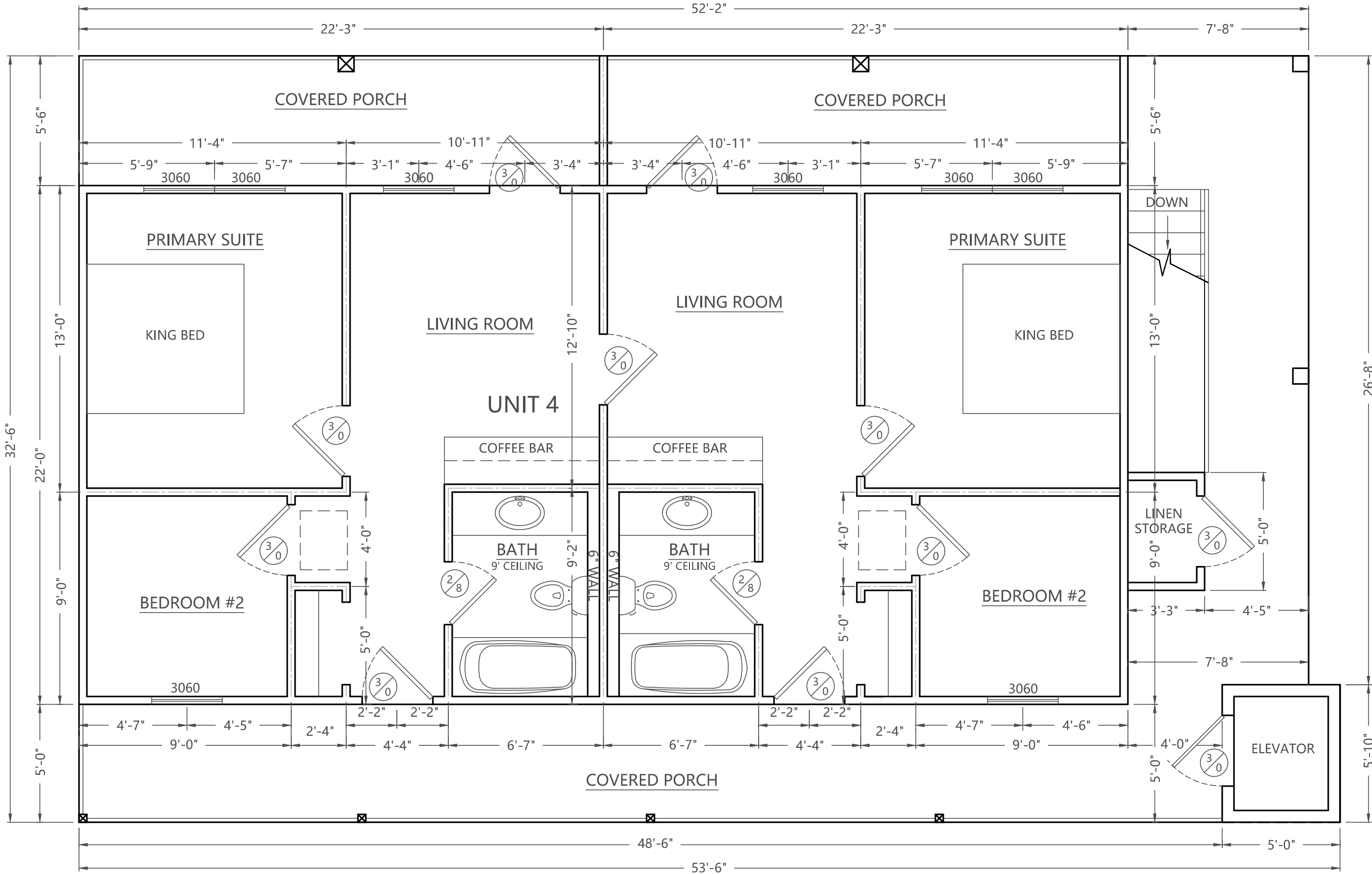


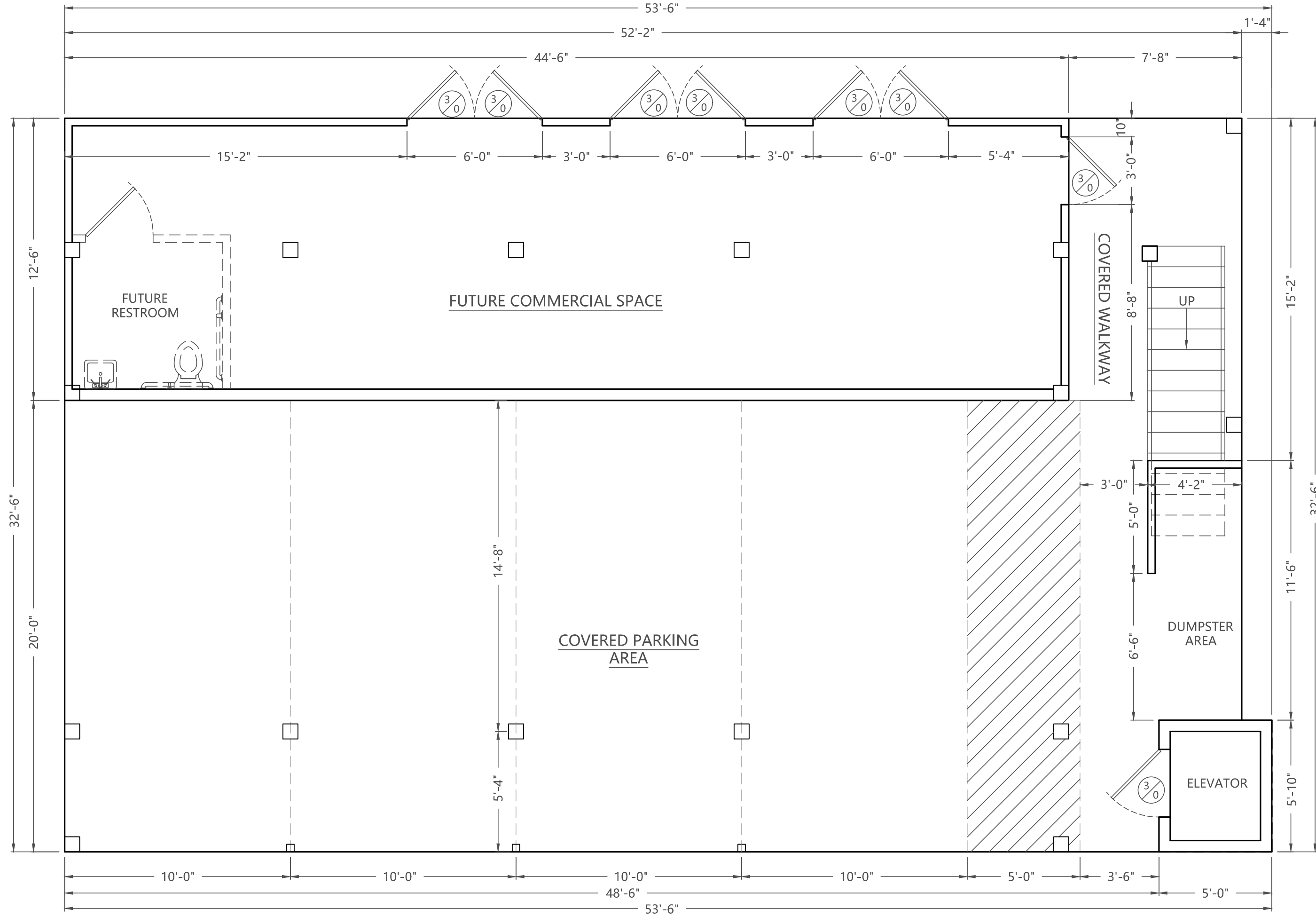
2ND FLOOR PLAN

SCALE: 1/4"=1'-0"



3RD FLOOR PLAN

SCALE: 1/4"=1'-0"



GROUND FLOOR PLAN

SCALE: 1/4"=1'-0"

AREA CALCULATIONS:

GROUND FLOOR HEATED COMMERCIAL UNIT:	556 SF
---	--------

TOTAL GROUND FLOOR HEATED:	556 SF
----------------------------	--------

GROUND FLOOR UNHEATED:	
PARKING AREA:	900 SF
BREEZEWAY:	218 SF
ELEVATOR:	29 SF
TOTAL UNHEATED:	1147 SF

TOTAL GROUND FLOOR:	1703 SF
---------------------	---------

SECOND FLOOR HEATED:	
UNIT 1:	326 SF
UNIT 2:	326 SF
UNIT 3:	326 SF
LINEN STORAGE:	20 SF
TOTAL SECOND FLOOR HEATED:	998 SF

SECOND FLOOR UNHEATED:

PORCHES:	589 SF
ELEVATOR:	29 SF
TOTAL SECOND FLOOR UNHEATED:	618 SF

TOTAL SECOND FLOOR:	1616 SF
---------------------	---------

THIRD FLOOR HEATED:	
UNIT 4:	978 SF
LINEN STORAGE:	16 SF
TOTAL THIRD FLOOR HEATED:	994 SF

THIRD FLOOR UNHEATED:

PORCHES:	640 SF
ELEVATOR:	29 SF
TOTAL THIRD FLOOR UNHEATED:	669 SF

TOTAL THIRD FLOOR:	1663 SF
--------------------	---------

TOTAL UNDER ROOF:	4982 SF
-------------------	---------

NOTE:  
NO ON SITE SUPERVISION OR INSPECTIONS ARE PROVIDED WITH THE USE OF THESE PLANS BY THE DESIGNER. BUILDER/CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, CONDITIONS, AND SIZES OF COMPONENTS ALONG WITH SITE CONDITIONS BEFORE STARTING CONSTRUCTION. BUILDER/CONTRACTOR SHALL SEE THAT CONSTRUCTION IS IN CONFORMANCE WITH THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (I.B.C) AND WITH THE COUNTY/CITY BUILDING INSPECTOR. THE USE OF THESE PLANS FOR CONSTRUCTION SHALL BE EVIDENCE THAT THE REQUIREMENTS STATED ARE ACCEPTED BY THE BUILDER/CONTRACTOR.

BEFORE BEGINNING WORK, THE CONTRACTOR SHALL CAREFULLY STUDY THE PLANS & SPECIFICATIONS, CHECK, AND VERIFY INFORMATION SHOWN HEREIN. IF ANY CONFLICTS, ERRORS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED EITHER IN THE CONSTRUCTION DOCUMENTS OR IN THE FIELD, THE CONTRACTOR SHALL PROMPTLY REPORT IN WRITING TO THE ENGINEER OR HIS REPRESENTATIVE BEFORE PROCEEDING WITH ANY WORK AFFECTED BY SAID DISCREPANCY.

TERRY MORAN ENGINEERING

P.O. BOX 4075  
BILOXI, MS 39535  
PH 228.896.4733  
TERRY MORAN,  
P.E., P.L.S

6005

REGISTERED PROFESSIONAL ENGINEER  
STATE OF MISSISSIPPI

In Association With

FOUNTAIN & ASSOCIATES

CIVIL AND COMMERCIAL DESIGN

13334 Seaway Rd, Ste. 202  
Gulfport, MS 39503  
228-574-3659

Date 10-11-2024  
Drawn By C.A.B.  
Check By T.J.M.  
REV 11-04-2024

PROPOSED BOUTIQUE HOTEL  
N BEACH BLVD  
BAY ST LOUIS, MS  
B1

24-017



FRONT ELEVATION

SCALE: 1/4"=1'-0"



REAR ELEVATION

SCALE: 1/4"=1'-0"

NOTE:  
NO ON SITE SUPERVISION OR INSPECTIONS ARE PROVIDED WITH THE USE OF THESE PLANS BY THE DESIGNER. BUILDER/CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, CONDITIONS, AND SIZES OF COMPONENTS ALONG WITH SITE CONDITIONS BEFORE STARTING CONSTRUCTION. BUILDER/CONTRACTOR SHALL SEE THAT CONSTRUCTION IS IN CONFORMANCE WITH THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (I.B.C.) AND WITH THE COUNTY/CITY BUILDING INSPECTOR. THE USE OF THESE PLANS FOR CONSTRUCTION SHALL BE EVIDENCE THAT THE REQUIREMENTS STATED ARE ACCEPTED BY THE BUILDER/CONTRACTOR.

BEFORE BEGINNING WORK, THE CONTRACTOR SHALL CAREFULLY STUDY THE PLANS & SPECIFICATIONS, CHECK, AND VERIFY INFORMATION SHOWN HEREIN. IF ANY CONFLICTS, ERRORS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED EITHER IN THE CONSTRUCTION DOCUMENTS OR IN THE FIELD, THE CONTRACTOR SHALL PROMPTLY REPORT IN WRITING TO THE ENGINEER OR HIS REPRESENTATIVE BEFORE PROCEEDING WITH ANY WORK AFFECTED BY SAID DISCREPANCY.



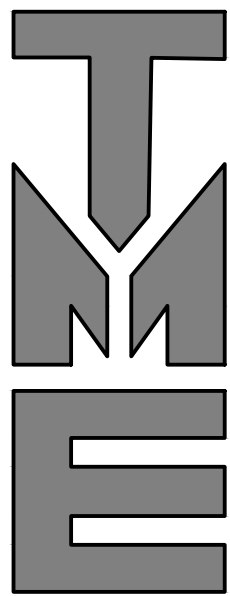
In Association With

**FA FOUNTAIN & ASSOCIATES**  
CIVIL AND COMMERCIAL DESIGN  
13334 Seaway Rd, Ste. 202  
Gulfport, MS 39503  
228-574-3659

Date 10-11-2024  
Drawn By C.A.B.  
Check By T.J.M.  
REV. 11-04-2024

PROPOSED BOUTIQUE HOTEL  
N BEACH BLVD  
BAY ST LOUIS, MS

B2



TERRY MORAN  
ENGINEERING  
P.O. BOX 4075  
BILOXI, MS 39535  
PH 228.896.4733  
TERRY MORAN,  
P.E., P.L.S

24-017





In Association With

F  
A

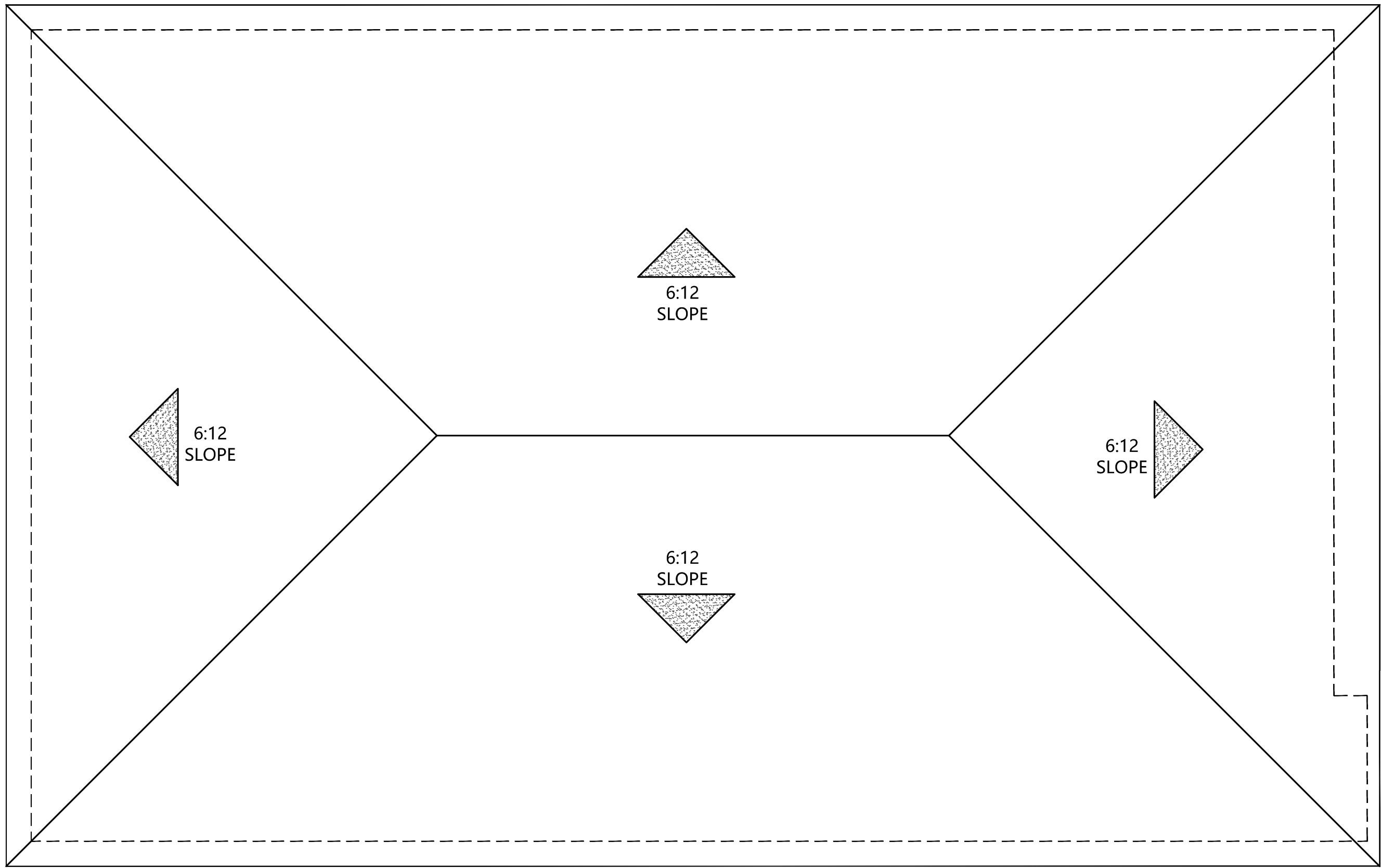
FOUNTAIN &  
ASSOCIATES

CIVIL AND COMMERCIAL DESIGN  
13334 Seaway Rd, Ste. 202  
Gulfport, MS 39503  
228-574-3659

Date 10-11-2024  
Drawn By C.A.B.  
Check By T.J.M.  
REV. 11-04-2024

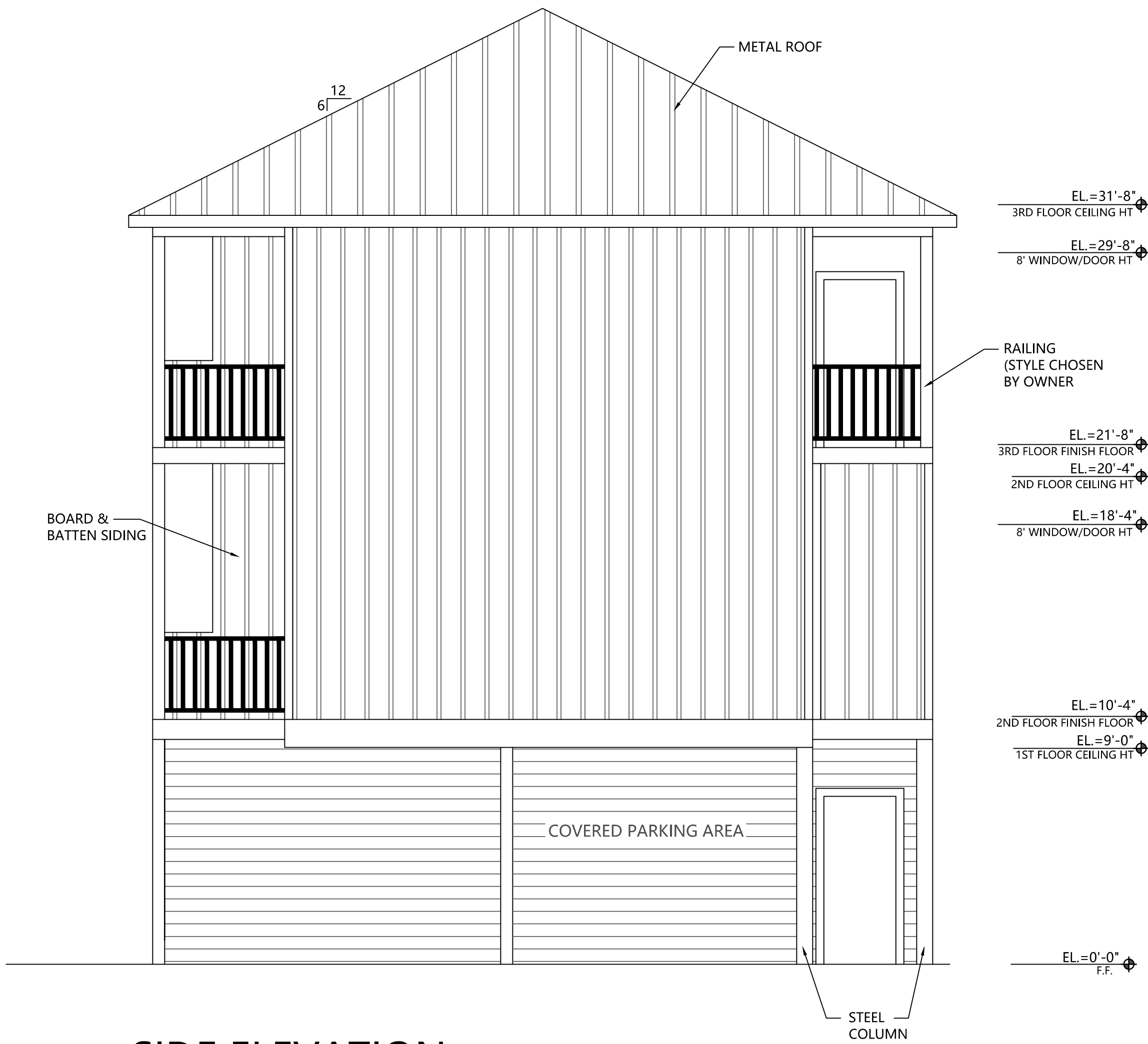
PROPOSED BOUTIQUE HOTEL  
N BEACH BLVD  
BAY ST LOUIS, MS

B2.1



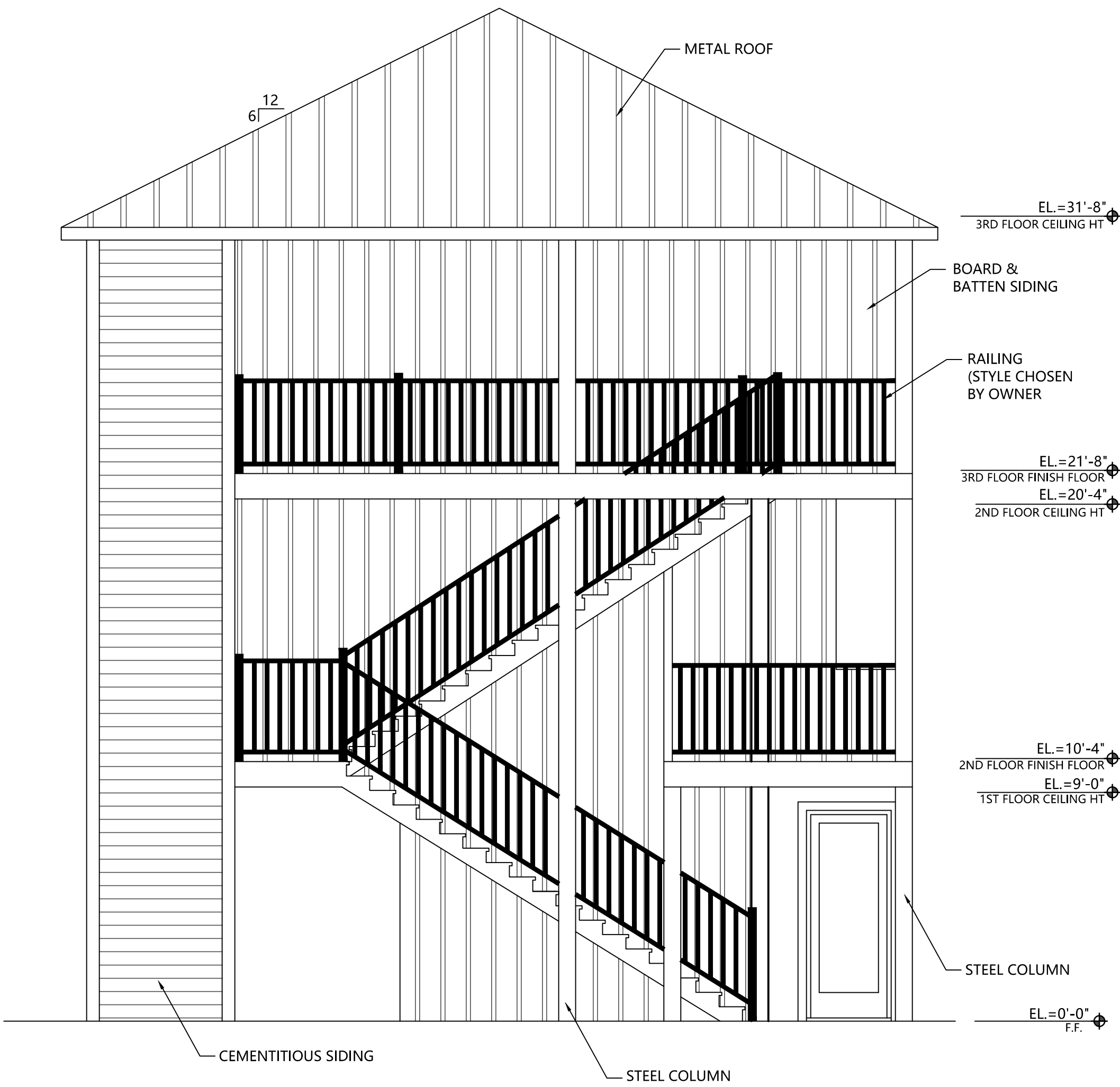
ROOF PLAN

SCALE: 1/4"=1'-0"



SIDE ELEVATION

SCALE: 1/4"=1'-0"

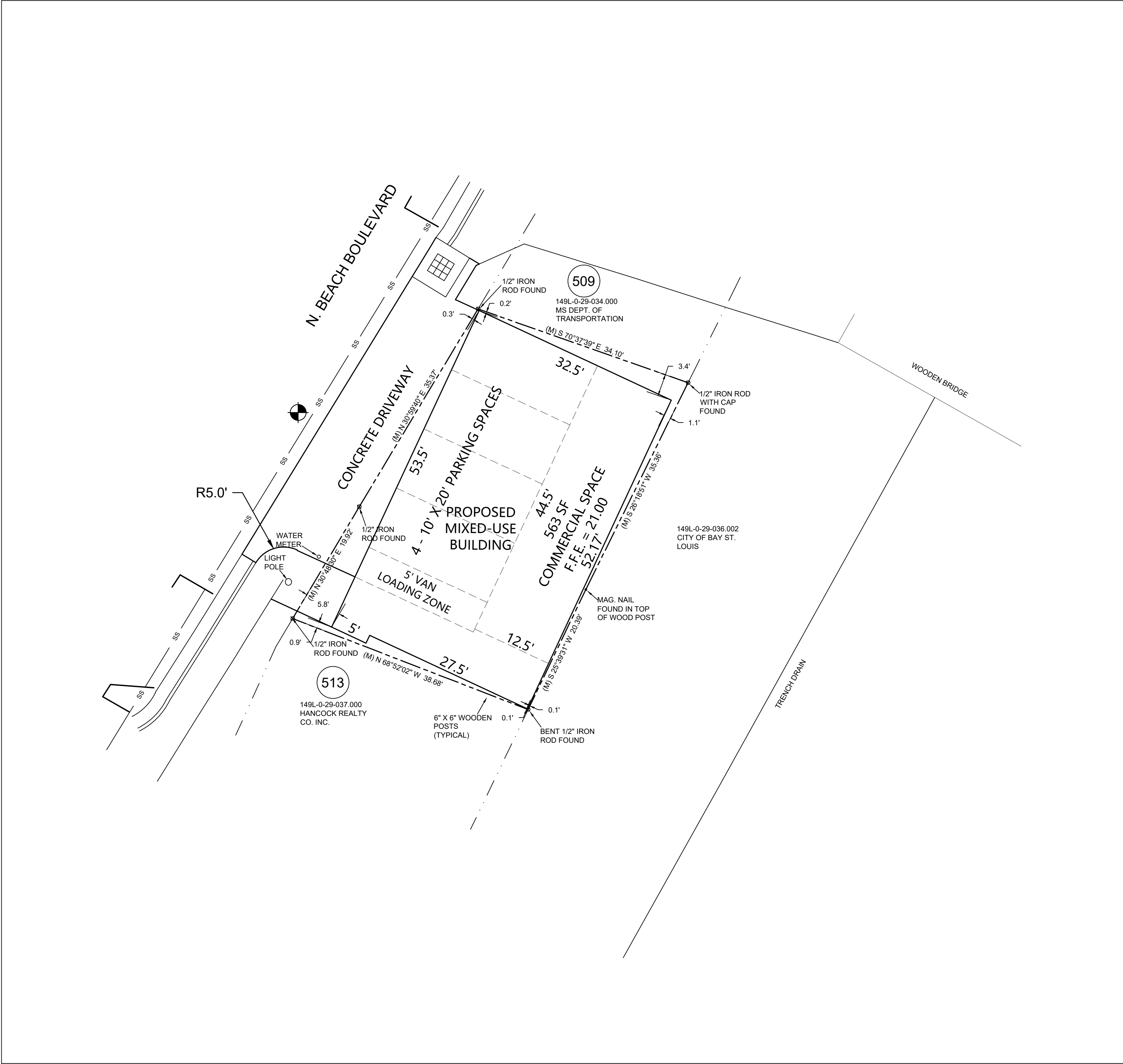


SIDE ELEVATION

SCALE: 1/4"=1'-0"

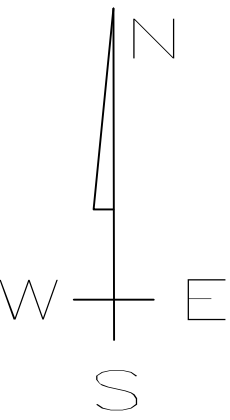
NOTE:  
NO ON SITE SUPERVISION OR INSPECTIONS ARE PROVIDED WITH THE USE OF THESE PLANS BY THE DESIGNER. BUILDER/CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, CONDITIONS, AND SIZES OF COMPONENTS ALONG WITH SITE CONDITIONS BEFORE STARTING CONSTRUCTION. BUILDER/CONTRACTOR SHALL SEE THAT CONSTRUCTION IS IN CONFORMANCE WITH THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (I.B.C.) AND WITH THE COUNTY/CITY BUILDING INSPECTOR. THE USE OF THESE PLANS FOR CONSTRUCTION SHALL BE EVIDENCE THAT THE REQUIREMENTS STATED ARE ACCEPTED BY THE BUILDER/CONTRACTOR.

BEFORE BEGINNING WORK, THE CONTRACTOR SHALL CAREFULLY STUDY THE PLANS & SPECIFICATIONS, CHECK, AND VERIFY INFORMATION SHOWN HEREIN. IF ANY CONFLICTS, ERRORS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED EITHER IN THE CONSTRUCTION DOCUMENTS OR IN THE FIELD, THE CONTRACTOR SHALL PROMPTLY REPORT IN WRITING TO THE ENGINEER OR HIS REPRESENTATIVE BEFORE PROCEEDING WITH ANY WORK AFFECTED BY SAID DISCREPANCY.

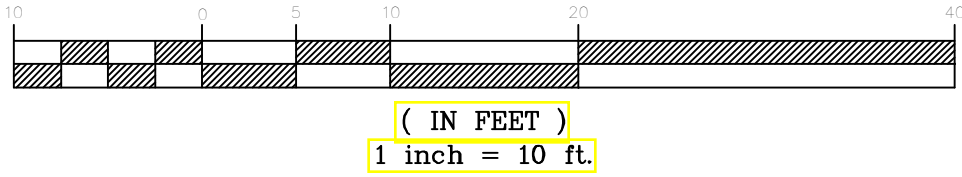


SITE PLAN

SCALE: 1"=10'



GRAPHIC SCALE



	NEW MAG NAIL SET BY SURVEYOR IN ASPHALT OF N BEACH BLVD
ELEV. = TBD	

BOUNDARY BASED ON SURVEY BY CROSBY SURVEYING;  
TOPOGRAPHIC INFORMATION BASED ON THE SAME  
SUBJECT PROPERTY LIES WITHIN "X 500" FLOOD  
ZONE PER FEMA PANEL 28045C0362D DATED  
OCTOBER 16, 2009.

SITE DATA TABLE

ACREAGE: 0.071 +/- AC

ZONING: C-1

SETBACKS:

FYSB - 0 FT  
SYSB - 0 FT  
RYSB - 0 FT

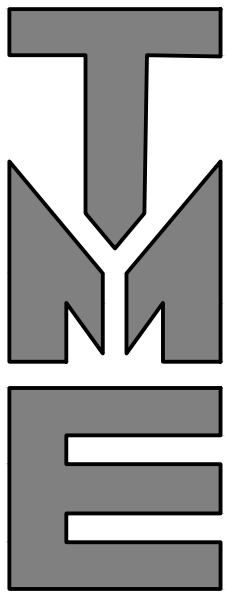
COMMERCIAL SPACE - 675 SF +/-

# OF HOTEL UNITS - 4

# OF ON-SITE PARKING SPACES - 4

NOTE:  
NO ON SITE SUPERVISION OR INSPECTIONS ARE PROVIDED WITH THE USE OF THESE PLANS BY THE DESIGNER.  
BUILDER/CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, CONDITIONS, AND SIZES OF  
COMPONENTS ALONG WITH SITE CONDITIONS BEFORE STARTING CONSTRUCTION. BUILDER/CONTRACTOR  
SHALL SEE THAT CONSTRUCTION IS IN CONFORMANCE WITH THE 2018 EDITION OF THE INTERNATIONAL  
BUILDING CODE (I.B.C.) AND WITH THE COUNTY/CITY BUILDING INSPECTOR. THE USE OF THESE PLANS FOR  
CONSTRUCTION SHALL BE EVIDENCE THAT THE REQUIREMENTS STATED ARE ACCEPTED BY THE  
BUILDER/CONTRACTOR.

BEFORE BEGINNING WORK, THE CONTRACTOR SHALL CAREFULLY STUDY THE PLANS & SPECIFICATIONS,  
CHECK, AND VERIFY INFORMATION SHOWN HEREIN. IF ANY CONFLICTS, ERRORS, DISCREPANCIES, OR  
OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED EITHER IN THE CONSTRUCTION DOCUMENTS OR IN  
THE FIELD, THE CONTRACTOR SHALL PROMPTLY REPORT IN WRITING TO THE ENGINEER OR HIS  
REPRESENTATIVE BEFORE PROCEEDING WITH ANY WORK AFFECTED BY SAID DISCREPANCY.



24-017

TERRY MORAN  
ENGINEERING

P.O. BOX 4075  
BILOXI, MS 39535

PH 228.896.4733

TERRY MORAN,  
P.E., P.L.S.



In Association With



CIVIL AND COMMERCIAL DESIGN  
13334 Seaway Rd, Ste. 202  
Gulfport, MS 39503  
228-574-3659

Date	10-11-2024
Drawn By	F.O.F.
Check By	T.J.M.
REV	11-04-2024
	12-11-2024

PROPOSED BOUTIQUE HOTEL  
N BEACH BLVD  
BAY ST LOUIS, MS

