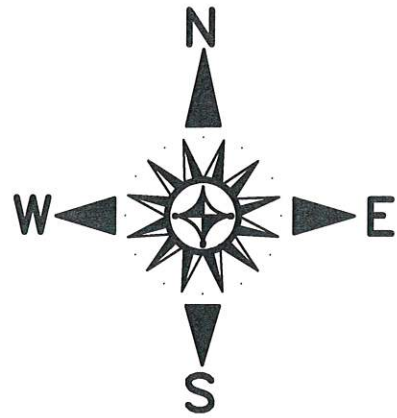




**RESUBDIVISION OF PARCEL # 161B-1-01-006.000
INTO PARCEL "A" AND PARCEL "B"**

LEGEND:

- ☉ CENTERLINE
○ IRON ROD FOUND
● IRON ROD SET
⊗ IRON PIPE FOUND
⊠ FENCE CORNER POST
⊘ POWER POLE
APS AS PER SURVEY
APR AS PER RECORD
EOP EDGE OF PAVEMENT
— x — WOOD FENCE (TYP)

REFERENCES:

- 1) DEED BOOK 2018; PAGE 4493
- 2) PREVIOUS SURVEY BY REID & ASSOCIATES
JOB # 18-010; DATED 02/19/2018
- 3) PLAT OF BAY OAKS SUBDIVISION # 2
- 4) HANCOCK COUNTY TAX MAP

DRAWN BY: JLC

NOTES:

Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose. No attempt has been made as a part of this boundary survey to obtain or show data concerning existence, size, depth, condition, capacity, or location of any utility or municipal/public service facility. This survey meets Mississippi minimum requirements for a class "B" survey. Survey is valid only if print has original seal and signature of surveyor. No flood zone determination was performed as a part of this survey. An accurate determination can be made by ordering a FEMA Elevation Certificate.

BEARINGS REFERENCED TO GEODETIC BY GPS OBSERVATIONS

LEGAL DESCRIPTION: PARCEL # 161B-1-01-006.000

A parcel of land situated and being located in all of Lots 37, 39, 41 and the East 9.72 feet of Lot 43, Block 3, Bay Oaks Subdivision No. 2, being a subdivision of Lots 242 & 243, Fourth Ward, Bay St. Louis, Hancock County, Mississippi, and being more particularly described as follows, to-wit:

Commencing at a $\frac{1}{2}$ " rebar at the SW corner of the East 25' of Lot 47, Block 3; Bay Oaks Subdivision, City of Bay St. Louis, Hancock County, Mississippi; thence S 69°51'50" E 115.29' to a $\frac{1}{2}$ " rebar found at the Point of Beginning; thence N 20°55'17" E 120.35' to a $\frac{1}{2}$ " rebar set on the South margin of Bay Oaks Drive; thence along said South margin S 69°35'36" E 159.70' to a $\frac{1}{2}$ " rebar found; thence S 20°35'48" W 120.70' to a $\frac{1}{2}$ " rebar found; thence N 69°28'07" W 160.38' to the Point of Beginning. Said parcel contains 19,290 square feet, more or less.

LEGAL DESCRIPTION: PARCEL "A"

A parcel of land situated and being located in all of Lot 41 and the East 9.72 feet of Lot 43, Block 3, Bay Oaks Subdivision No. 2, being a subdivision of Lots 242 & 243, Fourth Ward, Bay St. Louis, Hancock County, Mississippi, and being more particularly described as follows, to-wit:

Commencing at a $\frac{1}{2}$ " rebar at the SW corner of the East 25' of Lot 47, Block 3; Bay Oaks Subdivision, City of Bay St. Louis, Hancock County, Mississippi; thence S 69°51'50" E 115.29' to a $\frac{1}{2}$ " rebar found at the Point of Beginning; thence N 20°55'17" E 120.35' to a $\frac{1}{2}$ " rebar set on the South margin of Bay Oaks Drive; thence along said South margin S 69°35'36" E 59.70' to a $\frac{1}{2}$ " rebar set; thence S 20°41'01" W 120.48' to a $\frac{1}{2}$ " rebar found; thence N 69°28'07" W 60.20' to the Point of Beginning. Said parcel contains 7,220 square feet, more or less.

LEGAL DESCRIPTION: PARCEL "B"

A parcel of land situated and being located in all of Lots 37 & 39 Block 3, Bay Oaks Subdivision No. 2, being a subdivision of Lots 242 & 243, Fourth Ward, Bay St. Louis, Hancock County, Mississippi, and being more particularly described as follows, to-wit:

Commencing at a $\frac{1}{2}$ " rebar at the SW corner of the East 25' of Lot 47, Block 3; Bay Oaks Subdivision, City of Bay St. Louis, Hancock County, Mississippi; thence S 69°51'50" E 115.29' to a $\frac{1}{2}$ " rebar found thence N 20°55'17" E 120.35' to a $\frac{1}{2}$ " rebar set on the South margin of Bay Oaks Drive; thence along said South margin S 69°35'36" E 59.70' to a $\frac{1}{2}$ " rebar set at the Point of Beginning; thence continue along said South margin S 69°35'36" E 100.00' to a $\frac{1}{2}$ " rebar found; thence S 20°35'48" W 120.70' to a $\frac{1}{2}$ " rebar found; thence N 69°28'07" W 100.18' to a $\frac{1}{2}$ " rebar found; thence N 20°41'01" E 120.48' to the Point of Beginning. Said parcel contains 12,070 square feet, more or less.



In consideration of the fee paid, I declare that this survey made by me or under my immediate supervision is true and correct to the best of my professional knowledge, information, and belief.

Duke Levy, RLS #1722

CERTIFICATE OF APPROVAL:

SUBMITTED TO AND APPROVED BY THE ZONING ADMINISTRATOR, THIS THE _____ DAY OF _____, 2026.

ZONING ADMINISTRATOR
JEREMY BURKE

SUBMITTED TO AND APPROVED BY THE MAYOR OF THE CITY OF BAY ST. LOUIS, THIS THE _____ DAY OF _____, 2026.

MAYOR
MICHAEL FAVRE

DUKE LEVY & ASSOCIATES, P.A.



4412 LEISURE TIME DRIVE
DIAMONDHEAD, MS 39525
(228) 343-9691 PHONE

SCALE: 1" = 50' DATE: 08-25-2026

DRAWING: WO# 2026-219 CLIENT: LOPEZ