

Requesting:  
 Front Yard Variance  
 Require : 50'  
 Proposed: 20'  
 Variance Request  
 30'

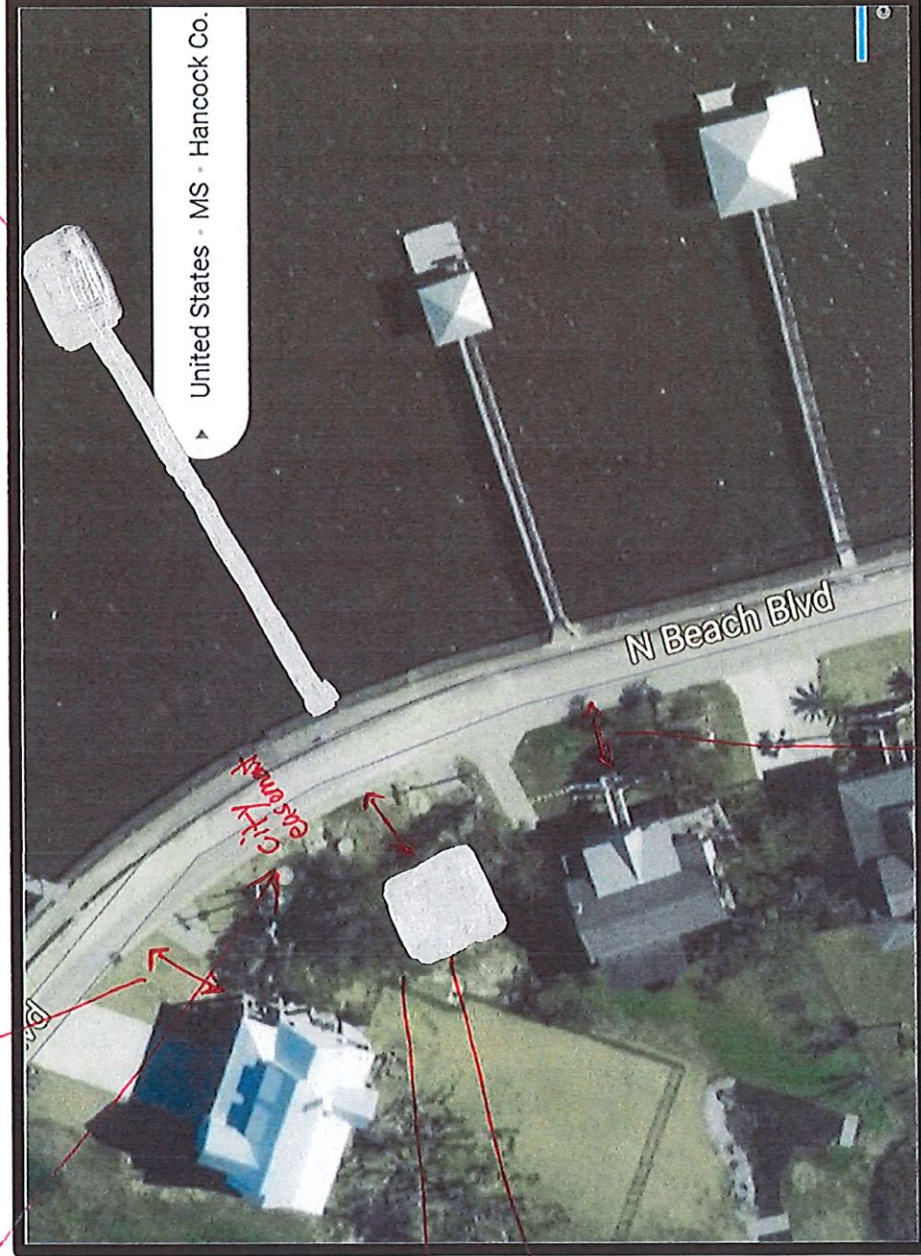
Rear Yard Variance  
 Require 20'  
 Proposed: 8'  
 Variance Request  
 12'-

Hardships:  
 1) Triangle lot  
 2) City Easement  
 3) Curve in street  
 4) construct around live oaks in order to preserve

\* Have both informed neighbors - DeRoche and Prince

Rogers Family- Variance Request- Hardship  
 1350 N. Beach Blvd. Bay St. Louis, MS 39520

Rogers property  
 - built recently



General Business

neighbor closer to road - grandfathered in

City easement drainage/water neighbor to road

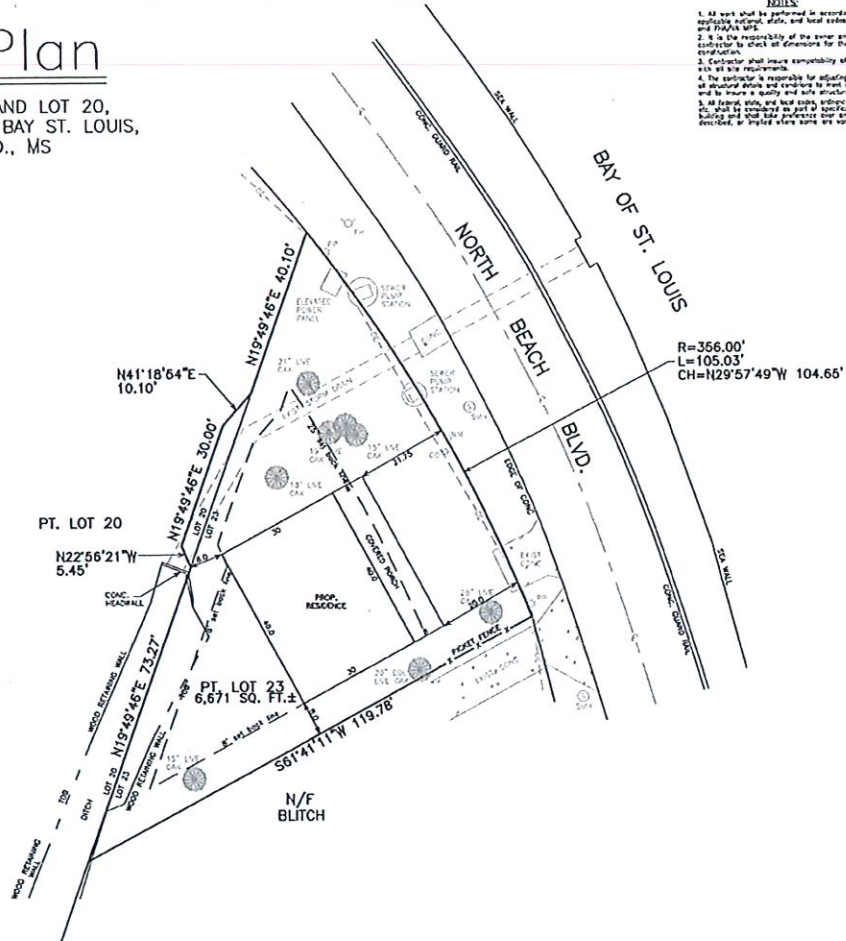
Will preserve oak trees/ just build 40 x 30

Questions, please  
 Contact:  
 TAYLOR ROGERS  
 Public Affairs Manager  
 Dow Chemical 504-812-2695



# Plot Plan

PART OF LOT 23 AND LOT 20,  
FIRST WARD, CITY OF BAY ST. LOUIS,  
HANCOCK CO., MS



- NOTES:
1. All work shall be performed in accordance with all applicable national, state, and local codes, regulations, and standards.
  2. It is the responsibility of the owner and/or general contractor to check all dimensions for the job before construction.
  3. Contractor shall insure responsibility of the building with all site requirements.
  4. The architect is responsible for adjusting and verifying all structural details and dimensions to meet all local codes and to insure a quality and safe structure.
  5. All layout, utility, and local utility, telephone, gas, etc., shall be considered as part of specifications for the building and shall be protected and adjusted when needed, or replaced where some are required.

Scale:  
1"=15'  
W.O. #:  
42324  
Date:  
04/23/24  
Drawn by:  
TLP  
Sheet:  
P

Prepared For:  
Lee & Taryn Rodgers  
1350 North Beach Blvd.  
Bay St. Louis, MS

Techni-CAD Drafting Service  
17121 Fenton-Dedaux Road  
Kiln, MS 39556  
Ph: 228-356-4232 email: eteachment@aol.com

Note:  
Plot plan is drawn per survey done by JAMES J. CHINICHE,  
P.A., INC., dated 04/17/20, JOB# 2020-087

Plot Plan



#### REFERENCES:

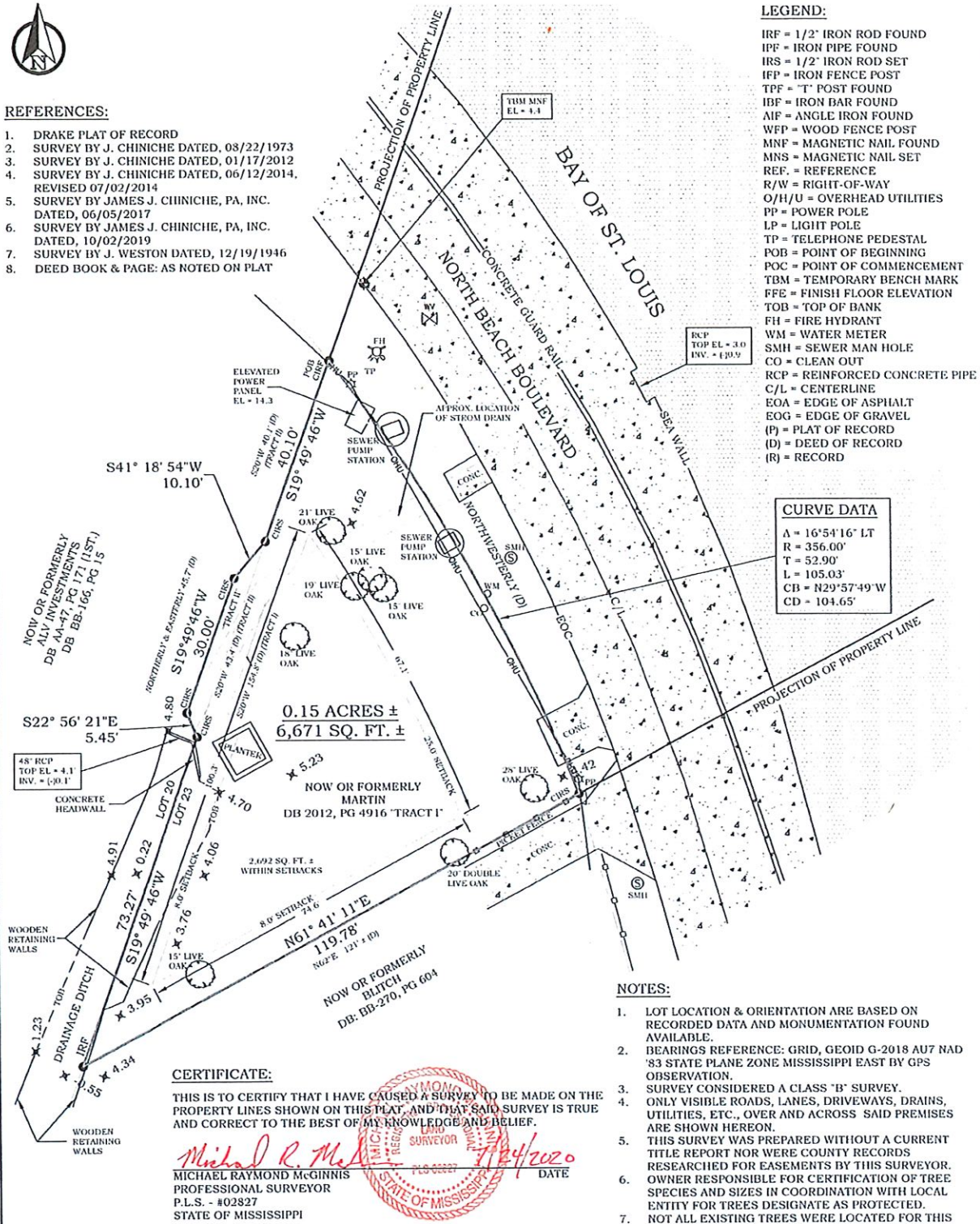
1. DRAKE PLAT OF RECORD
2. SURVEY BY J. CHINICHE DATED, 08/22/1973
3. SURVEY BY J. CHINICHE DATED, 01/17/2012
4. SURVEY BY J. CHINICHE DATED, 06/12/2014, REVISED 07/02/2014
5. SURVEY BY JAMES J. CHINICHE, PA, INC. DATED, 06/05/2017
6. SURVEY BY JAMES J. CHINICHE, PA, INC. DATED, 10/02/2019
7. SURVEY BY J. WESTON DATED, 12/19/1946
8. DEED BOOK & PAGE: AS NOTED ON PLAT

#### LEGEND:

IRF = 1/2" IRON ROD FOUND  
IPF = IRON PIPE FOUND  
IRS = 1/2" IRON ROD SET  
IFP = IRON FENCE POST  
TFP = "T" POST FOUND  
IBF = IRON BAR FOUND  
AIF = ANGLE IRON FOUND  
WFP = WOOD FENCE POST  
MNF = MAGNETIC NAIL FOUND  
MNS = MAGNETIC NAIL SET  
REF. = REFERENCE  
R/W = RIGHT-OF-WAY  
O/H/U = OVERHEAD UTILITIES  
PP = POWER POLE  
LP = LIGHT POLE  
TP = TELEPHONE PEDESTAL  
POB = POINT OF BEGINNING  
POC = POINT OF COMMENCEMENT  
TBM = TEMPORARY BENCH MARK  
FFE = FINISH FLOOR ELEVATION  
TOB = TOP OF BANK  
FH = FIRE HYDRANT  
WM = WATER METER  
SMH = SEWER MAN HOLE  
CO = CLEAN OUT  
RCP = REINFORCED CONCRETE PIPE  
C/L = CENTERLINE  
EOA = EDGE OF ASPHALT  
EOG = EDGE OF GRAVEL  
(P) = PLAT OF RECORD  
(D) = DEED OF RECORD  
(R) = RECORD

#### CURVE DATA

$\Delta = 16^\circ 54' 16''$  LT  
 $R = 356.00'$   
 $T = 52.90'$   
 $L = 105.03'$   
 $CB = N29^\circ 57' 49'' W$   
 $CD = 104.65'$



#### NOTES:

1. LOT LOCATION & ORIENTATION ARE BASED ON RECORDED DATA AND MONUMENTATION FOUND AVAILABLE.
2. BEARINGS REFERENCE: GRID, GEOID G-2018 AU7 NAD '83 STATE PLANE ZONE MISSISSIPPI EAST BY GPS OBSERVATION.
3. SURVEY CONSIDERED A CLASS "B" SURVEY.
4. ONLY VISIBLE ROADS, LANES, DRIVEWAYS, DRAINS, UTILITIES, ETC., OVER AND ACROSS SAID PREMISES ARE SHOWN HEREON.
5. THIS SURVEY WAS PREPARED WITHOUT A CURRENT TITLE REPORT NOR WERE COUNTY RECORDS RESEARCHED FOR EASEMENTS BY THIS SURVEYOR.
6. OWNER RESPONSIBLE FOR CERTIFICATION OF TREE SPECIES AND SIZES IN COORDINATION WITH LOCAL ENTITY FOR TREES DESIGNATE AS PROTECTED.
7. NOT ALL EXISTING TREES WERE LOCATED FOR THIS PLAT.
8. PROPERTY FALLS IN A R-4 DISTRICT BASED ON BAY ST. LOUIS ZONING ORDINANCE - 2017.

#### CERTIFICATE:

THIS IS TO CERTIFY THAT I HAVE CAUSED A SURVEY TO BE MADE ON THE PROPERTY LINES SHOWN ON THIS PLAT, AND THAT SAID SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

*Michael R. McGinnis*  
MICHAEL RAYMOND MCGINNIS  
PROFESSIONAL SURVEYOR  
P.L.S. # 02827  
STATE OF MISSISSIPPI

#### DESCRIPTION (AS PER SURVEY):

BEGINNING AT A CAPPED 1/2" IRON ROD AT THE NORTHWEST CORNER OF LOT 23, FIRST WARD, CITY OF BAY ST. LOUIS, HANCOCK COUNTY, MISSISSIPPI, SAID POINT ALSO BEING ON THE SOUTHWESTERLY RIGHT OF WAY OF NORTH BEACH BOULEVARD AND BEING THE NORTHWEST CORNER OF THE LAND DESCRIBED IN DEED BOOK 2012, PAGE 4916 "TRACT I"; THENCE LEAVING SAID RIGHT OF WAY RUN S19°49'46"W ALONG THE LINE BETWEEN LOTS 23 AND 20 FOR 40.10 FEET TO A 1/2" CAPPED IRON ROD AT A POINT AS DESCRIBED IN DEED BOOK 2012, PAGE 4917 "TRACT II"; THENCE RUN S41°18'54"W FOR 10.10 FEET TO A 1/2" CAPPED IRON ROD; THENCE RUN S19°49'46"W FOR 30.00 FEET TO A 1/2" CAPPED IRON ROD; THENCE RUN S19°49'46"W ALONG SAID LOT LINE FOR 73.27 FEET TO AN IRON ROD AT THE SOUTHWEST CORNER OF THE AFOREMENTIONED "TRACT I"; THENCE RUN N61°41'11"E ALONG THE SOUTHERLY LINE OF "TRACT I" FOR 119.78 FEET TO A 1/2" CAPPED IRON ROD ON THE SOUTHWESTERLY RIGHT OF WAY OF NORTH BEACH BOULEVARD; THENCE ALONG SAID RIGHT OF WAY AND ALONG THE ARC OF A CURVE TO THE LEFT HAVING A DELTA ANGLE OF 16°54'16", A RADIUS OF 356.00 FEET, A TANGENT OF 52.90 FEET, A LENGTH OF 105.03 FEET, A CHORD BEARING OF N29°57'49"W AND A CHORD DISTANCE OF 104.65 FEET BACK TO THE POINT OF BEGINNING. SAID PARCEL OF LAND IS A PART OF LOT 23 AND LOT 20, FIRST WARD, CITY OF BAY ST. LOUIS, HANCOCK COUNTY, MISSISSIPPI AND CONTAINING 0.15 ACRES, MORE OR LESS.

REV. #3 DATE:

REV. DATE: 07.24.2020

DATE: 04.17.2020

SCALE: 1" = 20'

DRAWN BY: MRM



Office - (228) 467-6755  
Email - jason@jc-eng.com  
Website - www.jc-eng.com  
412 Hwy 90, Suite 4  
Bay St. Louis, MS, 39520

PLAT OF SURVEY OF  
PART OF LOTS 20 & 23,  
FIRST WARD, CITY OF BAY ST. LOUIS  
HANCOCK COUNTY, MS.

JOB #: 2020-087 SHT 1 OF 1 FOR: ROGERS

## ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name Rogers 2020-087				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1350 North Beach Blvd.				Company NAIC Number:	
City Bay St. Louis		State Mississippi		ZIP Code 39520	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) 144L-0-18-001.000					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>					
A5. Latitude/Longitude: Lat. <u>30-20-14</u> Long. <u>89-19-57</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>5</u>					
A8. For a building with a crawlspace or enclosure(s): a) Square footage of crawlspace or enclosure(s) <u>0.00</u> sq ft b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u> c) Total net area of flood openings in A8.b <u>0.00</u> sq in d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage: a) Square footage of attached garage <u>0.00</u> sq ft b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>0</u> c) Total net area of flood openings in A9.b <u>0.00</u> sq in d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number City of Bay St. Louis 285251			B2. County Name Hancock		B3. State Mississippi
B4. Map/Panel Number 28045C0354	B5. Suffix D	B6. FIRM Index Date 10-16-2009	B7. FIRM Panel Effective/ Revised Date 10-16-2009	B8. Flood Zone(s) VE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 24.0'
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1350 North Beach Blvd.			Policy Number:
City Bay St. Louis	State Mississippi	ZIP Code 39520	Company NAIC Number

## SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☒ Construction Drawings\* ☐ Building Under Construction\* ☐ Finished Construction

\*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: GPS Derived Vertical Datum: NAVD88

Indicate elevation datum used for the elevations in items a) through h) below.

☐ NGVD 1929 ☒ NAVD 1988 ☐ Other/Source: \_\_\_\_\_

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- |   |             |  |                                 |
|---|-------------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor)   | <u>26.5</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor   | <u>N/A</u>  | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only)   | <u>25.0</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab)  | <u>N/A</u>  | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building<br>(Describe type of equipment and location in Comments) | <u>25.0</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG)  | <u>4.4</u>  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG)   | <u>5.2</u>  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support                                  | <u>N/A</u>  | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |

## SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No ☒ Check here if attachments.

Certifier's Name Jason P. Chiniche	License Number P.E. 19732		
Title Project Manager			
Company Name James J. Chiniche P.A., Inc			
Address 412 Hwy 90 Suite 4			
City Bay Saint Louis	State Mississippi		ZIP Code 39520
Signature 	Date 4.13.2020	Telephone (228) 467-6755	Ext.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

NOTE: The description in A3 above is for information only & not to certify the building location. The base flood elevation (BFE) is per Map Section B4. Recommend verification of (BFE) by local building official. The flood zone is determined by graphic plotting, owner is responsible for coordinating this certificate with contractor and/or building official as needed. At time of this certificate 04/13/2020 construction drawings were not provided. See FIRMette dated 04/09/2020 for reference. Bay St. Louis freeboard = 1.0'.

TBM is a MAG nail found on the west edge of North Beach Blvd. near the most northern property corner. EL = 4.4'.

Contractor/owner shall verify TBM description and elevation with Engineer prior to commencing construction

Contractor/owner shall request UC EC prior to commencement of framing.

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1350 North Beach Blvd.			Policy Number:	
City Bay St. Louis	State Mississippi	ZIP Code 39520	Company NAIC Number	
<b>SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)</b>				
<p>For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.</p> <p>E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).</p> <p style="margin-left: 20px;">a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ <input type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.</p> <p style="margin-left: 20px;">b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ <input type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the LAG.</p> <p>E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ <input type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.</p> <p>E3. Attached garage (top of slab) is _____ <input type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.</p> <p>E4. Top of platform of machinery and/or equipment servicing the building is _____ <input type="checkbox"/> feet <input type="checkbox"/> meters <input type="checkbox"/> above or <input type="checkbox"/> below the HAG.</p> <p>E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown. The local official must certify this information in Section G.</p>				
<b>SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION</b>				
<p>The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.</p> <p>Property Owner or Owner's Authorized Representative's Name _____</p>				
Address	City	State	ZIP Code	
Signature	Date	Telephone		
Comments				
<input type="checkbox"/> Check here if attachments.				

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 1350 North Beach Blvd.			Policy Number:	
City Bay St. Louis	State Mississippi	ZIP Code 39520	Company NAIC Number	
<b>SECTION G – COMMUNITY INFORMATION (OPTIONAL)</b>				
<p>The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.</p> <p>G1. <input type="checkbox"/> The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)</p> <p>G2. <input type="checkbox"/> A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.</p> <p>G3. <input type="checkbox"/> The following information (Items G4–G10) is provided for community floodplain management purposes.</p>				
G4. Permit Number		G5. Date Permit Issued		G6. Date Certificate of Compliance/Occupancy Issued
<p>G7. This permit has been issued for:      <input type="checkbox"/> New Construction    <input type="checkbox"/> Substantial Improvement</p> <p>G8. Elevation of as-built lowest floor (including basement) of the building: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters    Datum _____</p> <p>G9. BFE or (in Zone AO) depth of flooding at the building site: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters    Datum _____</p> <p>G10. Community's design flood elevation: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters    Datum _____</p>				
Local Official's Name			Title	
Community Name			Telephone	
Signature			Date	
<p>Comments (including type of equipment and location, per C2(e), if applicable)</p> <div style="text-align: right; margin-top: 10px;"><input type="checkbox"/> Check here if attachments.</div>				

# BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2022

## ELEVATION CERTIFICATE

**IMPORTANT:** In these spaces, copy the corresponding information from Section A.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.  
1350 North Beach Blvd.

City  
Bay St. Louis

State  
Mississippi

ZIP Code  
39520

**FOR INSURANCE COMPANY USE**

Policy Number:

Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption TBM EL = 4.4'

Clear Photo One



Photo Two

Photo Two Caption Front view

Clear Photo Two

## ELEVATION CERTIFICATE

## BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008

Expiration Date: November 30, 2022

**IMPORTANT: In these spaces, copy the corresponding information from Section A.****FOR INSURANCE COMPANY USE**Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.  
1350 North Beach Blvd.

Policy Number:

City  
Bay St. LouisState  
MississippiZIP Code  
39520

Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

Photo Three

Photo Three

Photo Three Caption

Clear Photo Three

Photo Four

Photo Four

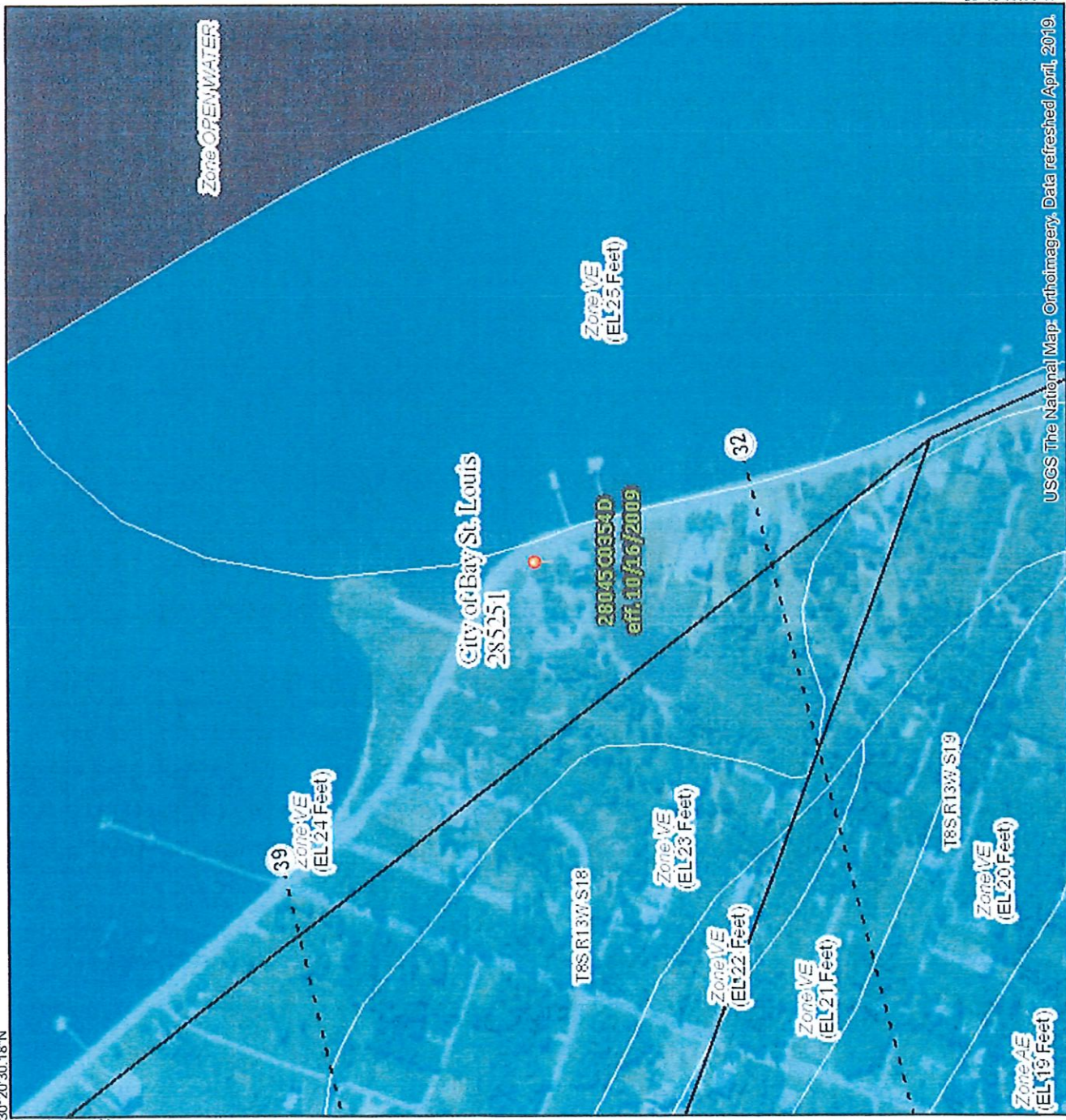
Photo Four Caption

Clear Photo Four

# National Flood Hazard Layer FIRMette



30°20'30.18"N



USGS The National Map: Orthoimagery, Data refreshed April, 2019.  
30°19'59.13"N  
1:6,000  
Feet  
0 250 500 1,000 1,500 2,000

## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

**SPECIAL FLOOD HAZARD AREAS**

- Without Base Flood Elevation (BFE) Zone AE, VE, X
- With BFE or Depth Zone AE, AO, AH, VE, AR
- Regulatory Floodway

**OTHER AREAS OF FLOOD HAZARD**

- 0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee, See Notes, Zone X
- Area with Flood Risk due to Levee Zone D

**OTHER AREAS**

- Area of Minimal Flood Hazard Zone X
- Effective LOMRs
- Area of Undetermined Flood Hazard Zone

**GENERAL STRUCTURES**

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

**Cross Sections with 1% Annual Chance Water Surface Elevation**

- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study

**OTHER FEATURES**

- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

**MAP PANELS**

- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 4/9/2020 at 3:43:05 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

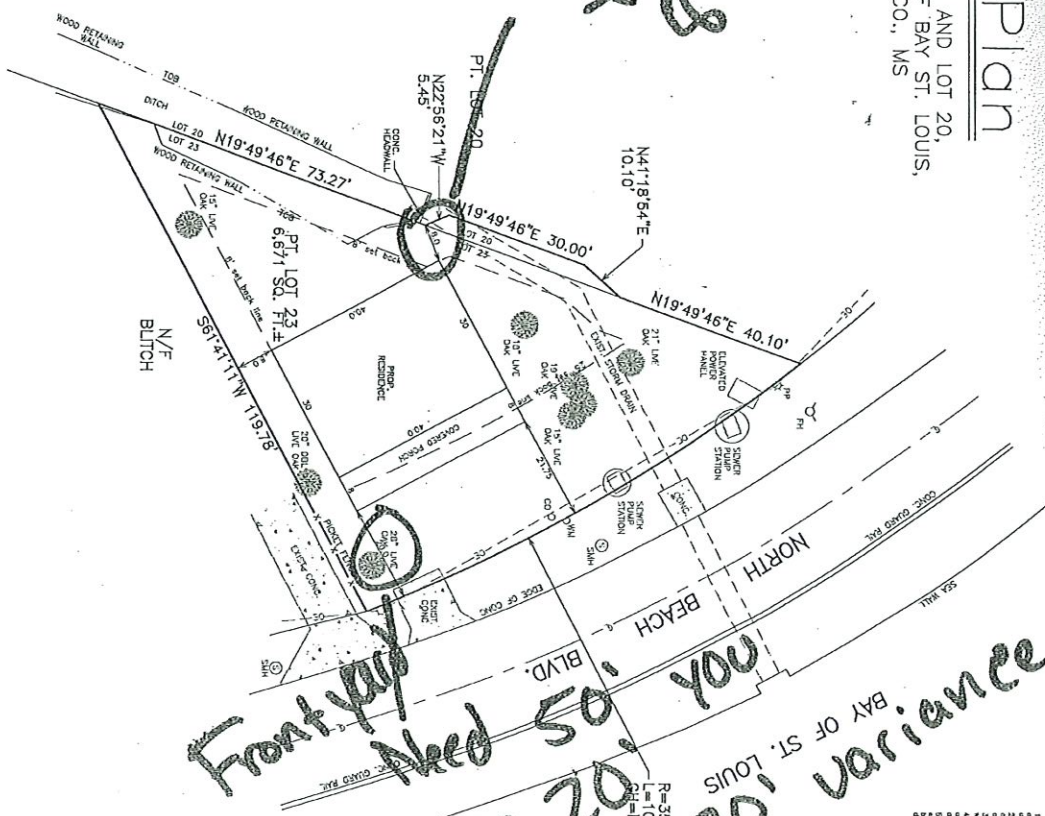
This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

# Plot Plan

PART OF LOT 23 AND LOT 20,  
FIRST WARD, CITY OF BAY ST. LOUIS,  
HANCOCK CO., MS

variance

21 feet  
any way  
you want  
Need 20'  
Bear yard



Front yard  
Need 50'  
Have 20'  
request 30' variance

Note:  
Plot plan is drawn per survey done by JAMES J. CHINICHE,  
P.A., INC., dated 04/17/20, JOB# 2020-087

NOTES:  
1. All work shall be performed in accordance with all applicable laws, codes, ordinances, rules, regulations, and standards of the City of Bay St. Louis, Mississippi.  
2. The owner shall be responsible for obtaining all necessary permits from the City of Bay St. Louis, Mississippi.  
3. The owner shall be responsible for obtaining all necessary easements from the City of Bay St. Louis, Mississippi.  
4. The owner shall be responsible for obtaining all necessary approvals from the City of Bay St. Louis, Mississippi.  
5. All existing, utility, and other structures, including but not limited to, existing structures, shall be shown as they exist on the date of the survey.  
6. The owner shall be responsible for obtaining all necessary approvals from the City of Bay St. Louis, Mississippi.



**Techni-CAD Drafting Service**  
17121 Fenton-Dedeaux Road  
Kiln, MS 39556  
Ph: 228-326-4232 email: atcshamoment@com.com

Prepared For:  
Lee & Taryn Rodgers  
1350 North Beach Blvd.  
Bay St. Louis, MS

Scale:	1"=10'
W.O. #:	42324
Date:	04/28/24
Drawn by:	TJP
Sheet:	P