

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 304 Easterbrook St, BSL, MS 39520
 Applicant Name: Teddy Nemois Owner Name: Adam Shields
 Mailing Address: _____ Mailing Address: 304 Easterbrook, BSL
 Phone: (778)342-1876 Phone: 985-768-0849

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

☐ **Conceptual Review:** Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will be not be issued for a C.R.

☒ **Addition / Renovation:** Exterior alterations and or additions should be compatible with the building itself; its original design & style. Items needed: photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

☐ **New Construction:** New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. Items needed: Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

☐ **Demolition:** Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed: Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: _____ Date: _____

Owner's Signature

Required: _____ Date: _____

Please refer to the checklist of materials required with your application

A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.

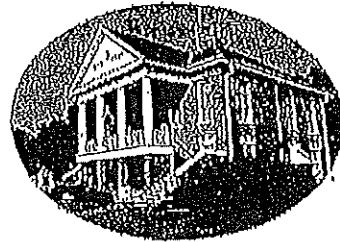
Historic Preservation Commission / City Council Use Only

Historic District	Case Number
Historic Preservation Commission Review	Review Date
Recommendation:	☐ Approved ☐ Approved with Conditions ☐ Denied
Comments:	
Signature: _____	Signature: _____
Print City Council Member	Print City Council Member
COA Action Approval	COA Action Denial
Comments:	
BSL Historic Preservation Commission	City Council President Signature

Once Completed & Signed - Original copy - HPC, Copy-Building Department



Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: Adam Shields

Address: 304 Easterbrook St, BSL, MS
(No P.O. Boxes)

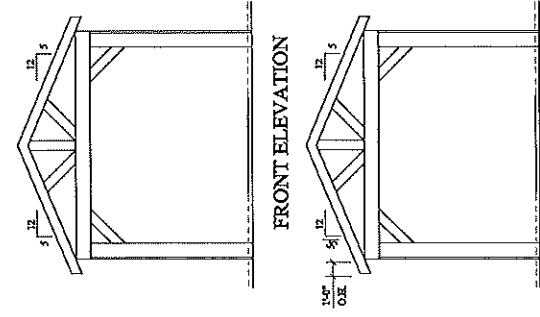
Telephone Number () _____ Cell Number (985) 768-0849

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: _____

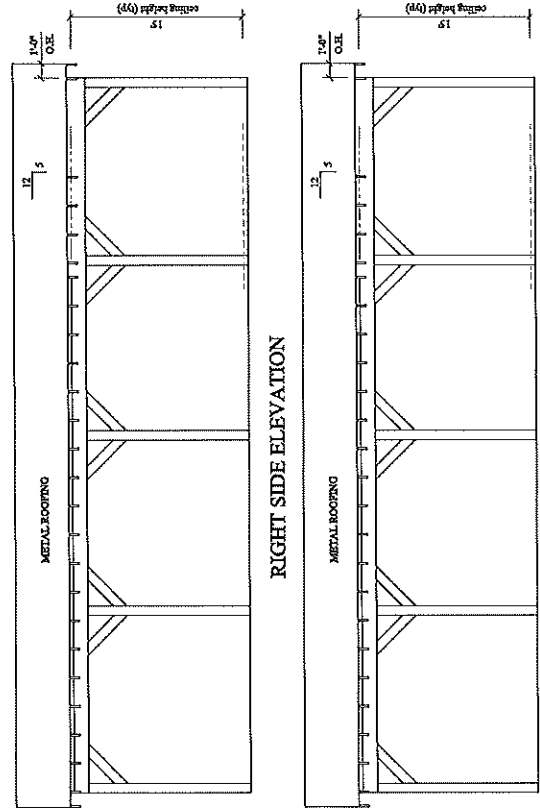
Give written scope of work to be performed: _____

Addition of Accessory Structure /carport
in back yard

John
Smith
J.D.



FRONT ELEVATION

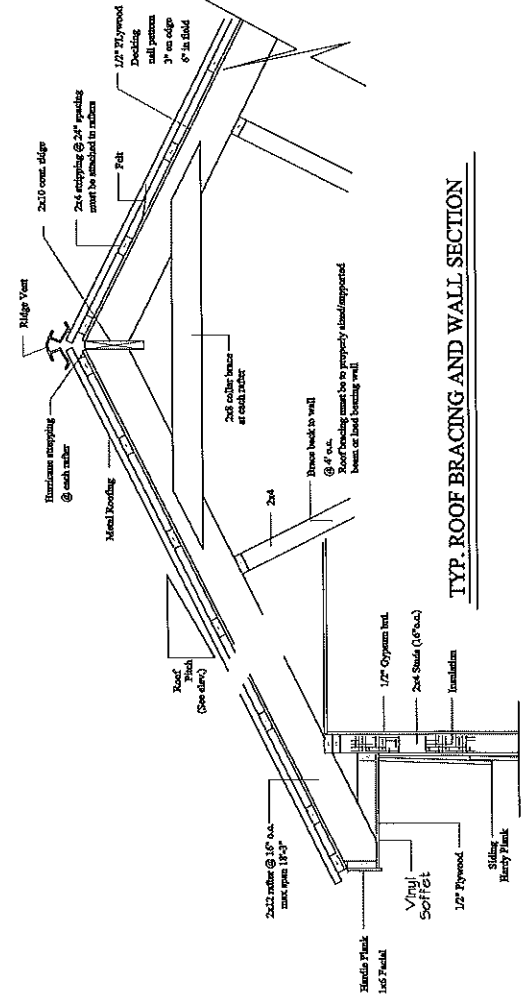


RIGHT SIDE ELEVATION

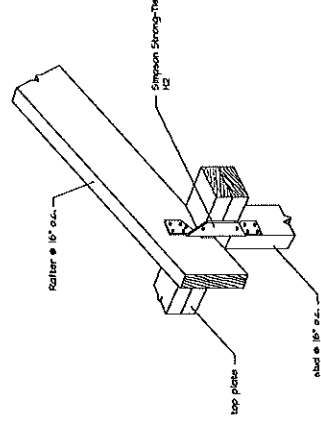
REAR ELEVATION

LEFT SIDE ELEVATION

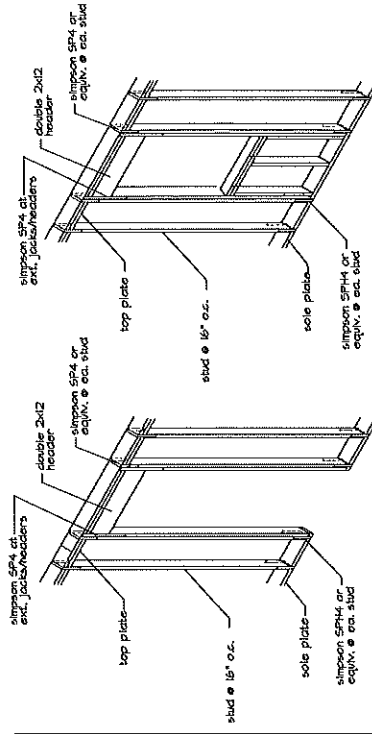
ALL EXPOSED LUMBER TO BE PRESSURE
TREATED OR WATER RESISTANT



TYP. ROOF BRACING AND WALL SECTION

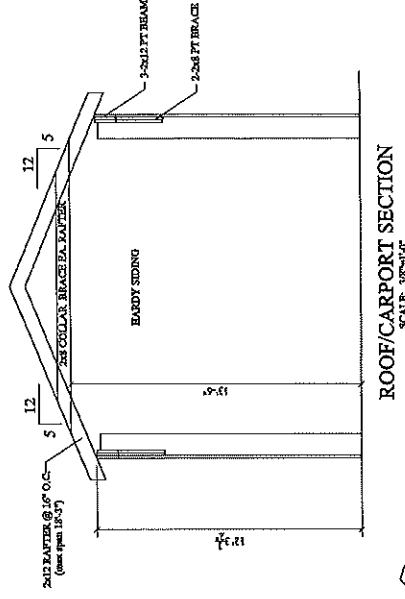


Rafter Connection Detail



Door Opening Detail

Window Opening Detail



ROOF/CARPORT SECTION

SCALE: 3/8"=1'-0"

[illegible]

The Residence Of

Shields
304 Eastbrook St.
Bay St. Louis, MS 39520

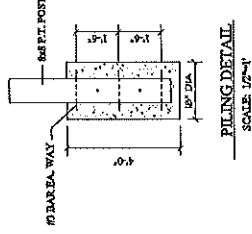
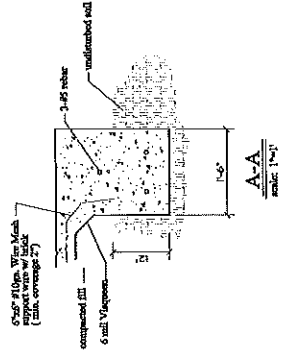
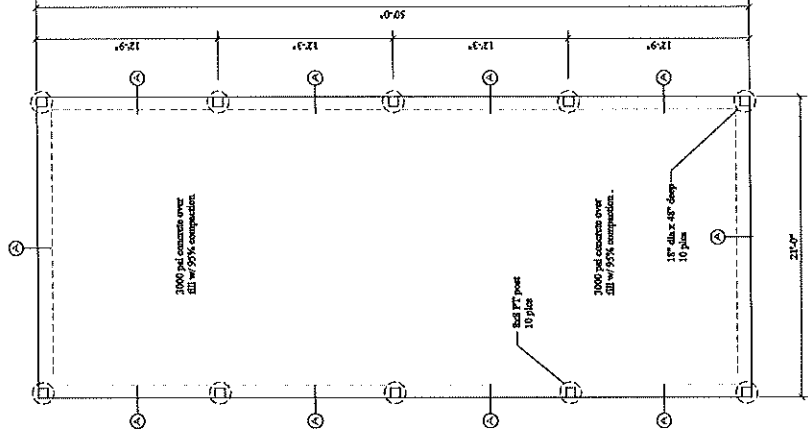
Job Number: 220846461	ELEVATIONS				DATE: 25 March 2022	Sheet 3
	DETAILS				DWG. BY: DUSTIN	
	SECTION				DESIGN BY: DUSTIN	
Scale: 1/4"=1'-0"					CHECK BY: DUSTIN	



EASTERBROOK STREET

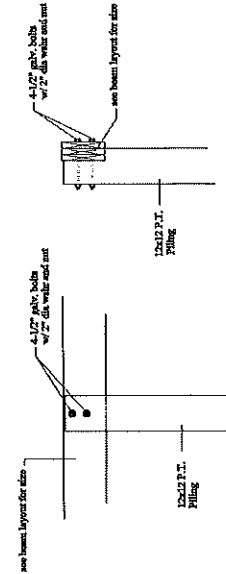
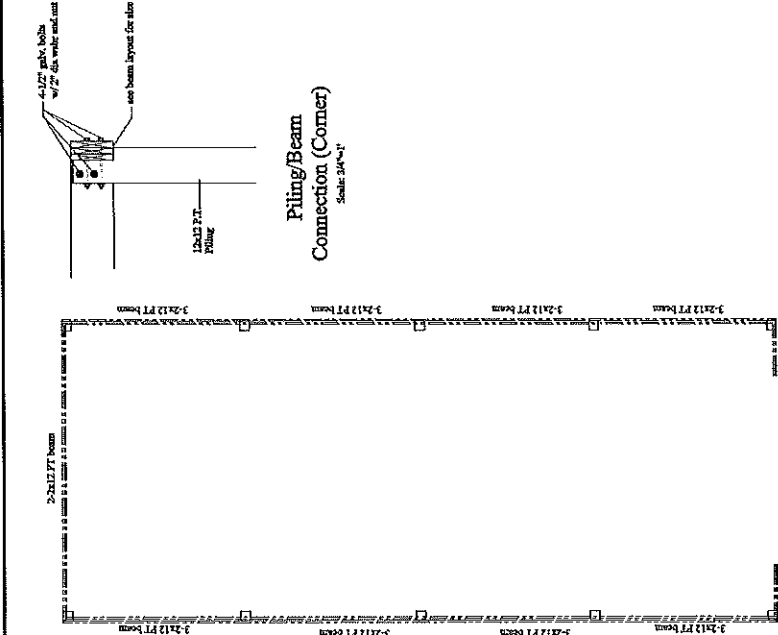
EXISTING RESIDENCE
304 EASTERBROOK ST.

SITE PLAN
SCALE: 1"= 10'



- NOTES:
1. All proposed improvements shall be required to be in place for all inspections.
 2. All proposed improvements shall be required to be in place for all inspections.
 3. Specifications for all equipment/materials shall be required to be in place for all inspections.
 4. Construction shall be responsible for maintaining proper drainage, property cleanup, and safety. All equipment/materials shall be required to be in place for all inspections.
 5. All equipment/materials shall be required to be in place for all inspections.

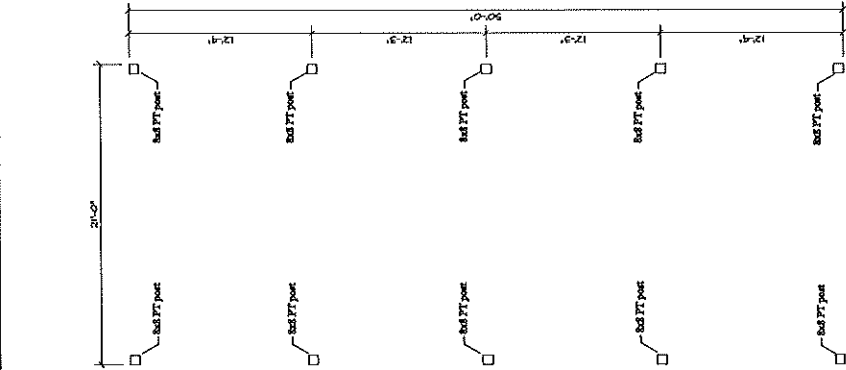
The Residence Of		Shields	
304 Easterbrook St.		Bay St. Louis, MS 39520	
SITE PLAN		FOUNDATION	
Scale	1/8"=1'-0"	Drawn by	25 March 2022
Sheet	1	Drawn by	25 March 2022



Piling/Beam Connection
Scale: 3/4\"/>

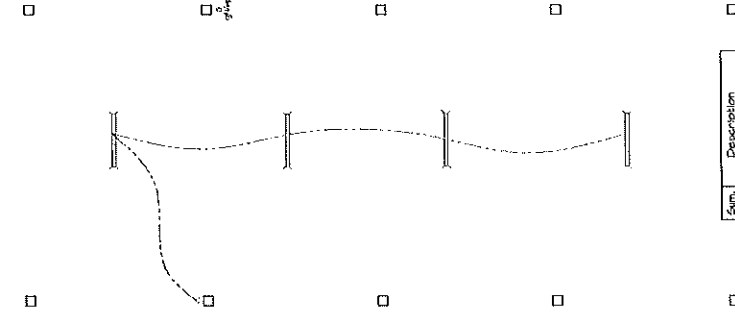
ALL EXPOSED LUGS ARE TO BE PRESSURE
TREATED OR WATER RESISTANT

BEAM, JOIST



FLOOR PLAN

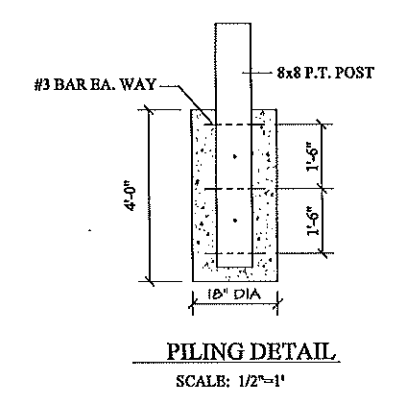
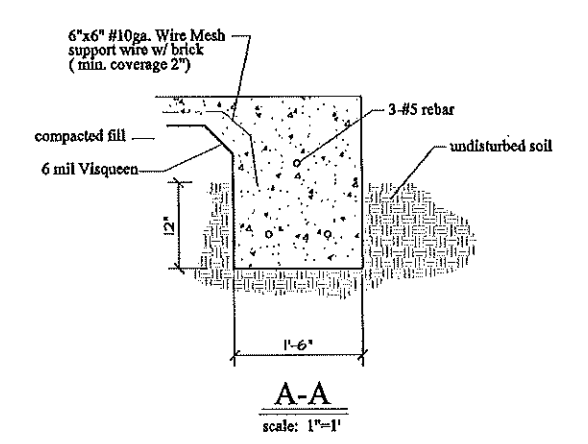
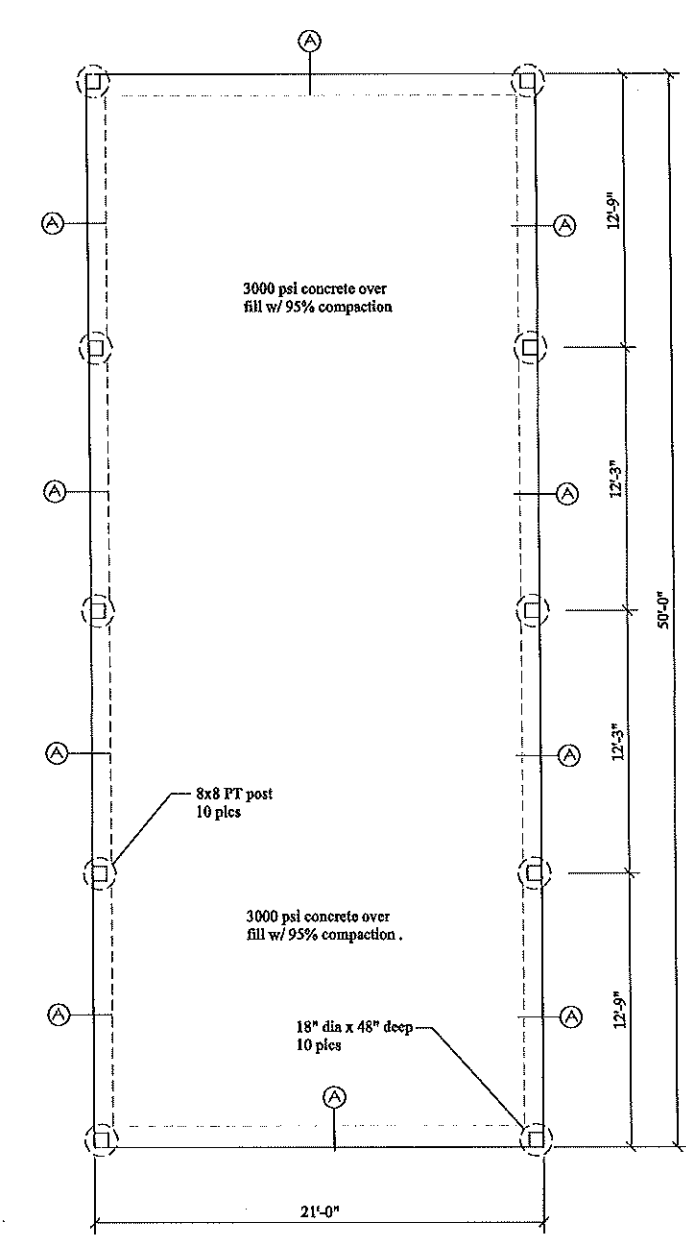
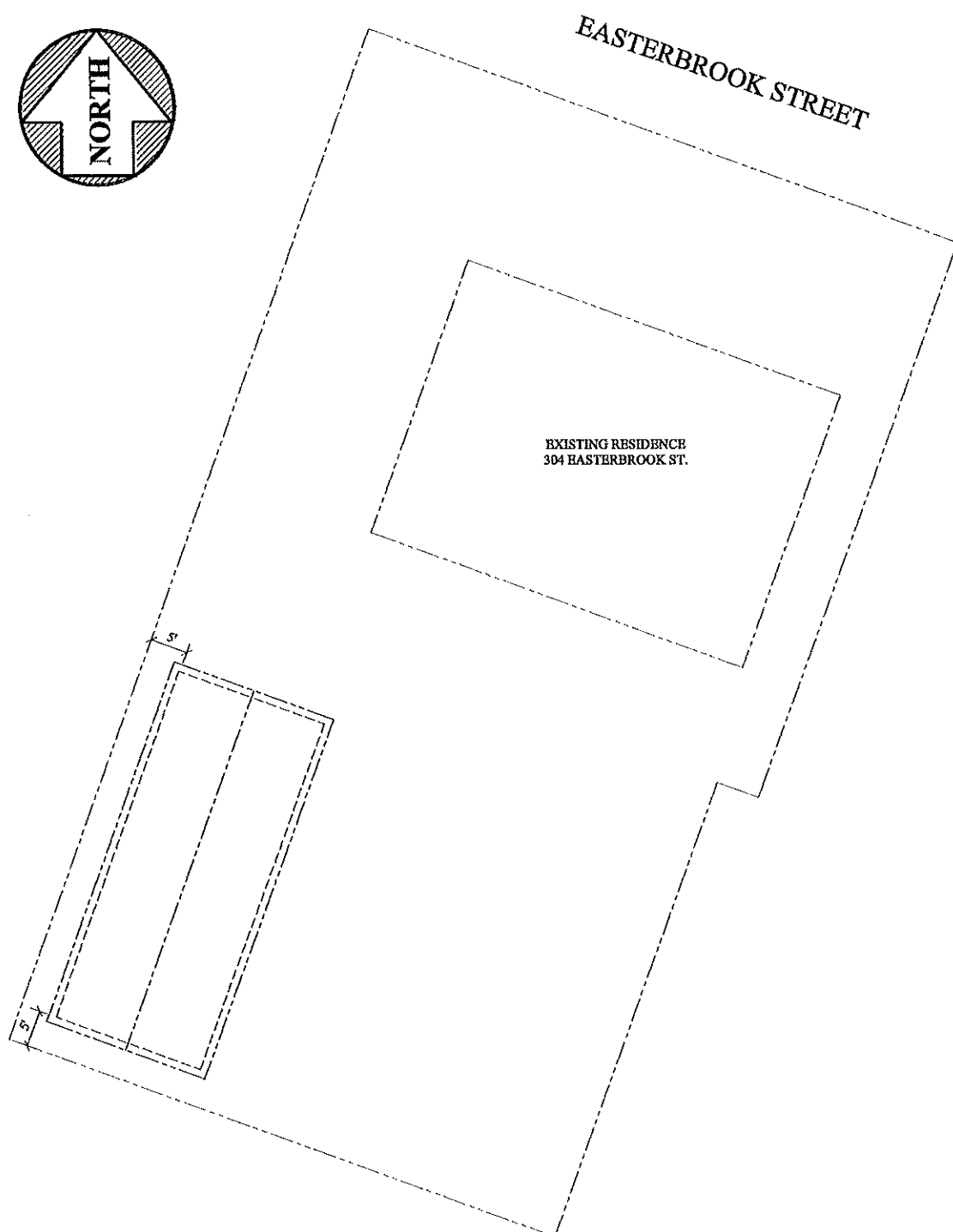
- NOTES:
1. Only stamped approved plans are to be used for all inspections.
 2. All equipment shall be installed in accordance with the manufacturer's instructions.
 3. Specifications for all equipment/hardware materials shall be included in the specifications for all equipment/hardware materials.
 4. All equipment shall be installed in accordance with the manufacturer's instructions.
 5. All equipment shall be installed in accordance with the manufacturer's instructions.



Sym.	Description
Light Fixture	Light Fixture
Vent Light	Vent Light
Recessed Light	Recessed Light
Wall Mount Light	Wall Mount Light
Fluorescent Light	Fluorescent Light
Exterior Flood Light	Exterior Flood Light
110 outlet	110 outlet
220 outlet	220 outlet
110 outlet/groove inlet	110 outlet/groove inlet
110 outlet/groove inlet	110 outlet/groove inlet
Switch	Switch
Alarm	Alarm
Smoke Detector	Smoke Detector
Doorbell	Doorbell
Television Outlet	Television Outlet
Telephone Outlet	Telephone Outlet
Ceiling Fan	Ceiling Fan

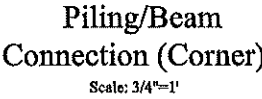
ELECTRICAL

The Residence Of	
Shields	
304 Eastbrook St.	
Bay St. Louis, MS 39520	
Sheet No.	22000000
Sheet Title	BEAM, JOIST FLOOR PLAN
Sheet No.	2

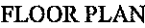


- NOTES:**
1. City stamped approved plans are required to be on site for all inspections.
 2. Proof of termite treatment is required at footing inspection.
 3. Specifications for all engineered/manufactured materials/members including spans, loads, layouts, fastening details (130 mph), etc. (beams, joists, trusses, impact windows, garage doors, metal roof, etc)
 4. Contractors shall be responsible for maintaining proper drainage, property cleanup including street on daily basis and silt fence (properly installed) where necessary. Must have **HARD SURFACE CONSTRUCTION ENTRANCE**.
 5. All equipment platforms must/shall have proper work clearance. (E3405 and M1305.1 of 2018 IRC)

The Residence Of:			
Shields			
304 Easterbrook St.			
Bay St. Louis, MS 39520			
Job Number:	22bordelon	Date:	25 March 2022
SITE PLAN FOUNDATION		Drawn by:	Dustin
		Scale:	1/4"=1'-0"
		Check by:	Dustin
			Sheet
			1



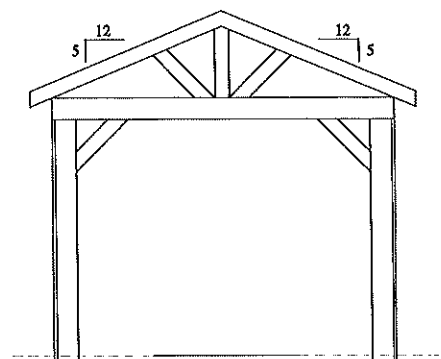
BEAM, JOIST



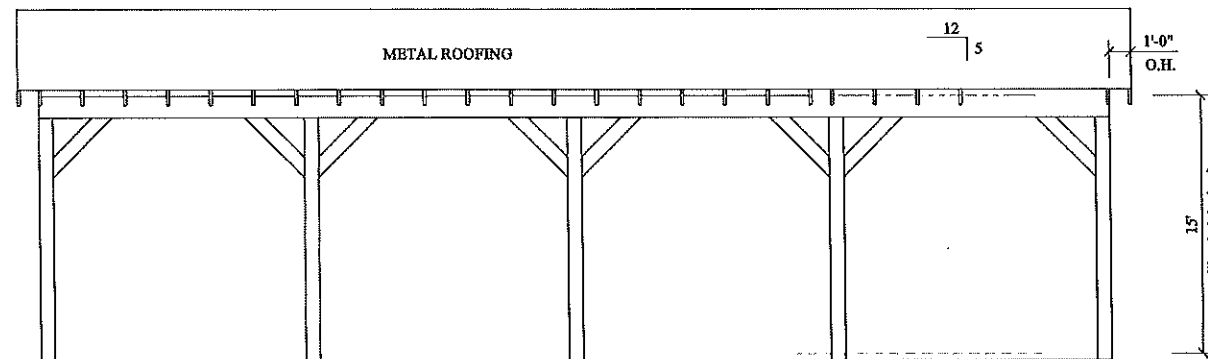
- NOTES:**
1. City stamped approved plans are required to be on site for all inspections.
 2. Proof of termite treatment is required at footing inspection.
 3. Specifications for all engineered/manufactured materials/members including spans, loads, layouts, fastening details (130 mph), etc. (beams, joists, trusses, impact windows, garage doors, metal roof, etc)
 4. Contractors shall be responsible for maintaining proper drainage, property cleanup including street on daily basis and silt fence (properly installed) where necessary. Must have **HARD SURFACE CONSTRUCTION ENTRANCE**.
 5. All equipment platforms must/shall have proper work clearance. (E3405 and M1305.1 of 2018 IRC)



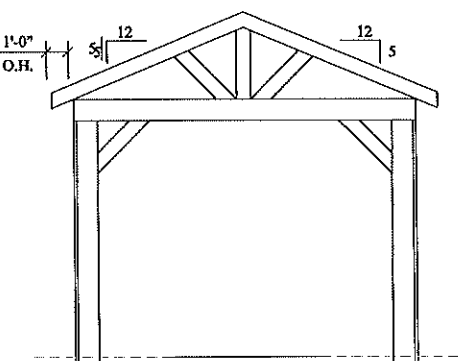
Job Number:	22bordelon	BEAM, JOIST FLOOR PLAN ELECTRICAL	Date:	25 March 2022	Sheet 2
Scale:	1/4"=1'-0"		Des. by:	Dustin	
			Drawn by:	Dustin	
			Check by:	Dustin	



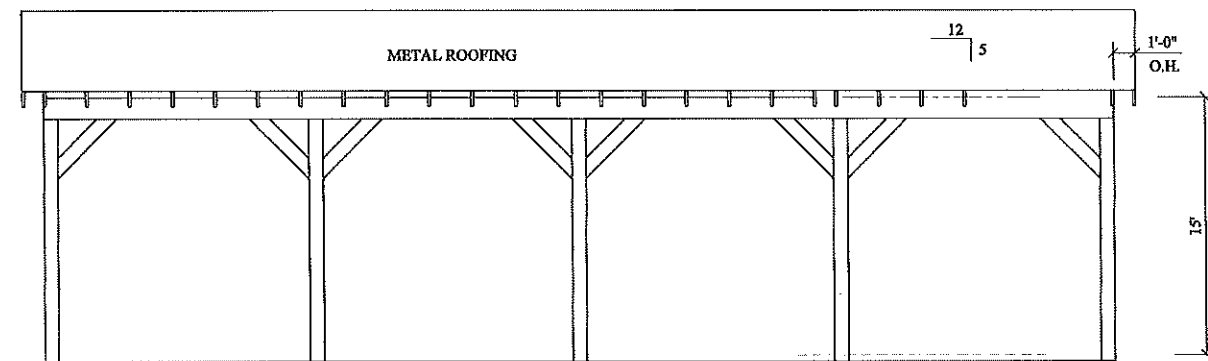
FRONT ELEVATION



RIGHT SIDE ELEVATION

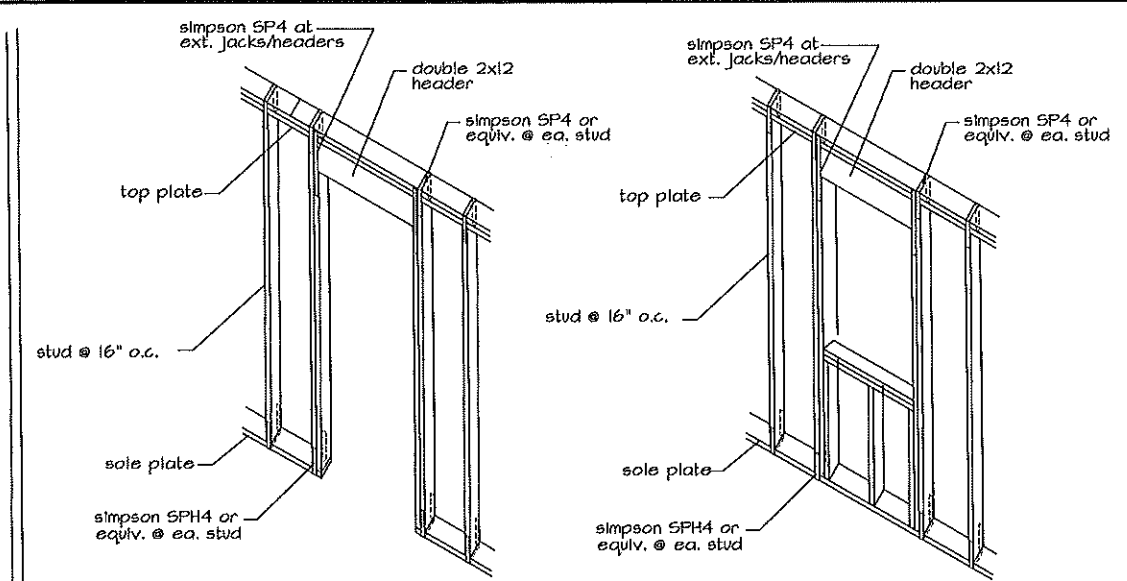


REAR ELEVATION



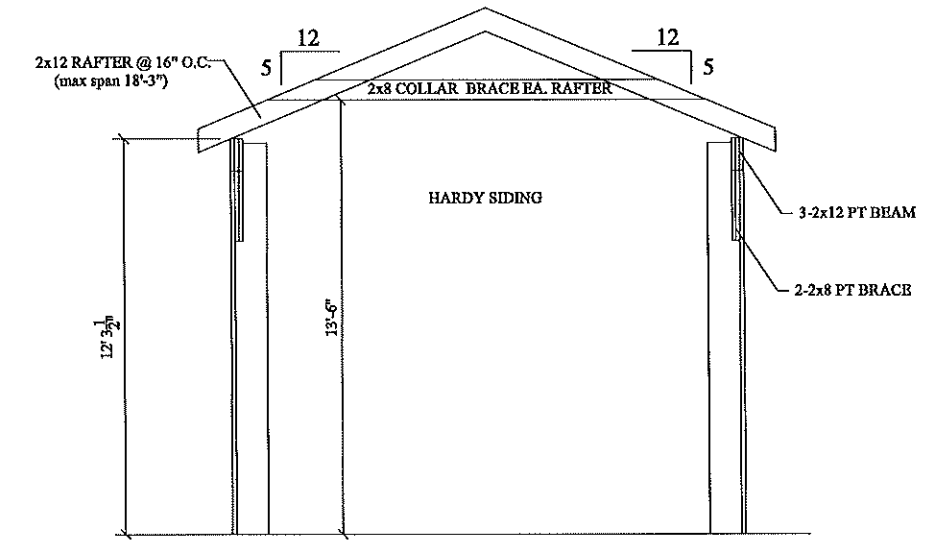
LEFT SIDE ELEVATION

ALL EXPOSED LUMBER TO BE PRESSURE TREATED OR WATER RESISTANT

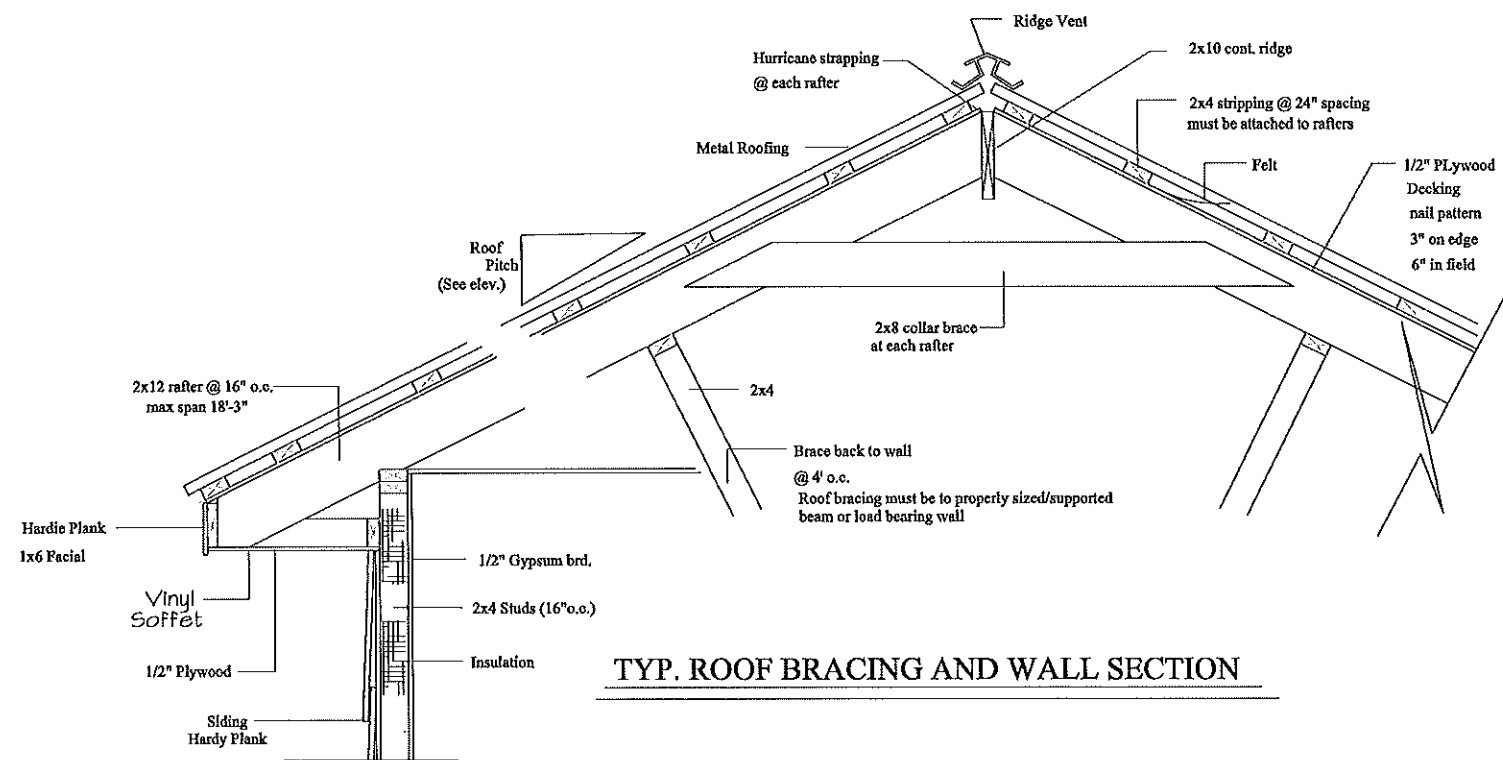


Door Opening Detail
NTS

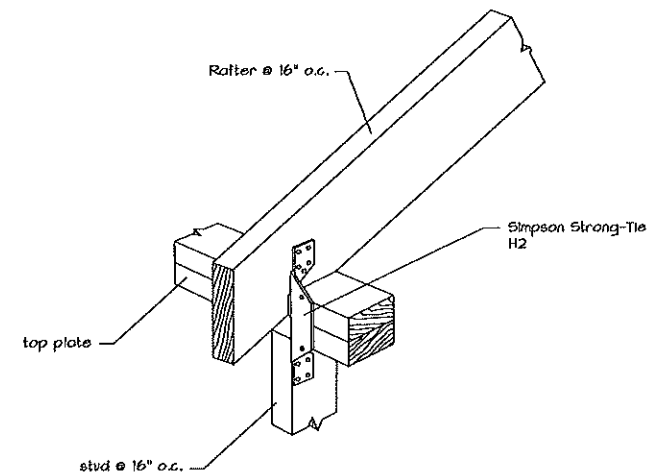
Window Opening Detail
NTS



ROOF/CARPORT SECTION
SCALE: 3/8"=1'-0"



TYP. ROOF BRACING AND WALL SECTION



Rafter Connection Detail

- NOTES:
1. City stamped approved plans are required to be on site for all inspections.
 2. Proof of termite treatment is required at footing inspection.
 3. Specifications for all engineered/manufactured materials/members including spans, loads, layouts, fastening details (130 mph), etc. (beams, joists, trusses, impact windows, garage doors, metal roof, etc)
 4. Contractors shall be responsible for maintaining proper drainage, property cleanup including street on daily basis and silt fence (properly installed) where necessary. Must have HARD SURFACE CONSTRUCTION ENTRANCE.
 5. All equipment platforms must/shall have proper work clearance. (H3405 and M1305.1 of 2018 IRC)

The Residence Of:			
Shields			
304 Easterbrook St.			
Bay St. Louis, MS 39520			
Job Number: 22bordelon	ELEVATIONS DETAILS SECTION	Date: 25 March 2022	Sheet 3
Scale: 1/4"=1'-0"		Drawn by: Dustin	
		Check by: Dustin	