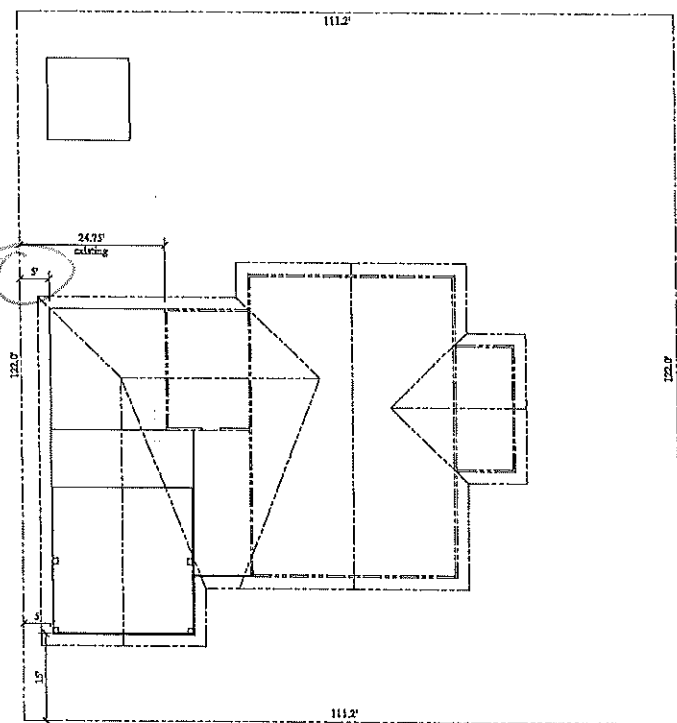
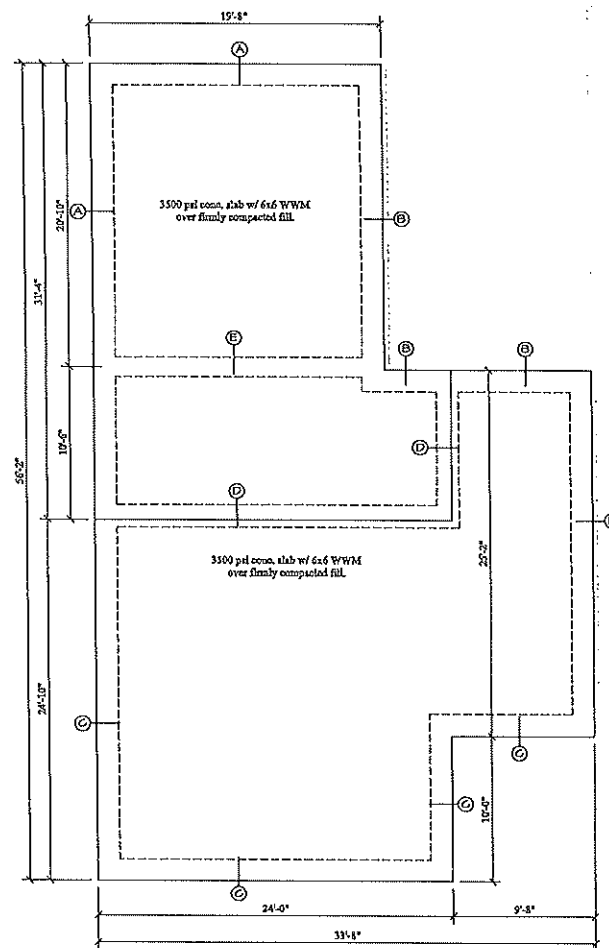




ST. JOHN ST.

PLOT PLAN
1"=10'

S. TOULINE ST.



FOUNDATION PLAN
1/4"=1'-0"

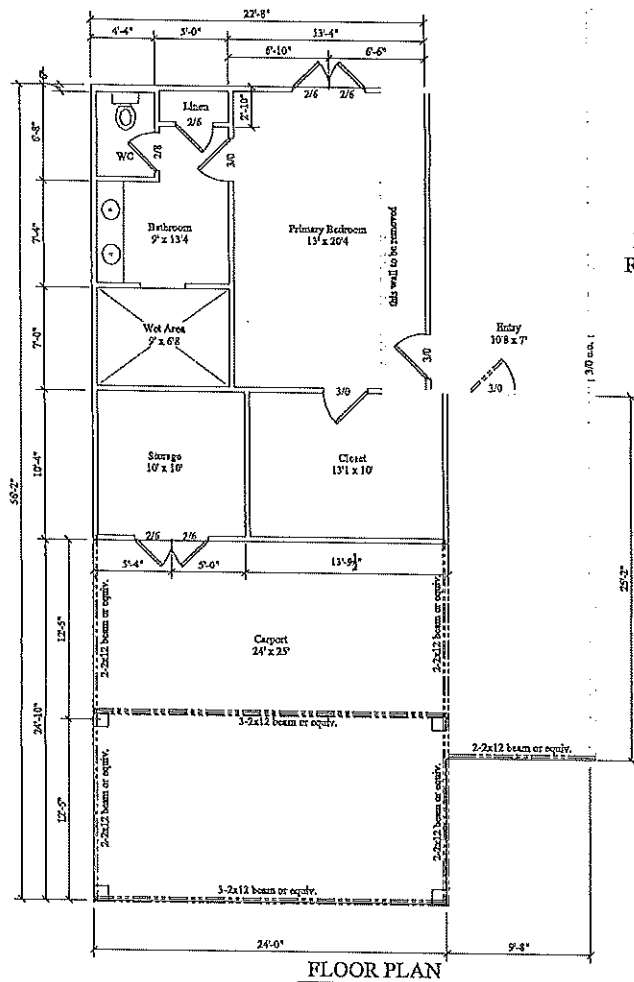
EXISTING RESIDENCE

- NOTES:
- City stamped approved plans are required to be on site for all inspections.
 - Proof of termite treatment is required at footing inspection.
 - Spot locations for all engineered/manufactured materials/members including spans, loads, layouts, fastening details (130 mph), etc. (beams, joists, trusses, impact windows, garage doors, metal roof, etc)
 - Contractors shall be responsible for maintaining proper drainage, property cleanup including street on daily basis and fill (soils properly installed) where necessary. Must have HARD SURFACE CONSTRUCTION ENTRANCES.
 - All equipment/platforms must have proper work clearance. (R3405 and R3135.1 of 2018 IRC)

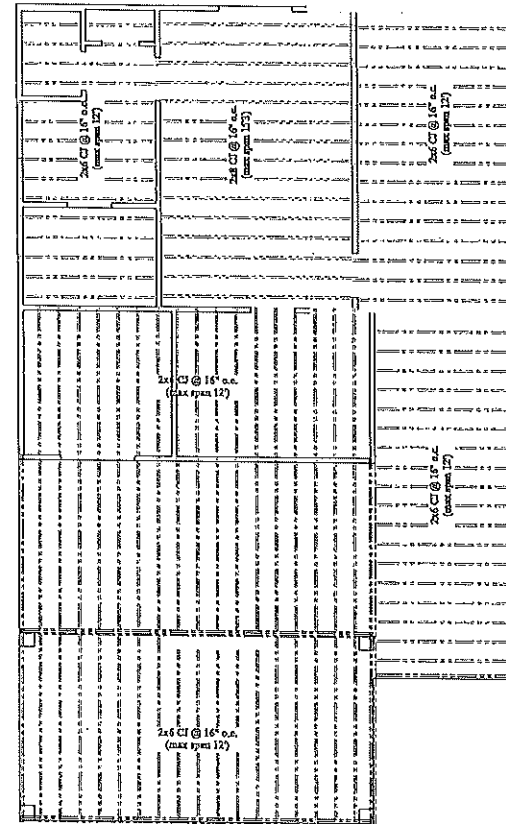
NOTES:

- Anchor bolts (5/8" (3)) shall be embedded at least 7" and spaced not further than 12" from plate ends or corners and not more than 24" on center. Bolts shall have gals. or zinc coated washers (3"x3"x1/4")
- All exterior footings must be 12" into undisturbed natural soil.
- Shave all copper lines under ground through foundation.
- All structural steel must be properly placed, spaced, supported and inspected before pouring concrete, including anchor bolts/wrap, wire mesh etc.
- Filing affidavit is required, verifying all piling sizes and depth.

The Residence Of:		Date:	25 Aug 2024	Accepted
Andy Parker		By:		Item # 2
108 S. Touline St.		Surveyor:		
Bay St. Louis, MS 39520		City:		
Job Number:	24 pucker	PLOT PLAN AND FOUNDATION		
Job:	1/4"=1'-0"			



Existing
Residence



Existing
Residence

NOTES:

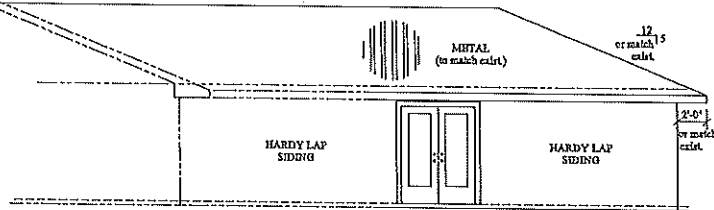
1. All plumbing walls must be sized according to penetrations.
2. All plumbing fixtures shall have access to valves to any slip joints.
3. Rise on steps must not exceed 7 and 3/4 inches.
4. Attic access must be at least 22" by 30" rough opening.
5. Crawl space shall have minimum access of 18" by 24" clear opening.
6. Equipment in attic must be within 20' of access.
7. Must have clear walkway of 24" wide and have 30" on the service of all equipment including hot water heater.
8. Bathrooms with mechanical means of ventilation must be vented to the exterior.
9. Motors to whirlpool tubs must be accessible.
10. Windows and doors must be minimum 21" from corners on an 8' wall and 34" on a 10' wall.
11. Roof bracing must be done to a load bearing wall.
12. A copy of all truss engineering must be submitted to inspectors office, this includes installation instructions.
13. Guardrail required if more than 30" above grade.
14. Treated materials are required below BFE.
15. Unless otherwise approved in advance, all garage door headers with a minimum span of 16' must be 3.5" by 11" laminated beam or its equivalent. Double 2" by 12" will not be accepted.
16. Interior load bearing walls must be properly anchored.
17. Sleeve copper lines under ground through out foundation.
18. Window size requirements for emergency means of egress includes minimum 24" in height and 21" in clear width when in the open position. Minimum 5 sq. ft. at grade level and 5.7 sq. ft. above grade.
19. 8% of each habitable room floor space for light and vent required.
20. Plywood roof sheathing must not be less than 2" in width.
21. Ridge vents shall not run within 4' of ridge end unless manufacturer states otherwise.
22. Connectors to meet galvanized requirement as per Code. (Z-max Or equivalent)

- NOTES:
1. City stamped approved plans are required to be on site for all inspections.
 2. Proof of termite treatment is required at footing inspection.
 3. Specifications for all engineered/manufactured materials/members including spans, loads, layouts, fastening details (150 mph), etc. (beams, joists, trusses, impact windows, garage doors, metal roof, etc)
 4. Contractors shall be responsible for maintaining proper drainage, property cleanup including street on daily basis and site fence (property installation) where necessary. Must have HARD SURFACE CONSTRUCTION ENTRANCE.
 5. All equipment platforms must/shall have proper work clearance. (R3405 and M1505.1 of 2018 IRC)

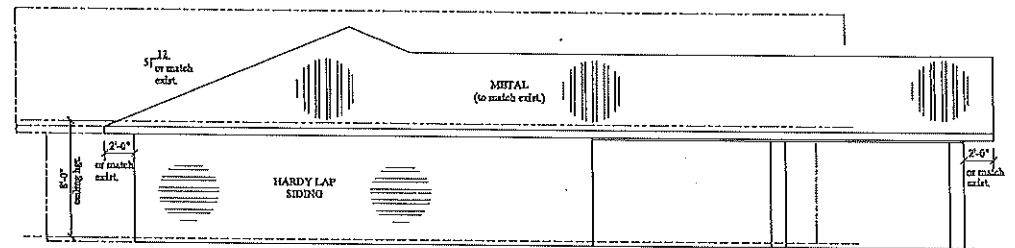
The Residence Of:			
Andy Parker			
108 S. Toulme St.			
Bay St. Louis, MS 39520			
SA Number	24 packer	FLOOR PLAN AND CEILING JOIST	Date: 25 Apr 2022
Scale	1/4" = 1'-0"		Drawn by: [blank] Check by: [blank]

Item # 2.

Standing Seam Roof

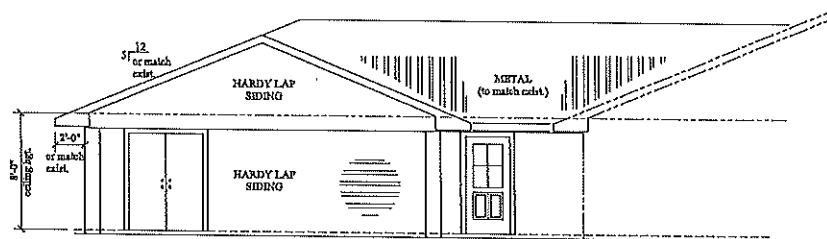


RIGHT SIDE ELEVATION
(PARTIAL VIEW)



REAR ELEVATION

Board & Batten Hardie in new gable only

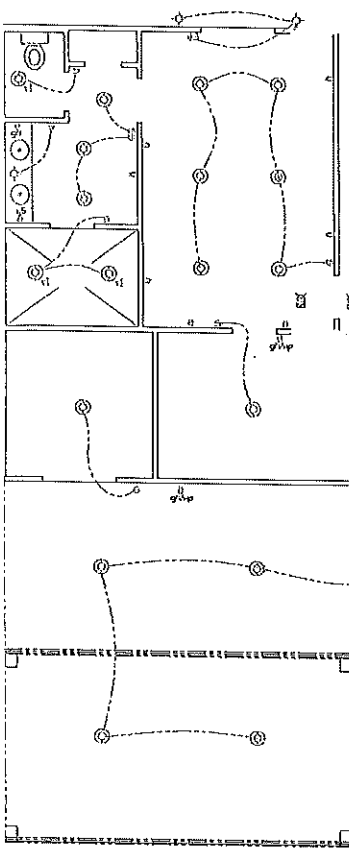


LEFT SIDE ELEVATION
(PARTIAL VIEW)

- NOTES:
1. City stamped approved plans are required to be on site for all inspections.
 2. Proof of termite treatment is required at footing inspection.
 3. Specifications for all engineered/manufactured materials/members including spans, loads, layers, fastening details (130 mph), etc. (beams, joists, trusses, impact windows, garage doors, metal roof, etc).
 4. Contractors shall be responsible for maintaining proper drainage, property cleanup including street on daily basis and all fences (property located) where necessary. Must have HARD SURFACE CONSTRUCTION ENTRANCE.
 5. All equipment platforms must/shall have proper work clearance. (R1405 and M1305.1 of 2018 IRC)

The Residence Of			
Andy Parker			
108 S. Toulme St.			
Bay St. Louis, MS 39520			
24 sheets	24 pages	date	25 Apr 2022
ELEVATIONS		drawn by	01
		scale	1/4"=1'-0"
		check by	

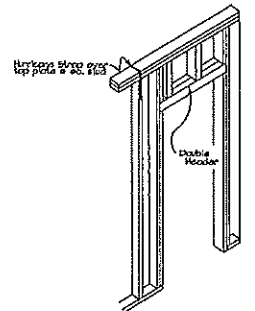
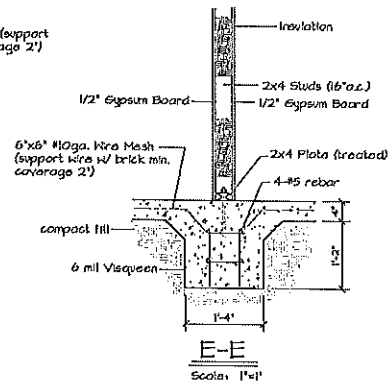
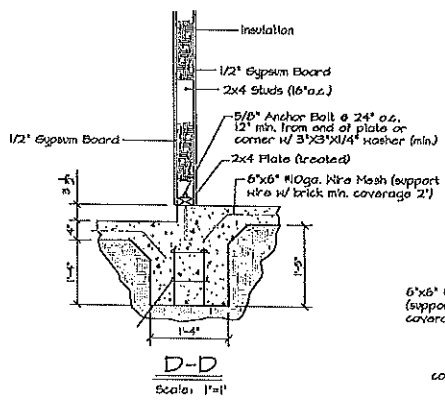
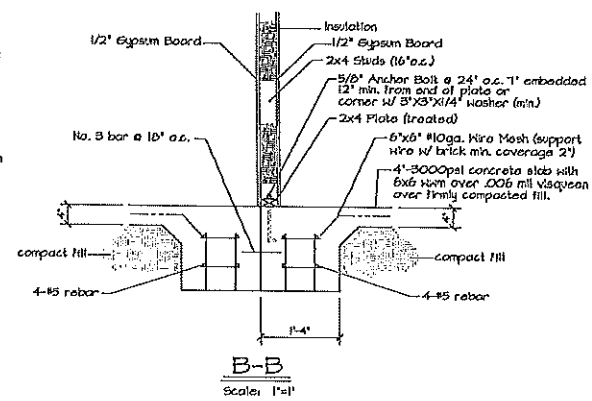
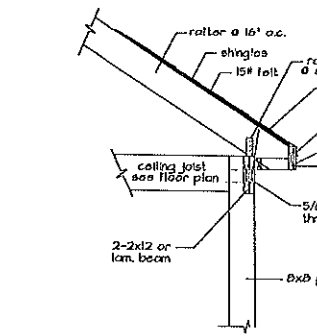
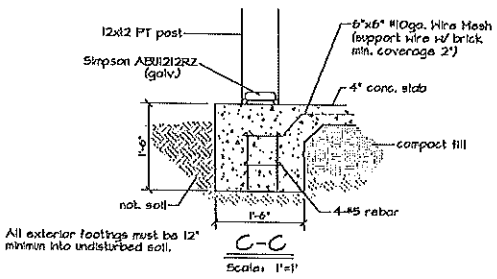
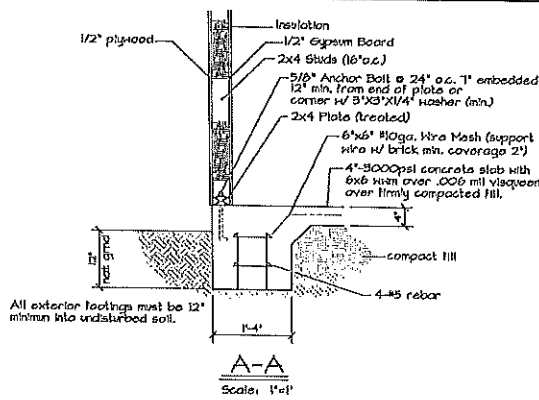
Item # 2.



ELECTRICAL PLAN

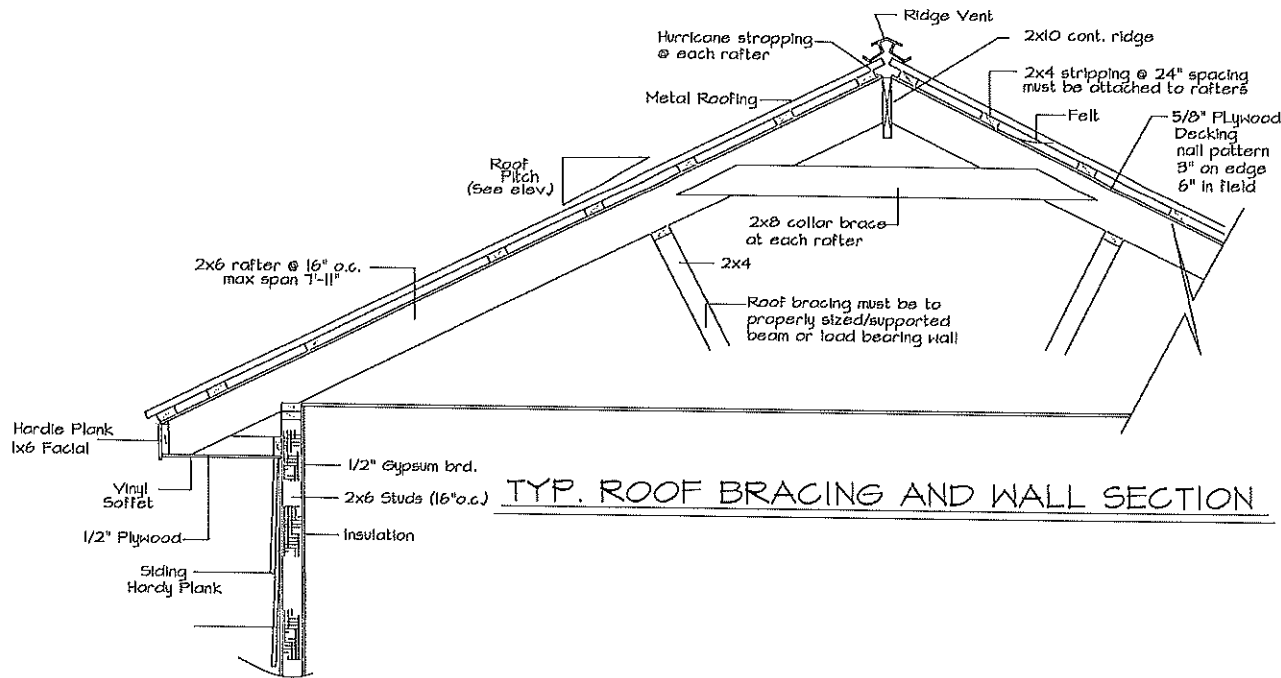
Electrical Notes:
 1. Wiring below BFR must be for wet location.
 2. Disconnects below the BFR. Meter can only.
 3. 125V 1500 amp service serving bedrooms must be arc fault protected including BFR.
 4. Receptacles must comply with Sec E4002.14 of 2018 IRC (per resident).
 5. Receptacles must be below BFR, main disconnect must be directly over, (inside/outside).
 6. Receptacles serving kitchen counters must be GFI and arc fault according to Sec. E4002.4 of 2018 IRC.
 7. All electrical conduits shall have a GFI receptacle per E4001.4.2 and E4001.4.3 of 2018 IRC.
 8. Smoke detectors required per Sec R314 of 2018 IRC.

Sym.	Description
Light Fixture	
Vent/Light	
Recessed Light	
Wall Mount Light	
Fluorescent Light	
Exterior Flood Light	
110 outlet	
220 outlet	
110 outlet/ground fault	
110 outlet/GFI/waterproof	
Switch	
Wiring	
Smoke Detector	
Doorbell	
Television Outlet	
Telephone Outlet	
Ceiling Fan	

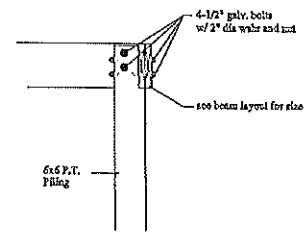


- NOTES:**
 1. City stamped approved plans are required to be on site for all inspections.
 2. Proof of termite treatment is required at footing inspections.
 3. Specifications for all engineered/manufactured materials/accessories including space, loads, layouts, fastening details (130 mph), etc. (beams, joists, trusses, trusslet windows, garage doors, metal roof, etc.)
 4. Contractors shall be responsible for establishing proper drainage, property cleanup including street on daily basis and site fence (properly installed) where necessary. Must have HARD SURFACE CONSTRUCTION.
 5. All equipment platforms must have proper work clearance. (R1405 and M1305.1 of 2018 IRC)

The Residence CD			
Andy Parker 108 S. Toulaine St. Bay St. Louis, MS 39520			
Job Number	24 packer	Electrical AND DETAILS	Rev. 25 Aug 2024
Scale	1/4"=1'-0"	Drawn by	Check by
			Item # 2

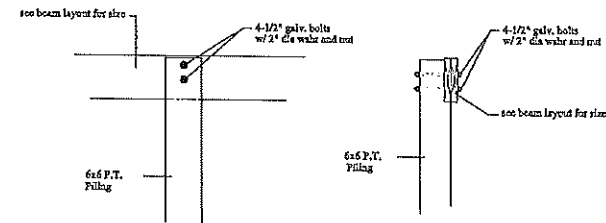


TYP. ROOF BRACING AND WALL SECTION



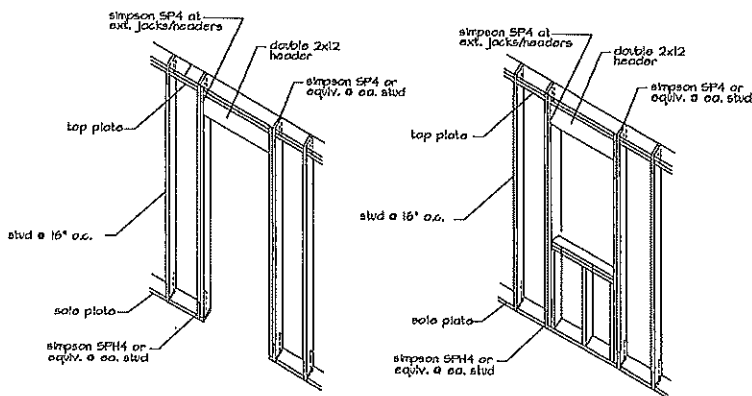
Piling/Beam Connection (Corner)

Scale: none
(mechanical)



Piling/Beam Connection

Scale: none
(mechanical)



Door Opening Detail
NTS

Window Opening Detail
NTS

- NOTES:
1. City stamped approved plans are required to be on site for all inspections.
 2. Proof of termite treatment is required at footing inspection.
 3. Specifications for all engineered/manufactured materials/members including spans, loads, layouts, fastening details (110 mph), etc. (beams, joists, trusses, lap-let windows, garage doors, metal roof, etc.)
 4. Contractors shall be responsible for maintaining proper drainage, property cleanup including street on daily basis and site fence (properly installed) where necessary. Must have HARD SURFACE CONSTRUCTION ENTRANCE.
 5. All equipment platforms must/shall have proper work clearance, (23405 and M1105.1 of 2018 IRC)

The Residence Of			
Andy Parker			
108 S. Toulme St.			
Bay St. Louis, MS 39520			
Job Number	24 packer	Date	25 Aug 2022
DETAILS		Drawn by:	
		Check by:	
		Scale	1/4"=1'-0"
			Sheet 5

Item # 2.