

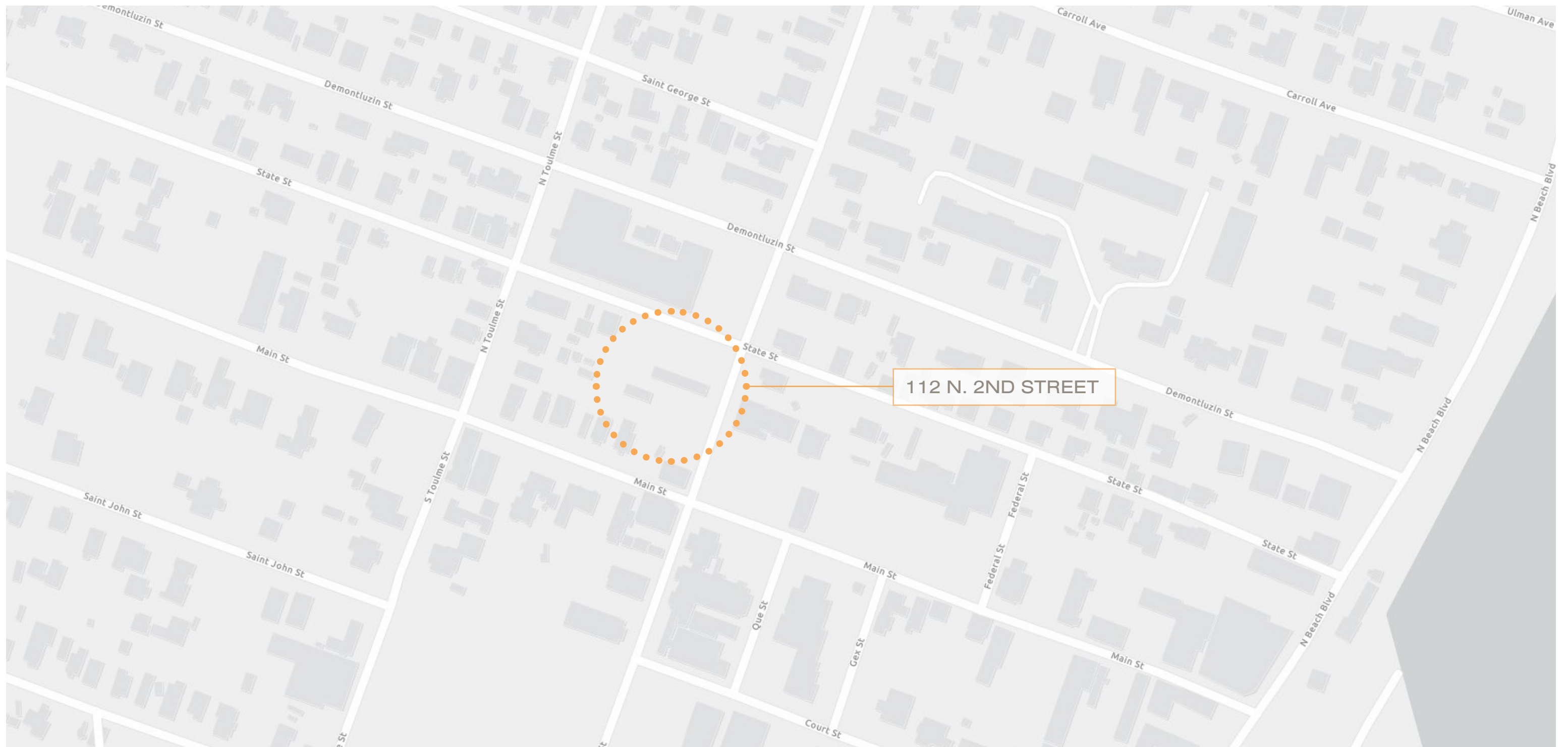
BARRACUDA // BAY ST. LOUIS

HISTORIC COMMISSION MEETING

112 N. 2ND STREET BAY ST. LOUIS, MS 39520

05/07/2024





SITE LOCATION

112 N. 2ND STREET // BARRACUDA // BAY ST. LOUIS



EXISTING CONDITIONS

112 N. 2ND STREET // BARRACUDA // BAY ST. LOUIS



EXISTING BARRACUDA LOCATIONS

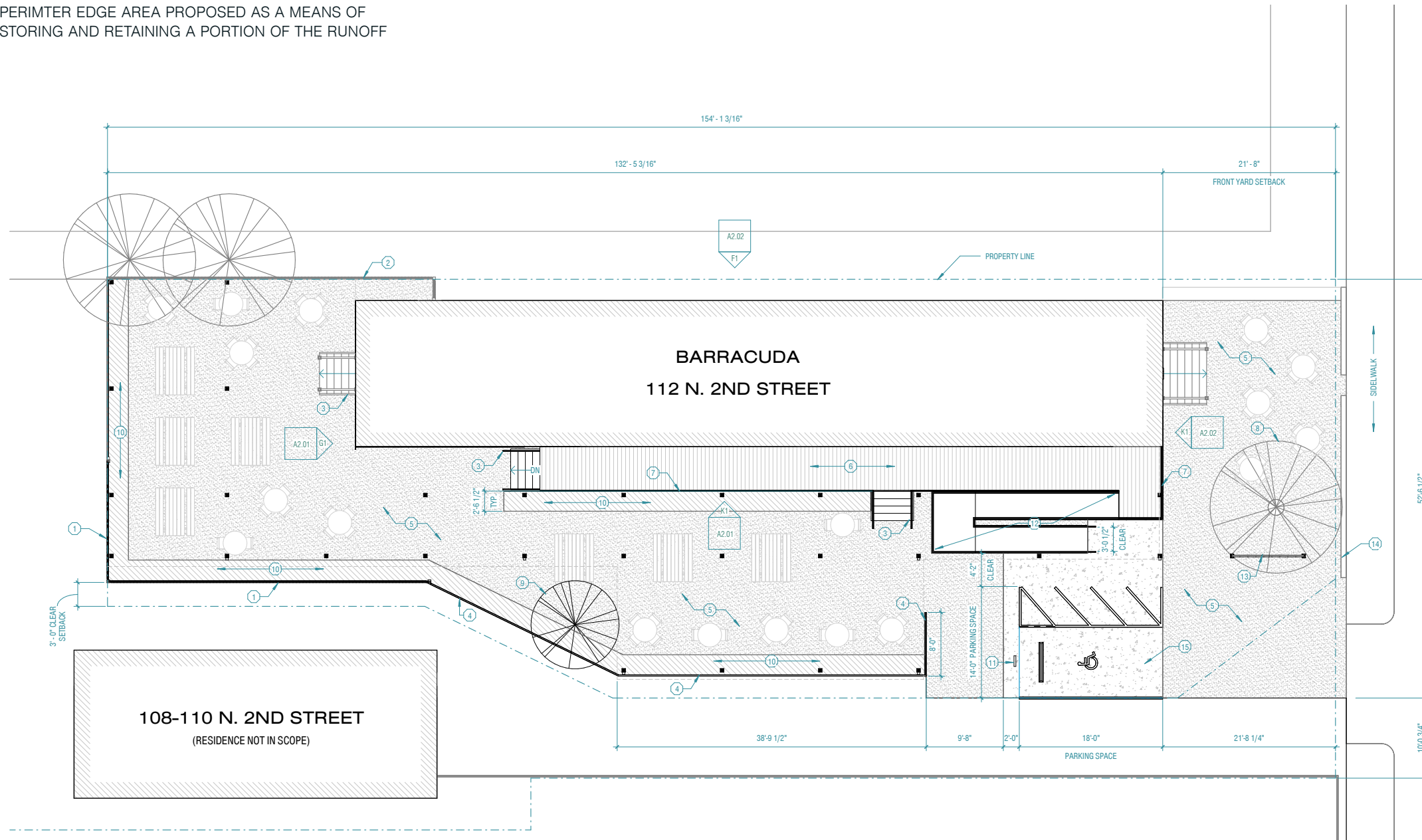
112 N. 2ND STREET // BARRACUDA // BAY ST. LOUIS

STORMWATER MANAGEMENT

- SITE WORK TO INCLUDE GRADING OF GRAVEL SEATING AREA OUT TO SECOND STREET
- MAJORITY OF SITE TO CONSIST OF PERMEABLE SURFACE (GRAVEL SEATING AREA)
- SEVERAL RAIN BARRELS LOCATED THROUGHOUT THE PERIMTER EDGE AREA PROPOSED AS A MEANS OF STORING AND RETAINING A PORTION OF THE RUNOFF

WASTE MANAGEMENT

- EXISTING TRASH LOCATION TO REMAIN IN PLACE



SITE PLAN KEYNOTES	
1	WOOD PRIVACY FENCE
2	EXISTING WOOD FENCE TO REMAIN
3	WOOD STAIR AND RAILING
4	LOW WOOD FENCE
5	CRUSHED GRAVEL
6	ELEVATED WOOD DECK
7	WOOD GUARDRAIL
8	EXISTING TREE TO REMAIN
9	NEW TREE PLANTING
10	PLANTING AREA
11	NEW ADA PARKING SIGANCE, BOLLARD AND STRIPING
12	WOOD ADA RAMP
13	5-LOOP BIKE RACK; POSTS MOUNTED TO CONCRETE FOOTERS
14	REPAIR EXISTING DAMAGED STONE WALL
15	NEW CONCRETE; DRIVE AND WALKWAY TO MEET REQUIREMENTS FOR ADA-ACCESSIBLE SURFACE

L1 // PROPOSED SITE PLAN
1/8" = 1'-0"

SITE PLAN

112 N. 2ND STREET // BARRACUDA // BAY ST. LOUIS

PLAN LEGEND	
NEW CONSTRUCTION	→ [Solid Line]
EXISTING TO REMAIN	→ [Dashed Line]
EXISTING TO BE DEMOLISHED	→ [Dotted Line]

FLOOR PLAN NOTES

- CONTRACTOR IS TO FIELD VERIFY ALL MEASUREMENTS FOR DOORS PRIOR TO ORDERING.
- ALL DIMENSIONS TO EXISTING WALLS TO BE MEASURED TO FINISHED FACE, ALL DIMENSIONS TO NEW WALLS MEASURED TO FACE OF STUDS.
- CONTRACTOR IS TO COORDINATE INSTALLATION OF ALL KITCHEN EQUIPMENT WITH CONSULTANT, INCLUDING NEW DRAINAGE LINES.
- CONTRACTOR TO PROVIDE APPROPRIATE BACKFLOW PREVENTERS FOR ALL CHILLED WATER AND WASTE LINES.
- ALL EXTERIOR GAS HEATERS AND FANS TO BE OWNER-FURNISHED, CONTRACTOR-INSTALLED.
- EXTERIOR MOTORIZED ROLLER SHADES TO BE FURNISHED AND INSTALLED BY SHADE CONTRACTOR. CONTRACTOR TO COORDINATE OUTLET AND SWITCH LOCATIONS WITH MOTORIZED SHADE CONSULTANT.
- NEW GREASE TRAP TO BE INSTALLED. GC TO COORDINATE ALL ASSOCIATED MEP SERVICES.
- GC TO VERIFY IF AN EXISTING BACKFLOW PREVENTER IS PRESENT ON SITE. IF NONE EXISTING, GC TO INSTALL NEW BACKFLOW PREVENTER AND COORDINATE LOCATION WITH BUILDING OWNER.
- ALL EXISTING FRP PANELING TO REMAIN IN PLACE.

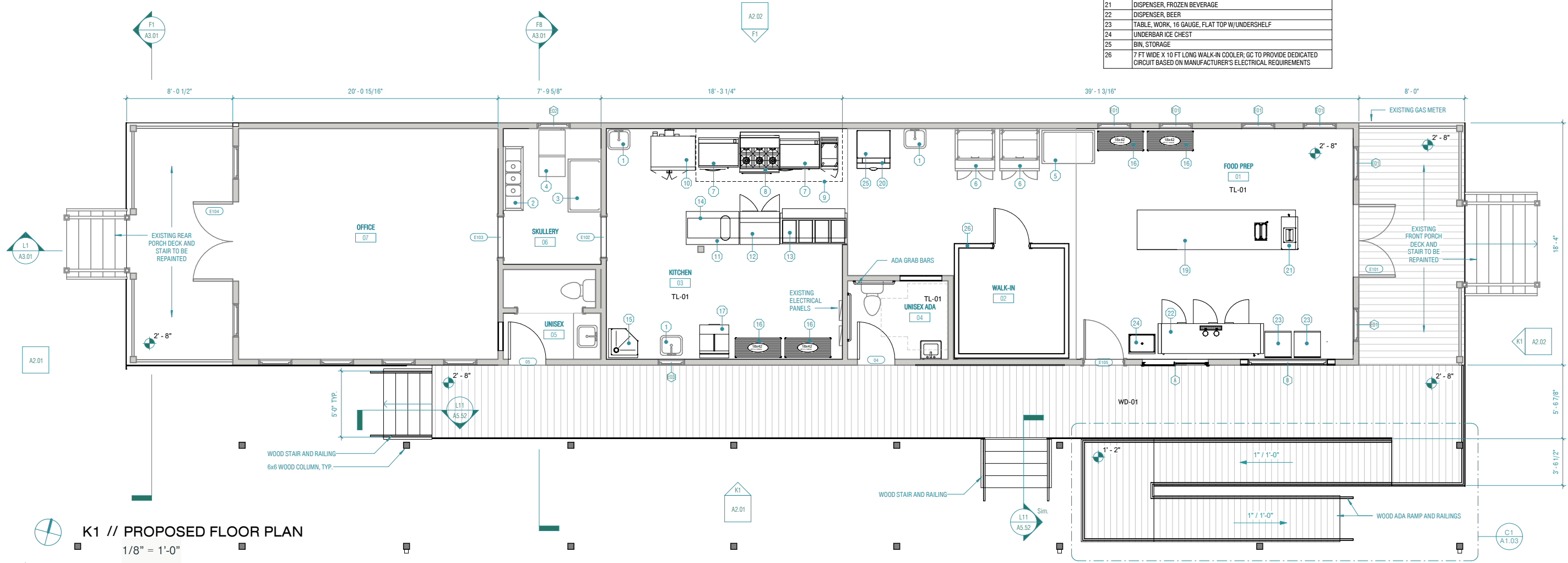
DEMOLITION KEYNOTES	
1	REMOVE PLUMBING FIXTURE
2	REMOVE CASEWORK; PATCH AND REPAIR FLOOR AS REQUIRED
3	REMOVE AND RELOCATE EXISTING HVAC EQUIPMENT TO THE ATTIC
4	REMOVE AND RELOCATE EXISTING HVAC EQUIPMENT TO THE ROOF
5	REMOVE EXISTING WOOD FENCE
6	REMOVE EXISTING WOOD RAILING
7	REMOVE EXISTING WOOD RAMP AND LANDING, INCLUDING STRUCTURE
8	REMOVE EXISTING EXTERIOR STAIR AND RAILING
9	REMOVE EXISTING VCT FLOORING

ROOM SCHEDULE		
ROOM #	NAME	AREA
01	FOOD PREP	543 SF
02	WALK-IN	64 SF
03	KITCHEN	314 SF
04	UNISEX ADA	45 SF
05	UNISEX	50 SF
06	SKULLERY	76 SF
07	OFFICE	343 SF
TOTAL:		1435 SF

EQUIPMENT SCHEDULE	
1	EXISTING HAND SINK TO REMAIN
2	EXISTING 3 COMPARTMENT SINK TO REMAIN
3	EXISTING COMMERCIAL SINK TO REMAIN
4	EXISTING DISHWASHER TO REMAIN
5	EXISTING STAINLESS WORK TABLE TO BE RELOCATED HERE
6	EXISTING BEVERAGE CONTAINER RELOCATED HERE
7	EXISTING GAS GRIDDLE
8	EXISTING GAS RANGE
9	EXISTING COMMERCIAL HOOD (ABOVE)
10	OVEN, CONVECTION, GAS
11	48" TABLE, WORK, 16 GAUGE, FLAT TOP W/UNDERSHELF
12	36" REFRIGERATOR, SANDWICH/SALAD PREP
13	60" CAFETERIA/BUFFET, HOT FOOD STATION
14	18"x144" CEILING-MOUNTED SHELVING (ABOVE)
15	MOP SINK
16	SHELVING, WIRE
17	WARMER, CHIP
19	TABLE, ENCLOSED BASE, SLIDING DOORS
20	MACHINE, ICE CUBE
21	DISPENSER, FROZEN BEVERAGE
22	DISPENSER, BEER
23	TABLE, WORK, 16 GAUGE, FLAT TOP W/UNDERSHELF
24	UNDERBAR ICE CHEST
25	BIN, STORAGE
26	7 FT WIDE X 10 FT LONG WALK-IN COOLER; GC TO PROVIDE DEDICATED CIRCUIT BASED ON MANUFACTURER'S ELECTRICAL REQUIREMENTS

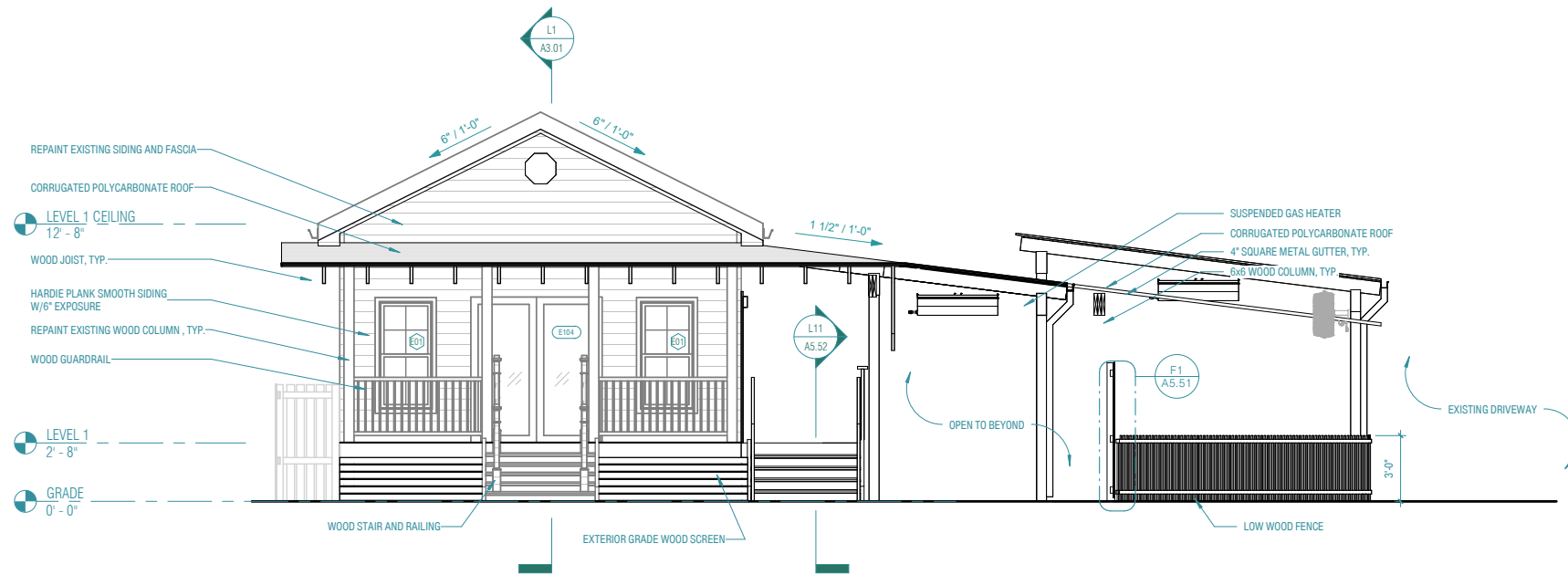
FLOOR FINISH SCHEDULE			
MARK	AREA	DESCRIPTION	BASIS OF DESIGN
WD-01	450 SF	WOOD DECKING	TREATED WOOD DECKING; NOTE: CONTRACTOR TO PROVIDE ADD ALTERNATE PRICING FOR CEDAR DECKING AS WELL AS COMPOSITE WOOD DECKING SUCH AS TREX
TL-01	758 SF	FLOOR TILE	DALTILE 'DUETREAD' FLOOR TILE USED AS B.O.D.

NOTE: NEW GREASE TRAP TO BE INSTALLED AND SIZED TO MEET MS PLUMBING CODE REQUIREMENTS.

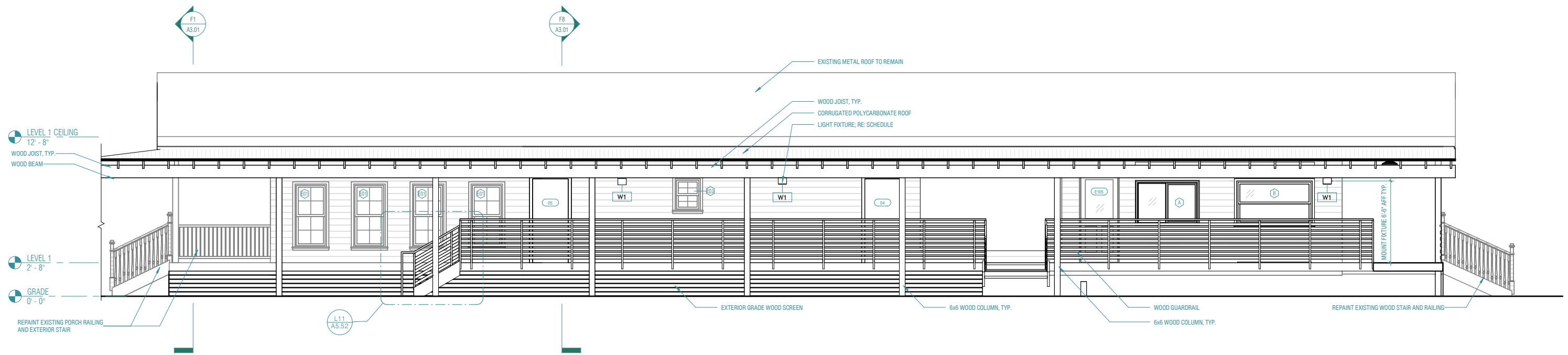


PROPOSED FLOOR PLAN

112 N. 2ND STREET // BARRACUDA // BAY ST. LOUIS



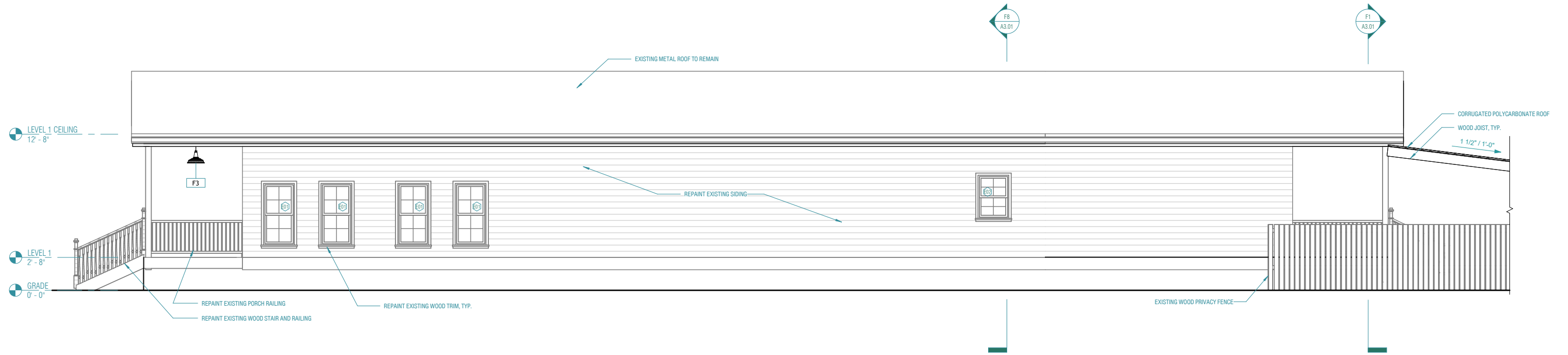
G1 // BUILDING ELEVATION WEST
1/8" = 1'-0"



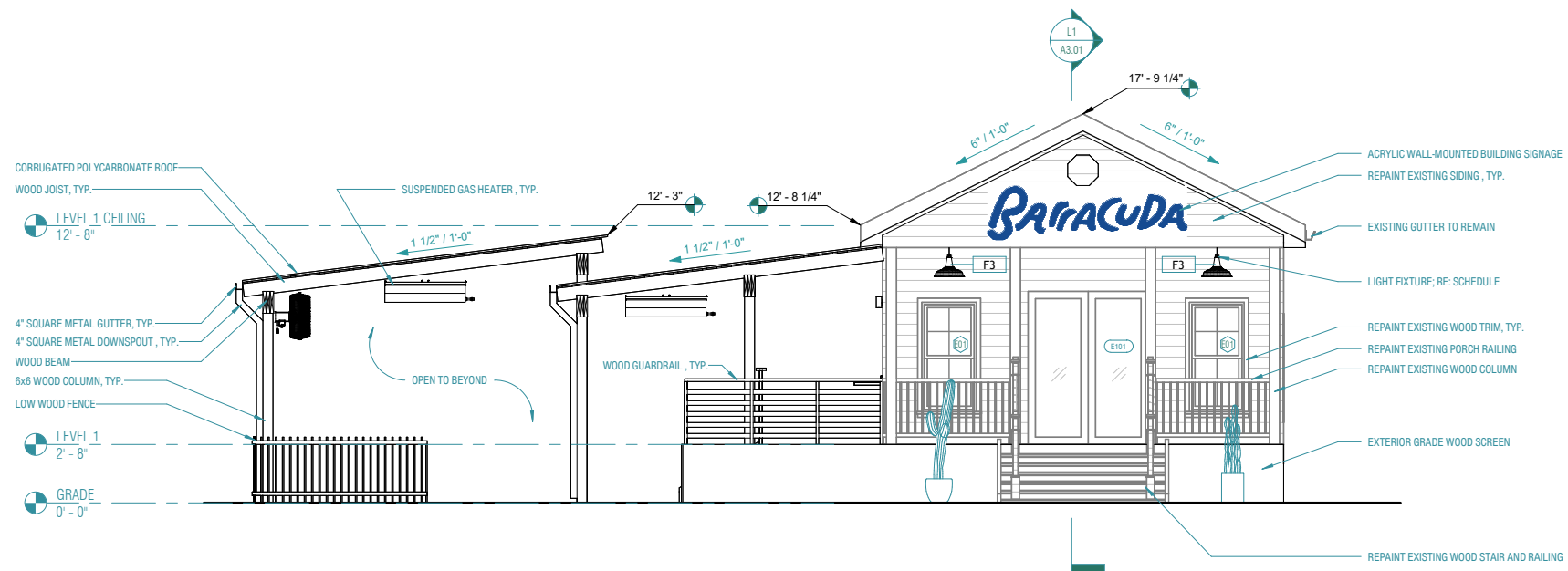
K1 // BUILDING ELEVATION SOUTH
1/8" = 1'-0"

BUILDING ELEVATIONS

112 N. 2ND STREET // BARRACUDA // BAY ST. LOUIS



F1 // BUILDING ELEVATION NORTH
1/8" = 1'-0"



K1 // BUILDING ELEVATION EAST
1/8" = 1'-0"

BUILDING ELEVATIONS

112 N. 2ND STREET // BARRACUDA // BAY ST. LOUIS



PERSPECTIVE VIEWS

112 N. 2ND STREET // BARRACUDA // BAY ST. LOUIS



PERSPECTIVE VIEWS

112 N. 2ND STREET // BARRACUDA // BAY ST. LOUIS