

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 259 Washington St., BSL, MS 39520
 Applicant Name: Pro-Cem Management Owner Name: SUSAN STECKOL
 Mailing Address: 315 Hoffman Lane Mailing Address: 5555 Walnut Grove Memphis, TN 38120
 Phone: 985-966-0375 Phone: 901-395-9326
901-619-5550

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

☒ **Conceptual Review:** Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will be not be issued for a C.R.

☐ **Addition / Renovation:** Exterior alterations and or additions should be compatible with the building itself; its original design & style. Items needed: photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

☐ **New Construction:** New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. Items needed: Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

☒ **Demolition:** Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed: Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: [Signature] Date: 3/24/25

Owner's Signature

Required: _____ Date: _____

Please refer to the checklist of materials required with your application
 A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.
 Historic Preservation Commission / City Council Use Only

HPC Review / City Council Review

Historic District	Case Number
Historic Preservation Commission Reviewed	Review Date
Recommendation: <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions <input type="checkbox"/> Disapproval	
Comments	
Requires Property Owner / Applicant Signature	
For City Council Reviewed	Review Date
COA Action: <input type="checkbox"/> YES <input type="checkbox"/> NO	Date COA Action
Comments	
(BSL Historic Preservation Commission) (City Council) Resident Signature	Date

Once Completed & Signed - Original copy - HPC, Copy-Building Department

Signature: Pro Can Mining Inc

Mailing Address: 555 Walnut Creek Memphis

Mailing Address: 311 Hoffman Lane

Phone: 901-395-9324

Phone: 985-966-0378

Phone: 901-619-8336

Phone: 985-966-0378 Fax: 901-619-3380
 Project Classification: Criteria for Issuance of certificates of appropriateness can be found in Section VIII of
 the D&L Historical Preservation Ordinance, No. 502. Please check appropriate box(es)
☐ I am seeking design ideas for a project. The commission

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Thereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: Mr S Brown

Date: 3/24/25

Owner's Signature: Susan Stodd

Date: 1/02/23

Please refer to the checklist of materials required with your application
A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.
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History: Date of _____

Information: _____

Recommendation: _____

Approval: _____

Comment: _____

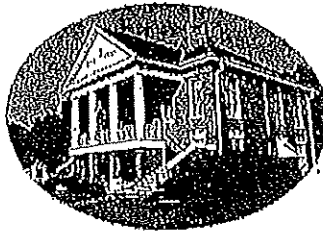
Signature: _____

Date: _____

HPC Review / City Council Review



Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: SUSAN STECKOL

Address: 5555 Walnut Grove Rd, Memphis, TN 38120
(No P.O. Boxes)

Telephone Number (901) 395-9326 Cell Number (901) 619-5556

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: 259 WASHINGTON ST - BSL

Give written scope of work to be performed: _____

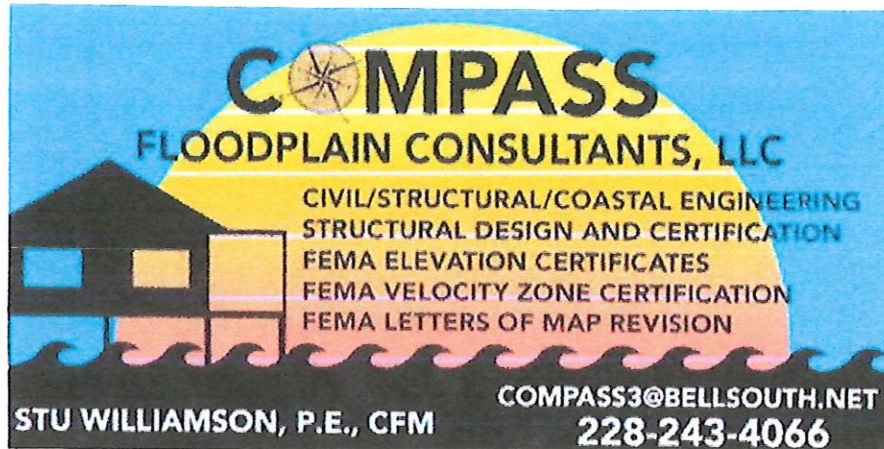
Request Demolition of Derelict Structure,
AND Rebuild, in Kind or WITH MODIFICATIONS
TO SIZE AND "LOOK" TO Conform to
HPC Requirements.
Engineer's Report is Attached to
Justify Demolition.

259 Washington Street



259 Washington Street
Ubs 10/98 Joe Clements
CD 65 Eddie Carver
CD 78 Erwin J. Necaie





Compass Floodplain Consultants, LLC

P.O. Box 3145

Bay St. Louis, Mississippi 39521

Compass1954oaks@bellsouth.net

March 26, 2025

City of Bay St Louis

Structural inspection and analysis of property at 259 Washington Street, Bay St Louis

On March 26, I performed an on-site inspection of this property that is within the Bay St Louis Historic District. This inspection was to determine if the structure could economically and safely be retrofitted within reason to meet current code requirements. In its current state from having entered the building, it is my opinion that this is a safety hazard due to deterioration of the floor, extensive mold throughout, and parts of the roof that appear to be unstable.

During this inspection, I noted several issues which included.

- Extreme deterioration in the foundation/flooring with structural support members from both weathering and termites.
- Deterioration of the roof structure which included beams, rafters, bracing and a non-existent load path to the walls and foundation.
- Extensive mold on the interior

It is my opinion that the structure cannot be economically or safely retrofitted to meet code due to the extreme structural deterioration of the roof, wall, flooring, and foundation elements. The property will be best served by the owners' intentions for total demolition, that will allow for a new structure that will be compliant with all ordinances and codes within the Historic District. My opinions and analysis are supported by the following photographs:

Sincerely,

Stuart Williamson, P.E., CFM





Photo 032625 deterioration of foundation and horizontal beam

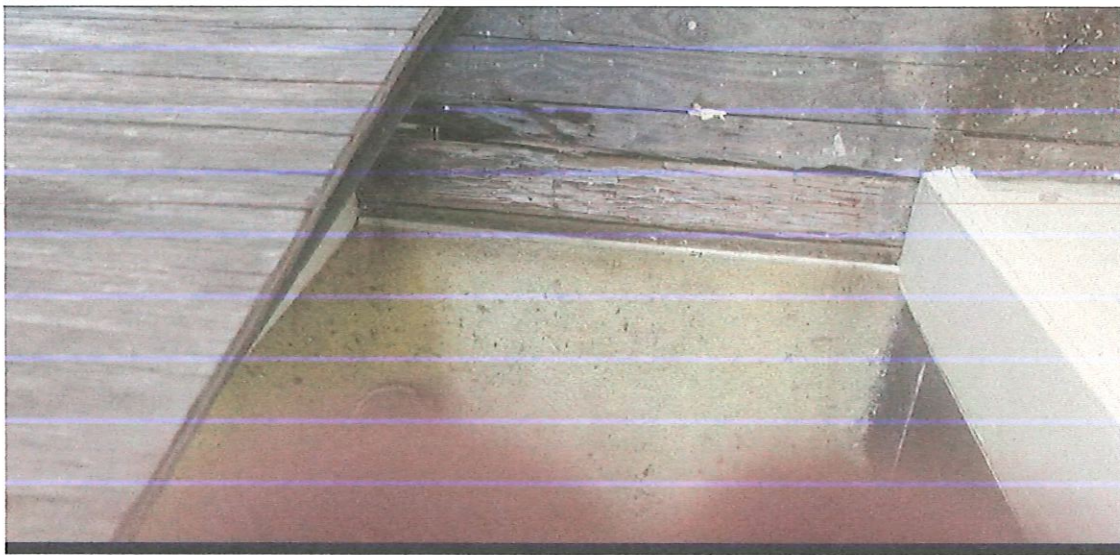


Photo 032625 deterioration of flooring



Photo 032625 unevenness of cinder blocks supporting structure

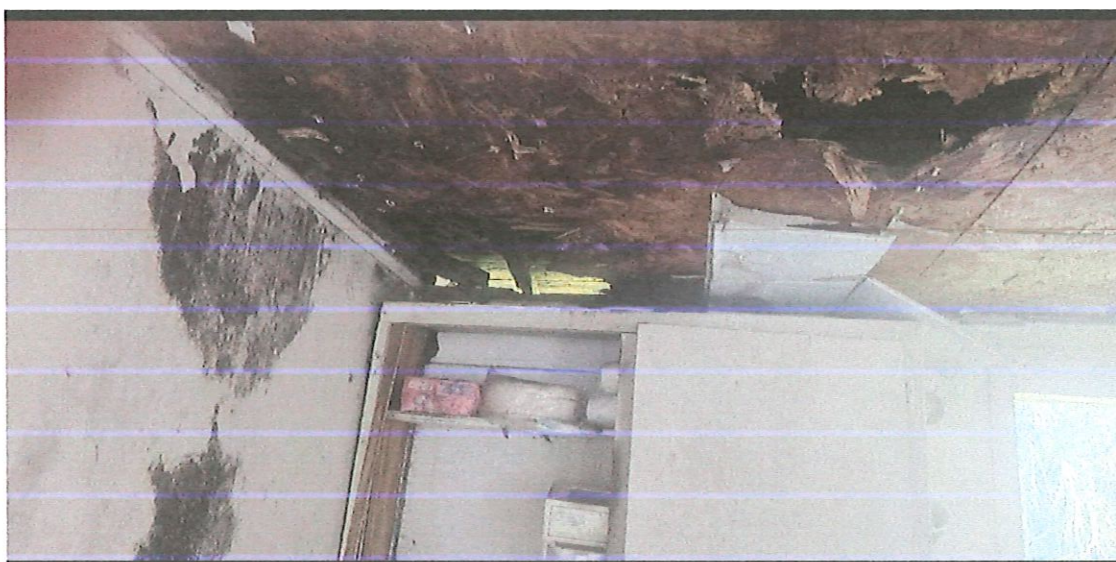


Photo 032625 extensive Roof damage and mold



Photo 032625 extensive Roof damage and mold

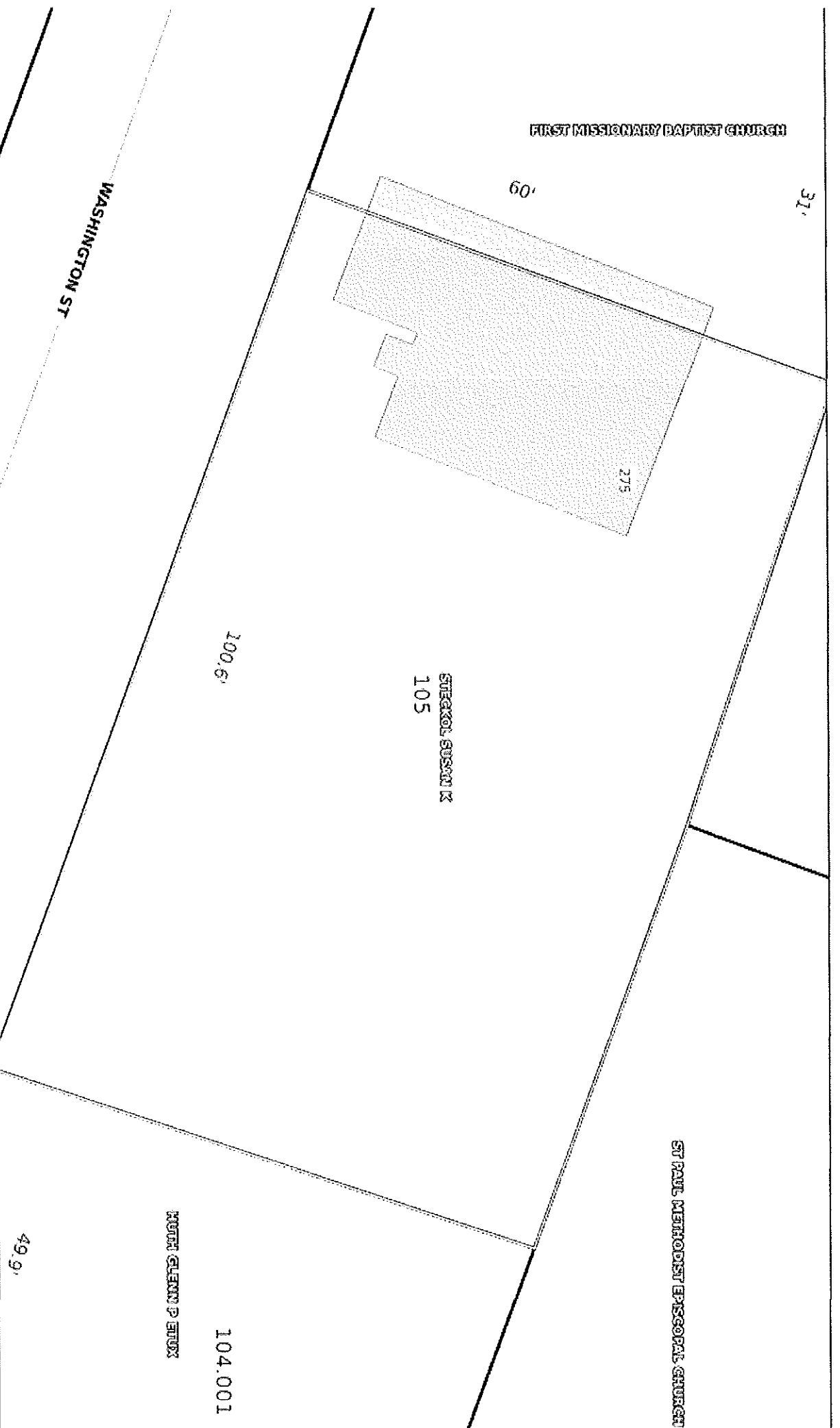
Geoportal Map



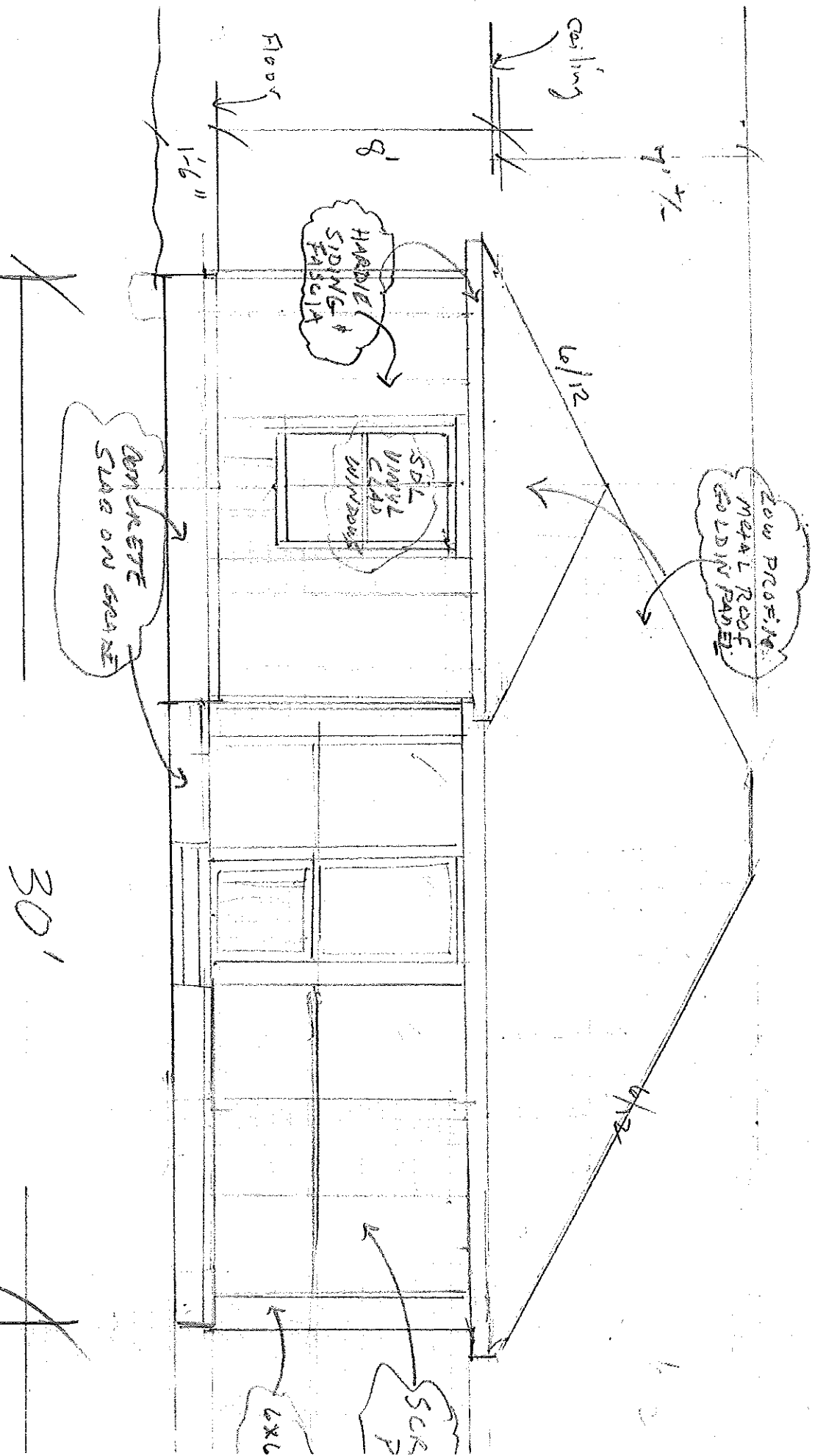
DISCLAIMER: Any user of this map product accepts its faults and assumes all responsibility for the use thereof, and further agrees to hold Hancock County harmless from and against any damage, loss or liability arising from any use of the map product. Users are cautioned to consider carefully the provisional nature of the maps and data before using it for decisions that concern personal or public safety or the conduct of business that involves monetary or operational consequences. Conclusions drawn from, or actions undertaken, on the basis of such maps and data, are the sole responsibility of the user.



Geoportal Map



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Re-use
existing
door

3' x 3'
sol
wind

Low Profile
GOLDEN
PANEL
Metal Roof
6/12

HARDIE
BO/BAITEN
SIDING

Concrete Slab on Grade

REAR

HARDIE
BOARD

WEST

CONCRETE SLAB ON GRADE

