

# Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 200 North Beach Boulevard Bay St Louis, MS 39520  
 Applicant Name: Albert Architecture Louisiana Coastal VI LLC: James MacPhaille, Member  
 Owner Name: 5208 Magazine St New Orleans, LA 70115  
 Mailing Address: 2739 Conti St, New Orleans, LA 70119  
 Mailing Address: 5208 Magazine St New Orleans, LA 70115  
 Phone: 504 827 0056 Phone: 504-382-9200

**Project Classification:** Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

☐ **Conceptual Review:** Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. **Items needed** include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

☒ **Addition / Renovation:** Exterior alterations and or additions should be compatible with the building itself; its original design & style. **Items needed:** photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

☐ **New Construction:** New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. **Items needed:** Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

☐ **Demolition:** Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. **Items needed:** Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: John Dauer John Dauer (Albert Architecture) Date: 12/2/24

Owner's Signature Louisiana Coastal VI LLC: James MacPhaille, Member

Required: James MacPhaille Date: 12/02/2024

**Please refer to the checklist of materials required with your application**

**A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.**

*Historic Preservation Commission / City Council Use Only*

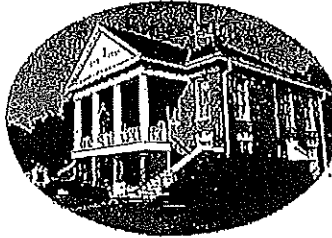
HPC Review / City Council Review

Historic District:	Case Number:
<input type="checkbox"/> Historic Preservation Commission Reviewed	Review Date:
<b>Recommendation:</b> <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions <input type="checkbox"/> Disapprove	
Comments:	
Requires Property Owner / Applicant Signature	
<input type="checkbox"/> City Council Reviewed	Review Date:
COA Action: Approval: <input type="checkbox"/> YES <input type="checkbox"/> NO Date COA Action:	Review Date:
Comments:	
(BSL Historic Preservation Commissioner)	(City Council President Signature)
(Date)	(Date)

Once Completed & Signed - Original copy - HPC, Copy-Building Department



Bay St. Louis



## Historic Preservation Commission

### SUBMITTAL CHECKLIST

**Property Owners Information:**

Name: Louisiana Coastal VI LLC: James MacPhaille, Member

Address: 5208 Magazine St New Orleans, LA 70115  
(No P.O. Boxes)

Telephone Number ( ) \_\_\_\_\_ Cell Number( 504 ) 382-9200

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED  
ABOVE: 200 North Beach Boulevard Bay St Louis, MS 39520

Give written scope of work to be performed: \_\_\_\_\_

Project includes the addition of a rooftop bar, deck, and kitchen to  
existing 2 story restaurant.

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# HISTORIC PRESERVATION COMMISSION REVIEW

## CITY OF BAY ST. LOUIS, MISSISSIPPI

### MATERIALS TO SUBMIT WITH THE APPLICATION FO REVIEW

ARCHITECTURAL PLANS or DRAWINGS: A total of seven (7) sets must be submitted to the Zoning Department.

1. Site Plan, Indicating setbacks to the front, rear and side yards.
2. Exterior elevations (street views) of proposed structure(s).
3. Description of exterior trim materials to be used. Can be shown on plans or separate page.
  - a) Siding material: wood, hardi-plank, etc...
  - b) Masonry material: brick, stucco, etc....
  - c) Exterior openings; windows and doors: Indicated size, types and materials.
  - d) Shutters and Awnings: Indicated size, types and materials.
  - e) Column size and types
  - f) Roofing materials: wood, metal, slate, etc....
  - g) Landscaping elements to include, but not limited to; fencing, sidewalks, driveways, entrances.
  - h) Misc: Pools, signage, skylights, trellises, etc...

PHOTOGRAPHS: (Renovations only, not new construction)

1. 35mm or digital only. Include photos of each side of the building; the site to be altered and close ups of the specific areas to be changed.

We would like to thank you in advance for your help and participation in this preservation program which is dedicated to retaining the charm, beauty and character of our beloved City of Bay St. Louis.

*Bay St. Louis Historic Preservation Commission*  
*March 1, 2008*

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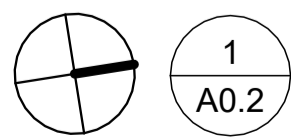
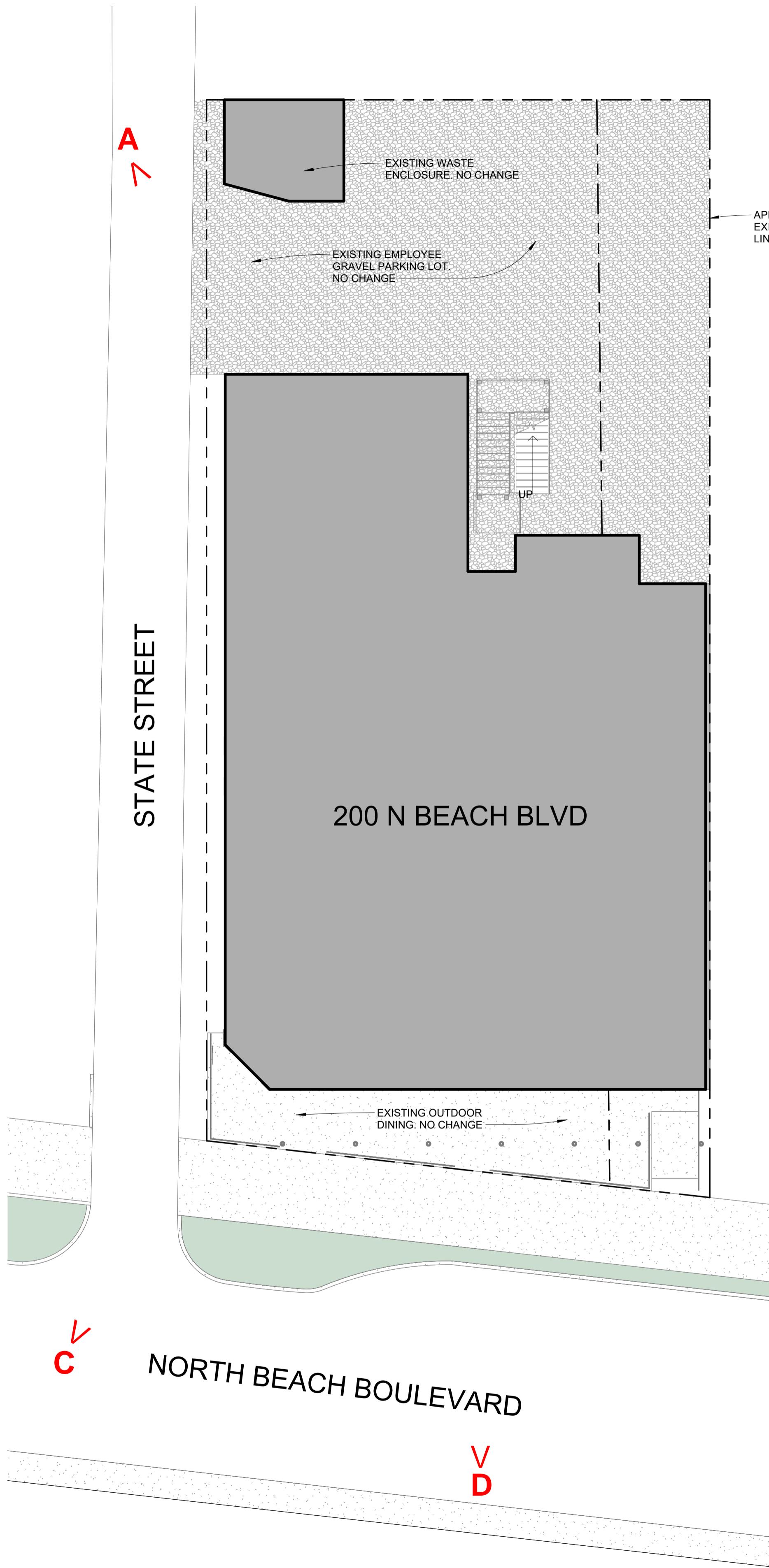
B



C



D



SITE PLAN

3/32" = 1'-0"

PROJECT DATA

PROJECT DESCRIPTION: ROOFTOP BAR, KITCHEN AND DECK ADDITION TO EXISTING 2 STORY RESTAURANT.

APPLICABLE CODES:

INTERNATIONAL BUILDING CODE, 2018  
INTERNATIONAL RESIDENTIAL CODE, 2018  
INTERNATIONAL MECHANICAL CODE, 2018  
INTERNATIONAL PLUMBING CODE, 2018  
INTERNATIONAL FUEL GAS CODE, 2018  
INTERNATIONAL PRIVATE SEWER DISPOSAL CODE, 2018  
INTERNATIONAL SWIMMING POOL CODE, 2018  
INTERNATIONAL EXISTING BUILDING CODE, 2018  
NFPA 70 NATIONAL ELECTRIC CODE, 2017  
INTERNATIONAL FIRE CODE, 2018

APPLICABLE ZONING CODE:

BAY ST LOUIS ZONING CODE  
C-1 CENTRAL BUSINESS ZONING

USES ALLOWED BY RIGHT BARS, TAVERNS, NIGHTCLUBS & LOUNGES, RESTAURANT

MINIMUM LOT AREA: N/A  
MINIMUM LOT WIDTH: 25 FEET  
MINIMUM FRONT YARD: 25 FEET (OR AVERAGE OF NEARBY PROPERTIES); 0 FEET ON MAIN ST. AND BEACH BLVD.  
MINIMUM SIDE YARD: 0 FEET  
IF PROVIDED: 5 FEET FOR ALLEY FORMATION  
ABUTTING RESIDENTIAL: MATCH RESIDENTIAL SETBACK, WITH 6-FOOT OPAQUE FENCE  
MINIMUM REAR YARD: 0 FEET  
MAXIMUM LOT COVERAGE: 100%  
MAXIMUM BUILDING HEIGHT: 50 FEET  
MAY INCREASE BASED ON FEMA FLOOD ELEVATION REQUIREMENTS  
OVER 35 FEET REQUIRES FIRE DEPARTMENT APPROVAL

ACCESSORY STRUCTURES: SEE SECTION 1002

PARKING REQUIREMENTS:  
CENTRAL BUSINESS DISTRICT (C-1): NO OFF-STREET PARKING REQUIRED

SIGNAGE: REFER TO SECTION 904

THE BUILDING WILL NOT EXTEND BEYOND THE PROPERTY LINE OR REQUIRED SETBACKS DURING THE RENOVATION

OCCUPANCY: ASSEMBLY GROUP A2  
TYPE OF CONSTRUCTION: TYPE III-B (SPRINKLERED)

EXISTING 1ST FLOOR 5452 SF  
EXISTING 2ND FLOOR 4584 SF (5208 SF WITH BALCONY INCLUDED)  
NEW 3RD FLOOR ROOF DECK 2919 SF 1435 SF (CONDITIONED) 1484 (UNCONDITIONED DECK)  
TOTAL = 13579

BUILDING HEIGHTS AND AREA: PER IBC	ALLOWED	PROPOSED
HEIGHT:	75' IBC 50' ZONING	44'
STORIES:	3	3
BUILDING AREA:	28,500 SF	5454 MAX FLOOR AREA SF

PLUMBING REQUIREMENT: 1500 SF / 15 + 15 BAR SEATS = OCCUPANT LOAD OF 115		
# REQUIRED RESTAURANT	WATERCLOSET 1 PER 75	LAVATORY 1 PER 200
	2	1
# REQUIRED BAR	DRINKING FOUNTAIN 1 PER 500	SERVICE SINK
	1	1
# REQUIRED BAR	WATERCLOSET 1 PER 40	LAVATORY 1 PER 75
	3	2
# REQUIRED BAR	DRINKING FOUNTAIN 1 PER 500	SERVICE SINK
	1	1

INSULATION REQUIREMENTS PER IECC 2018 CLIMATE ZONE 2

ROOF- ABOVE DECK	R-25 ci
ATTIC	R-38
WALL MASS WALL	R-5.7 ci
METAL FRAMED	R-13 + R-5 ci
WOOD FRAMED	R-13

ALBERT ARCHITECTURE

Albert Architecture & Urban Design applic  
2739 Conti Street  
New Orleans, LA 70119  
504.827.0056

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200 NORTH BEACH BOULEVARD - ROOFTOP BAR

200 N BEACH BLVD, BAY ST LOUIS, MS 39520

2423

PRELIMINARY  
NOT FOR CONSTRUCTION

Drawn by: JD  
Checked by: LR

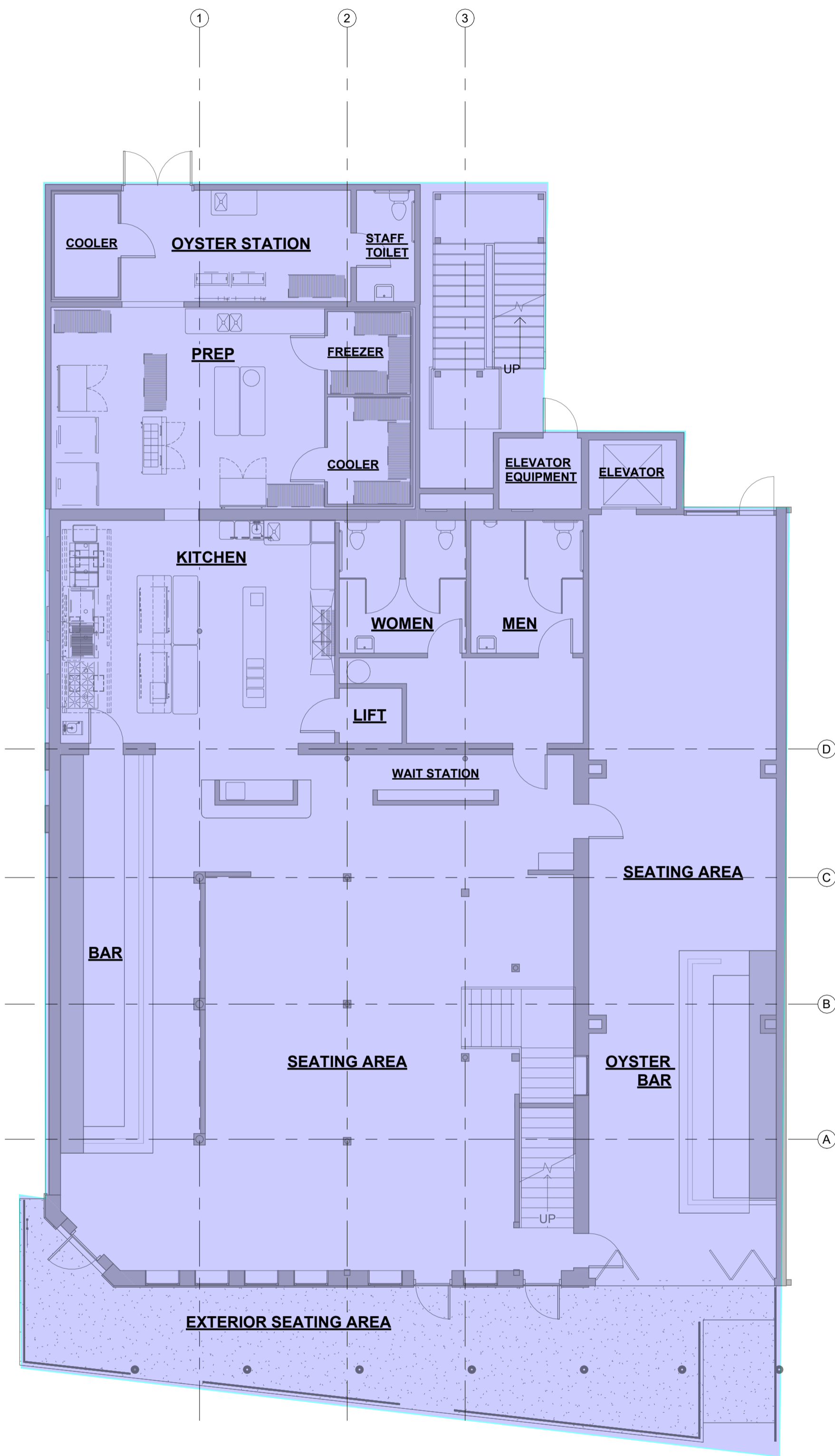
11-22-24 SD  
12-3-24 Certificate of Appropriateness

A0.2

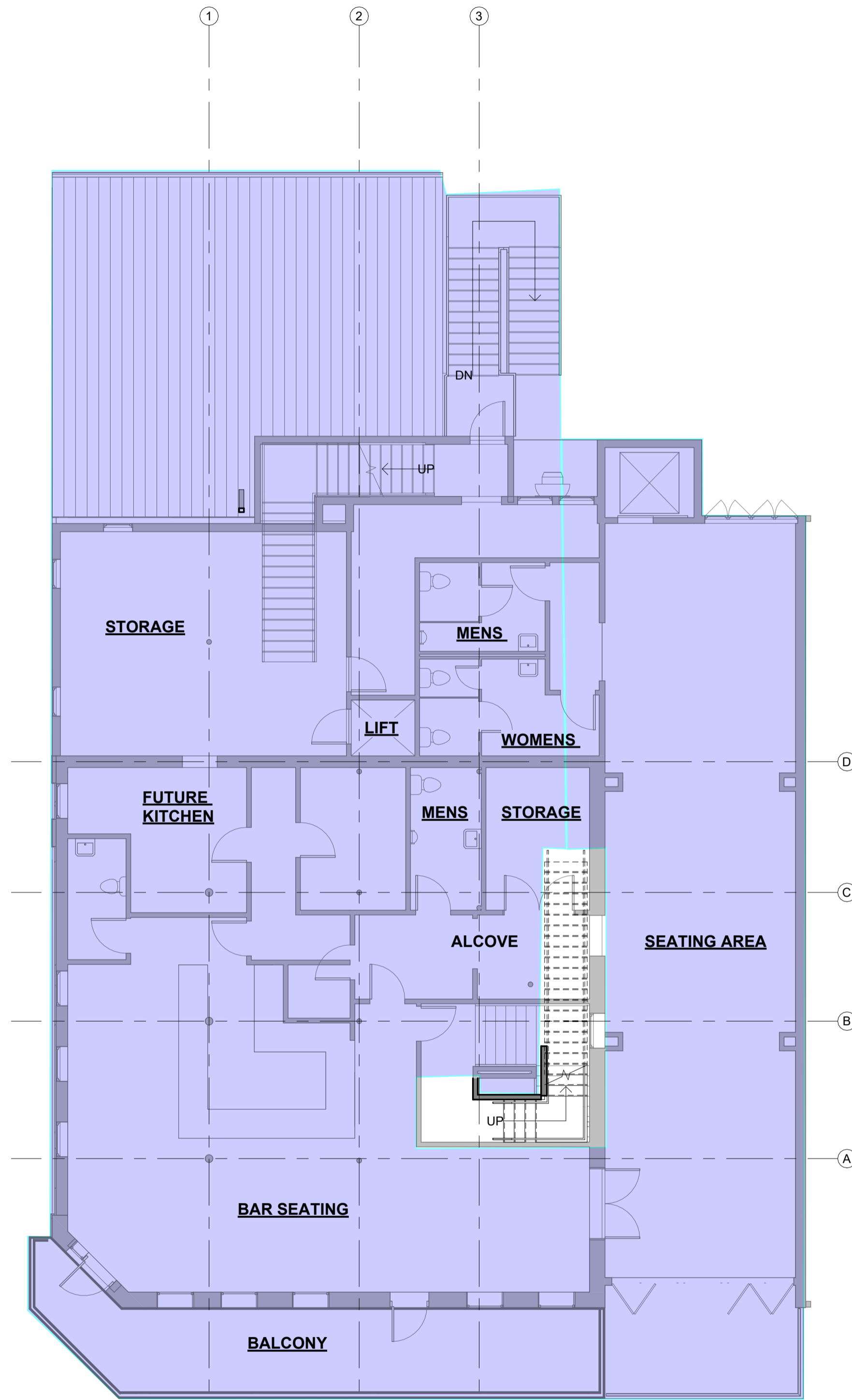
PROJECT INFO AND SITE PLAN



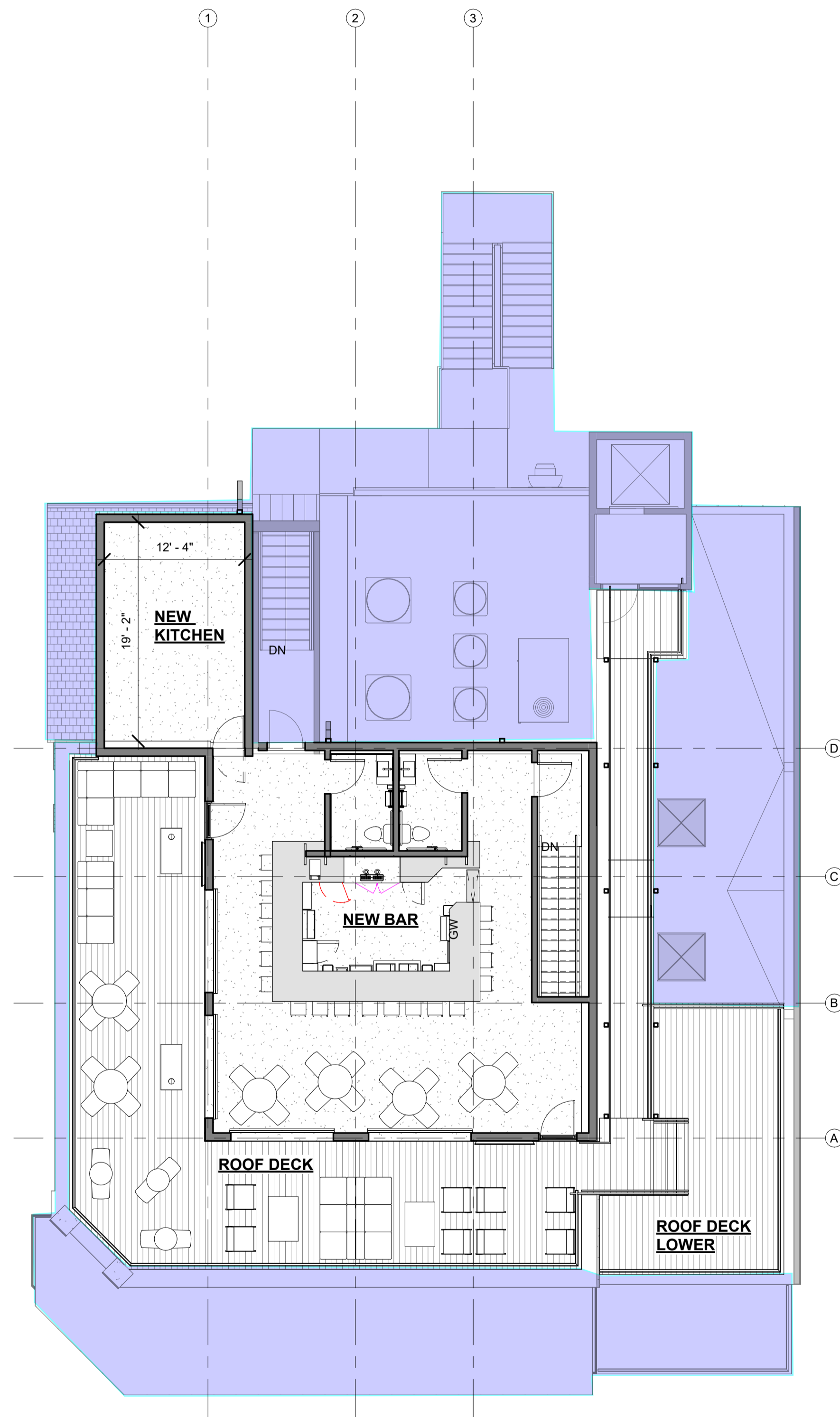
EXISTING TO REMAIN



1  
A1.2  
1ST FLOOR  
1/8" = 1'-0"



2  
A1.2  
2ND FLOOR  
1/8" = 1'-0"



3  
A1.2  
ROOF DECK  
1/8" = 1'-0"

200 NORTH BEACH  
BOULEVARD -  
ROOFTOP BAR

200 N BEACH BLVD, BAY ST  
LOUIS, MS 39520

2423

PRELIMINARY  
NOT FOR CONSTRUCTION

12-20-24  
DESIGN DEVELOPMENT

Drawn by: JD  
Checked by: LR

11-22-24 SD  
12-20-24 DD  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

A1.2

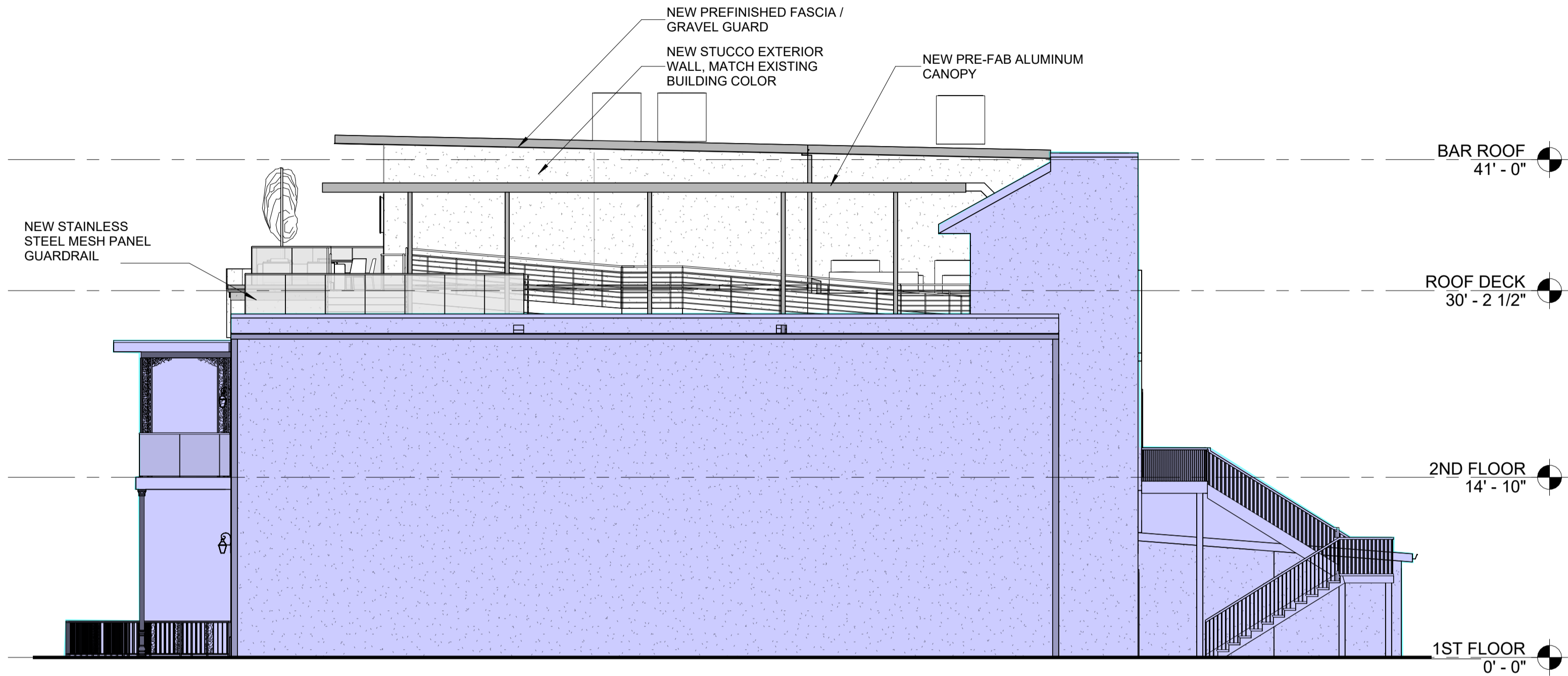
FLOOR PLANS  
OVERALL



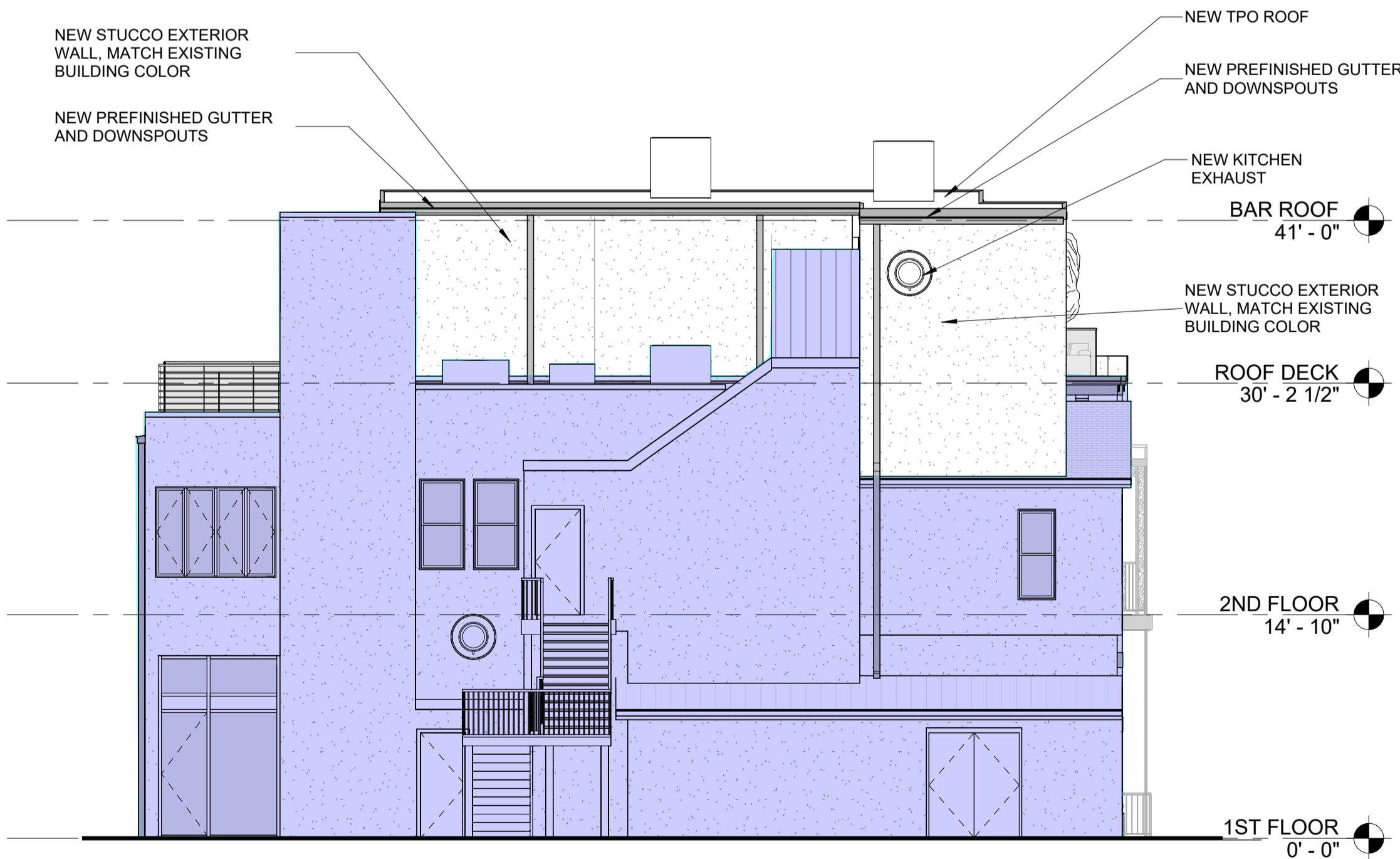
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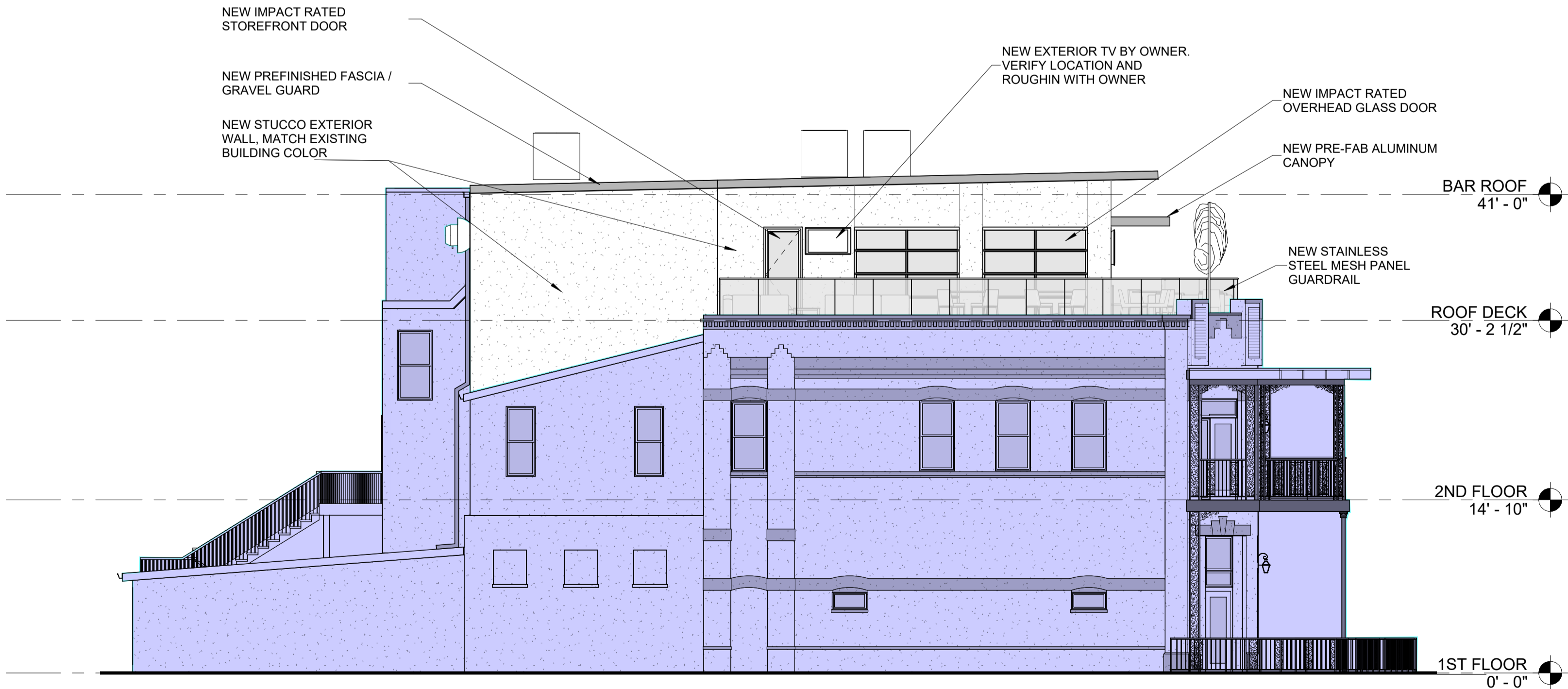
1 N BEACH BLVD ELEVATION  
A2.1 1/8" = 1'-0"



2 INTERIOR SIDE ELEVATION  
A2.1 1/8" = 1'-0"



3 REAR ELEVATION  
A2.1 1/8" = 1'-0"



4 STATE ST ELEVATION  
A2.1 1/8" = 1'-0"

200 NORTH BEACH  
BOULEVARD -  
ROOFTOP BAR

200 N BEACH BLVD, BAY ST  
LOUIS, MS 39520

2423

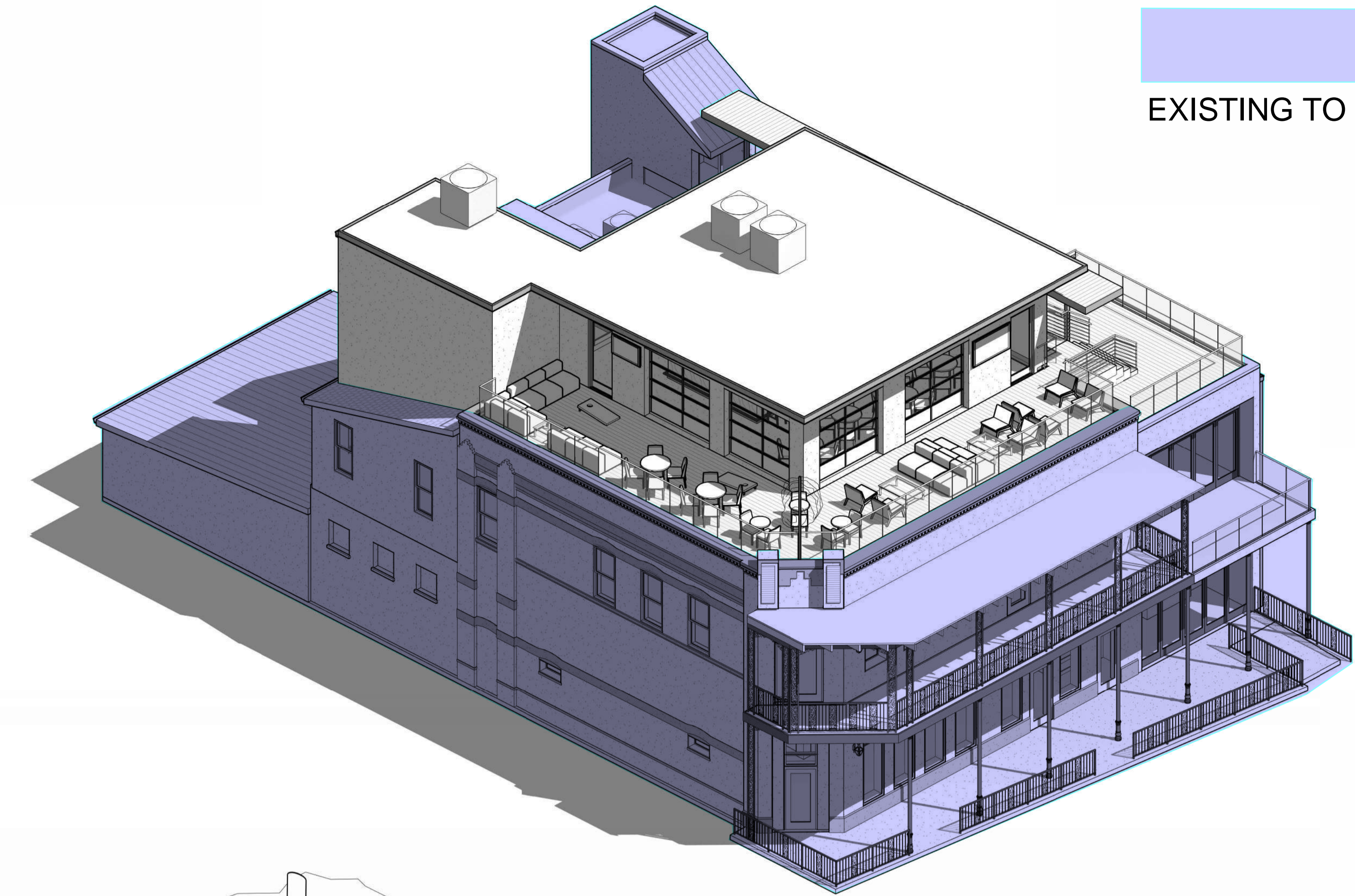
PRELIMINARY  
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Checked by: LR

11-22-24 SD  
12-3-24 Certificate of Appropriateness

A2.1

EXTERIOR  
ELEVATIONS OVERALL



EXISTING TO REMAIN

ALBERT  
ARCHITECTURE

Albert Architecture & Urban Design applc  
2739 Conti Street  
New Orleans, LA 70119  
504.827.0056

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200 NORTH BEACH  
BOULEVARD -  
ROOFTOP BAR

200 N BEACH BLVD, BAY ST  
LOUIS, MS 39520

2423

PRELIMINARY  
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Drawn by: JD  
Checked by: LR

11-22-24 SD  
12-3-24 Certificate of Appropriateness

A9.1

3D VIEWS