

**Certificate of Appropriateness/Conceptual Review Application Form**

Property Address: 216 North Beach  
 Applicant Name: Sanders Kane Owner Name: Berton & Gwen Corbett  
 Mailing Address: 301 Longfellow Dr. BSL Mailing Address: 514 E Woodluff Dr. Baton Rouge, LA  
 Phone: (228) 577-5443 Phone: (225) 202-2042

**Project Classification:** Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

Application

**Conceptual Review:** Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

**Addition / Renovation:** Exterior alterations and or additions should be compatible with the building itself; its original design & style. Items needed: photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

**New Construction:** New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. Items needed: Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

**Demolition:** Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed; Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: [Signature] Date: 11/5/25

Owner's Signature \_\_\_\_\_

Required: \_\_\_\_\_ Date: \_\_\_\_\_

**Please refer to the checklist of materials required with your application**  
**A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.**

*Historic Preservation Commission / City Council Use Only*

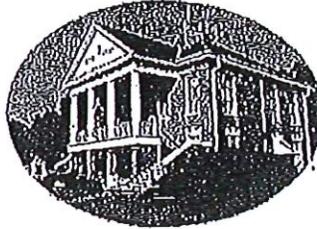
HPC Review / City Council Review

Historic District	Case Number
Historic Preservation Commission Review	Review Date
Recommendation: <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions <input type="checkbox"/> Denial	
Comments	
Requires Property Owner / Applicant Signature	
<input type="checkbox"/> City Council Reviewed	Reviewed
COA Action: Approval <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> Date COA Action	Date
Comments	
(BSL Historic Preservation Commissioner) _____	(City Council Resident Signature) _____
	Date

Once Completed & Signed - Original copy - HPC, Copy-Building Department

# BAV SAINT LOUIS

Bay St. Louis



## Historic Preservation Commission

### SUBMITTAL CHECKLIST

Property Owners Information:

Name: Benson & Gwen Corbett

Address: 216 North Beach  
(No P.O. Boxes)

Telephone Number (225) 202-2042 Cell Number( )

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: \_\_\_\_\_

Give written scope of work to be performed: Demo existing carport  
& driveway creating a permit area for placement  
of a pool, hardscape, new landscaping, &  
the construction of a porch @ rear of residence  
Front of residence to include site improvements consisting  
of new plantings, landscaping & fire pit including  
revised steps.

### PROJECT DESCRIPTION

THE PROPOSED LANDSCAPE PLAN INCLUDES RENOVATED PAVED AREAS SUCH AS THE DRIVEWAY AND REAR PATIO, RENOVATED FRONT AND REAR PORCH STEPS, NEW POOL PAVILION AND POOL, NEW GARDEN FEATURES INCLUDING POOL WALL AND GATES, AND NEW LANDSCAPING WITH DRAINAGE, PLANTING AREAS, LIGHTING, AND IRRIGATION. NO WORK WILL BE PERFORMED ON THE MAIN RESIDENCE.

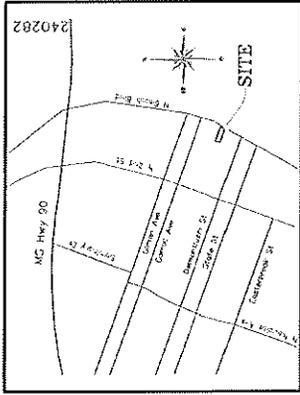
CITY: BAY ST LOUIS

FLOOD ZONE: 0.2 PCT ANNUAL CHANCE FLOOD HAZARD  
 ZONING DISTRICT & DESCRIPTION: R-2, MEDIUM DENSITY TWO-FAMILY RESIDENTIAL DISTRICT

LAND AC: 0.42

BUILDING SQUARE FOOTAGE: 4302  
 BUILDING CODE: INTERNATIONAL RESIDENTIAL CODE (IRC), 2021

### LOCATION MAP



216 NORTH BEACH BLVD.  
 BAY ST. LOUIS, MS 39520

### GENERAL NOTES

- Contractor to verify all property lines, dimensions and grades (existing and proposed) prior to beginning any work.
- Locate centerlines and alignments as shown on the drawings. Most dimensions are given from centerlines or from face of building to edges of slab, centerlines of walls and columns, or finished face of walls unless noted otherwise. See details for finish dimensions of various hardscape features. Ask when clarification is needed.
- No concrete shall be poured until forms and steel placement have been inspected by John Mills or his named representative and/or Structural Engineer.
- All work shall conform to all applicable codes and ordinances including City of Bay St. Louis, Hancock County, State and National Codes.
- Stone and brick to be selected by Landscape Contractor & approved by Owner. Stone and brick material to be provided by Landscape Consultant & installed by Contractor.
- All stone and/or brick at driveways, parking courts, etc. shall be 2" thick minimum to withstand vehicular traffic. Concrete bases in vehicular traffic areas shall be at least 6" thick with highway mesh mid-slab in 3000 psi concrete. Other reinforcing shall be per structural engineer.
- All exposed-edge stone (e.g. coping) shall be 2 1/2" thick, flamed.
- Flagstone in paving fields which are to receive only pedestrian traffic shall be at least 1" thick. NO stone measuring less than 3/4" thick shall be accepted.
- All stone and brick is to be laid on a dry-mix mortar setting bed at least 1" thick. Review any deviations with Landscape Consultant.
- All stone is to be butt-jointed with tight joints, 1/8" preferred design standard to 1/4" maximum joint width. Review any deviations with Landscape Consultant. Joints shall be filled with grout that matches stone color, as selected by Owner and Landscape Consultant.
- Do not drill holes in stone for trench drains. Leave out mortar joints between stone pavers covering drain for drain inlets. All stone covering trench drains shall be at least 1" thick, or as specified. Refer to detail drawings. Landscape Consultant to provide removable elements at end of trench drain for cleanouts. Where indicated, templates for stone elements provided by Landscape Consultant.
- Provide sprinkler to all planting areas and sprinkler boxes in paved areas. See layout for locations of sprinkler boxes.
- All low-voltage electrical and sprinkler shall be run adjacent to slabs at least 12" below finished grade. Absolutely no lines to be run in planting beds!
- Provide PVC chases as located on the drawings. Turn up chases to finished grade and cap. Mark chase locations to assist landscape installers, electricians, and other trades in locating the chases.
- All electrical outlets shall be recessed into the wall or other surface where shown on the plans. Typically, the top outlet shall be hot, and the bottom switched for outdoor lighting. Confer with Owner for location(s) for outdoor lighting switches. Alternatively, outdoor lighting may be controlled by a photocell (at Owner's option).
- Confer with Owner as to whether lanterns shall be electric or gas. Provide utility connections to lantern locations as needed to meet Owner's requirements.
- Provide separate switches to control fountain pumps and lights. Confer with Owner to determine switch locations.
- Fountain lights to be provided by Landscape Consultant. Switch separately. Provide diameter.
- All subsurface drainage shall remain as existing; collected and diverted and tied into the existing storm drainages. Location of fountain tie in to be approved by Landscape Consultant and Owner.
- Fountain water supply valved at fountain and tied in to irrigation system. No automatic fill; Owner to fill as required.
- Landscape Consultant to provide planting materials; Contractor to install. Contractor to provide & install any fill & soil as specified. Landscape Consultant to provide final Planting Plan, with low-voltage landscape lighting, upon substantial completion of stone flowwork.
- Apply RedGuard liquid-applied waterproofing membrane to all concrete & cementitious surfaces prior to any tile, stone or brick installations on vertical surfaces. Refer to drawings for details.

**NOT FOR CONSTRUCTION**

### DRAWING INDEX

MARK	DESCRIPTION
L0	LOCATION MAP, LEGEND & GENERAL NOTES
L1	LANDSCAPE SITE PLAN
L2	REAR YARD
L3	FRONT YARD
L4	REAR STEPS DETAIL
L5	POOL SECTIONS
L6	POOL SECTIONS
L7	SITE DETAILS
L8	CABANA PLAN VIEW
L9	CABANA SECTIONS
L10	CABANA ELEVATIONS
L11	FRONT STEPS
L12	FIRE PIT
L13	TYP. DETAILS

### LEGEND

EXPANSION JOINT	ADJ.
DOWN SPOUT	ADJ.
CATCH BASIN	B.F.L.
FLOODING DRAIN	E.O.
AREA DRAIN	E.O.D.
SPRINKLER BOX	E.C.
HOSE BIBS	E.C.
ELECTRICAL OUTLET (SWITCHED)	E.C.
ELECTRICAL OUTLET (UNSWITCHED)	E.C.
LAUNDRY	E.C.
0.4" VALVE	E.C.
0.4" P.V.C. PIPES UNDER SLAB	E.C.
EXISTING GRADE	E.C.
NEW GRADE	E.C.
PROPERTY LINE (P.L.)	E.C.
CENTER LINE (C.L.)	E.C.
ELECTRICAL LINE	E.C.
WATER LINE	E.C.
0.4" J.M.C.	E.C.
EXISTING BRICK TO REMAIN	E.C.
EXISTING BRICK TO BE REMOVED	E.C.
FOUNTAIN JET	E.C.
SPRINKLER	E.C.
FIELD DRAIN	E.C.
TRENCH DRAIN	E.C.
START OF A CHASE OF FINISHED DIMENSIONS	E.C.
ADJ.	E.C.
ADJACENT	E.C.
BASE FLOOD ELEVATION	E.C.
BACK OF BOTTOM OF	E.C.
BASE OF BRICK	E.C.
CONCRETE	E.C.
PAVING	E.C.
PAVING OVER ELEVATION	E.C.
LOWEST FINISHED GRADE	E.C.
LINEAR FEET	E.C.
NOT TO SCALE	E.C.
ON CENTER	E.C.
OPTIONAL	E.C.
PLANTING AREA	E.C.
POUNDS PER SQUARE INCH	E.C.
REFERENCE POINT	E.C.
SIMILAR	E.C.
SQUARE FEET	E.C.
NET DRIVING FEET	E.C.
FINISHING FEET	E.C.
SPICED	E.C.
TOP OF	E.C.
TOP OF CURB CONCRETE	E.C.
TOP OF DRAIN	E.C.
TOP OF FENCE	E.C.
TOP OF WALL	E.C.
TYPICAL	E.C.
VARIABLE	E.C.
W.P.	E.C.
WOOD	E.C.
WELDED WIRE MESH	E.C.

REVISIONS BY DATE

BY	DATE

FRANSEN HILLS LLC  
 CONSULTANTS  
 1111 ANAHELA ST.  
 NEW ORLEANS, LA 70114  
 (504) 422-5595

CORBET HENRY RESIDENCE  
 216 NORTH BEACH BLVD.  
 BAY ST. LOUIS, MS 39520

DATE: SEP 2025  
 DRAWN BY: JDM  
 CHECKED BY: JDM  
 COVER SHEET  
 L0

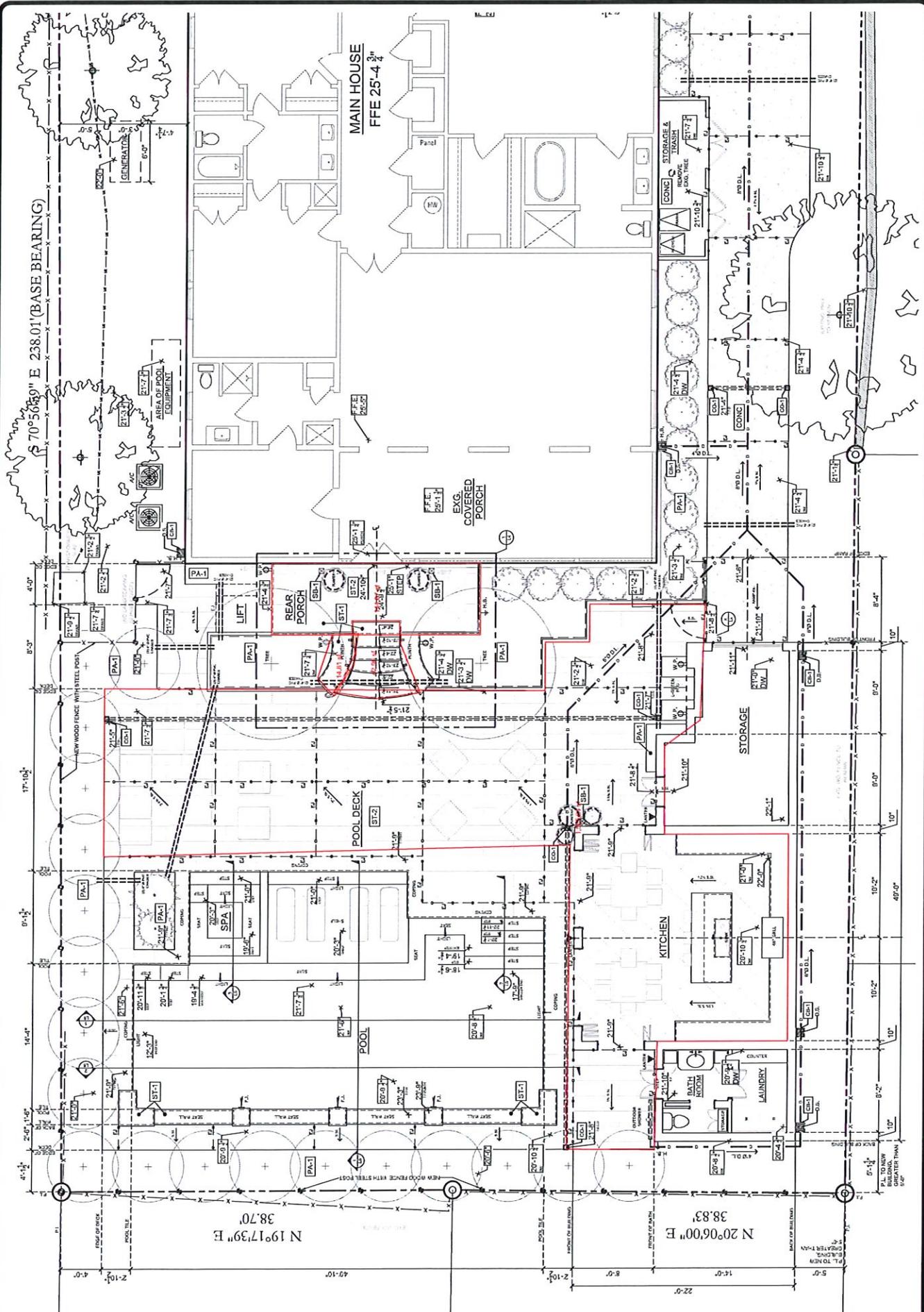


REVISIONS	BY
8/11/2025	JM

FRANSEN MILLS LLC  
CONSULTANTS  
1419 AREOLA ST.  
NEW ORLEANS, LOUISIANA  
(860) 422-5355

**CORBET HENRY RESIDENCE**  
216 NORTH BEACH BLVD.  
BAY ST. LOUIS, MS 39520

DATE	8/11/2025
PROJECT	REAR PORCH
SCALE	1/4" = 1'-0"
DESIGNER	SFP-2025
DATE	JUN
BY	JM



Although every effort has been made to provide an accurate and complete set of drawings, the contractor shall be responsible for verifying all dimensions and conditions before construction. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.



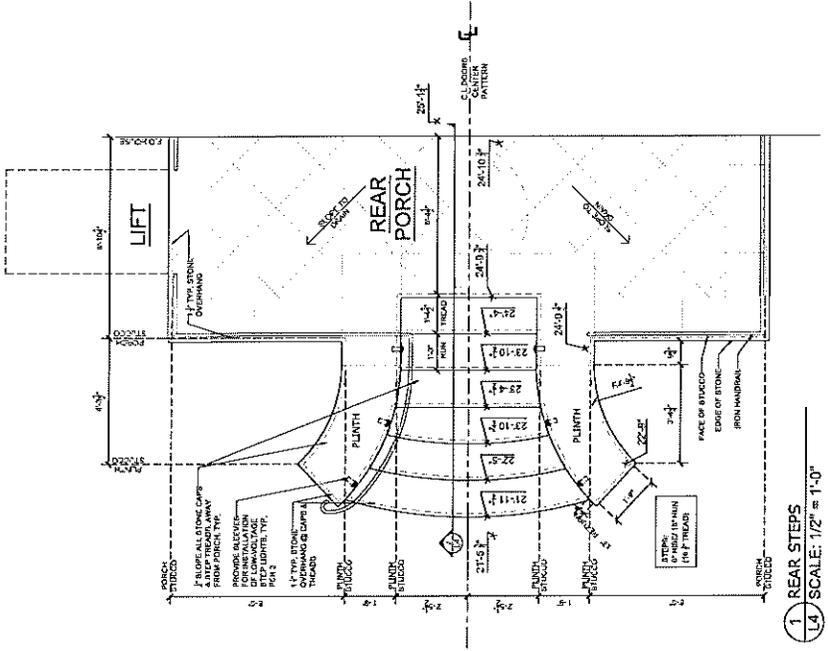
REVISIONS	BY
B1	JW

FRANSEN HILLS LLC  
CONSULTANTS  
1418 ADELIA ST.  
BAY ST. LOUIS, MS 39520  
(601) 422-5555

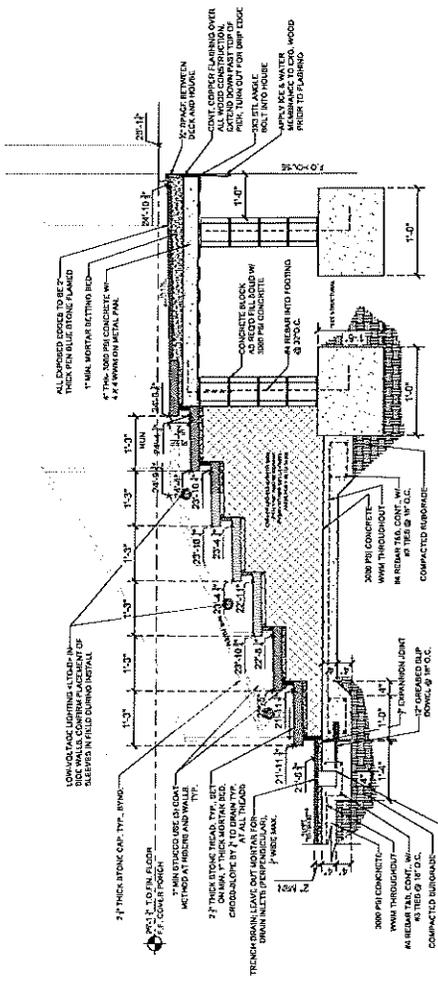
**CORBET HENRY RESIDENCE**  
216 NORTH BEACH BLVD.  
BAY ST. LOUIS, MS 39520

DR	JW
DATE	SEP 2025
AS NOTED	REAR STEPS

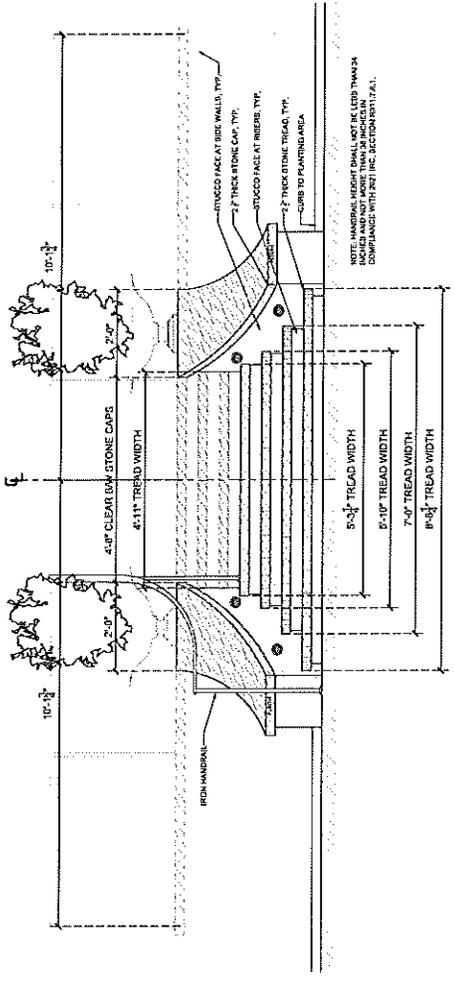
L4



1 REAR STEPS  
SCALE: 1/2" = 1'-0"



2 REAR STEPS SECTION  
SCALE: 3/4" = 1'-0"



3 STEPS ELEVATION @ REAR ENTRY  
SCALE: 3/4" = 1'-0"

**NOT FOR CONSTRUCTION**





