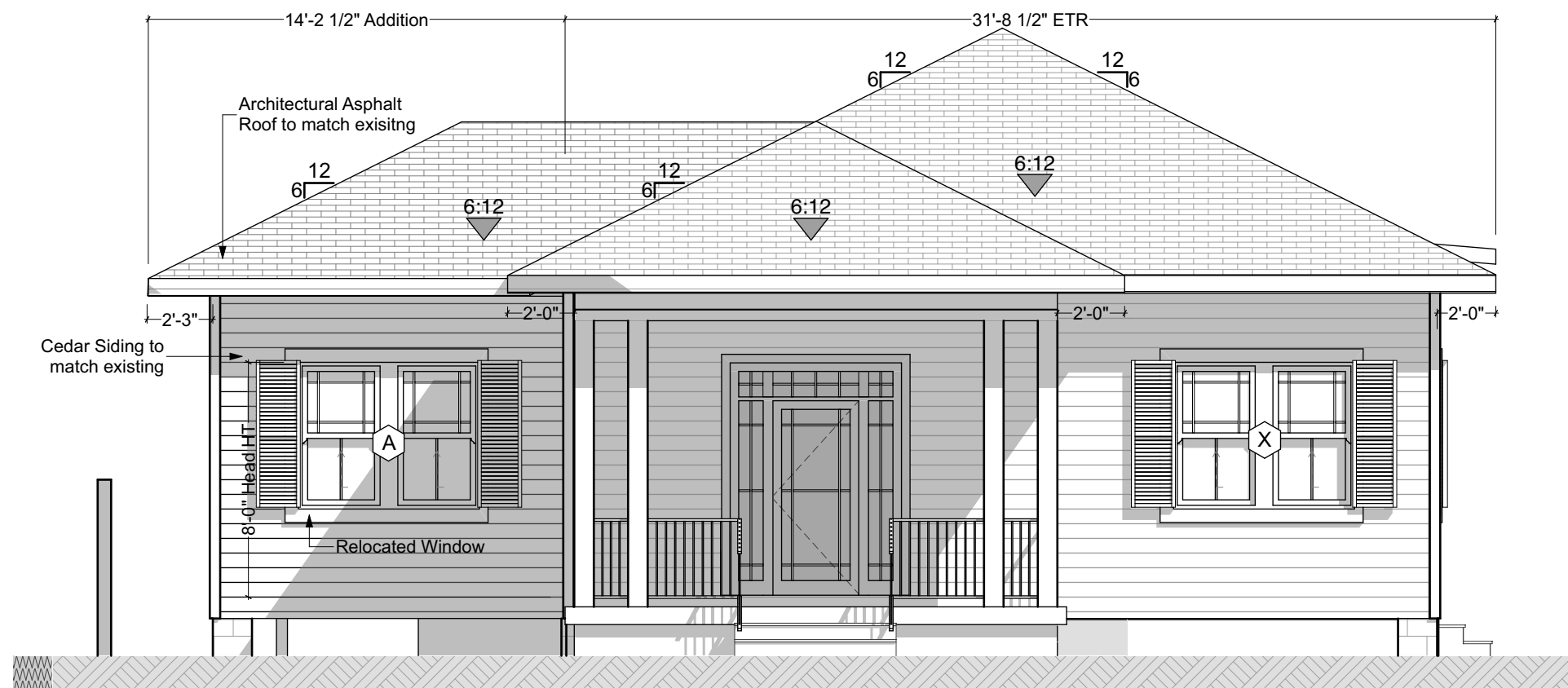
4 West Elevation
SCALE: 3/16" = 1'-0"



3 South Elevation
SCALE: 3/16" = 1'-0"



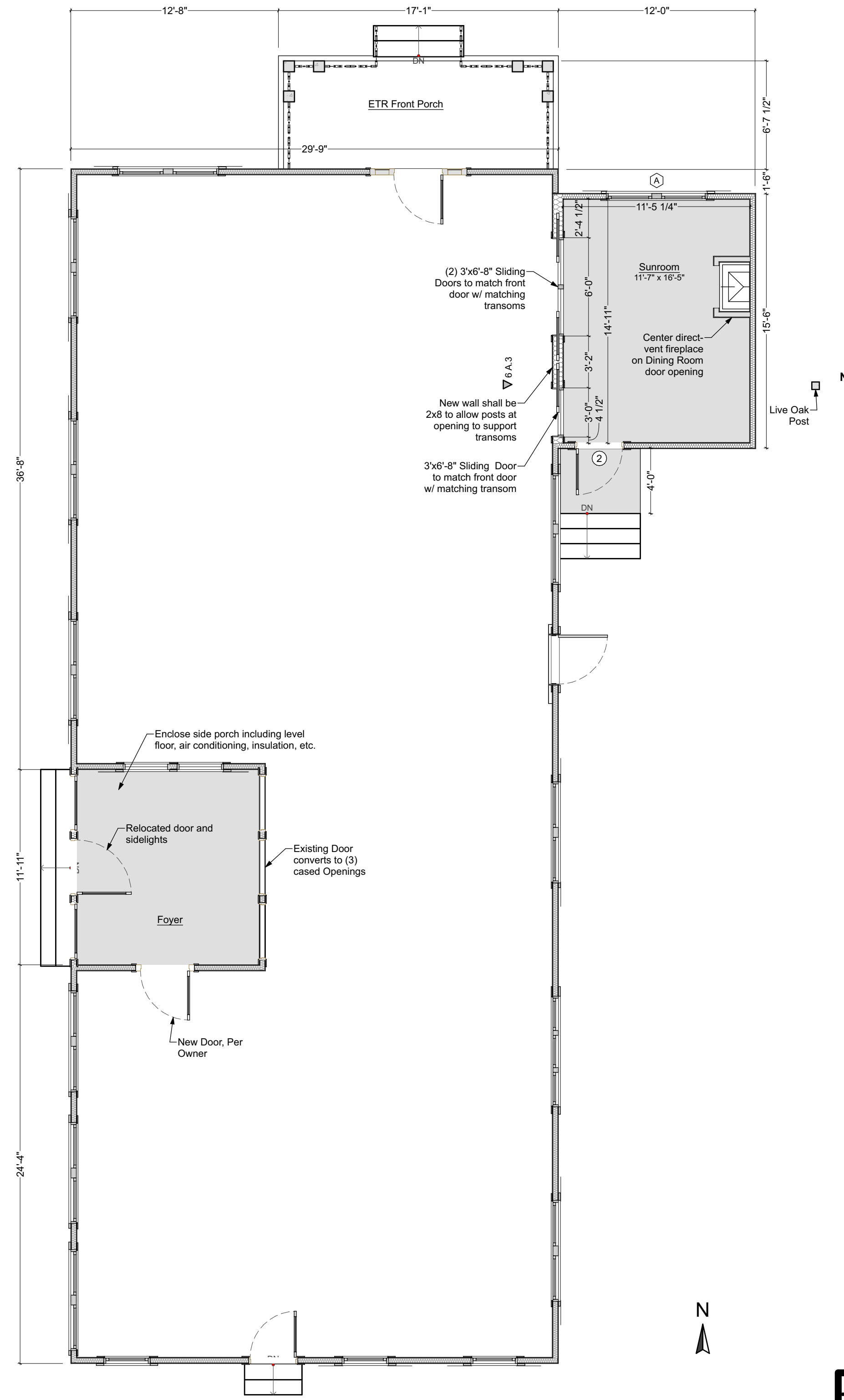
2 East Elevation
SCALE: 3/16" = 1'-0"



1 North Elevation
SCALE: 3/16" = 1'-0"



6 New Wall
SCALE: 3/8" = 1'-0"



5 Main Level
SCALE: 3/16" = 1'-0"

ELECTRICAL LEGEND

- Duplex Floor
-

SYMBOL LEGEND

- Recessed Fixture
- Surface Mounted Ceiling Fixture
 - D - Decorative
 - P - Pendant
 - C - Chandelier
 - F - Flush Mount
- Surface Mounted Wall Fixture
 - BB - Bath Bar
 - WS - Wall Sconce
- Surface Mounted 4' LED Shop Light
- Ceiling Fan (Light Kit TBD by Owner)
- UC Under LED Cabinet Light
- Smoke Detector
- Door Bell
- Thermostat
- Flood Light
- Lantern (Elec. or Gas as noted)

LIGHTING LEGEND

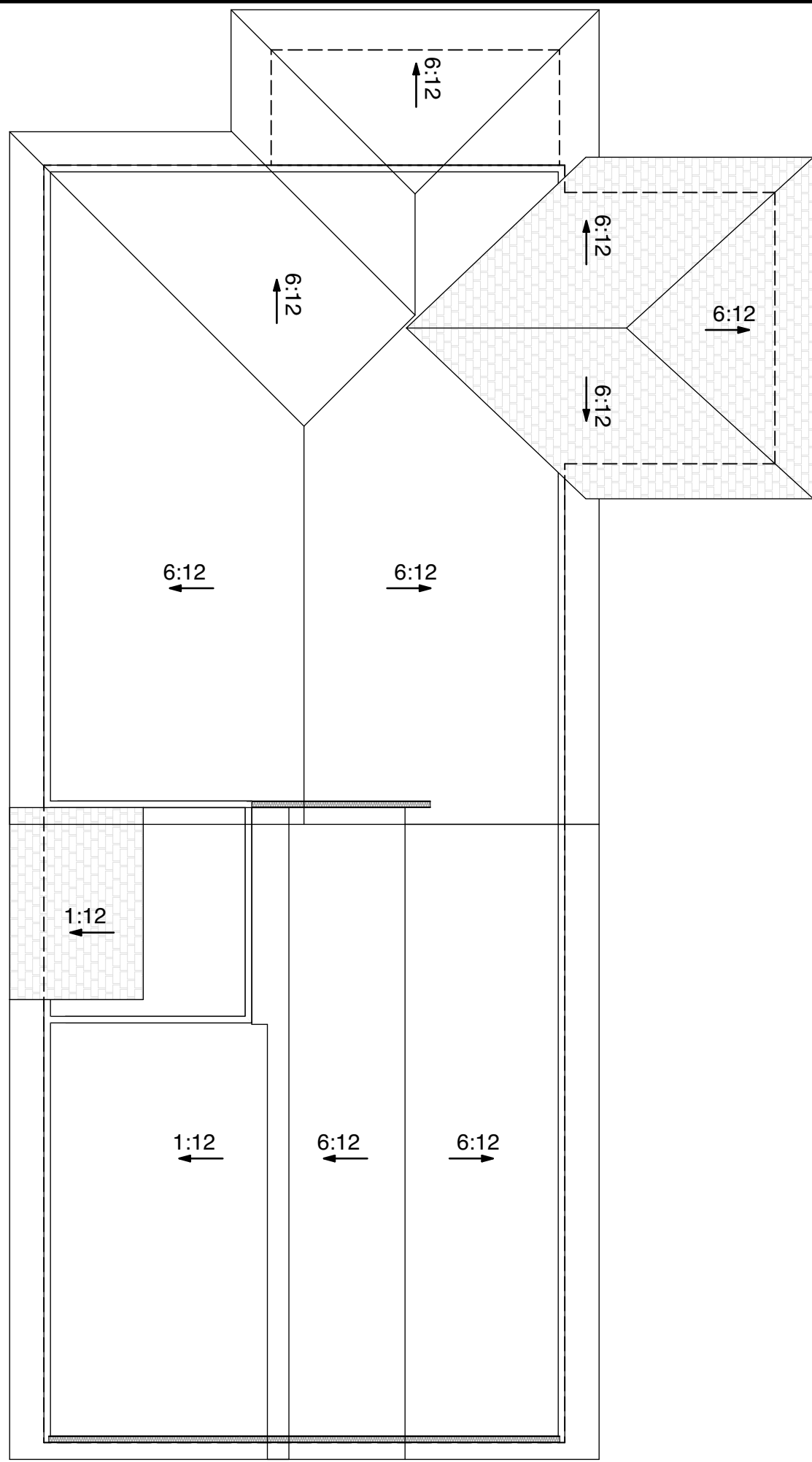
- Switch w/ dimmer (Toggle style switch)
- 3-way Switch
- Timer Switch
- Smart Switch
- Motion Switch

FIXTURE LEGEND

- INTERIOR 4" ULTRA THIN WAFER W/ SLIM BAFFELS (CANLESS); COLOR SELECTABLE (2500K – 3000K); 90+CRI Recommended Brand: Commercial Electric, on account of a 1.5" recess
- VENT LIGHT Aero Pure low profile fan in recessed light w/ round trim. (CFM TBD on size of space.)
- SLOPED CEILING 4" ULTRA THIN WAFER W/ GIMBAL/EYEBALL TRIM (CANLESS); COLOR SELECTABLE (2500K – 3000K); 90+CRI
- EXTERIOR 4" ULTRA THIN WAFER, 3000K, EXTERIOR RATED TRIM (Color TBD in field.)
Note: Ensure tight seal for termites by selecting exterior grade w/ foam gasket.

ELECTRICAL NOTES

- GFCI RECEPTACLES IN ALL WET AREAS
- EACH BED ROOM SHALL INCLUDE ONE HARD-WIRED INTERNET & CABLE CONNECTION AT 56" AFF, U.N.O.
- PROVIDE RECEPTACLES IN SOFFIT AS NOTED
- EACH FIRST FLOOR OPERABLE WINDOW AND DOOR SHALL BE PRE-WIRED FOR SECURITY SYSTEM
- THERMOSTAT SHALL BE SMART, PROGRAMMABLE
- MOUNTING HEIGHTS: TV AT 56" AFF SWITCHES 48" AFF TO TOP OF BOX RECEPTACLES 18" AFF TO TOP OF BOX COUNTERS 40"
- PROVIDE HOUSING FOR SLOPING CEILING (as required in MASTER BEDROOM, LIVING ROOM & LOFT)
- PROVIDE COUNTER TOP AIR SWITCH AT DISPOSAL
- SWITCHES SHALL BE DIMMABLE IN LIVING / DINNING / KITCHEN, LOUNGE AND ALL BEDROOMS.
- ALL LIGHT FIXTURES SHALL BE LED U.N.O.
- PROVIDE POWER FOR AC IN ATTIC.
- PROVIDE SERVICE LIGHTS W/ SWITCH NEXT TO ATTIC ACCESS.



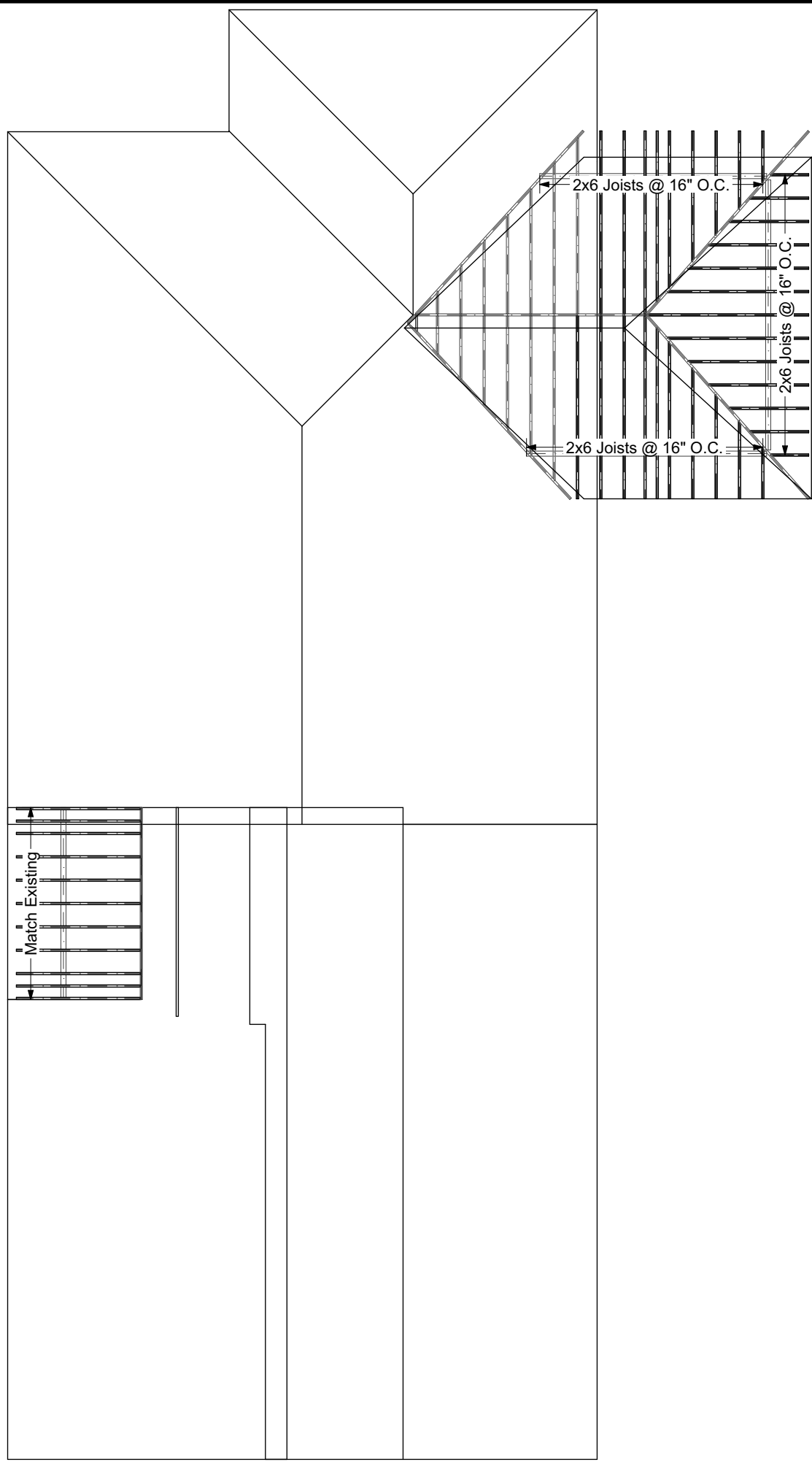
5 Roof Plan
SCALE: 1/8" = 1'-0"

ROOF & FRAMING NOTES:

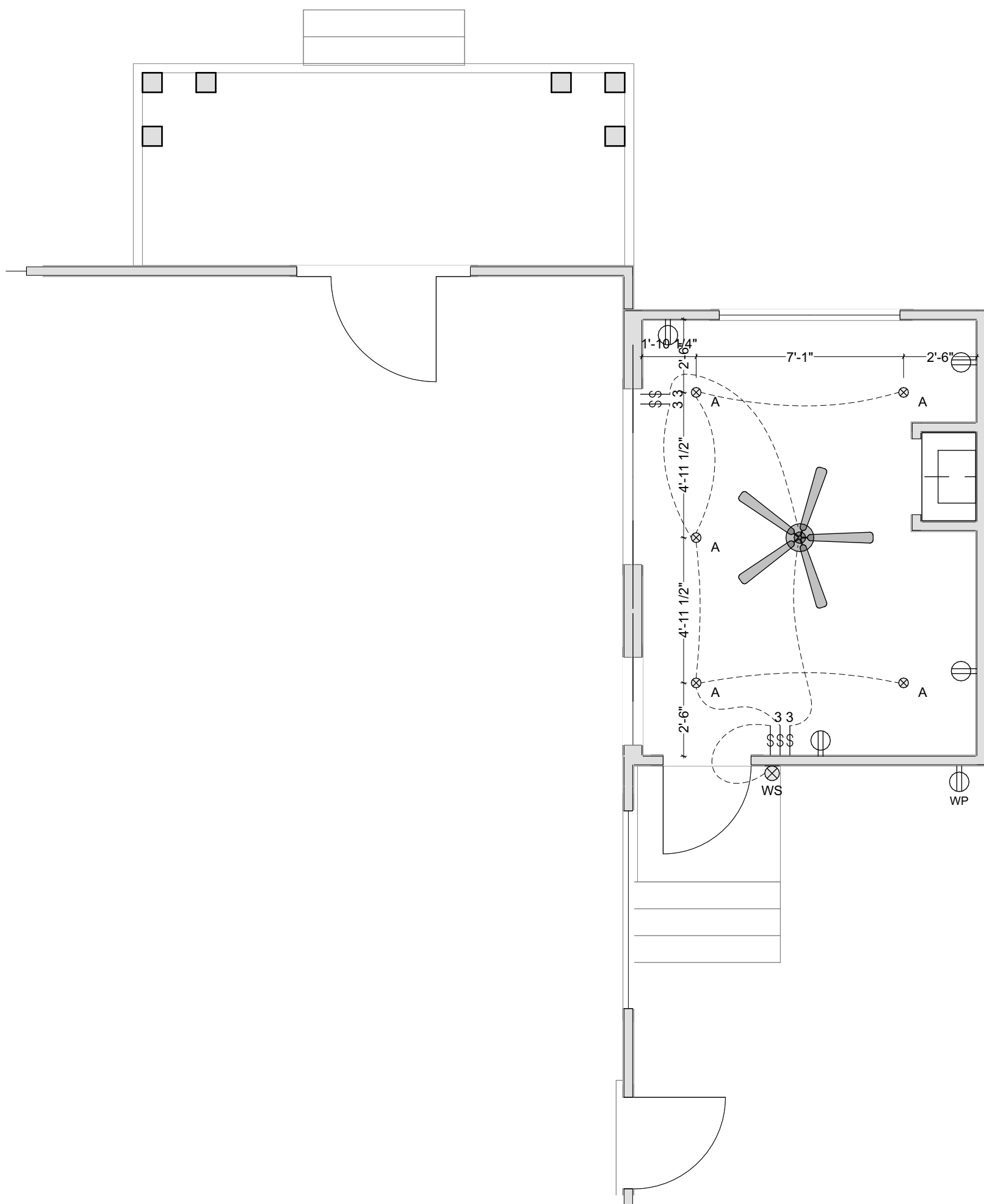
- MULTIPLE 2X12'S SHALL BE FASTENED TOGETHER WITH (4) RING-SHANK NAILS, VERTICALLY 16" O.C. (ALTERNATE SIDES OF (3) 2X12 BEAMS)
- INTERIOR WALLS PARALLEL TO JOIST SHALL BE SUPPORTED BY BRIDGING OR DOUBLED JOISTS
- WHERE OUTSIDE WALL ALIGNS WITH RIM JOIST, LAP SHEATHING TO BOTTOM OF JOIST & OVER BEAM IN LIEU OF HURRICANE STRAPS
- PORCH BEAMS SHALL HAVE 18" SPACERS @ 16" O.C. BETWEEN MEMBERS TO PREVENT ROT FROM TRAPPED WATER.
- PLUMBING VENT STACK SHALL BE LOCATED ON BACK SIDE OF MAIN ROOF.
- EVERY RAFTER SHALL BE STRAPPED TO DOUBLED TOP PLATE, WHICH SHALL BE STRAPPED TO STUDS 32" O.C.

Ceiling Joist Notes

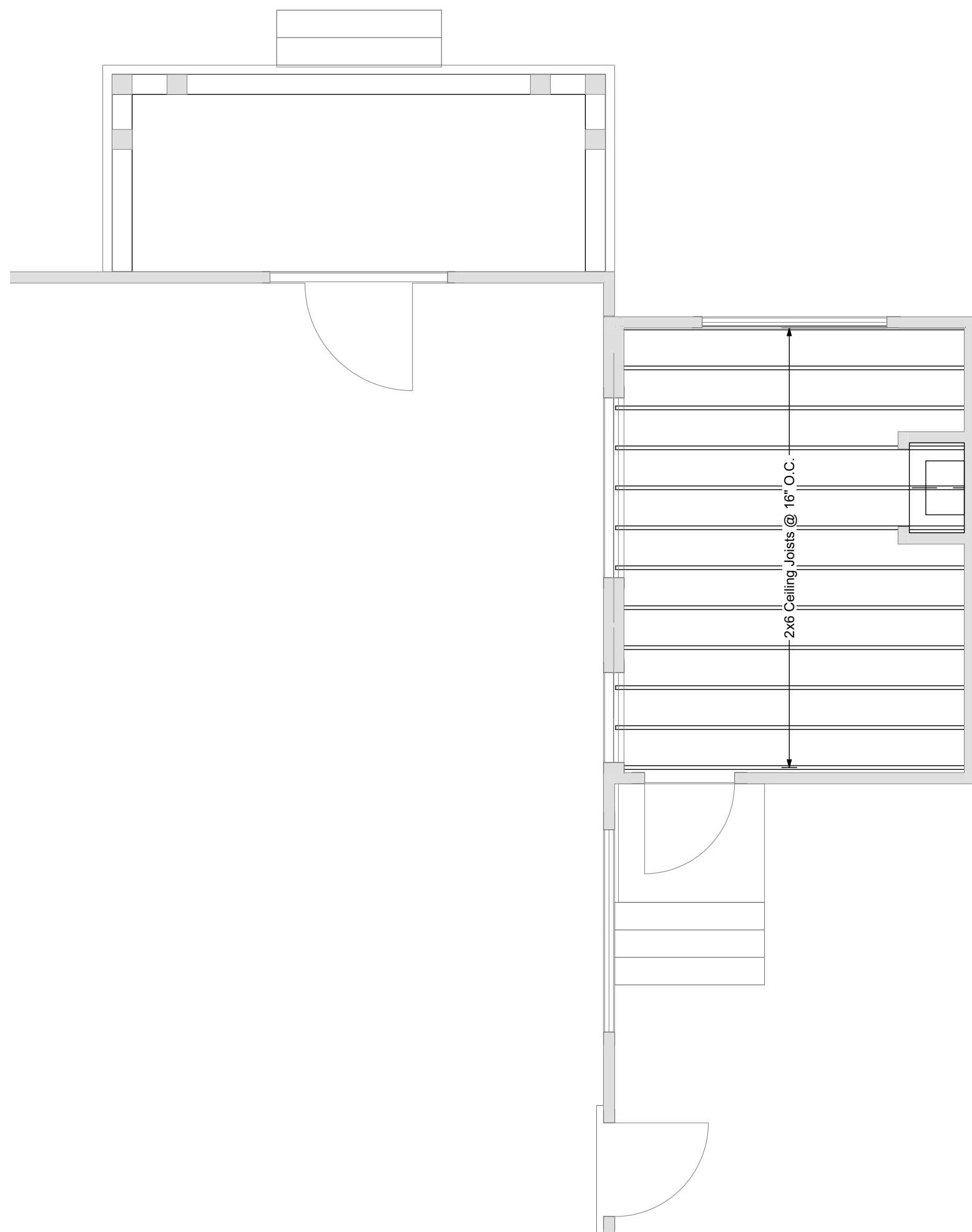
- Ceiling Height shall be 10'-0" above U.N.O.
- All ceiling joists shall be 2x6 U.N.O.
- Taper Cuts at the End of Ceiling Joist Shall not exceed 1'-3/8" on 2x6 Joists & 1'-7/8" on 2x8 Joists. (Depth/4)
- Overlap and Face Nail all Ceiling Joist w/ Subsequent Joist to Form a Continuous Rafter Tie.
- LVLs shall be Installed per Manuf. Specs



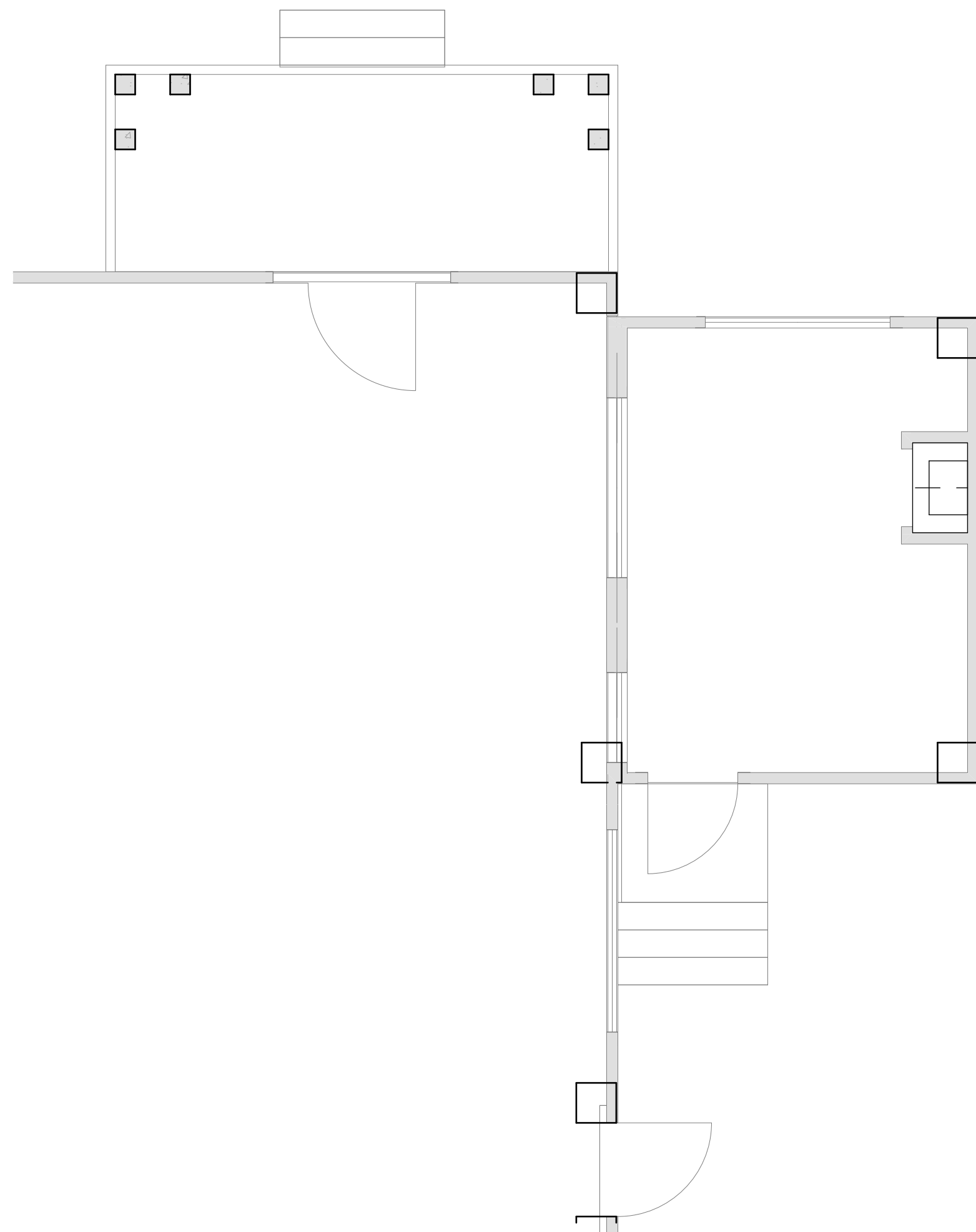
4 Roof Framing Plan
SCALE: 1/8" = 1'-0"



3 Electrical Plan - Main Level
SCALE: 1/4" = 1'-0"



6 Ceiling Framing Plan
SCALE: 1/4" = 1'-0"



1 Foundation Plan
SCALE: 1/4" = 1'-0"