

GENERAL NOTES:

- DO NOT SCALE PLANS. USE WRITTEN DIMENSIONS ONLY. IF ANY DISCREPANCIES ARE FOUND, REPORT THEM IMMEDIATELY TO DESIGNER FOR CLARIFICATION.
- GENERAL CONTRACTOR SHALL HIRE A LICENSED LAND SURVEY COMPANY TO VERIFY ALL PROPERTY LINE LOCATIONS AND BUILDING SET BACKS TO COMPLY WITH LOCAL BUILDING AND ZONING CODES. REPORT ANY DISCREPANCIES TO DESIGNER BEFORE BUILDING.
- OWNER/ GENERAL CONTRACTOR SHALL SECURE ALL PERMITS
- SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND REPORT ANY UNEXPECTED CONDITIONS. A SITE VISIT BEFORE BID IS RECOMMEND. SUBCONTRACTORS ARE RESPONSIBLE ANY DAMAGE TO EXISTING UTILITIES DURING CONSTRUCTION.
- SUBCONTRACTORS SHALL, BEFORE STARTING WORK, SECURE INSURANCES FROM AN INSURANCE COMPANY AUTHORIZED TO WRITE INSURANCE IN LOUISIANA. ALL SUBCONTRACTORS AGREE TO INDEMNIFY AND HOLD HARMLESS BOTH THE OWNER AND GENERAL CONTRACTOR.
- MECHANICAL, ELECTRICAL AND PLUMBING SUBCONTRACTORS TAKE FULL RESPONSIBILITY TO REVIEW AND OR HAVE REVIEWED AT THERE EXPENSE THEIR PERSPECTIVE WORK ON THIS PROJECT. IN ADDITION, THE ABOVE SUBCONTRACTORS AGREE TO HOLD HARMLESS THE DESIGNER, GENERAL CONTRACTOR AND OWNER FOR ANY ERRORS OR DISCREPANCIES THAT MAY CONFLICT WITH THERE WORK OR FINAL PRODUCT OR PERFORMANCE OF THERE SYSTEMS. SUBCONTRACTORS UNDERSTAND THAT THE DESIGNED SHEETS IN THESE PLANS REQUIRE ADDITIONAL REVIEW AND APPROVAL FROM OWNER. ALL SELECTIONS SHOULD BE REVIEWED AND APPROVED BY OWNER.

DESIGN CRITERIA & CODE REFERENCES

Whitewood Homes adheres to the Design Criteria outlined in the 2018 International Residential code as well as ACT 12 Amendment concerning R301.1.1 (design criteria) for one an two family dwellings as required for areas where basic wind speeds equal or exceed 140MPH.

As for design criteria in R301.2.1.1, I will follow the American Forest and paper association (AF&PA) wood frame construction manual for one and two family dwellings (WFCM). Not all specifications are expressly noted on the plans. Therefore, It is the responsibility of the individual builder and or contractor to comply with the following codes. This plan was designed to meet R301 design load criteria .40PSF live, 30 PSF live load for sleeping rooms, 20 SPF roof live load, and design wind speed is 140 MPH.

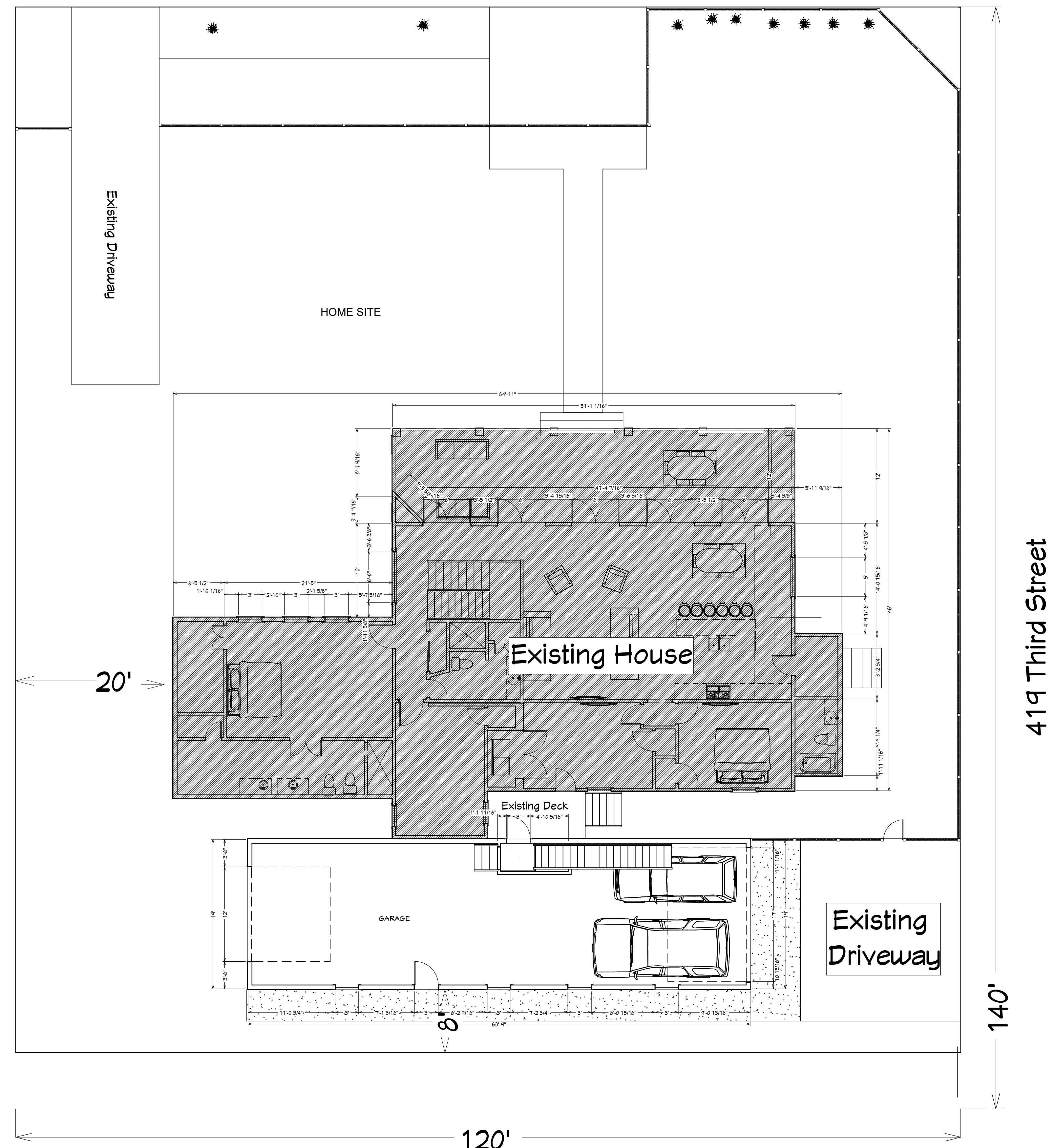
TABLE R301.2

GROUND SNOW LOAD	ZERO
WIND SPEED	140 MPH.
SEISMIC DESIGN CATEGORY	A
WEATHER DAMAGE	NEGLIGIBLE
FROST LINE DEPTH	N/A
TERMITE DAMAGE	VERY HEAVY
DECAY DAMAGE	MOM./SEVERE
WINTER DESIGN TEMPERATURE	32 DEGREES F.
ICE SHIELD UNDERLAYMENT REQUIRED	NO
AIR FREEZING INDEX	18
MEAN ANNUAL TEMPERATURE	68.2 DEGREES F.

OWNER OBLIGATIONS

- OWNER SHALL EMPLOY A LICENSED AND INSURED ENGINEER TO REVIEW THE PLANS, DESIGN THE PILING, FOUNDATION, AND FRAMING FOR THE PROJECT. THE DESIGNER IS NOT CONTRACTED TO COORDINATE OR PARTICIPATE IN THIS WORK AND IT IS NOT PART OF THE DESIGNERS SCOPE OF WORK. THE DESIGNER ASSUMES NO RESPONSIBILITY OR LIABILITIES FOR THE FOUNDATION AND WOOD STUD FRAMING DESIGN WORK, ITS IMPLEMENTATION/ PERFORMANCE, OR ITS ASSOCIATED EFFECTS ON THE DESIGNED SYSTEMS.
- OWNER IS RECOMMEND TO OBTAIN ALL NECESSARY INSURANCES.
- OWNER IS RECOMMENDED TO EMPLOY A LICENSED AND INSURED GENERAL CONTRACTOR TO PERFORM THE WORK FOR THIS PROJECT.

SITE PLAN 1/8" SCALE



Garage	1,170 S.F.
Front Porch	114 S.F.
Living	1050 S.F.

1st Floor

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10/2/2025
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A1

WINDOW NOTES

- NOTE: WINDOWS IN BUILDINGS LOCATED IN WIND BORNE DEBRIS REGIONS SHALL HAVE GLAZED OPENING PROTECTED FROM WIND BORNE DEBRIS, WOOD STRUCTURAL WITH A MIN. THICKNESS OF 7/16" AND A MAX. SPAN OF 8' SHALL BE PERMITTED FOR OPENING PROTECTED IN ONE AND TWO STORY BUILDINGS. PANELS SHALL BE PRECUT TO COVER THE GLAZED OPENINGS WITH ATTACHMENT HARDWARE PROVIDED.

- NOTE: ANY GLAZING SILL CONDITION ON THE 2ND FLOOR OF THIS NEW STRUCTURE THAT IS 24" BELOW FLOOR SHALL HAVE APPROVED OPENING PROTECTION DEVICES INSTALLED AS PER MANUFACTURE SPECIFICATION.

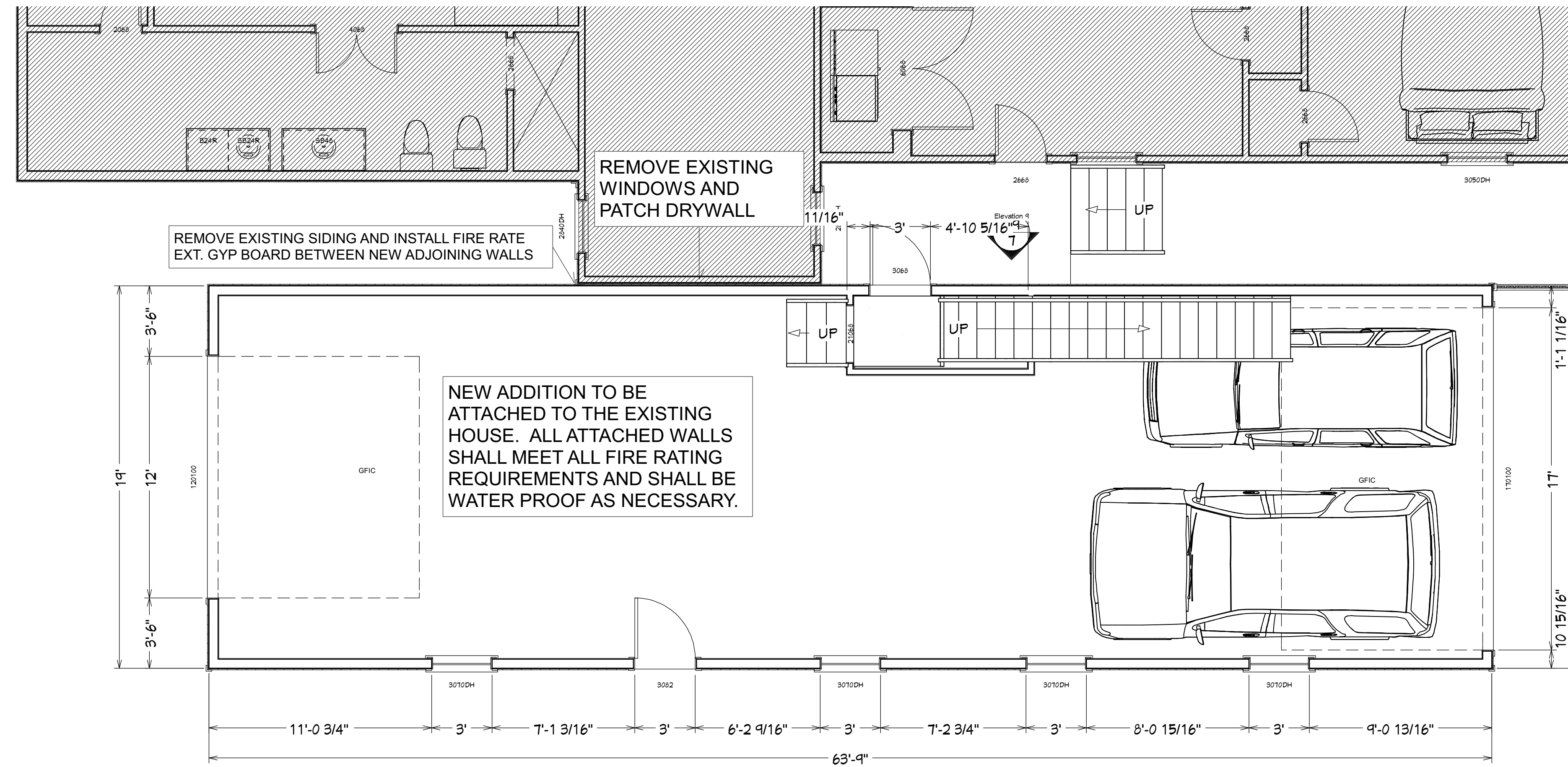
- NOTE: ALL NEW GLAZING MUST MEET THE REQUIREMENTS OF CLIMATE ZONE 3 ON TABLE N1102.1 OF THE IRC.

- NOTE: ALL NEW GLAZING MUST HAVE A SHGC RATING OF .40 OR LOWER AND A U-FACTOR OF .75 OR LOWER TO COMPLY WITH 2006 IECC

-NOTE: WINDOWS ABOVE TUBS MUST ME SAFETY GLASS

-NOTE: AT LEAST ONE WINDOW PER BEDROOM SHALL MEET EGRESS

Garage Plan 1/4" SCALE



1st Floor

- **NOTE:** ALL FRAMING MATERIALS BELOW THE MINIMUM FLOOR ELEVATION (B.F.E.) MUST BE TREATED FOR WATERPROOFING.

- **NOTE:** ALL FRAMING MATERIALS FOR THIS ATTACHED STRUCTURE SHALL BE PRESSURE-PRESERVATIVE TREATED WOOD IN ACCORDANCE WITH THE AWPA STANDARD IN THE IRC 2018 SECTION R318.1. ALL BUILDING MATERIALS USED SHALL COMPLY WITH IRC 2018 SECTION R322.1.8.

- **NOTE:** ONLY IF GARAGE AREA IS BELOW B.F.E. OR REQUIRED BY CODE SHALL THE CRAWLSPACE VENTS OR EQUIVALENT BE USED IN THE ENCLOSED AREAS ON THIS PLAN. IF APPLICABLE, THE TOTAL NET AREA OF THESE OPENINGS SHALL BE AT LEAST 1 SQUARE INCH FOR EVERY SQUARE FOOT OF ENCLOSED SPACE. THE DESIGN OF THESE OPENINGS WELL PROVIDE FOR EQUALIZATION OF HYDROSTATIC FLOOD FORCED ON EXTERIOR WALL BY ALLOWING FOR THE AUTOMATIC ENTRY AND EXIT OF FLOOD WATERS AS SPECIFIED IN SECTION 2.6.2.2 OF ASCE 24. THE BOTTOM OF EACH OPENING SHALL BE 1 FOOT OR LESS ABOVE ADJACENT GRAND LEVEL. OPENINGS SHALL BE NOT LESS THAN 3 INCHES IN ANY DIRECTION IN THE PLANE OF THE WALL.

THE DESIGNER, WHITEWOOD HOMES LLC, SHALL BE DEEMED AS THE AUTHOR AND OWNER OF THESE PLANS INCLUDING THE DRAWINGS AND SPECIFICATIONS AND RETAINS ALL COMMON LAW RIGHTS AND COPYRIGHTS. ANY USE OF THESE PLANS INCLUDING THE DRAWINGS OR SPECIFICATION WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGNER SHALL BE STRICTLY PROHIBITED.

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- NOTE: ANY GLAZING SILL CONDITION ON THE 2ND FLOOR OF THIS NEW STRUCTURE THAT IS 24" BELOW FLOOR SHALL HAVE APPROVED OPENING PROTECTION DEVICES INSTALLED AS PER MANUFACTURE SPECIFICATION.

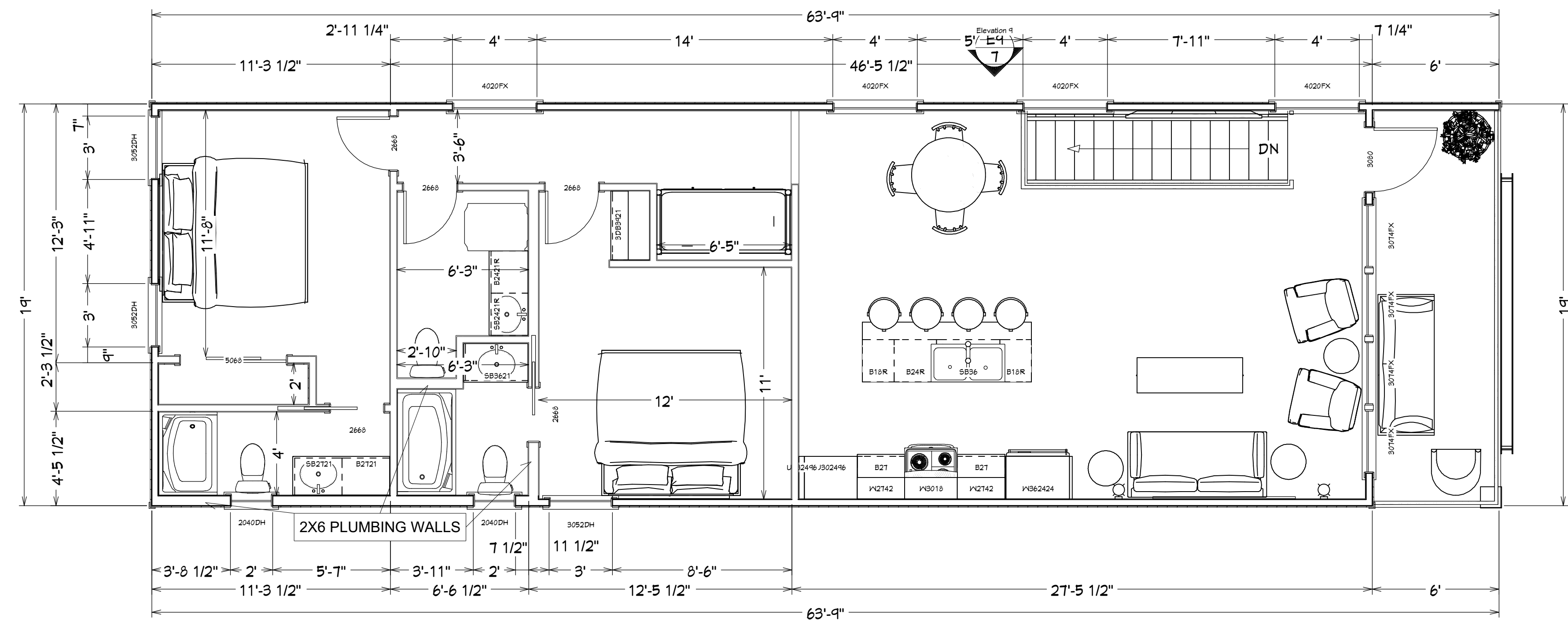
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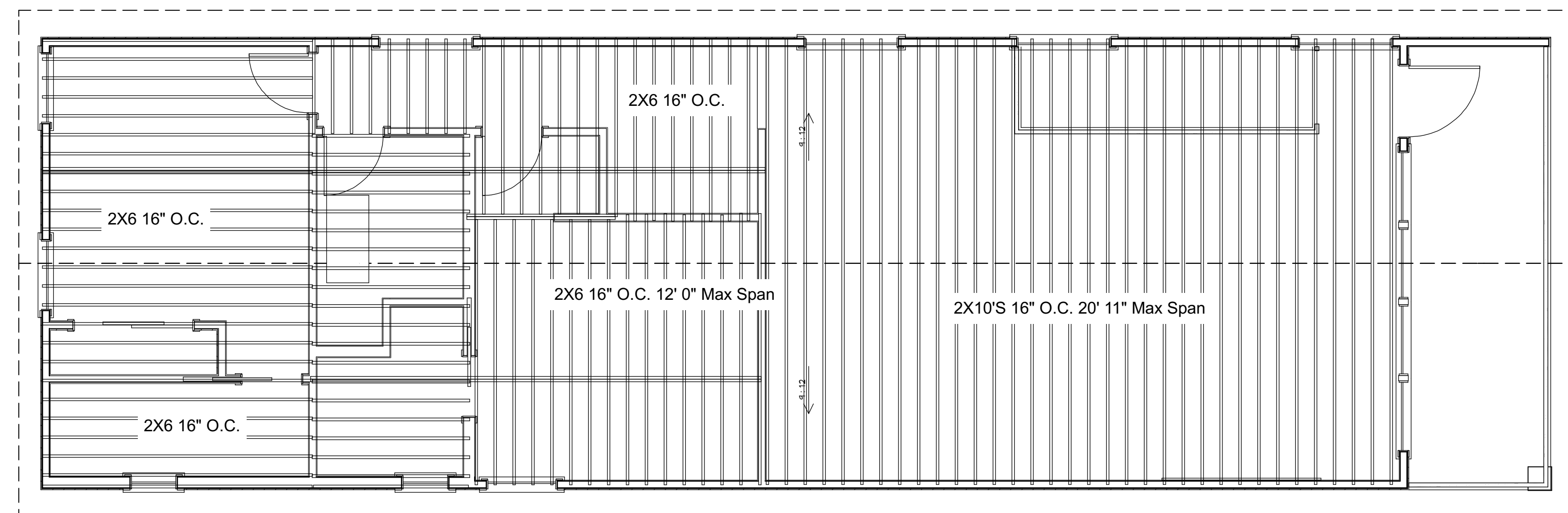
-NOTE: WINDOWS ABOVE TUBS MUST ME SAFETY GLASS

-NOTE: AT LEAST ONE WINDOW PER BEDROOM SHALL MEET EGRESS

2ND FLOOR Plan 1/4" SCALE



2ND FLOOR CEILING JOIST LAYOUT 1/4" SCALE



- **NOTE:** ALL FRAMING MATERIALS BELOW THE MINIMUM FLOOR ELEVATION (B.F.E.) MUST BE TREATED FOR WATERPROOFING.

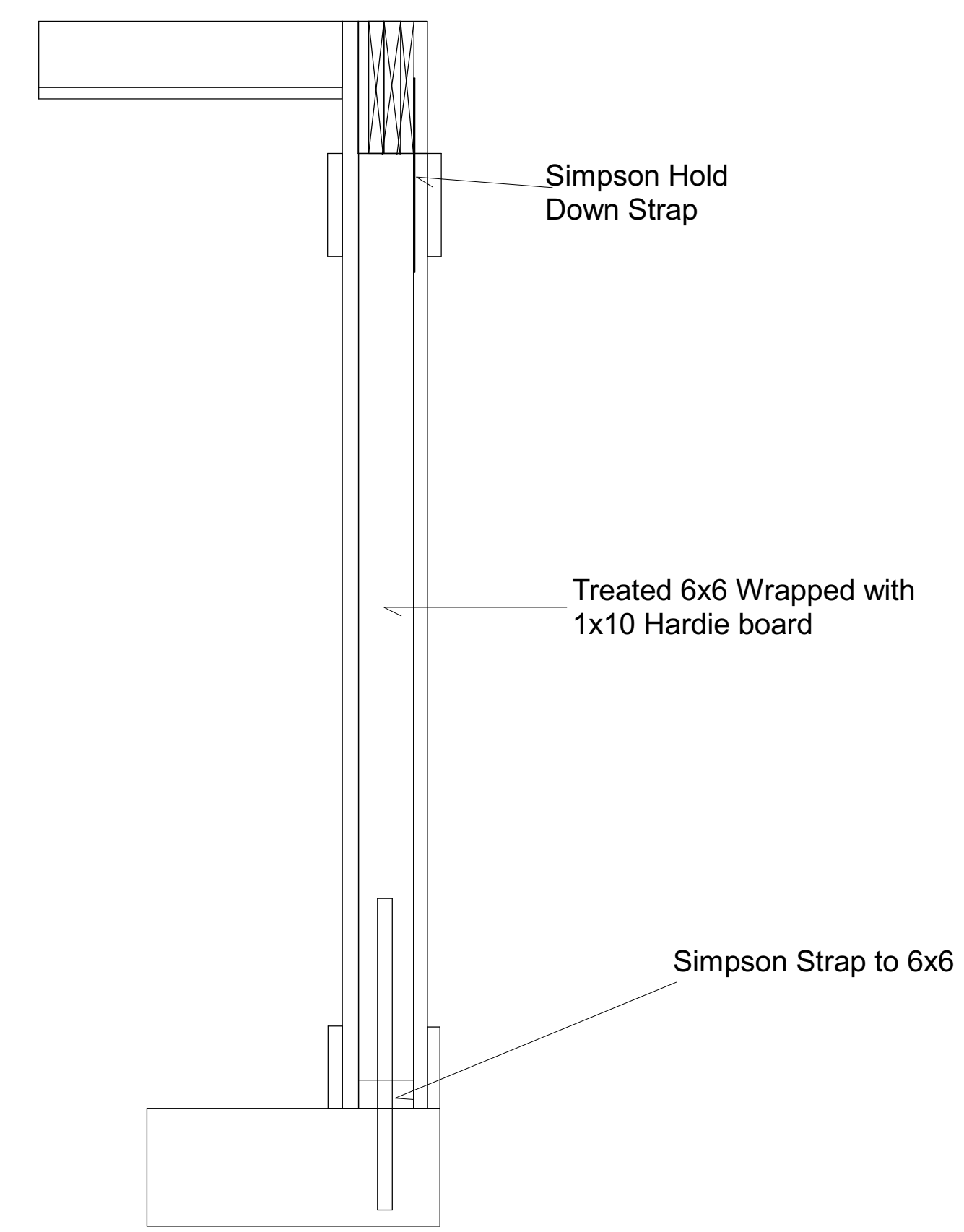
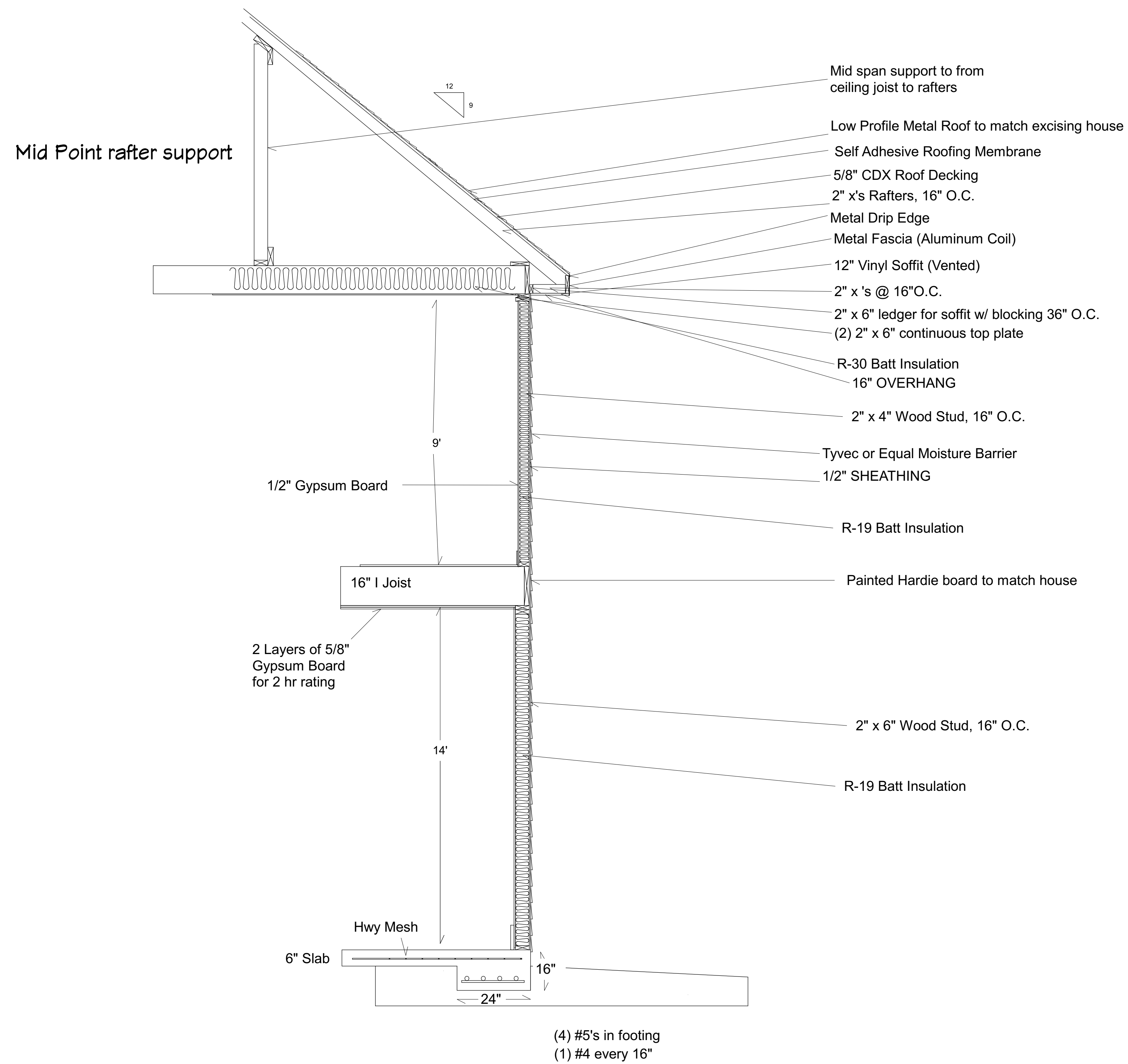
- **NOTE:** ALL FRAMING MATERIALS FOR THIS DETACHED STRUCTURE SHALL BE PRESSURE-PRESERVATIVE TREATED WOOD IN ACCORDANCE WITH THE AWPB STANDARD IN THE IRC 2009 SECTION R318.1. ALL BUILDING MATERIALS USED B.F.E. SHALL COMPLY WITH IRC 2012 SECTION R322.1.8.

- **NOTE:** CRAWLSPACE VENTS OR EQUIVALENT SHALL BE USED IN THE ENCLOSED SHED IN AREAS DEPICTED ON THIS PLAN. THE TOTAL NET AREA OF THESE OPENINGS SHALL BE AT LEAST 1 SQUARE INCH FOR EVERY SQUARE FOOT OF ENCLOSED SPACE. THE DESIGN OF THESE OPENINGS WILL PROVIDE FOR EQUALIZATION OF HYDROSTATIC FLOOD FORCED ON EXTERIOR WALL BY ALLOWING FOR THE AUTOMATIC ENTRY AND EXIT OF FLOOD WATERS AS SPECIFIED IN SECTION 2.6.2.2 OF ASCE 24. THE BOTTOM OF EACH OPENING SHALL BE 1 FOOT OR LESS ABOVE ADJACENT GRAND LEVEL. OPENINGS SHALL BE NOT LESS THAN 3 INCHES IN ANY DIRECTION IN THE PLANE OF THE WALL.

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WALL SECTION DETAIL

COLUMN DETAIL



FOUNDATION BY OTHERS AND TERMITE PROTECTION AS REQUIRED BY SEC. R318 IRC 2018 ED.

Finished Floor at or above B.F.E. MIN +0.07 NAVD REQUIRED

FOUNDATION BY OTHERS AND TERMITE PROTECTION AS REQUIRED BY SEC. R318 IRC 2018 ED.

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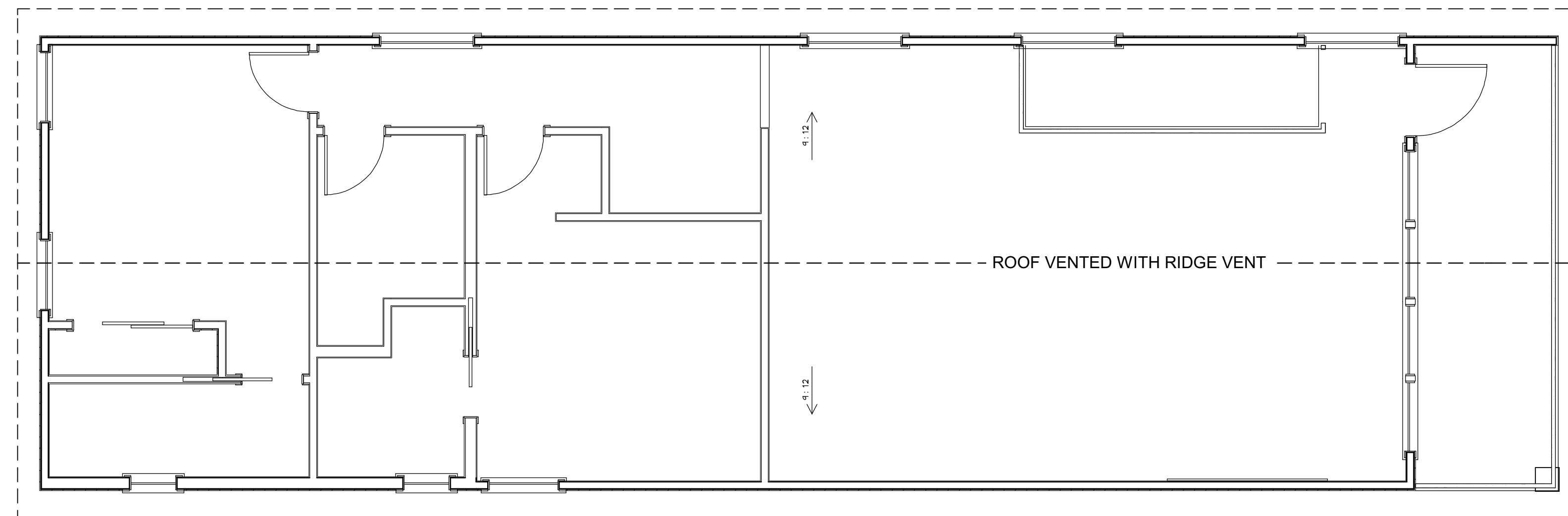
ROOFERS OBLIGATIONS

1. ROOFER SHALL DESIGN AND PROVIDE THE MEANS OF FREE AIR FLOW THAT WILL BE EXHAUSTED BY METHODS OF POWER VENTS, RIDGE VENTS, BAFFLES, OR EQUIVALENT TO ENSURE VENTING IN ATTIC SPACE AND ALL EXHAUST REQUIRED BY SEC R806 OF IRC 2012 ED. IF HOUSE IS INSULATED WITH SPRAY FOAM OR OTHER INSULATION SYSTEMS THAT DO NOT REQUIRE ATTIC VENTING, NO ATTIC VENTING IS REQUIRED.
2. IF SPRAY FOAM IS GONG TO BE APPLIED TO UNDERSIDE OF ROOF DECK, ROOFER SHALL PROVIDE MANUFACTURE RECOMMENDATION/ LIMITED WARRANTY TO OWNER/ GENERAL CONTRACTOR PRIOR TO INSTALLATION OF ROOFING PRODUCTS.
3. ROOFER SHALL BE RESPONSIBLE FOR ALL REQUIRED FLASHING AS PER MANUFACTURE INSTALLATION INSTRUCTIONS. ROOFER TO COORDINATE WITH ALL SUBCONTRACTORS THAT MAY AFFECT THERE WORK OR SCHEDULE.

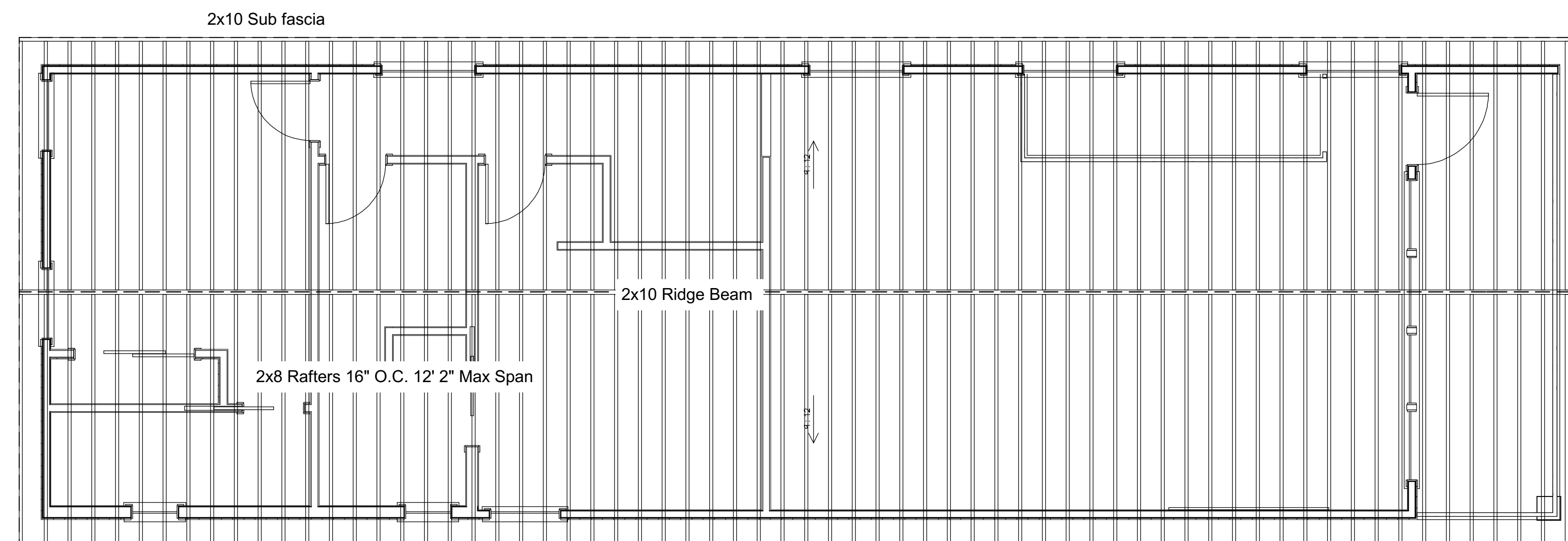
 ROOF CALLOUTS

 ROOF VENT

ROOF PLAN 1/4" SCALE



ROOF FRAMING PLAN 1/4" SCALE



2nd Floor

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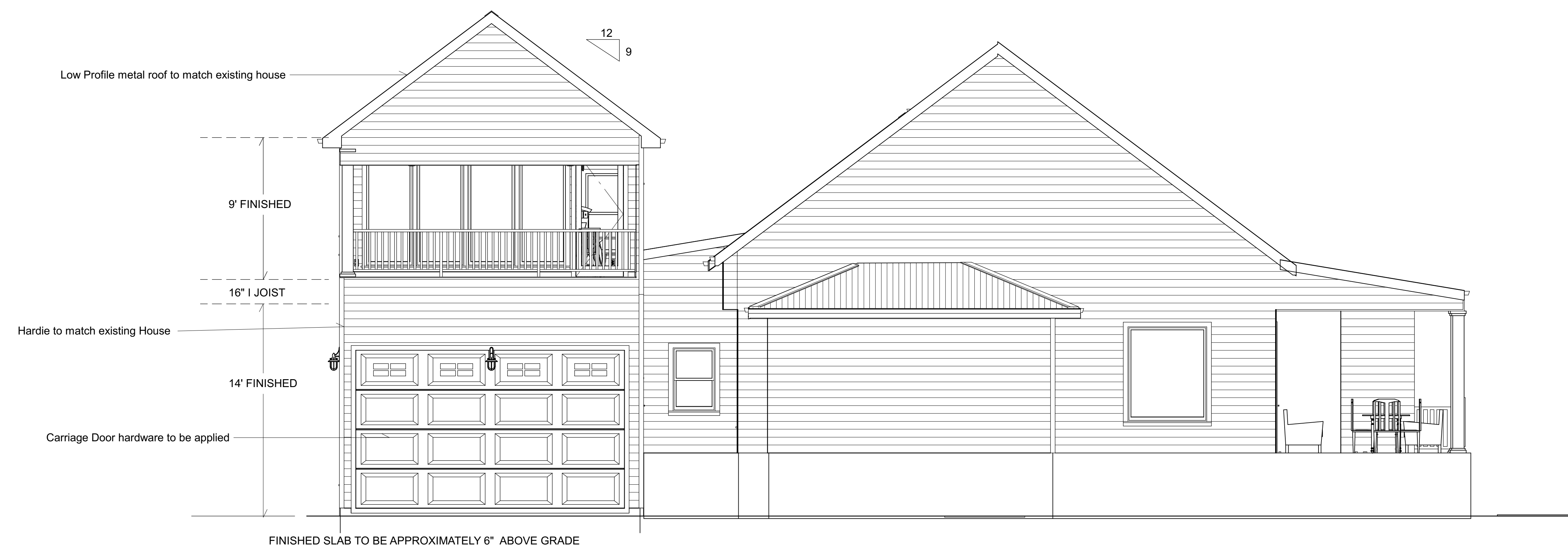
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FRONT ELEVATION 1/4" = 1' SCALE
10' CEILING HEIGHT



REAR ELEVATION 1/4" = 1' SCALE
10' CEILING HEIGHT



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Notes:

Windows to match existing house window dividers

Low Profile metal roof to match existing house

Hardie to match existing House

LEFT ELEVATION 1/4" = 1' SCALE



RIGHT ELEVATION 1/4" = 1' SCALE



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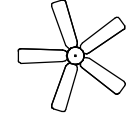
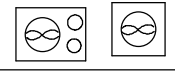

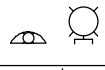



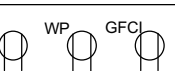
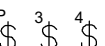
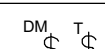
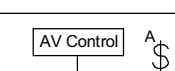
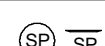


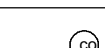
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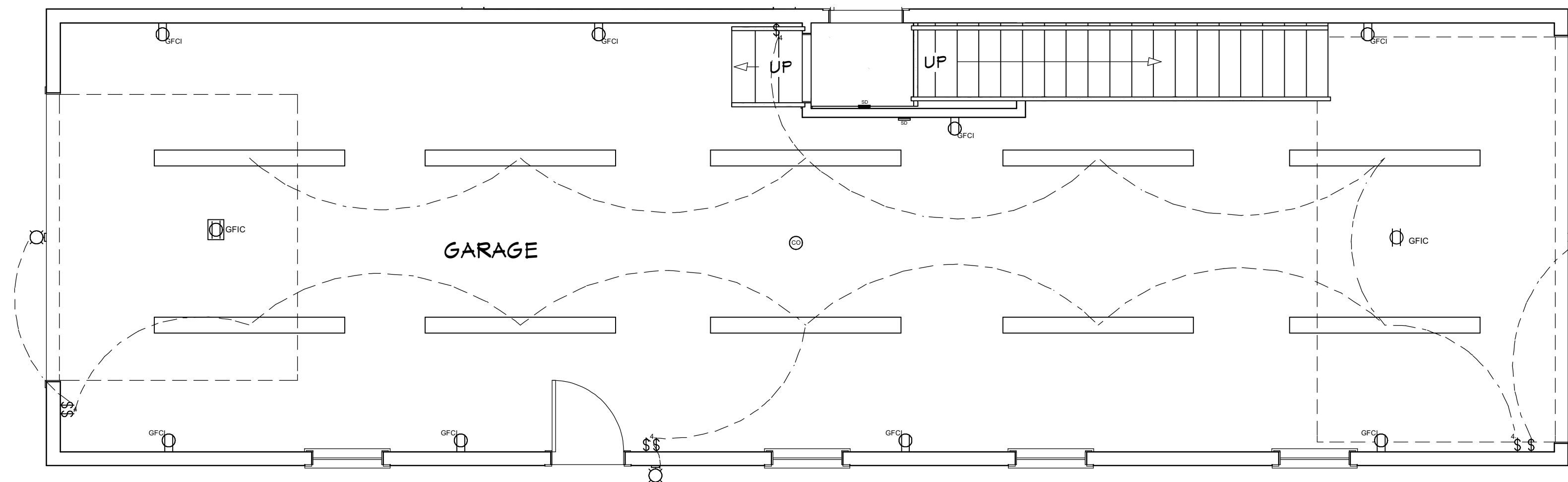
ELECTRICAL PLAN 1/4" SCALE

ELECTRICAL LEDGER	
	Ceiling Fan
	vent Fan & Heat vent fan
	Recessed light
	Wall mount light
	Chandelier
	Pendant Light
	240 Volt
	Receptacles
	Switches
	Dimmer Switches
	Audio Control
	Speakers
	Telephone/Data/TV
	Smoke Detector
	Carbon Dioxide Detector

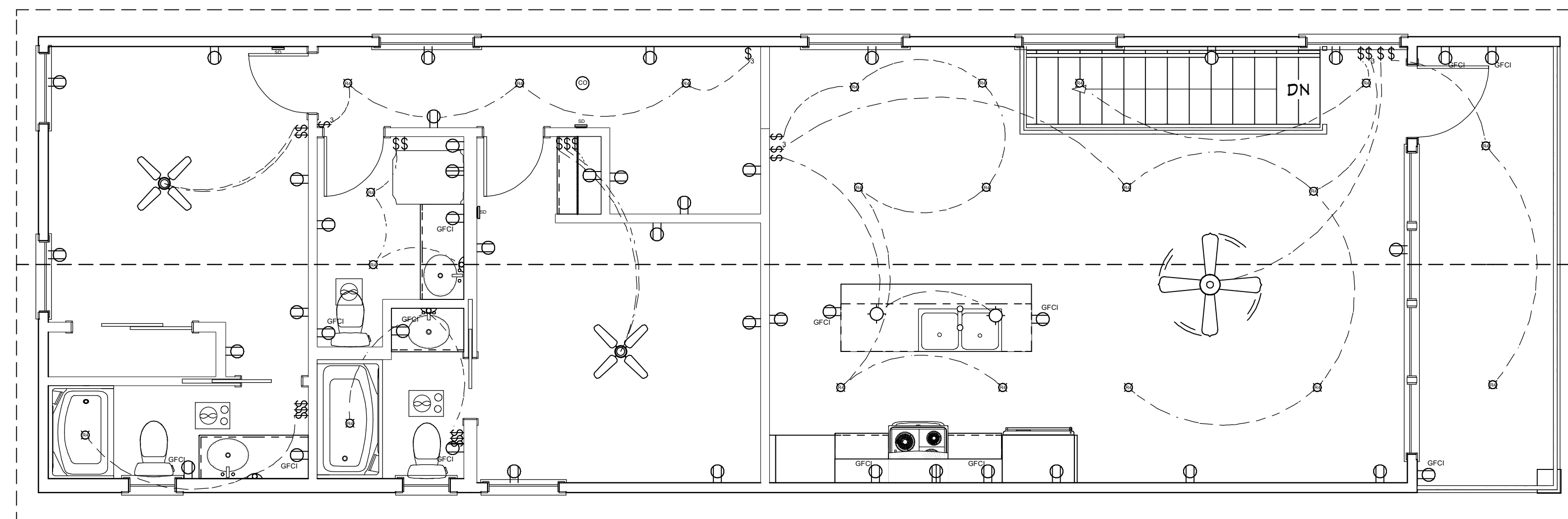
ELECTRICAL NOTES:

CONTRACTOR TO SELECT ELECTRICAL SUBCONTRACTORS FOR THE FOLLOWING. SUBCONTRACTOR WILL BE RESPONSIBLE FOR THE FOLLOWING:

1. ELECTRICAL SUBCONTRACTOR WILL BE RESPONSIBLE FOR THE REVIEW OF ALL ARCHITECTURAL DRAWINGS TO ENSURE PROPER INTEGRATION OF ALL WIRING, LIGHTING, CIRCUIT SIZING, AND ALL OTHER COMPONENTS REQUIRING ELECTRICITY. ELECTRICAL SUBCONTRACTOR TO INSTALL ALL BATH VENTS AND WIRING REQUIRED AS PER CODE AND PLAN. MECHANICAL SUBCONTRACTOR TO INSTALL VENT DUCTS FROM BATH VENTS TO EXTERIOR OF HOME. **ARCHITECTURAL DRAWINGS FOR ELECTRICAL SYSTEMS ARE FOR SCHEMATICS ONLY.**
2. ELECTRICAL SUBCONTRACTOR WILL COORDINATE WITH AUDIO/ VIDEO/ SECURITY SUBCONTRACTORS TO ENSURE POWER SUPPLY IS PROVIDED.
3. ELECTRICAL SUBCONTRACTOR TO COORDINATE WITH PLUMBING AND MECHANICAL SUBCONTRACTORS TO ENSURE PROPER SIZE AND LOCATION OF ALL PLUMBING AND MECHANICAL SYSTEM CIRCUITS, DISCONNECTS, AND HOOKUPS.
4. ELECTRICAL SUBCONTRACTOR SHALL REQUEST, REVIEW, LOCATE, AND SUBMIT FOR SIGN OFF'S TO OWNER FOR ALL ELECTRICAL FIXTURES. ELECTRICAL SUBCONTRACTOR ASSUMES ALL RESPONSIBILITY FOR FIXTURE LOCATION ERRORS.

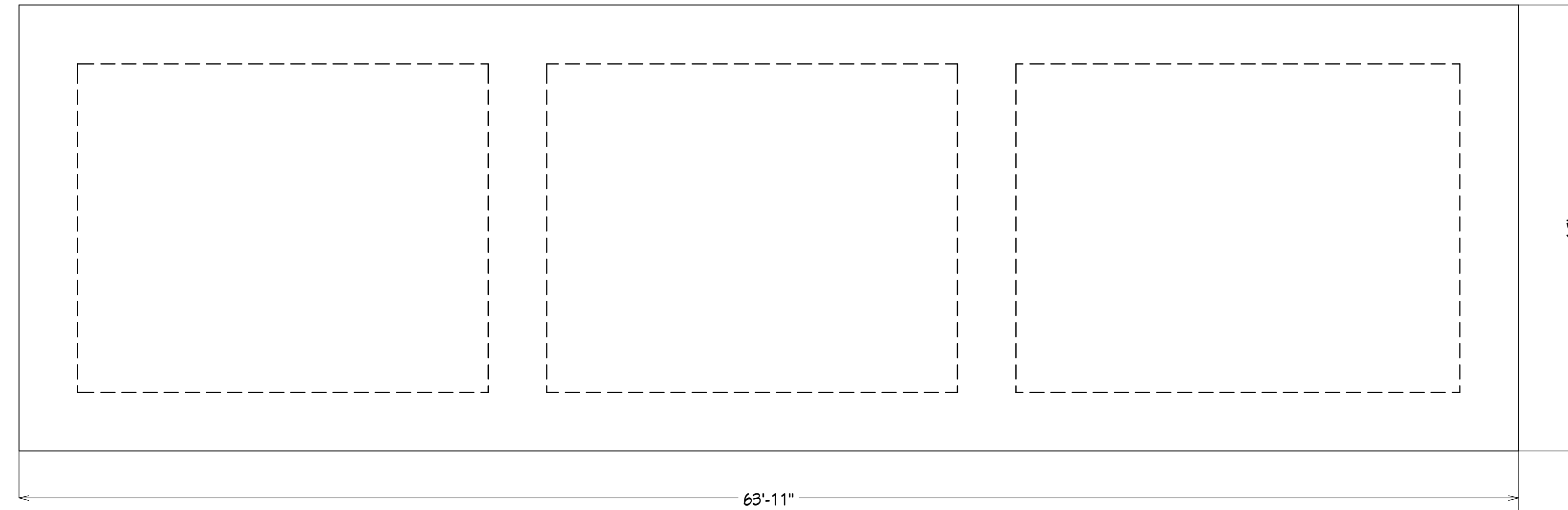


1st Floor



2nd Floor

FOUNDATION PERIMETER 1/4" SCALE



Foundation

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