

600 N Beach Existing Conditions Photos





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Diamondhead, MS
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LadnerDrafiNDeslan@aol.com

Drafting Design Etc., assumes no liability for the structural design of this building. Every effort has been made to ensure all dimensions are correct and regulations have been met. If an error or omission does occur, it is the responsibility of the contractor and/or owner to correct the error and/or omission at his/her own expense.

[illegible]

The Residence of:

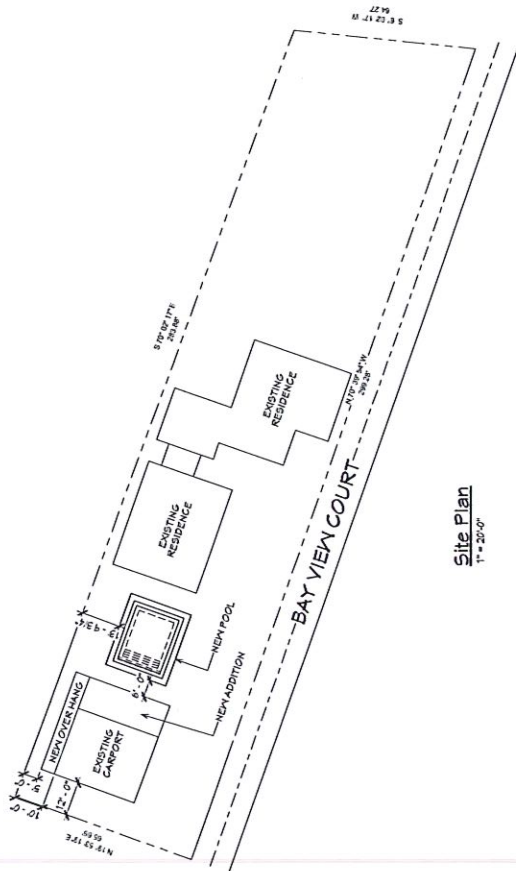
Site/Addition Plan

Job Number	KINGSTON26
Date	6/14/26
Drawn By	DL
Checked By	DL

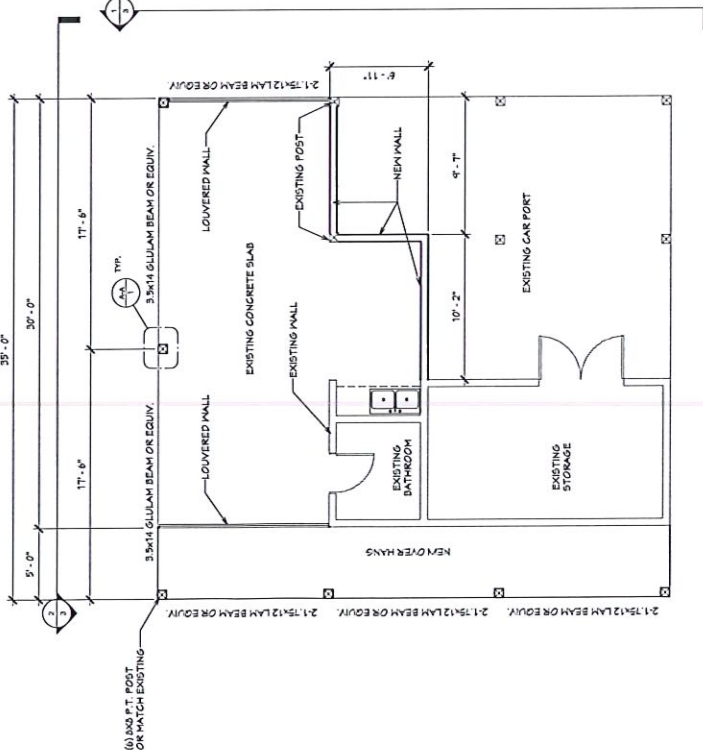
Scale:	As indicated
1	

4. All work shall be performed in accordance with all applicable national, state and local codes, regulations and FHWA MP's.
5. It is the responsibility of the owner/general contractor to check all dimensions for the job before construction.
6. Contractor shall insure compatibility of the building with site requirements.
7. The contractor is responsible for adjusting and working all structural details and conditions to meet all local codes and to insure a quality and safe structure.
8. All Federal, State and Local codes, Ordinances, Regulation, etc. shall be considered as part of the specifications for this building and the time permitted for anything shown, described or required herein are valid.
9. Stamped/Approved plans (City) must be on file for all inspections.
10. Proof of Termite treatment shall be shown at time of footing inspection.
11. Owner must supply specifications on all manufactured/engineered materials including spars, trusses, joists, rafters, roof trusses, insulation, etc.
12. If foundation is pile supported and piles are not meet refusal an independent geotechnical firm will be consulted at the expense of the owner.
13. Unless specifically stated or contraindicated, the engineer will not prepare specifications on proper prior to, during or after the completion of construction.
14. Designperson is not responsible for any structural shoring of material. Any material called out in details are strictly for reference only. The contractor will assume full responsibility for the proper shoring and bracing of all materials.

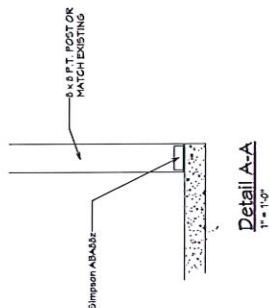
1. All plumbing vents must be sized according to penetrations.
2. All plumbing fixtures shall have access to valves to any slip joint.
3. Rise on traps must not exceed 2' and 3/4 inches.
4. Size steps must be at least 2" by 30" rough opening.
5. Access doors shall have minimum recess of 10" x 24" clear opening.
6. Equipment in attic must be within 20' of access.
7. All water closets shall have cleanouts and have 30" on the floor.
8. Bathrooms with mechanical means of ventilation must be vented to the exterior.
9. Windows and doors must be minimum 27".
10. Windows and doors must be accessible.
11. A cold air unit on a 10' wall used for heating will be accepted if all has engineering must be submitted to inspectors office, this includes installation instructions.
12. Treated materials are required above DFC.
13. Unless otherwise approved in advance, all garage doors must be fire rated.
14. Uninsulated thermal break must be minimum .75" but will not be accepted.
15. Minor seal bearing walls must be properly anchored.
16. Minimum 1/2" gap between roof and exterior wall.
17. Insulation requirements for emergency means of egress include minimum 3" in height and 3" clear width when measured from finished floor to top of door.
18. Minimum 50% i.e., a grade level and 5.7 ft. h., above grade.
19. At each habitable room floor space for light and vent must be at least 7 sq. ft.
20. Padded roof sheathing must not be less than 2" in width.
21. Rafters vents shall not run within 4' of ridge end unless manufacturer states otherwise.
22. See Appendix B for International Requirement as per Code. (2-mmr Or equivalent)



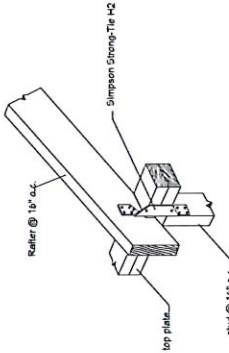
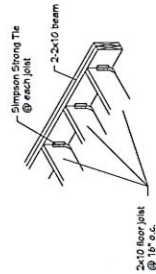
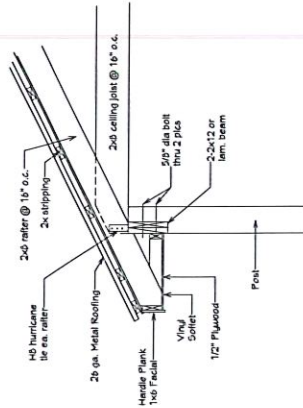
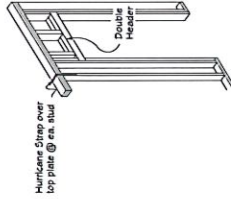
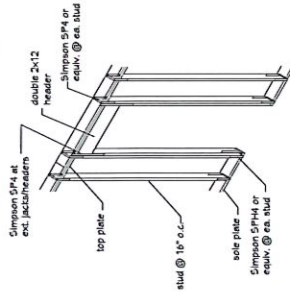
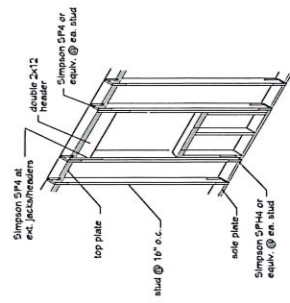
Site Plan
1" = 20'-0"



Floor Plan
1/4" = 1'-0"







Window Opening Detail

NTS

Door Opening Detail

望

Door Opening Detail (Interior)

WTC

Post /Beam Connection

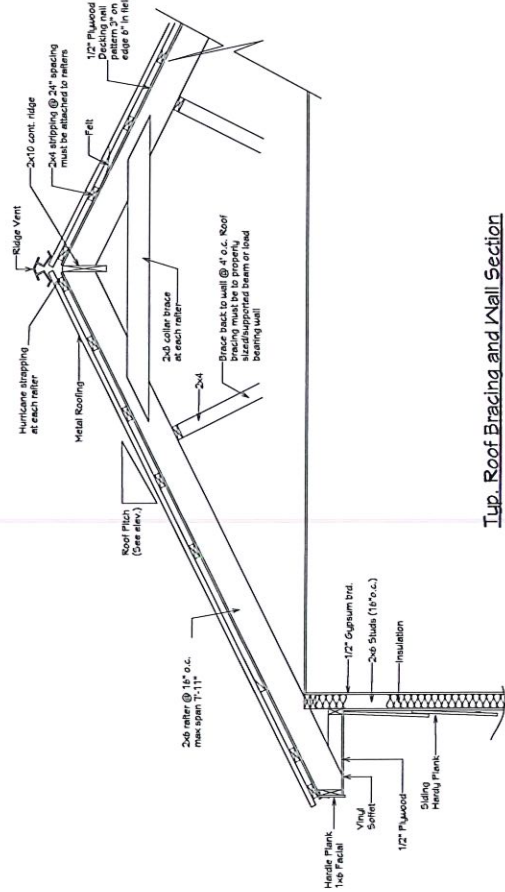
NTS

Joist Connection Detail

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Rafter Connection Detail

313

Typ. Roof Bracing and Wall Section

STN

GEN. NOTES

1. All work shall be performed in accordance with all applicable national, state and local codes, regulations and FHWA NFIS.
2. It is the responsibility of the owner/acting senior contractor to check all dimensions for the job before construction.
3. Contractor shall insure completion of the building with title requirements.
4. The contractor is responsible for adjusting and verifying all dimensions to meet all local codes and to insure a quality and safe structure.
5. All Federal, State and Local codes, Ordinances, Regulations, etc. shall be considered as part of the specifications for this building and shall take precedence over anything shown, described or implied where same are variance.
6. Stamped/Approved plans (city) must be on site for all inspections.
7. Proof of Termite treatment shall be shown at time of footing inspection.
8. Owner must supply instructions on any/all manufacturer's recommendations including spans, loads, loads, fastening details (150 mph), etc. beams, joist, studs, nails, studs, gusset studs, fasteners, etc.)
9. If foundation is plot supported and piles do not meet refusal, an independent geotechnical firm will be consulted at the expense of the owner.
10. Unless specifically stated or contracted, the engineer will not perform inspections prior to, during or after the completion of construction.
11. Dispersions is not responsible for any structural slitting of material. Any material called out in details are strictly for reference only. The contractor must assume full responsibility for any and all materials used in the building.

[illegible]

The Residence of:

Daniel Kingston
600 North Beach Blvd.
Bay St. Louis, MS 39520

Details

Job Number	KINGSTON26
Date	5/14/26
Drawn by	DL
Checked by	DL

50

1. All work shall be performed in accordance with all applicable national, state and local codes, regulations and FHWA NFPA's.
2. It is the responsibility of the owner and/or general contractor to check all dimensions for the job before construction.
3. Contractor shall insure compatibility of the building with site requirements.
4. The contractor is responsible for negotiating and verifying all structural details and conditions to meet all local codes and to insure a quality and safe structure.
5. All Federal, State and Local codes, Ordinances, Regulations, etc shall be considered as part of the specifications for this building and shall take preference over anything shown, described or implied where there are variances.
6. Stamped/Approved plans (stamps) must be on site for all inspections.
7. Period of "Temple treatment shall be shown at time of footing inspection.
8. Owner must supply specifications on any/all manufacturer/designated materials/instructions including spans, loads, bracing, fastening details (150 mph), etc. Bracing, joist, bolts, nails, straps, gusset plates, fasteners, etc.
9. If foundation is placed and piers do not meet required or specified (geotechnical firm will be consulted at the expense of the owner).
10. Unless specifically stated or authorized, the contractor will not perform inspections on property prior to, during or after the completion of construction.
11. Dispersions is not responsible for any structural lifting of material. Any material placed in or details are strictly for reference only. Contractor/owner shall assume full responsibility.

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2. It is the responsibility of the owner and/or general contractor to check all dimensions for the job before construction.
3. Contractor shall insure compatibility of the building with site requirements.
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7. Period of "Temple treatment shall be shown at time of footing inspection.
8. Owner must supply specifications on any/all manufacturer/designated materials/instructions including spans, loads, bracing, fastening details (150 mph), etc. Bracing, joist, bolts, nails, straps, gusset plates, fasteners, etc.
9. If foundation is placed and piers do not meet required or anticipated specifications, the contractor will be consulted at the expense of the owner.
10. Unless specifically stated or authorized, the contractor will not perform inspections on property prior to, during or after the completion of construction.
11. Dispersions is not responsible for any structural lifting of material. Any material placed in or details are strictly for reference only. Contractor/owner shall assume full responsibility.

1. All wiring below DTE must be for wet location.
2. No disconnects below the BFE. Meter can only.
3. Do not meter and disconnect must be up on porch.
4. All 120V and 240V circuits serving bedrooms must be arc-fault (AFCI) protected.
5. All receptacles must comply with NEC 4002. 14 of 2018 NEC (tamper resistant)
6. If meter can't be below DFE, main disconnect must be directly above. (inside/outside)
7. All receptacles serving kitchen counters must be GFI and spaced according to NEC 210.62(b) of 2018 NEC.
8. All receptacles serving bedrooms must be GFI and spaced per NEC 210.62(b) of 2018 NEC.
9. All E3901 4.3 and E3901 4.3 of 2018 NEC. (respective per NEC 210.62(b) of 2018 NEC)
10. All Smoke detectors required per NEC 9214 of 2018 NEC.

SYMBOL	DESCRIPTION
	Recessed Can Light
	Exterior Spot Light
	Vest Fw Light
	Mail Mounted Light
	Ceiling Fan
	Fluorescent Light
	Chandelier
	GFI Outlet
	GFI Waterproof Outlet
	110v Outlet
	210v Outlet
	Range Outlet
	Single Switch
	Three way Switch
	Smoke Detector
	Miking
	Electrical Panel

The Residence of:

Job Number	KINGSTON26
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Checked by	DL

As

As

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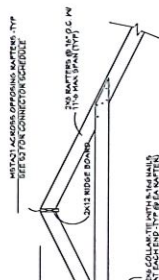
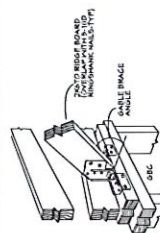
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Job Number	KINGSTON26
Date	8/14/26
Drawn by	DL
Checked by	DL

6

1/4" = 1'-0"

Scale:



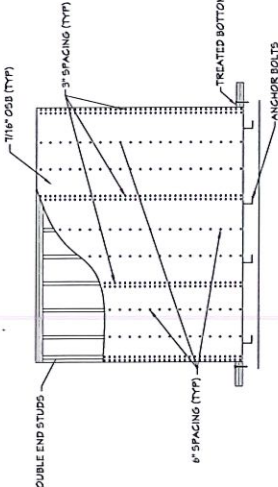
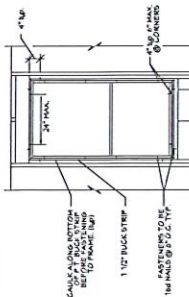
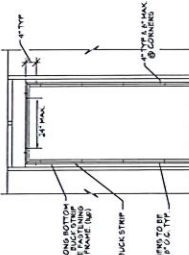
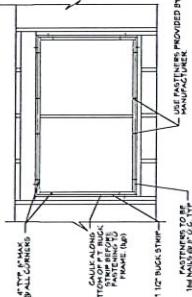
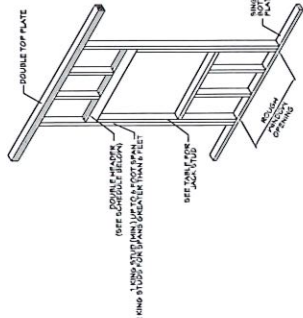
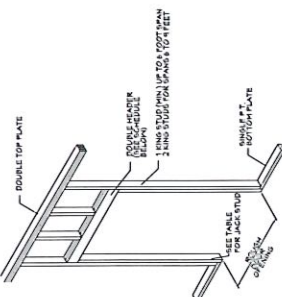
CONNECTIONS AT TOP OF RAFTERS
SCALE N.T.S. (TYPICAL DETAIL)

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OPENING SCHEDULE

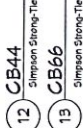
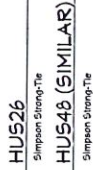
OPENING SIZE	HEADER SIZE	PASTENERS	JACK STUDS (PACH SUPP.)
UP TO 8"4"	2"2" X 8"	14d @ 8" O.C.	1
9"0" TO 9"4"	2"2" X 8"	14d @ 8" O.C.	2
9"8" TO 9"4"	2"2" X 10"	14d @ 8" O.C.	2
10"0" TO 10"4"	2"2" X 12"	14d @ 8" O.C.	3

NOTE.
CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND PROJECT DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES, THE CONTRACTOR IS TO NOTIFY THE DESIGNER BEFORE COMMENCING WORK.

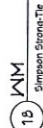
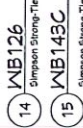
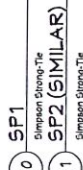


OTHER:
USE 7/16" OSS WITH 2D SHANK NAILS 3" NAILING ON EDGE AND 6" IN THE FIELD
SECURE WALL DIAPHRAGM ON EACH END WITH SIMPSON MDA

NOTE:
TOL 716*



4 H5 Simpson Strong-Tie



WOOD CONNECTOR SCHEDULE (SIMPSON STRONG-TIE)				
UPLIFT	LOAD	LATERAL	PASTENERS	
1	1350	320#	-	14-16d HEADER 6-16d JOIST
2	1500	150#	-	6-16d HEADER 6-16d JOIST
3	1625	1	335	10-10d x 1 1/2"
4	465	-	200	4-6d RAFTER 4-6d PLATE
5	1450	-	-	10-10d STUD 10-10d STUD
6	2400	-	-	20-10d TRUSS 20-10d STUD
7	415	-	-	8-8d x 1 1/2" PLATES
8	1840	-	730	15-16d
9	2000	3300	-	22-16d HEADER 3-16d JOIST
10	565	-	-	6-10d STUD 4-10d PLATE
11	1065	-	-	6-10d STUD 6-10d PLATE
12	4200	-	-	12-16d
13	4200	-	-	3-16d PLATES 1-6d STUDS
14	-	-	-	3-16d PLATES 1-6d STUDS
15	3,630	3,700	-	48-16d FACE 16-16d JOISTS
16	10,300	-	-	16-10d TRUSS, 23M-16d MASONRY
17	-	4175	-	12-16d DPLX 2-10d 1/2 JOIST
18	1410	-	-	TWO 3/4" DIA ANCHOR BOLTS
19	1410	-	425	A-4-16d D-6-16d C-4-16d
20	1410	-	425	A-4-16d B-6-16d C-4-16d
21	1470	-	425	A-4-16d D-6-16d C-4-16d
22	2050	-	-	22-10d ORDER
23	945#	-	-	28-2d H EACH STUD
24	1650	1600	-	16-10d EACH STUD
25	2470	-	-	16-10d EACH STUD
26	1410	-	-	16-10d
27	2540	-	-	16-10d EACH STUD
28	4160	-	-	30-16d
29	6342	2050	-	14-16d SINKER MOOD 14-16d SINKER ORDER
30	5095	-	-	14-16d
31	7515	3200	-	14-16d

NOTES: City stamped approved plans are required to be on site for all inspections.

Proof of termite treatment is required at footing inspection.

Specifications for all engineered/manufactured materials/members (concrete, steel, masonry, etc.) shall be in accordance with (305 mm), etc.

(beams, joists, trusses, impact windows, garage doors, metal roof, etc.)

Contractors shall be responsible for maintaining proper drainage, proper grading including street on all lots and all lots (properly) and all lots. Must have FLOOD SURFACES.

CONSTRUCTION ENTRANCE

All easement plattforms must have proper water drainage.

(C2405 and M1305 (f) of 2015 INC)

CONNECTION NOTES

FINAL COLUMN AND CONNECTOR LOCATIONS ARE TO BE FIELD VERIFIED AND TO BE PLACED AND CENTERED ON EACH LOAD (U.O.N.). CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER OF RECORD PRIOR TO COMMENCING CONSTRUCTION.

CONCRETE COLUMN FOUNDATIONS SUPPORTING WOOD FLOOR FRAMES FOR CONCRETE CAST-IN-PLACE COLUMN FOUNDATION WITH WOOD GIRDER, A SIMPSON HITCHAK FASTENER (OR EQUIVALENT) IS TO BE USED TO ATTACH THE WOOD GIRDER TO EACH INTERIOR AND EXTERIOR CONCRETE COLUMN.

4" X 4" WOOD PORCH COLUMNS SHALL BE ATTACHED TO CONCRETE FOUNDATIONS WITH A SIMPSON GB44 (OR EQUIVALENT) UNLESS OTHERWISE NOTED. (NOT USED)

THE TOP OF 4"X4" WOOD PORCH COLUMNS SHALL BE ATTACHED TO THE ROOF SUPPORT BEAM USING A SIMPSON PC44 (OR EQUIVALENT) UNLESS OTHERWISE NOTED. (NOT USED)

STERS

ALL RAFTERS SUPPORTED BY AN EXTERIOR WALL SHALL BE ATTACHED TO THE EXTERIOR WALL FRAMING WITH A SIMPSON HT530 (OR EQUIVALENT) WITH 7-10d X 1-1/2" NAILS EACH TO THE WALL FRAMING AND RAFTER ALONG WITH CONTINUOUS EDGE BLOCKING UNLESS OTHERWISE NOTED.

RAFTERS SUPPORTED BY A WOODEN PORCH BEAM SHALL BE ATTACHED TO THE BEAM WITH A SIMPSON MTS12 (OR EQUIVALENT) WITH 10-10d X 1-1/2" NAILS EACH TO THE BEAM AND Rafter.

PORCH CEILING JOISTS SHALL BE ATTACHED TO THE ROOF SUPPORT BEAM AND THE TOP OF THE EXTERIOR WALL WITH A SIMPSON MTS12 (OR EQUIVALENT) WITH 1-10d X 1-1/2" NAILS EACH TO THE BEAM AND WALL UNLESS OTHERWISE NOTED.

STUDY

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND PROJECT DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES, THE CONTRACTOR IS TO NOTIFY THE ENGINEER OF RECORD BEFORE COMMENCING WORK

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CONSTRUCTION ENTRANCE:
All equipment platforms must/shall have
(E3405 and M1305.1 of 2016 IRC)

The Residence of:

600 North Beach Blvd.
Bay St. Louis, MS 39520

adher
rafting
-N-
Design us.

Residential/ Commercial
Drafting, Design &
Consultations

5195 Diamondhead Dr. E.
Diamondhead, MS
39525
Cell: 228-342-6064
ednerDraftDesign@gmail.com

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[illegible]

Details Cont.

Number	KINGSTON26
Date	8/14/26
Run by	DL
Actual by	DL

7

1/4" = 1'-0"

- ② **Roof Material:** Asphalt shingles to match existing residence.
- ② **Siding:** Wall louver system/shutters and 5/4 pine decking, painted to match existing.
- ② **Exterior Openings:** N/A
- ② **Soffit and Fascia:** Hardie board.
- ② **Pool:** New pool construction as indicated on the plans.