

APPLICATION FOR SPECIAL EXCEPTION TO THE ZONING ORDINANCE

Please complete this form in its entirety; failure to do so may cause a delay in the submittal of your application to the Planning and Zoning Commission.

The following information is required before this application will be submitted to the Planning and Zoning Commission for consideration.

OWNER: Celina LeBlanc

ADDRESS: 411 Ballentine St.

Bay Saint Louis ms 39520

PHONE: (228) 493 7874

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE

1. Legal description of property to be considered for variance as described in the Hancock County tax rolls:

All 49, 50 & PT 48 & 51 Ballentine

2. Parcel number(s) as described in the Hancock County tax rolls:

1375-0-44-270.000

3. Present Zoning: R-2

4. Present use of building/property: Building

5. Application fee of ²⁵⁰~~\$100~~ (Residential): Rec# 00512051

²⁵⁰~~\$200~~ (Commercial):

Please submit the following documentation with your application:

Article XIII

1303 APPEALS, HEARING AND NOTICE

Every appeal or application shall refer to the specific provision of the ordinance involved and shall set forth the interpretation that is claimed, the use for which a special exception is sought, or the details of the variance that is applied for and the case may be, and accompanied by a plat or plan, drawn to scale, showing the actual dimensions of the parcel of land to be built upon and used, the size of any building to be erected, and the location of the building upon the lot, the materials to be used and other such information as may be deemed necessary to provide full information regarding intended use. The Municipal Clerk shall forthwith transmit the appeal or application to the Commission together with all papers constituting the record upon which the action appealed from was taken.

1305.2 SPECIAL EXCEPTIONS

A special exception shall not be recommended unless:

1. The special exception shall be oriented and landscaped to produce a harmonious relationship of buildings and grounds to adjacent buildings and properties.
2. The special exception shall produce a total visual impression and environment which is consistent with the environment of the neighborhood.
3. The proposed use will not be detrimental to the use or development of adjacent properties or other neighborhood uses.
4. The proposed use will not be affected adversely by the existing uses.
5. The proposed use will be placed on a lot of sufficient size to satisfy the space requirements of said use.
6. The proposed use will not constitute a nuisance or hazard because of the number of persons who will attend or use such facility, vehicular movement, noise, or fume generation or type of physical activity.
7. Utilities and fire protection services with reference to the location and the use shall be available and adequate.

1. The use for which a Special Exception is sought Accessory dwelling
on parcel over 15,000 square feet
2. Grounds upon which it is claimed that the Special Exception shall be granted:
1-7
3. A plat or plan, drawn to scale, showing the actual dimensions of the parcel of land to be built upon.
5. Size of building to be erected, and the location of the building upon the lot.
6. Materials to be used (Exterior Finish) and other such information as may be deemed necessary to provide full information regarding intended use.
7. Is the property in question in a sub-division? _____

8. If the property in question is within a sub-division, is there an existing covenant running with the land? _____

9. If the answer to question 8 is yes, please state the book and page numbers where the stated restrictive covenants are filed in the Chancery Clerks Office of Hancock County. Book Number _____ Page Number _____

It is warranted in good faith by the owner whose name is signed hereto that all of the above facts are true and correct.

Celima A. Blare
Applicant's Signature

9-3-24
Date

FOR OFFICE USE ONLY

Date of Application received: _____

137J-0-44-270.000**Parcel Number:** 137J-0-44-270.000**Owner Name:** LEBLANC CELINA M**Owner Address:** 411 BALLENTINE ST**Owner City, State ZIP:** BAY ST LOUIS,
MS 39520**Physical Address:** 411 BALLENTINE ST**Improvement Type:** RES**Year Built:** 1926**Base Area:** 1095**Adjusted Area:** 1231**Actual Total Value:** 99379**Taxable Total Value:** 0**Estimated Tax:** 856.19**Homestead Exemption:** Yes**Deed Book:** 2011**Deed Page:** 6440**Legal Description 1:** ALL 49,50 &
PT48&51 BALLENTINE**Legal Description 2:****Legal Description 3:****Legal Description 4:****Legal Description 5:****Legal Description 6:****Longitude:** 0**Latitude:** 0**Square Footage:** 17014.77

Celina LeBlanc

From: Celina Le blanc (cmleblanc26@yahoo.com)

To: jburke@baystlouis-ms.gov

Date: Tuesday, July 2, 2024 at 12:25 PM CDT

To whom this may concern:

My Name is Celina LeBlanc, I reside at and own the property at 411 Ballentine Street in Bay Saint Louis. I am reapplying asking for permission to construct an accessory dwelling of 384 square feet, on the parcel that is over 15,000 square feet, with enough room for parking. The location of the accessory dwelling is positioned to not destroy any oak or pecan trees. The cost is prohibitive to enlarge the two bedroom and one bathroom home we reside in. At this time an accessory dwelling is the only financial option we have to accommodate my family. I have no intent to ever sell the property nor to rent out any structure on the property. The sole purpose is to help my family live comfortably. I am asking to please reconsider your decision. I also have support from surrounding neighbors and can provide signatures.

Sincerely,

Celina LeBlanc

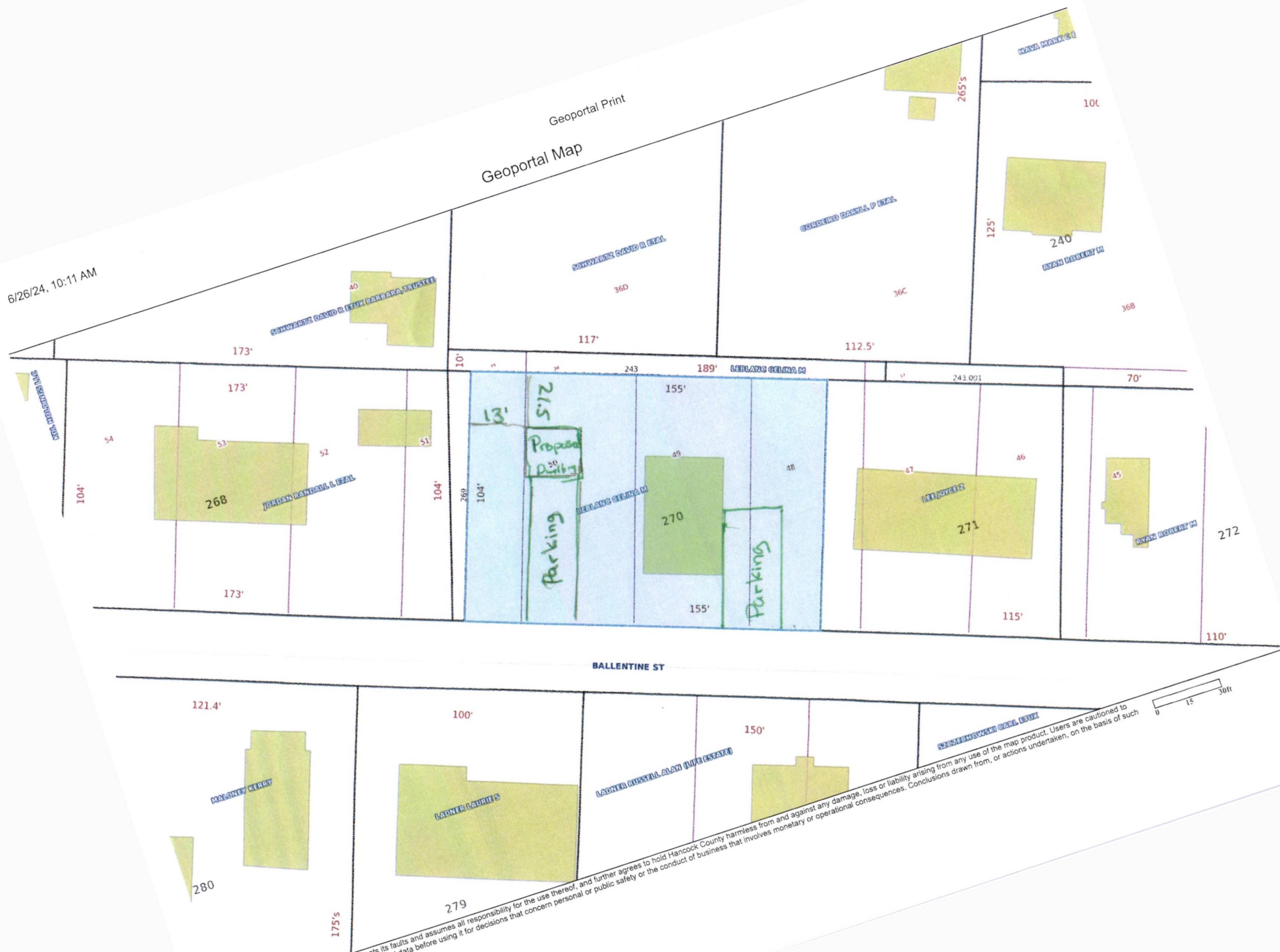
My Name Is Celina LeBlanc, I reside at and own the property at 411 Ballentine Street in Bay Saint Louis. I am reapplying asking for permission to construct an accessory dwelling of 384 square feet, on the parcel that is over 15,000 square feet, with enough room for parking. The location of the accessory dwelling is positioned to not destroy any oak or pecan trees. The cost is prohibitive to enlarge the two bedroom and one bath home we reside in. At this time an accessory dwelling is the only financial option we have to accommodate my family. I have no intent to ever sell the property nor to rent out any structure on the property. The sole purpose is to help my family live comfortably.

I am asking the residents of Ballentine Street for their support on the approval of this dwelling.

Russell A. Lachar	408 Ballentine St
Margbeth Alexander	402 Ballentine St
Tracy Higgins	405 Ballent St
Marilyn Higgins	401 Ballentine St.
Dwain Oketta	325 Ballentine St.
Gregory Kelly	306 Ballentine St.
Kerry Meloy	416 Ballentine St
Pamela Bermoud	422 Ballentine St.
[Signature]	444 Ballentine St.
Kay Barker	449 Ballentine St.
Lamin Lachar	414 Ballentine St
Ricky Bourgeois	244 St Charles
Nash Jordan	413 Ballentine St.

6/26/24, 10:11 AM

Geoportal Print
Geoportal Map



DISCLAIMER: Any user of this map product accepts its faults and assumes all responsibility for the use thereof, and further agrees to hold Hancock County harmless from and against any damage, loss or liability arising from any use of the map product. Users are cautioned to read carefully the provisional nature of the maps and data before using it for decisions that concern personal or public safety or the conduct of business that involves monetary or operational consequences. Conclusions drawn from, or actions undertaken, on the basis of such maps and data, are the sole responsibility of the user.

GENERAL NOTES:

1. STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE 2018.
2. ALL MATERIALS & LABOR SHALL BE IN ACCORDANCE WITH LOCAL CODES AT THE TIME OF MANUFACTURE.
3. DRAWINGS SHALL NOT BE SCALED FOR DIMENSIONS.
4. STRUCTURES ARE DESIGNED FOR LOCATIONS THAT HAVE A 3 SECOND WIND GUST OF 150 MPH (MAX). STRUCTURES SHOULD NOT BE USED IN OTHER LOCATIONS.
5. STRUCTURES ARE DESIGNED FOR LOCATIONS WITH A SURFACE ROUGHNESS CATEGORY B & A TOPOGRAPHICAL FACTOR OF 1.0. STRUCTURES SHOULD NOT BE USED IN OTHER LOCATIONS.
6. STRUCTURES SHOULD HAVE METAL ROOF OR OPTIONAL 25 YEAR RATED FIBERGLASS/ ASPHALT SHINGLES WITH 1 LAYER OF 15 LB ROOFING FELT.
7. ALL STUDS, RAFTERS, COLLAR TIES, & TRUSS CHORDS ARE SPF #2, U.N.O.
8. ALL EXTERIOR DIMENSIONAL WOOD IS TO BE PRESSURE TREATED.
9. ALL ROOF DECKING IS TO BE 7/16" O.S.B.
10. ALL SIDING IS TO BE 5/8 T-111 OR 3/8 SMART SIDING ON PAINTED BUILDING W/ 50 YR LTD MFG WARRANTY
11. ALL FLOOR JOISTS ARE TO BE P.T. SYP #2.
12. ALL EXTERIOR NAILS ARE TO BE HOT DIPPED GALVANIZED.
13. ALL INTERIOR FLOOR DECKING IS TO BE 5/8" PLYWOOD. EXTERIOR TO BE 5/4" P.T.
14. ALL SKIDS ARE TO BE 4x6 P.T. SYP, RATED FOR GROUND CONTACT.
15. THE STRUCTURE HAS BEEN DESIGNED TO RESIST LOADS AS A COMPLETED STRUCTURE ONLY. APPLICATION OF CONSTRUCTION LOADS TO THE PARTIALLY COMPLETED STRUCTURE SHALL BE CONSIDERED BY THE CONTRACTOR & INCLUDED IN THE DESIGN OF SHORING, BRACING, FORM WORK, & OTHER SUPPORTING ELEMENTS PROVIDED FOR CONSTRUCTION OF THE STRUCTURE.
16. NO FIELD SUPERVISION OR CONSTRUCTION ADMINISTRATION WILL BE PROVIDED BY THE ENGINEER.

DESIGN CRITERIA:

1. INTERNATIONAL BUILDING CODE 2018
2. **DEAD LOADS:**
FLOOR: 10 PSF
LOFT: 5 PSF
ROOF: 10 PSF
3. **WIND LOADS:**
BASIC WIND SPEED, V=150MPH
RISK CATEGORY=II
WIND EXPOSURE C
WIND LOAD IMPORTANCE FACTOR=1.0
4. **LIVE LOADS:**
FLOOR: 40 PSF
LOFT: 10 PSF
ROOF: 20 PSF (REDUCIBLE)
5. **SNOW LOADS:**
GROUND SNOW LOAD, PG=25PSF
FLAT ROOF SNOW LOAD, PF=20PSF
SNOW EXPOSURE FACTOR, CE=1.2
SNOW LOAD IMPORTANCE FACTOR, I=0.8
THERMAL FACTOR, CT=1.2
6. **SEISMIC LOADS:**
THIS STRUCTURE IS EXEMPT FROM SEISMIC DESIGN PER EXEMPTION 3 OF ASCE 7-10, SECTION 11.1.2

BUILDING SIZE:

8' WIDTH	14' WIDTH	18' WIDTH	24' WIDTH
8x12 8x16	14X20 14X24	18X20 18X24	24X20 24X24
10' WIDTH	16' WIDTH	20' WIDTH	40' WIDTH
10X12 10X16	14X28 14X32	18X28 18X32	24X28 24X32
10X24	14X40	18X40 18X45	24X40 24X50
12' WIDTH	16X20 16X24	18X50 18X60	24X60
12X16 12X20	16X28 16X32	20X20 20X24	40X20 40X24
12X24 12X28	16X40 16X50	20X28 20X32	40X28 40X32
12X32 12X40	16X60	20X40 20X50	40X40 40X50
		20X60	40X60

ITEMS BY OTHERS:

THE FOLLOWING ITEMS ARE NOT PROVIDED BY RAILROAD CONSULTANTS, PLLC & ARE TO BE DESIGNED BY OTHERS IF APPLICABLE & ARE TO BE SUPPLIED & INSTALLED BY OTHERS. THESE ITEMS MAY BE SUBJECT TO LOCAL JURISDICTION APPROVAL. RAILROAD CONSULTANTS, PLLC IS NOT RESPONSIBLE THESE ITEMS.

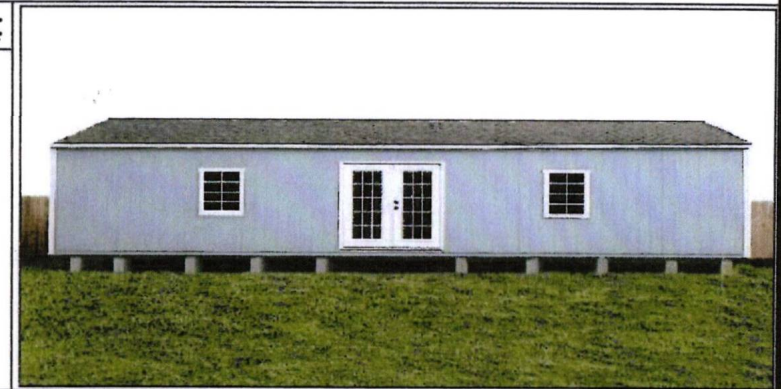
1. RAMPS, STAIRS, & GENERAL ACCESS.
2. ELECTRICAL SERVICE HOOKUP.

INDEX OF SHEETS:

- S-101 - COVER SHEET
- S-102 - FOUNDATION PLAN
- S-103 - UPLIFT ANCHORAGE
- S-104 - FLOOR PLAN
- S-105 - ROOF FRAMING PLAN
- S-106 - SECTIONS PLAN
- S-107 - ELEVATION PLAN
- S-108 - NAILING PATTERN
- S-109 - BUILD DETAIL 1
- S-110 - BUILD DETAIL 2

CODE CRITERIA:

THE CONTRACTOR/ MANUFACTURER SHALL COMPLY WITH THE FOLLOWING CODES & ALL APPLICABLE AMENDMENTS/ SUPPLEMENTS:
1. INTERNATIONAL BUILDING CODE 2018



DANIELS PORTABLE BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELS76@GMAIL.COM

DRAWN BY: TNT SCALE: NTS DATE: 04-14-2022

SHEET TITLE: COVER PAGE

DRAWING NUMBER:

S-101



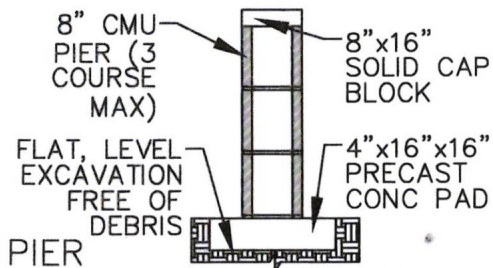
DAMMON

ENGINEERING, INC.

554 Old Spanish Trail Slidell, LA 70458 (985) 649-5832

Chief Engineer: Brian Mistich, PE
554 Old Spanish Trail
Slidell, LA 70458

www.dammonengineering.com
info@dammonengineering.com
PHONE: 985-649-5832



SCALE: 3/8"=1'-0"

DETAIL

OTHER NOTES

CONCRETE:

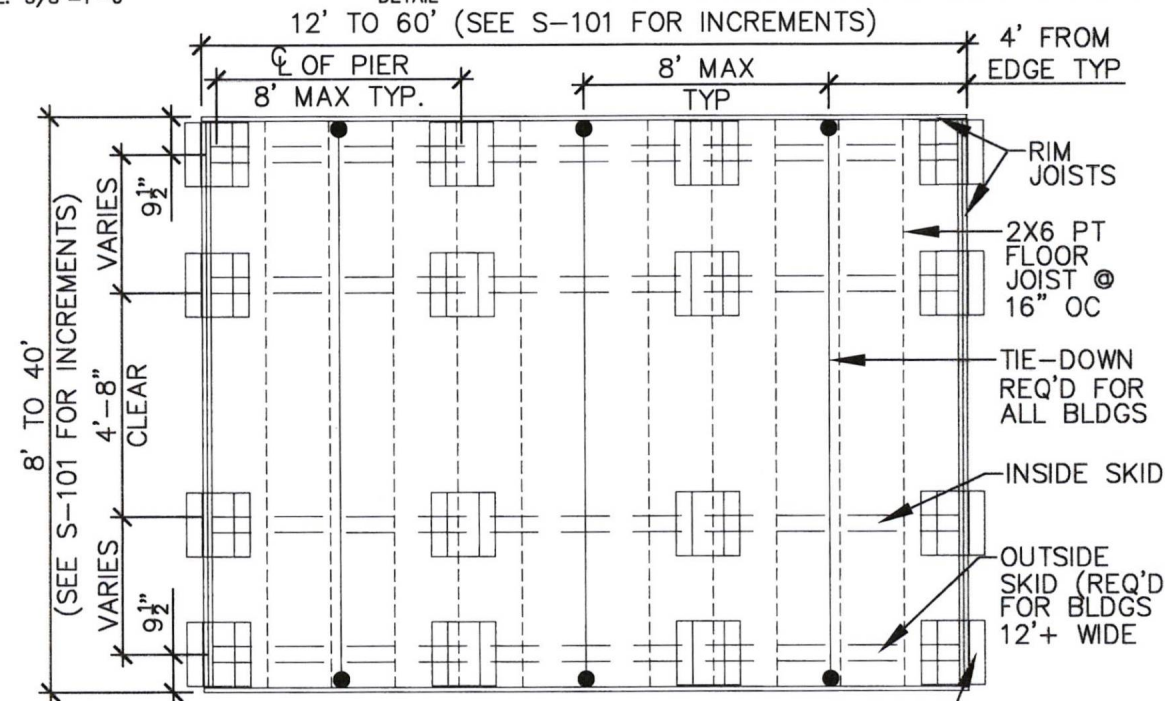
1. MATERIALS (COMPRESSIVE STRENGTH AT 28 DAYS)
FOOTINGS 3,000 PSI
FOOTINGS & EXTERIOR CONCRETE SHALL BE AIR-ENTRAINED.

MASONRY:

CMU-f'm=1,500 PSI
MORTAR-f'm=1,900 PSI
GROUT-f'm=3,500 PSI

FOUNDATION NOTES:

1. ANCHORS ARE SPECIFIED ON SHEET S-103 & SHALL BE INSTALLED PER MANUFACTURE'S RECOMMENDATIONS PER THE BUILDING CODE.
2. ANCHORS & STRAPS INCLUDING THE INSTALLATION SHALL MEET THE REQUIREMENTS OF APPENDIX E OF THE INTERNATIONAL RESIDENTIAL BUILDING CODE.
3. THE MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 2500 psf HAS BEEN ASSUMED FOR FOOTING DESIGN. CONTRACTOR TO HAVE THIS CAPACITY VERIFIED PRIOR TO CONSTRUCTION.
4. IF A MINIMUM ALLOWABLE SOIL BEARING CAPACITY OF 1500 psf IS USED, THEN THE PIER SPACING SHALL BE NO GREATER THAN 4'-0."
5. FOOTINGS SHALL BE CARRIED TO AN ELEVATION LOWER THAN THOSE SHOWN ON THE DRAWINGS IF REQUIRED TO REACH SUITABLE SOIL.
6. FOOTINGS SHALL BE PLACED ON SUITABLE SOIL THAT MEETS DESIGN ASSUMPTIONS.
7. FOUNDATION MATERIALS & LABOR IS PROVIDED BY CUSTOMER.
8. TIE DOWNS SHALL BE PLACED AT EACH OUTER PIER.
9. SHED IS DESIGNED TO ALSO BE PLACED ON FLAT, LEVEL GROUND DIRECTLY ON THE SKIDS.



MAX OF (3) 8"x8"x16" CMU TO INCREASE SHED HEIGHT. EACH PIER SHALL BEAR ON (1) 4"x16"x16" CONC PAD. MAX BUILD UP OF 24". MIN DIMENSIONS OF BEARING AREA IS 16"x16"
FOUNDATION PLAN



DANIELS PORTABLE BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELST6@GMAIL.COM

DRAWN BY: TNT SCALE: 1/4" = 1'-0" DATE: 04-14-2022

SHEET TITLE: FOUNDATION PLAN

DRAWING NUMBER:

S-102



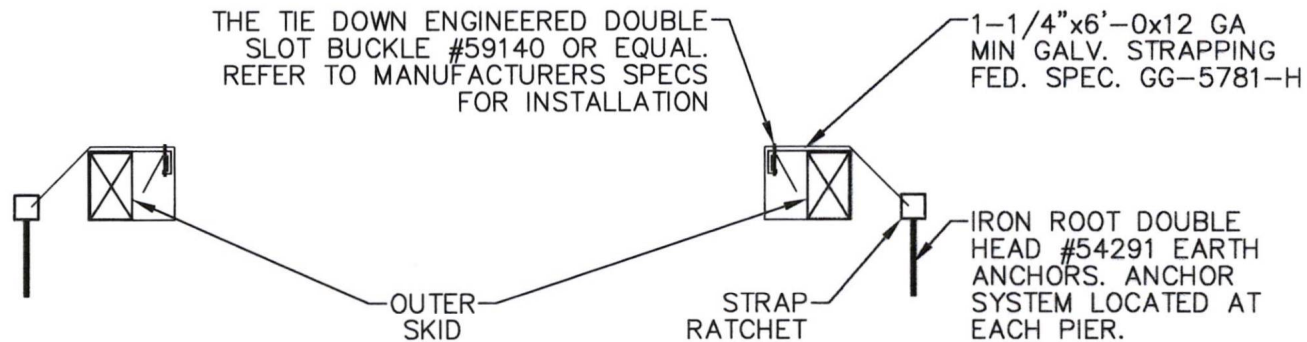
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ANCHOR DETAIL



DANIELS PORTABLE BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELST6@GMAIL.COM

DRAWN BY: TNT

SCALE: NTS

DATE: 04-14-2022

SHEET TITLE: ANCHOR DETAIL

DRAWING NUMBER:

S-103

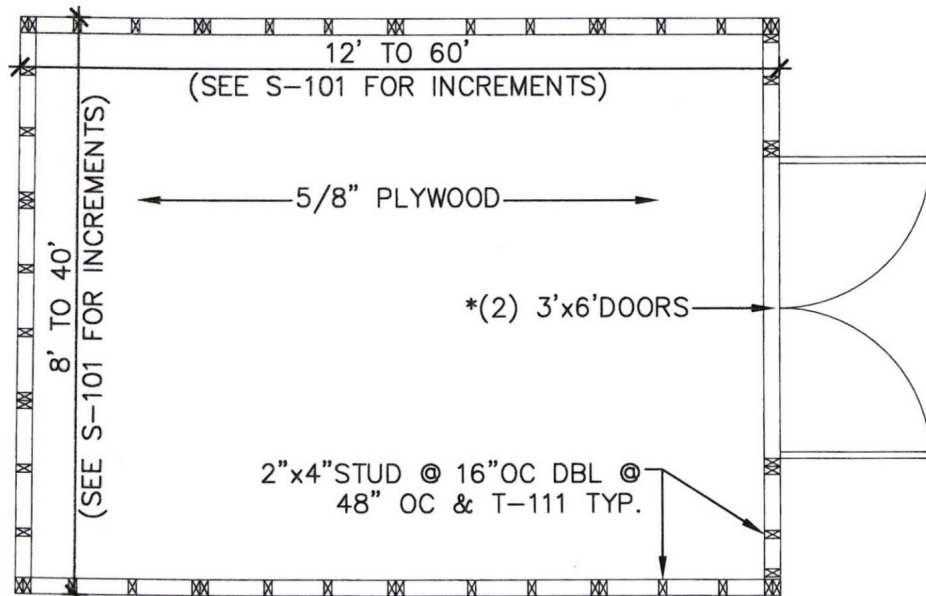


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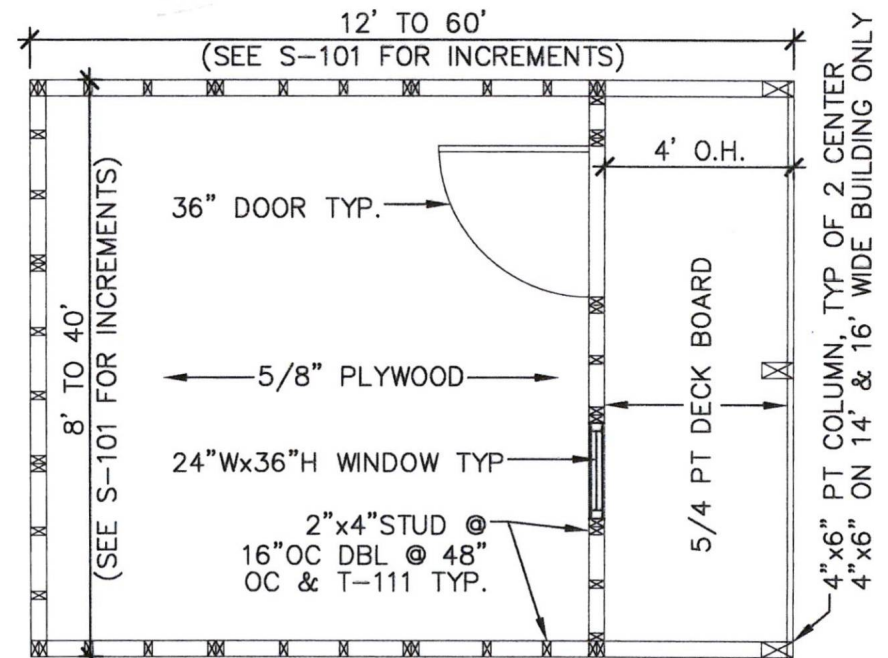
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FLOOR PLAN



FLOOR PLAN W/ PORCH

GENERAL NOTES

1. 2"x4" UPPER TOP PLATE W/ (2) 3x0.120Ø NAILS @ 16" O.C. TO 2"x4" LOWER TOP PLATE
2. DOOR IS CUSTOM BUILD. 6' WIDE ROLL-UP DOOR REPLACES (2) 3'x6' DOOR

FLOOR PLAN NOTES

1. INSTALL 5/8" FLOOR SHEATHING WITH LONG DIMENSION SPANNING JOISTS, STAGGER JOINTS.
2. FASTEN 5/8" FLOOR SHEATHING WITH 2" RING-SHANK NAILS @ 6" O.C.

COLUMN NOTES

1. USE METAL COLUMN CLIPS TOP AND BOTTOM TYPICAL
2. USE (4) #8x3" WOOD SCREWS EACH SIDE OF THE COLUMN TOP AND BOTTOM TO INSTALL THE COLUMN CLIPS
3. GLUE TOP PLATES TOGETHER WITH LIQUID NAIL (LN-903) CONTINUOUS ACROSS OVERHANG AND 36" MINIMUM INTO ENCLOSED SPACE
4. NAIL TOP PLATES TOGETHER WHERE GLUED WITH 2 ROWS OF 8d NAILS AT 6" OC
5. PROVIDE A 4x6 PT COLUMN SUPPORT FLUSH WITH THE TOP OF FLOOR JOISTS AND SPANNING THE ENTIRE FIRST FLOOR JOIST SPAN (NAIL WITH 8d NAILS ON ENDS AND ALONG THE SIDE)



DANIELS PORTABLE BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELST6@GMAIL.COM

DRAWN BY: TNT SCALE: 1/4" = 1'-0" DATE: 04-14-2022

SHEET TITLE: FLOOR PLAN PLAN

DRAWING NUMBER:

S-104

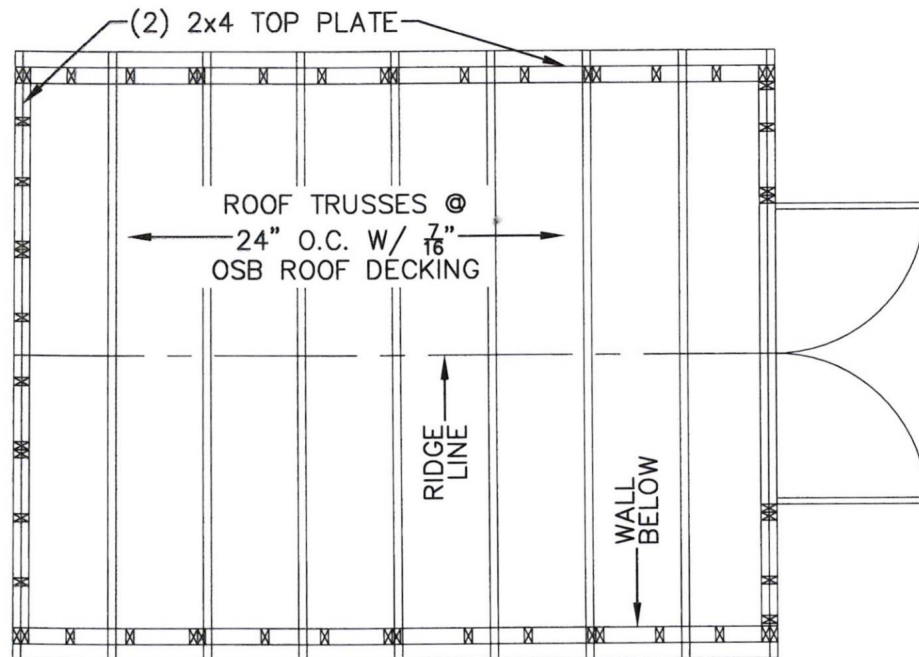


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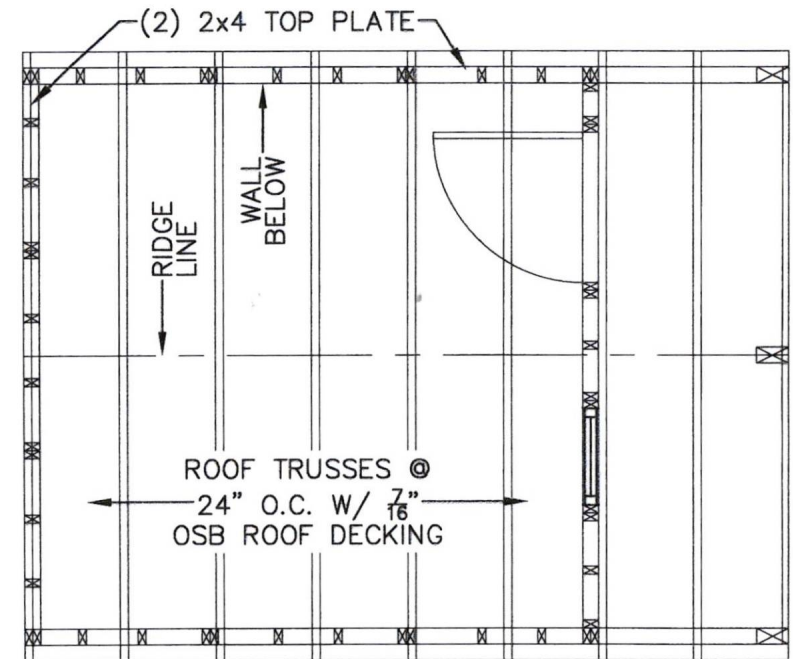
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ROOF FRAMING PLAN



ROOF FRAMING PLAN W/ PORCH

ROOF FRAMING NOTE

1. INSTALL 7/16" ROOF SHEATHING WITH LONG DIMENSION SPANNING TRUSSES.
2. FASTEN 7/16" ROOF SHEATHING WITH 2" RING-SHANK NAILS @ 6" O.C.

GENERAL NOTES

2x4 UPPER TOP PLATE W/ (2)3x0.120Ø NAILS @ 16" O.C. TO 2x4 LOWER TOP PLATE

COLUMN NOTES

1. USE METAL COLUMN CLIPS TOP AND BOTTOM TYPICAL
2. USE (4) #8x3" WOOD SCREWS EACH SIDE OF THE COLUMN TOP AND BOTTOM TO INSTALL THE COLUMN CLIPS
3. GLUE TOP PLATES TOGETHER WITH LIQUID NAIL (LN-903) CONTINUOUS ACROSS OVERHANG AND 36" MINIMUM INTO ENCLOSED SPACE
4. NAIL TOP PLATES TOGETHER WHERE GLUED WITH 2 ROWS OF 8d NAILS AT 6" OC
5. PROVIDE A 4x6 PT COLUMN SUPPORT FLUSH WITH THE TOP OF FLOOR JOISTS AND SPANNING THE ENTIRE FIRST FLOOR JOIST SPAN (NAIL WITH 8d NAILS ON ENDS AND ALONG THE SIDE)



DANIELS PORTABLE BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELST6@GMAIL.COM

DRAWN BY: TNT SCALE: 1/4" = 1'-0" DATE: 04-14-2022

SHEET TITLE: ROOF FRAMING PLAN

DRAWING NUMBER:

S-105

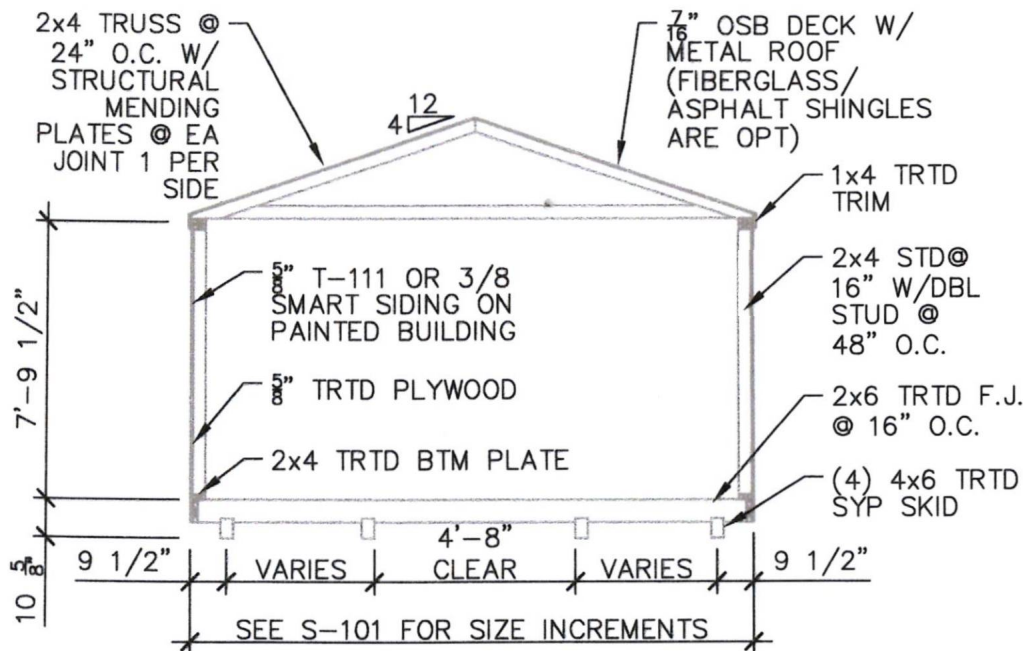


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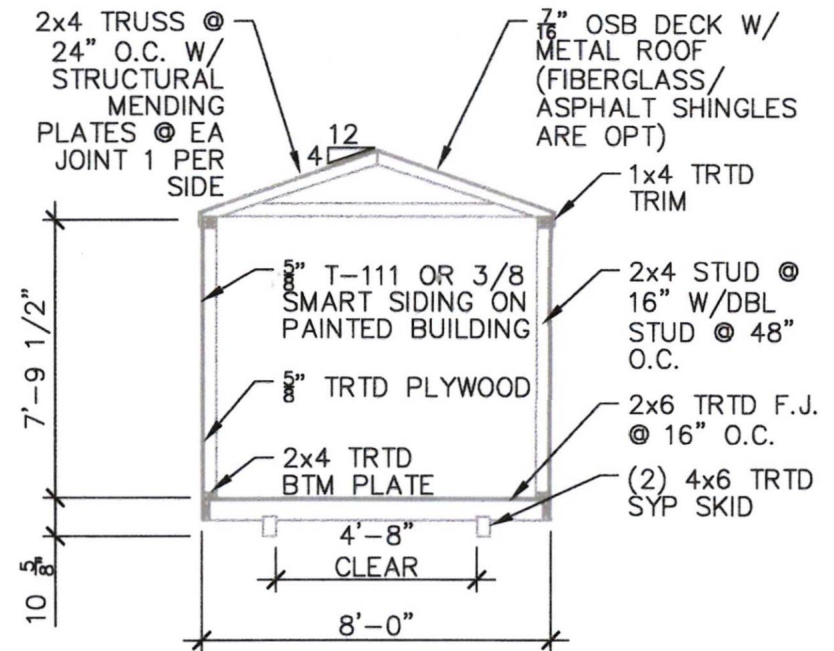
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SECTION VIEW



SECTION VIEW

+10' WIDE

8' WIDE

ROOF FRAMING AND UNDERLAYMENT NOTES

1. PROVIDE A RIDGE VENT TYPICAL WITH INSECT SCREEN.
2. METAL ROOFING SHALL BE 29 GAUGE METAL IN ACCORDANCE WITH ASTM A 924 OR ASTM A 924M OVER OSB SHEATHING.
3. PROVIDE 29G RIDGE CAP, EAVE TRIM AND RAKE TRIM.
4. INSTALL AND FASTEN METAL ROOFING PER MANUFACTURER'S INSTRUCTIONS FOR WIND LOADING.
5. OPTIONAL SHINGLES SHALL BE IN ACCORDANCE WITH ASTM D 7158 TYPE H OR ASTM D 3161F TYPICAL.
6. INSTALL 1 LAYER OF 15 LB ROOFING FELT, START WITH A 19" WIDE STRIP PARALLEL WITH AND STARTING AT EAVES FASTENED SECURELY TO HOLD IN PLACE. START AT EAVE WITH A 38" WIDE SHEET WITH OVERLAPPING SUCCESSIVE SHEETS BY 19". FASTEN UNDERLAYMENT W/ CORROSION- RESISTANT FASTENERS PER MANUFACTURER'S INSTRUCTIONS AND SPACED A MAXIMUM OF 36" APART.
7. METL ROOF OR OPT 25Y FBR GLASS SHINGLE OVER (1) LAYER OF 15LB FELT PAPER OVER 7/16" OSB SHEATHING



DANIELS PORTABLE BUILDINGS, LLC.

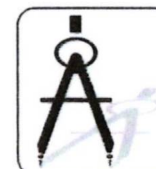
PHONE: 601-551-0469 EMAIL: CHRISDANIELS76@GMAIL.COM

DRAWN BY: TNT SCALE: 1/4" = 1'-0" DATE: 04-14-2022

SHEET TITLE: SECTION PLAN

DRAWING NUMBER:

S-106

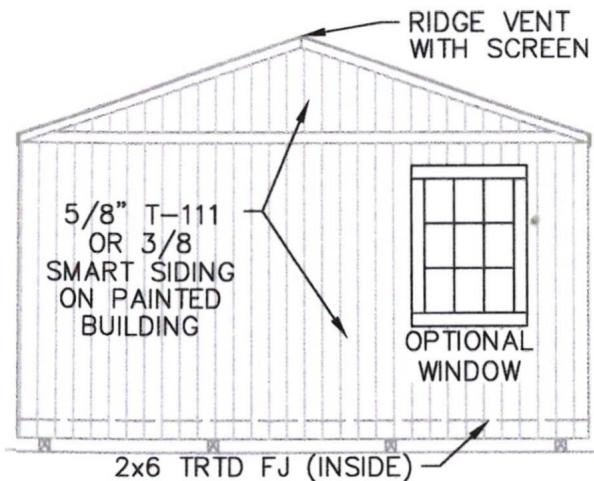


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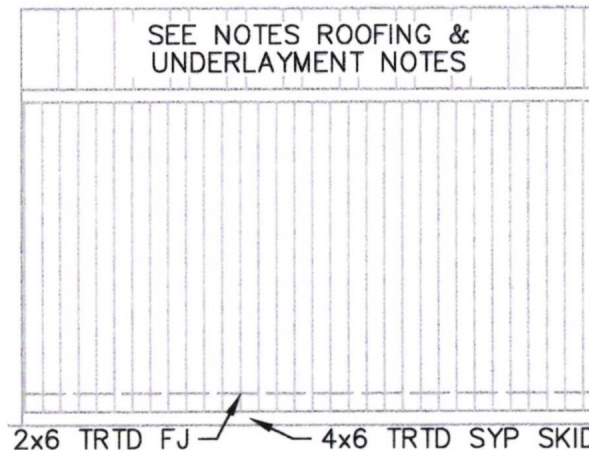
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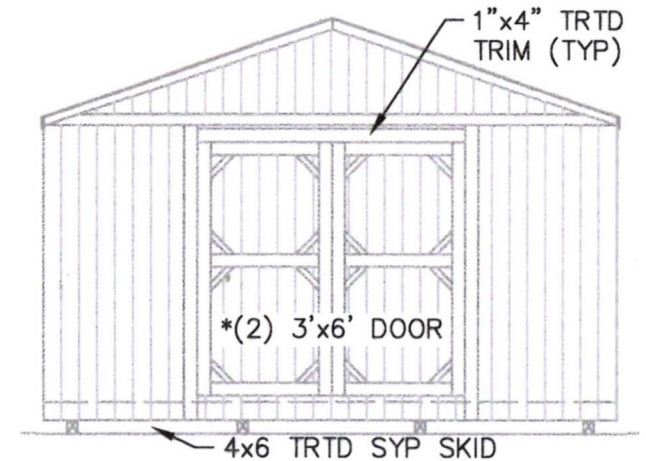
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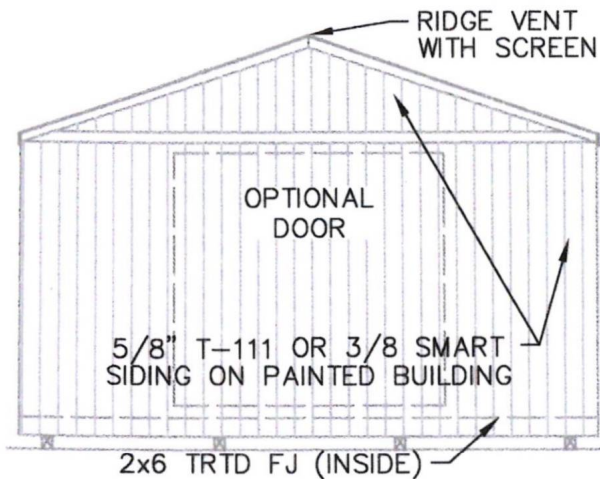
REAR ELEVATION WITHOUT PORCH



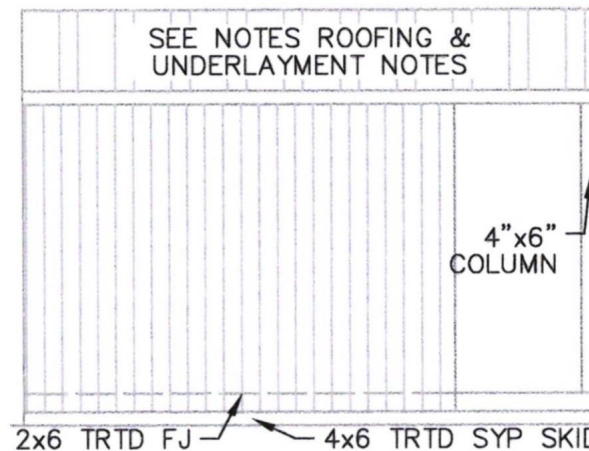
SIDE ELEVATION WITHOUT PORCH



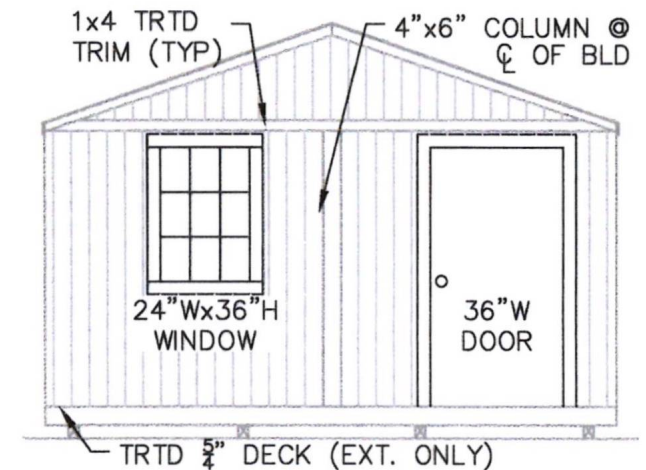
FRONT ELEVATION WITHOUT PORCH



REAR ELEVATION WITH PORCH



SIDE ELEVATION WITH PORCH



FRONT ELEVATION WITH PORCH



DANIELS PORTABLE BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELS76@GMAIL.COM

DRAWN BY: TNT

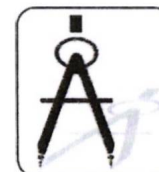
SCALE: 1/4" = 1'-0"

DATE: 04-14-2022

SHEET TITLE: ELEVATION PLAN

DRAWING NUMBER:

S-107



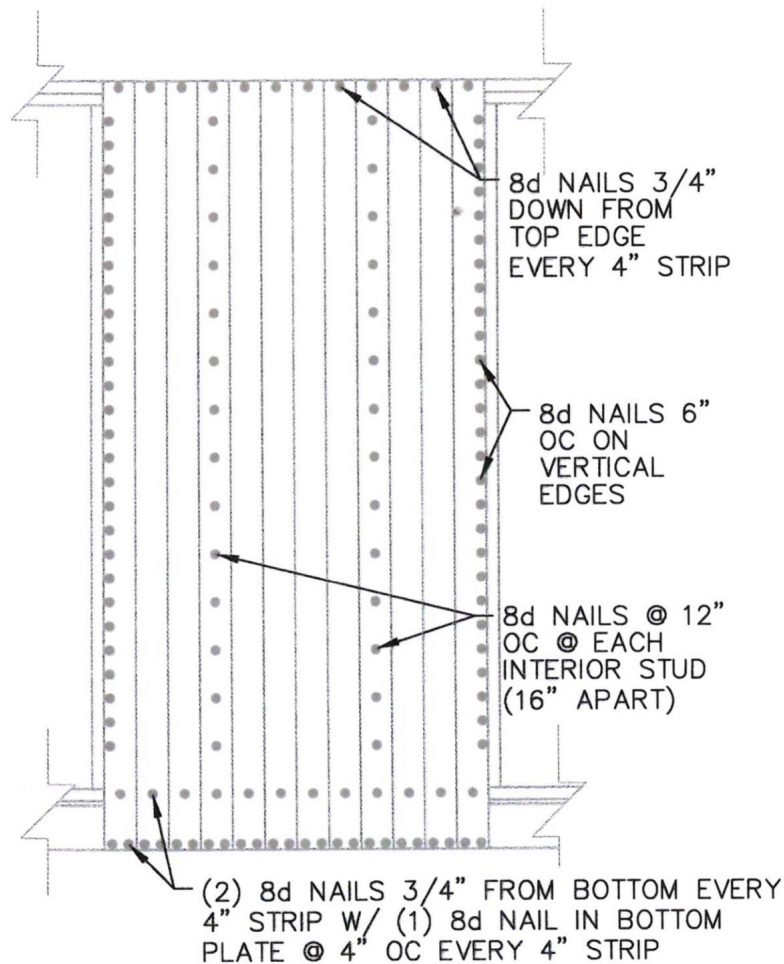
DAMMON

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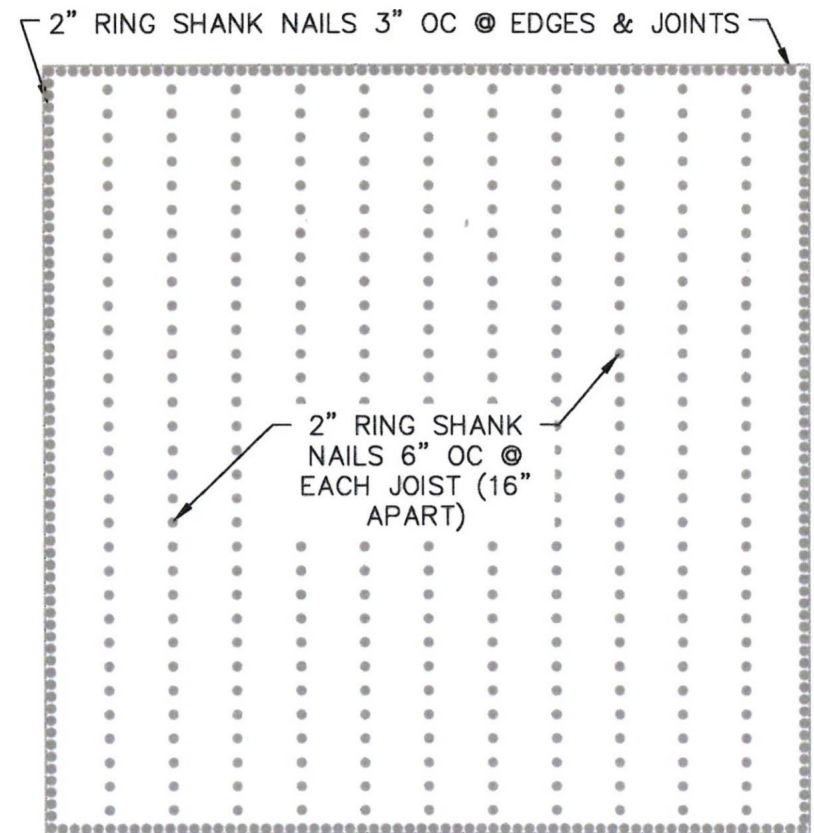
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WALL SHEATHING PLAN



FLOOR SHEATHING PLAN



DANIELS PORTABLE BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELST6@GMAIL.COM

DRAWN BY: TNT SCALE: 1/4" = 1'-0" DATE: 04-14-2022

SHEET TITLE: NAILING PLAN

DRAWING NUMBER: **S-108**



DAMMON

ENGINEERING, INC.

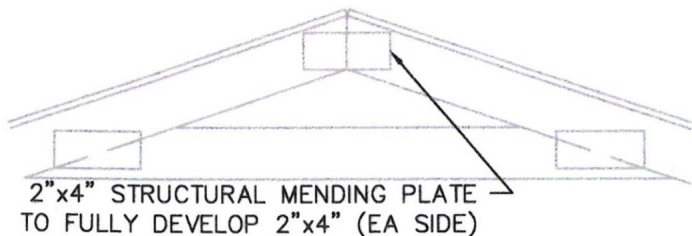
554 Old Spanish Trail Slidell, LA 70458 (985) 649-5832

Chief Engineer: Brian Mistich, PE
554 Old Spanish Trail
Slidell, LA 70458

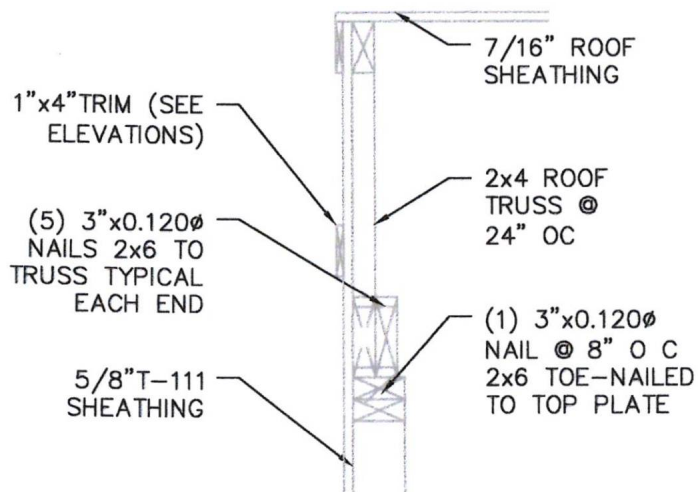
www.dammonengineering.com
info@dammonengineering.com
PHONE: 985-649-5832

- 2x4 STUD (ENDWALL)
(2) 2x4 STUDS (SIDEWALL)
(2) 3"x 0.120" NAILS @ 12" O.C.

1-CORNER DETAIL



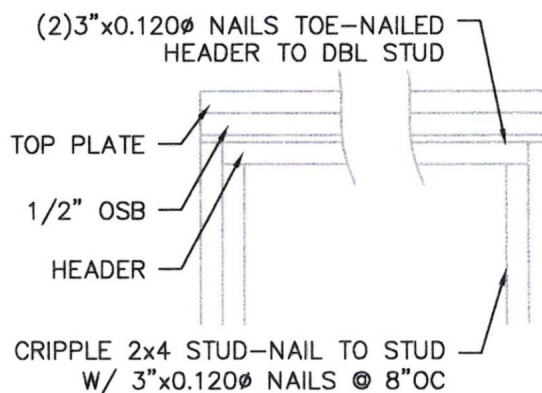
2-TRUSS SPLICE DETAIL



5-END WALL DETAIL

NOTE:
ALL MEMBERS ARE 2x4

3-TYP WINDOW FRAMING

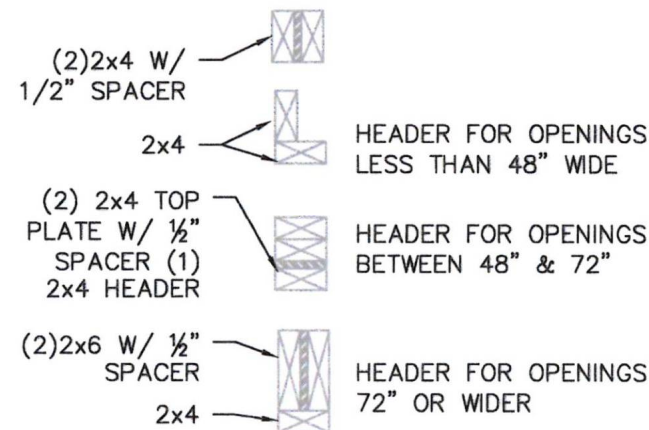


6-TYP DOOR FRAMING

- TRUSS TO WALL CONNECTION SIMPSON H2A W/ (5) 8d 1 1/2" NAILS EACH END OF CLIP (NOT SHOWN)
(4) 3"x0.120" NAILS TOE-NAILED TO TOP PLATE @ EA TRUSS
(3) 3"x0.120" NAILS TOP PLATE TO EACH STUD (6 TOTAL)
(6) 3"x0.120" NAILS 2 EACH ROW
2x4 @ CORNERS ONLY (TYP)
(6) 3"x0.120" NAILS 2 EACH ROW
2x4 2TUD

NOTE: INSTALL H2 5A PER MANUFACTURER'S RECOMMENDATIONS

4-CORNER & WALL DETAIL



NOTE: FOR 12' HIGH OR GREATER SIDEWALLS, A 48" MAX OPENING IS ALLOWED



DANIELS PORTABLE BUILDINGS, LLC.

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DRAWN BY: TNT SCALE: NTS DATE: 04-14-2022

SHEET TITLE: BUILD DETAIL 1

DRAWING NUMBER:

S-109

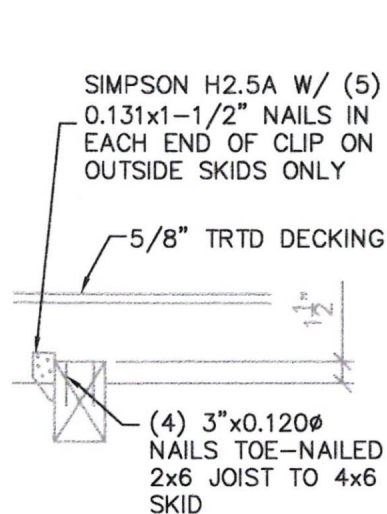


DAMMON
ENGINEERING, INC.

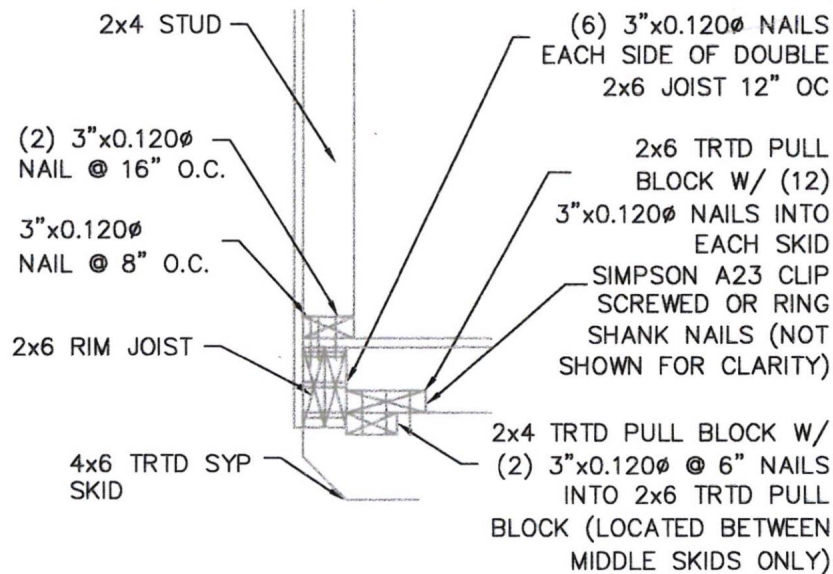
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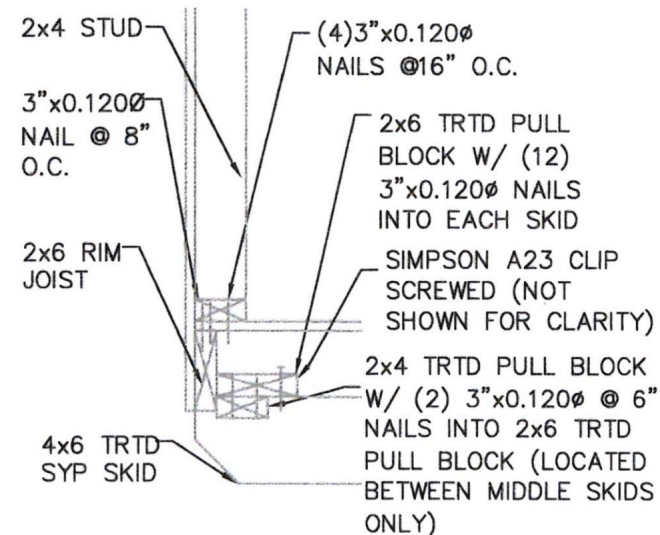
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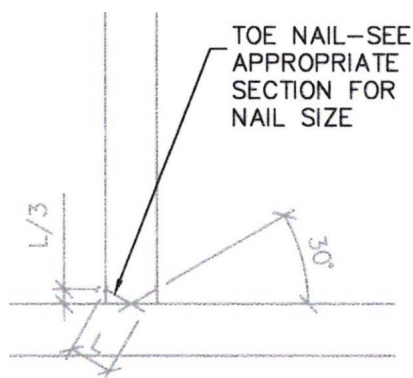
1-INNER & OUTER SKID
DETAIL @ EVERY JOIST



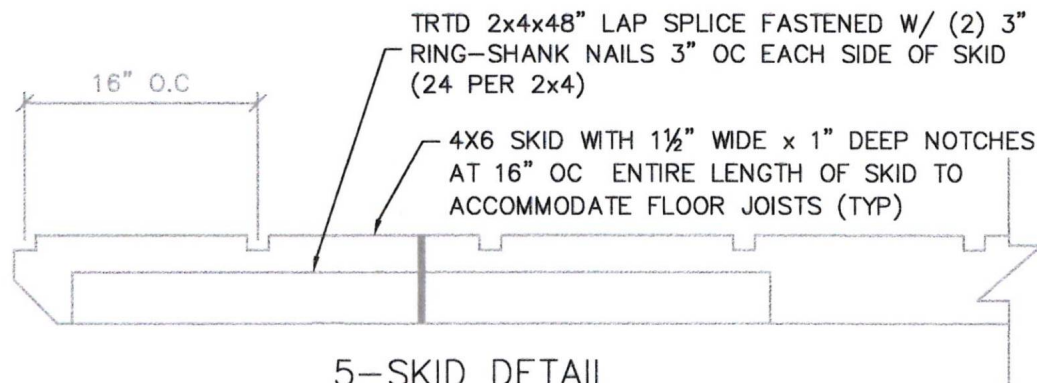
2-ENTRY DOOR ENDWALL JOIST DETAIL



3-REAR ENDWALL JOIST DETAIL



4-TOE-NAIL DETAIL



5-SKID DETAIL



DANIELS PORTABLE BUILDINGS, LLC.

PHONE: 601-551-0469 EMAIL: CHRISDANIELS76@GMAIL.COM

DRAWN BY: TNT

SCALE: NTS

DATE: 04-14-2022

SHEET TITLE: BUILD DETAILS 2

DRAWING NUMBER:

S-110



DAMMON
ENGINEERING, INC.

554 Old Spanish Trail Slidell, LA 70458 (985) 649-5832

Chief Engineer: Brian Mistich, PE
554 Old Spanish Trail
Slidell, LA 70458

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PHONE: 985-649-5832

Purchase Agreement



DANCO Buildings
1259 MS-583, Jayess, MS 39641
(228) 669-9440
teamstoragepro@gmail.com
Sales Person: Roxann Davidson

Customer:

Cali Tanguis
411 Ballentine St
Bay St Louis, MS 39520
(228) 493-7872
cali jean2616@gmail.com

Invoice #: 39636
Date: 04/12/2024

Item	Qty	Line Total	Totals
Style: Garden Shed	1	\$9,665.00	Subtotal \$14,722.00
Siding: Duratemp (Roseburg)	1	\$600.00	Discounts -\$167.45
Size: 12x32	1		Grand total \$14,554.55
Roof Pitch: 6/12	1	\$384.00	Monthly payment before tax \$535.09
Roof Material: Metal	1		Insurance LDW \$5.00
Siding Color: Star Dew			Tax on payment \$37.46
Trim Color: Dover White			Estimated monthly payment \$577.55
Roof Color: Galvalume			Initial payment \$577.55
36"x36" Window	4	\$480.00	Amount paid \$577.55
24"x36" Window	1		
36"x80" Fiberglass Door w/ 9 Lite (outswing)	2	\$750.00	
72" Wood Walk-In Door (Credit)	1	-\$225.00	
20 Drop Electrical Package (200 Amp Box)	1	\$2,150.00	
Building Anchors	6	\$25.00	
wall framing 32 linear feet x \$24	1	\$768.00	
Dealer / Danco Co-op		-\$167.45	

Payment Detail

RTO Company: JMAG

Term: 60

Accepted by: Roxann Davidson

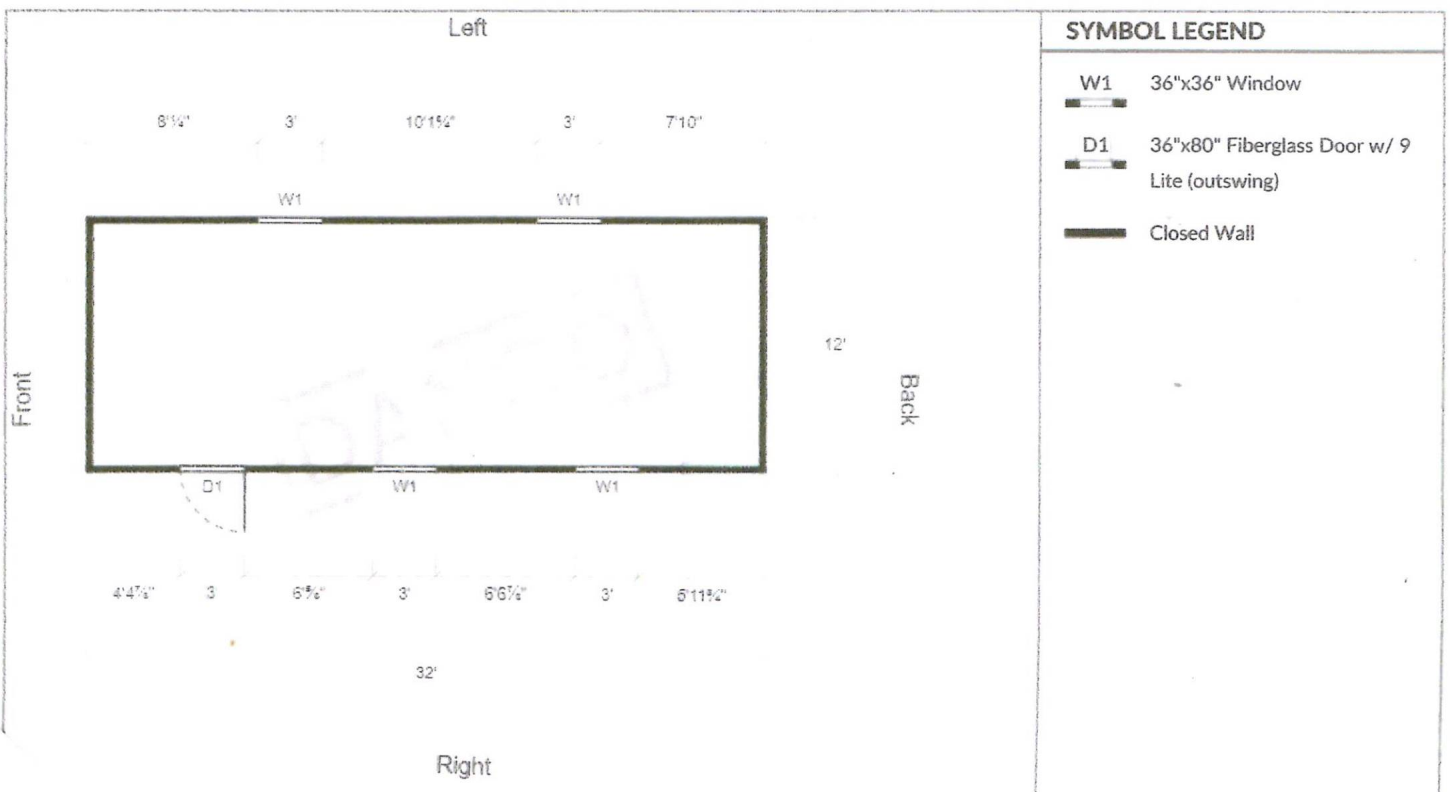
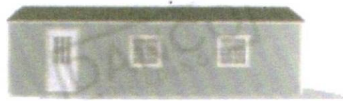
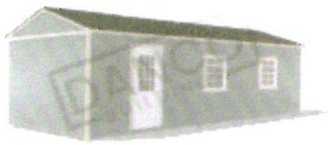
Paid with: Credit card

THIS AGREEMENT IS BETWEEN THE CUSTOMER AND DANCO WHO BUILD ACCORDING TO THE SPECIFICATIONS PRESENTED TO THE CUSTOMER. DANCO IS AN INDEPENDENT AGENT, WHO LINKS THE BUYER AND BUILDER TOGETHER, DANCO IS HELD HARMLESS BY THE PARTIES INVOLVED OVER ANY TYPE OF DISAGREEMENT OR DISPUTE. NO CHARGES WILL BE ACCEPTED UNLESS BOTH PARTIES AGREE AND SIGN AN ADDENDUM TO THIS AGREEMENT. DEPOSIT IS NON-REFUNDABLE. IF SALE IS CANCELLED, CUSTOMER MAY APPLY PAID AMOUNT TO A NEW SALE WITHIN 90 DAYS. AFTER 90 DAYS, DEPOSIT WILL BE RETAINED TO COMPENSATE DANCO FOR EXPENSES INCURRED IN CONNECTION WITH THIS SALE. IT IS THE CUSTOMERS RESPONSIBILITY, FOR SETBACKS RESTRICTIONS, COVENANTS AND UNDERGROUND WIRING. PLEASE CONTACT YOUR LOCAL CODES DEPARTMENT, HOME OWNERS ASSOCIATION OR MUNICIPALITIES FOR DEED RESTRICTION. I HAVE READ ALL OF THE ABOVE AND AGREE TO ALL THE TERMS AND CONDITIONS. I AUTHORIZE DANCO TO ACT AS OUR AGENT AND SUBMIT THE ACCEPTED FIGURES AS SHOWN, BY MY SIGNATURE BELOW. AUTHORIZED AND AGREED TO BY DATE

Customer's Signature:

Cali Tanguis

Date: 4/15/2024



TO: Planning and Zoning Commission
City of Bay St. Louis

RE: Parcel 137J-0-44-270.000
ALL 49,50 & PT48&51 BALLENTINE

HEARING DATE: June 12, 2024

I have reviewed Celina LeBlanc's application for Special Exceptions. The property is located at 411 Ballentine Street. It lies in an R-2 Residential Two-Family District, which only allows accessory dwellings by special exceptions on parcels over 15,000 sq ft.

The applicant is requesting the following:

- 1) A special exception to allow an accessory dwelling on the parcel.**

The administration's recommendation is to approve the special exception.

- The applicant has adequate parking for both the primary dwelling and the accessory dwelling.
- This application was presented and approved by P&Z in June 2024 but failed at the June 2024 City Council meeting.
- The parcel is over 15,000 square feet.
- Several neighbors support the application.
- The applicant plans to convert the property's accessory structure into an accessory dwelling. The converted structure must meet all the IRC 2018 building code requirements.
- This application is comparable to the special exception request of 605 Beyer Drive, approved in May 2024 by BSL City Council, and 810 North Beach Boulevard, approved in July 2023 by BSL City Council. In both cases, the property owner converted an accessory structure into an accessory dwelling.
- The packet includes a letter from the property owner explaining the reasons for requesting the special exception.

Jeremy L Burke
Zoning Administrator

CITY OF BAY ST. LOUIS

688 Highway 90
Bay St. Louis, MS 39520
228-469-0531 FAX 228-466-5519
INSPECTION REQUESTS 228-469-0531

ACCESSORY STRUCTURE PERMIT

PERMIT #:	20240344	DATE ISSUED:	4/10/2024	EXP DATE:	10/11/2024
JOB ADDRESS:	411 BALLENTINE ST	LOT #:			
PARCEL ID:		BLK #:			
SUBDIVISION:		ZONING:			
OWNER:	CELINA LEBLANC	CONTRACTOR:	CELINA LEBLANC		
ADDRESS:	411 BALLENTINE ST	ADDRESS:	411 BALLENTINE ST		
CITY, STATE ZIP:	BAY ST. LOUIS MS 39520	CITY, STATE ZIP:	BAY ST. LOUIS MS 39520		
PHONE:		PHONE:			
PROP. USE		SFHA:			
VALUATION:	\$ 12,300.00	HISTORICAL DISTRICT:			
SQ FT	0.00				
OCCP TYPE:					
CNST TYPE:					

FEE CODE	DESCRIPTION	AMOUNT
B02	RESIDENTIAL BUILDING	\$ 207.00
TOTAL		\$ 207.00

NOTES:

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 6 MONTHS AT ANY TIME AFTER WORK IS STARTED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

THE UNDERSIGNED CONTRACTOR OR AUTHORIZED AGENT ACKNOWLEDGES THAT HE IS RESPONSIBLE FOR CALLING FOR EACH INSPECTION REQUIRED FOR THIS PROJECT BEFORE BEGINNING THE NEXT PHASE OF CONSTRUCTION.

(SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT)

DATE



(ISSUED BY)

4/10/24

DATE