

Certificate of Appropriateness/Conceptual Review Application Form

Property Address: 330 Carroll Ave, Bay Saint Louis
 Applicant Name: GERALD SPOTORNO Owner Name: - SAME -
 Mailing Address: 330 Carroll Ave Mailing Address: _____
 Phone: 228-671-1689 Phone: _____

Project Classification: Criteria for issuance of certificates of appropriateness can be found in Section VIII of the BSL Historical Preservation Ordinance, No. 509. Please check appropriate box(es)

Conceptual Review: Discuss with the commission preliminary design ideas for a project. The commission will address the appropriateness of the proposal and provide helpful advice. Items needed include, but are not limited to, site plan (plat) indicating where the proposed project is to be built. Photos and/or sketches of the proposed improvements. No architectural drawings are required. A COA will not be issued for a C.R.

Addition / Renovation: Exterior alterations and or additions should be compatible with the building itself; its original design & style. Items needed: photos of existing improvements. Site plan accurately depicting the placement of current & proposed improvements. Plans & exterior elevations drawn to scale that clearly show the design and architectural character of the proposed addition or alteration as it relates to the existing improvements. List of materials describing the size, textures and other characteristics about their appearance.

New Construction: New Construction should be visually compatible with the buildings and environment to which it is related, their effect upon the immediate surroundings and the district as a whole while maintaining the rhythm created by building masses, relationships between windows, doors, materials, textures, the patterns, the trims, and the design of the roof. Items needed: Architectural drawings to scale. Site plan, to scale (plat) indicating where the proposed project is to be built. Specific description of materials, types & sizes. Photographs of proposed site. Incomplete application for new construction may be considered under conceptual review.

Demolition: Consideration is given to the individual architectural, cultural, and/or historical significance of the resource; the importance or contribution of the resource to the architectural character of the district; and to neighboring property values. Items needed; Photographs of existing building. Site Plan to scale. Condition reports; Foundation plan of replacement and/or documentation of justification.

I hereby certify that I understand this application will not be accepted and processed until all requested information has been supplied. I also understand this application may require a site visit/additional research.

Applicant's Signature: [Signature] Date: 8/25/25
 Owner's Signature: [Signature] Date: 8/25/25

Please refer to the checklist of materials required with your application
A Meeting with the Bay St Louis HPC to discuss the specific details of your project is strongly encouraged.

Application

HPC Review / City Council Review

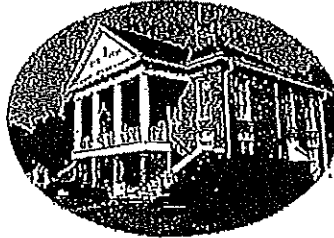
Historic Preservation Commission / City Council Use Only

Historic District	Case Number
Historic Preservation Commission Reviewed	Review Date
Recommendation: <input type="checkbox"/> Approval <input type="checkbox"/> Approval with Conditions <input type="checkbox"/> Disapproval	
Comments	
Requires Property Owner / Applicant Signature	
City Council Reviewed	Review Date
COA Action: Approval <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> Date COA Action	Review Date
Comments	
(BSL Historic Preservation Commissioner) Signature	(City Council President) Signature
Date	Date

Once Completed & Signed - Original copy - HPC, Copy-Building Department

BAV SAINT LOUIS

Bay St. Louis



Historic Preservation Commission

SUBMITTAL CHECKLIST

Property Owners Information:

Name: Gerald and Heidi Spornano

Address: 330 Carroll Ave.
(No P.O. Boxes)

Telephone Number () _____ Cell Number (228) 671-1689

ADDRESS OF PROPERTY IN QUESTION IF DIFFERENT FROM ADDRESS STATED ABOVE: _____

Give written scope of work to be performed: _____

14T 16' X Lgth 60' X W-12' RV Pole
Bayn. 6x6 post, steel truss, and
steel galvanized TUF RIB ROOF
Construction.

APP 43
PROJECT 2025-44

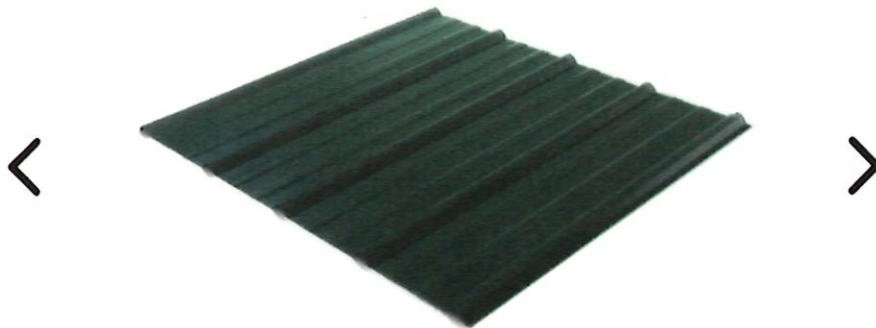


Tuff-Rib



Request Pricing

coverage, category leading finishes, and high production volumes combine to ensure that everyone can afford a quality steel roof system.



Contact Form



Site Proposal

SPOTLAND - 330 Carroll Ave

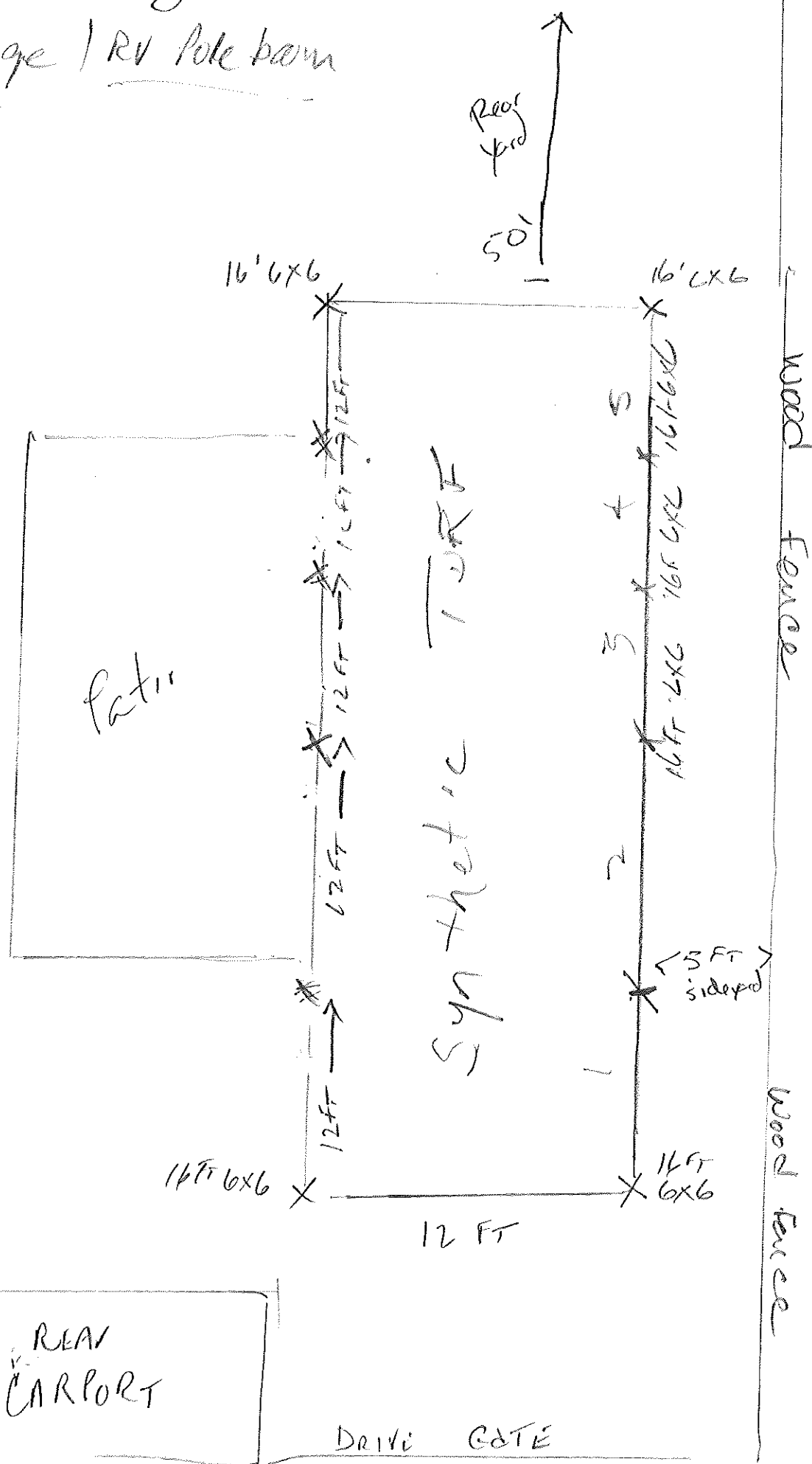
Rear yard setback → 50'

Proposed Driveway Casing
RV Park Basin

50'
50'
SIT SET BACK

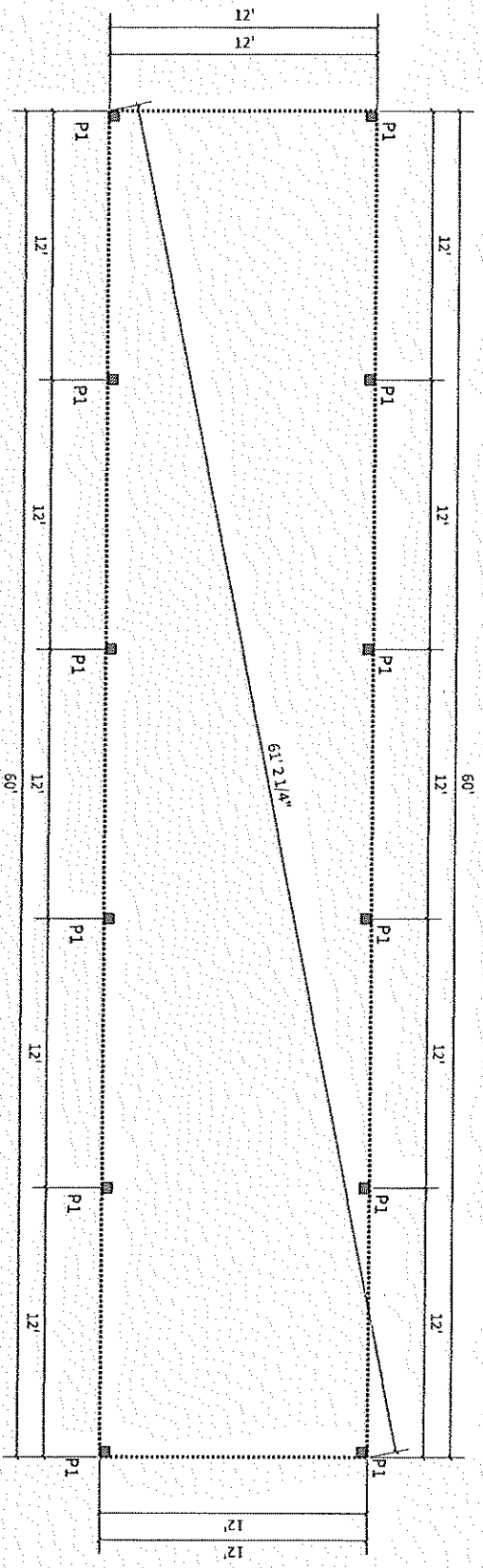


330 Carroll Ave backyard
Balling Cage / RV Pole barn



Post Layout

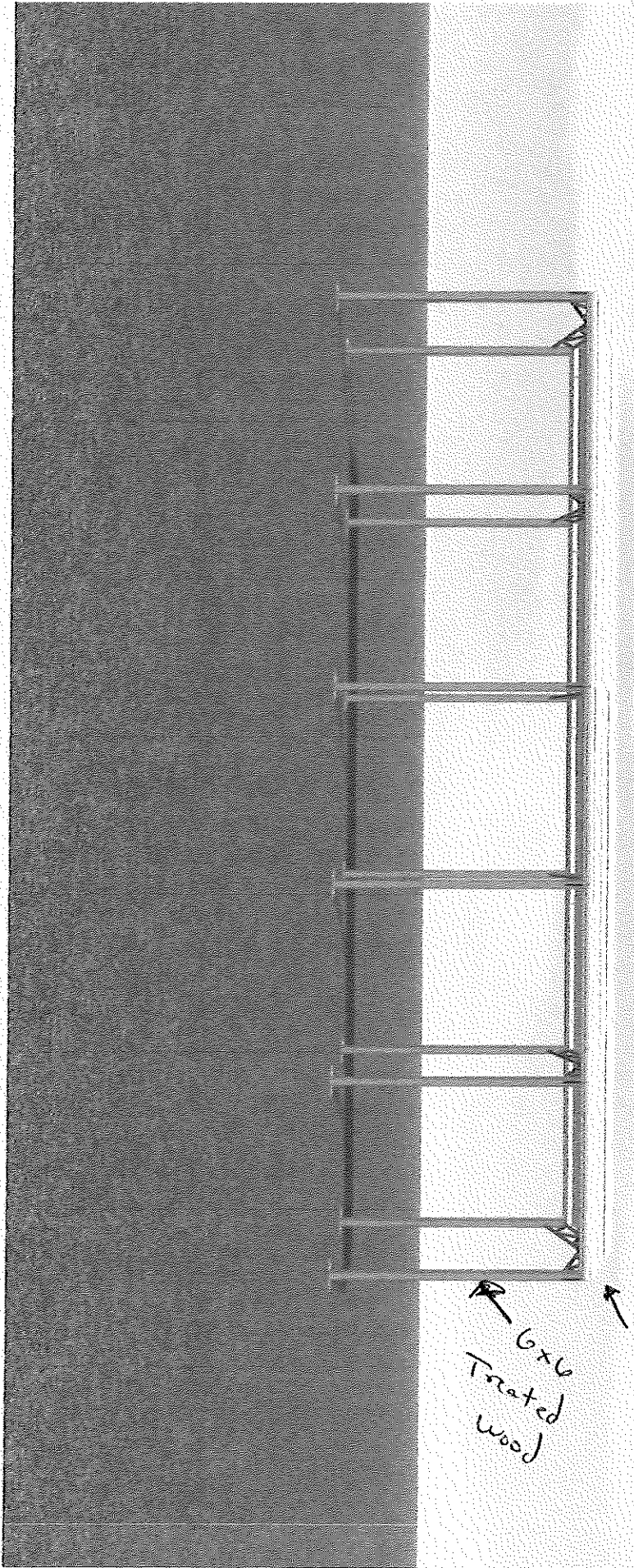
Job:
Date: 8/22/2025
Time: 1:09 PM



P1	6x6 Treated
	HOLE: 4' x 2'
	Cubic Yard Concrete
	Cubic Yard Concrete
	Cubic Yard Concrete

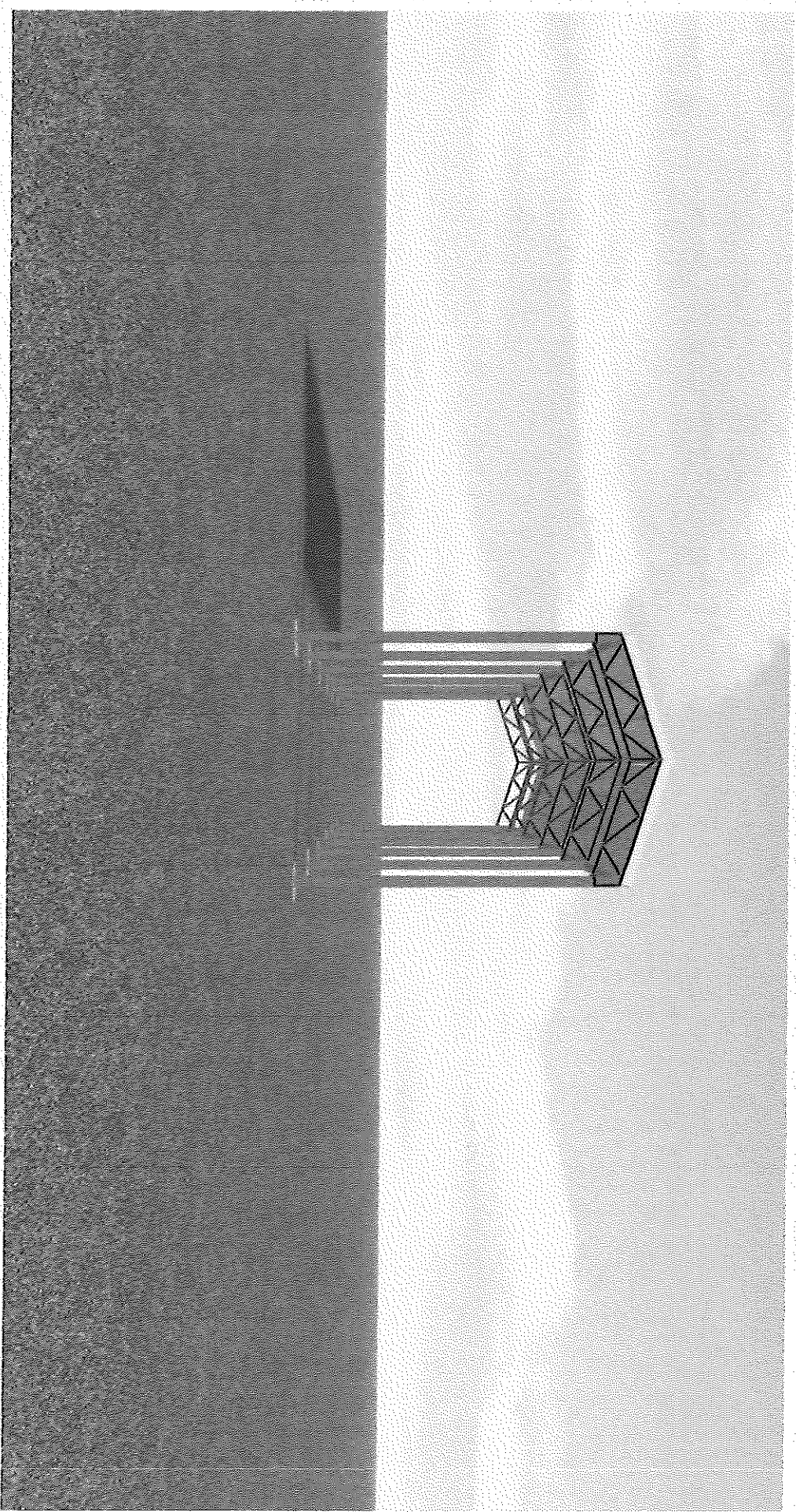


3d View for untitled



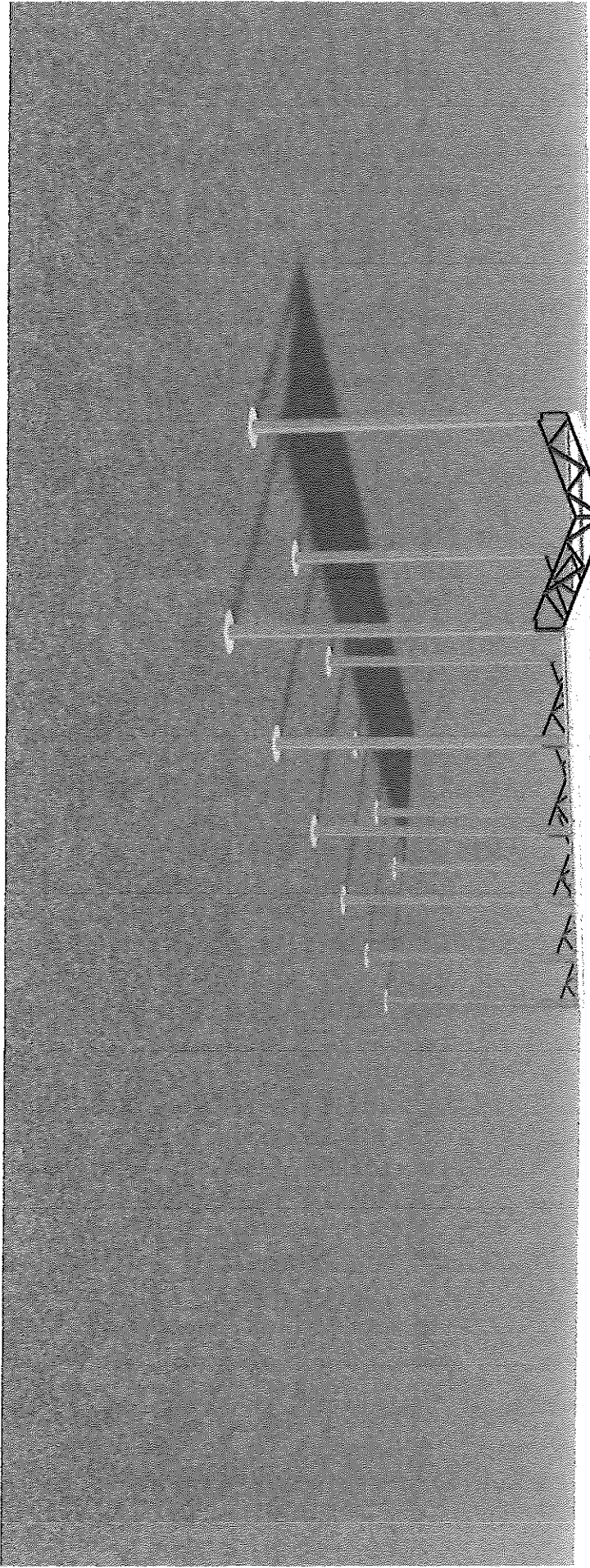


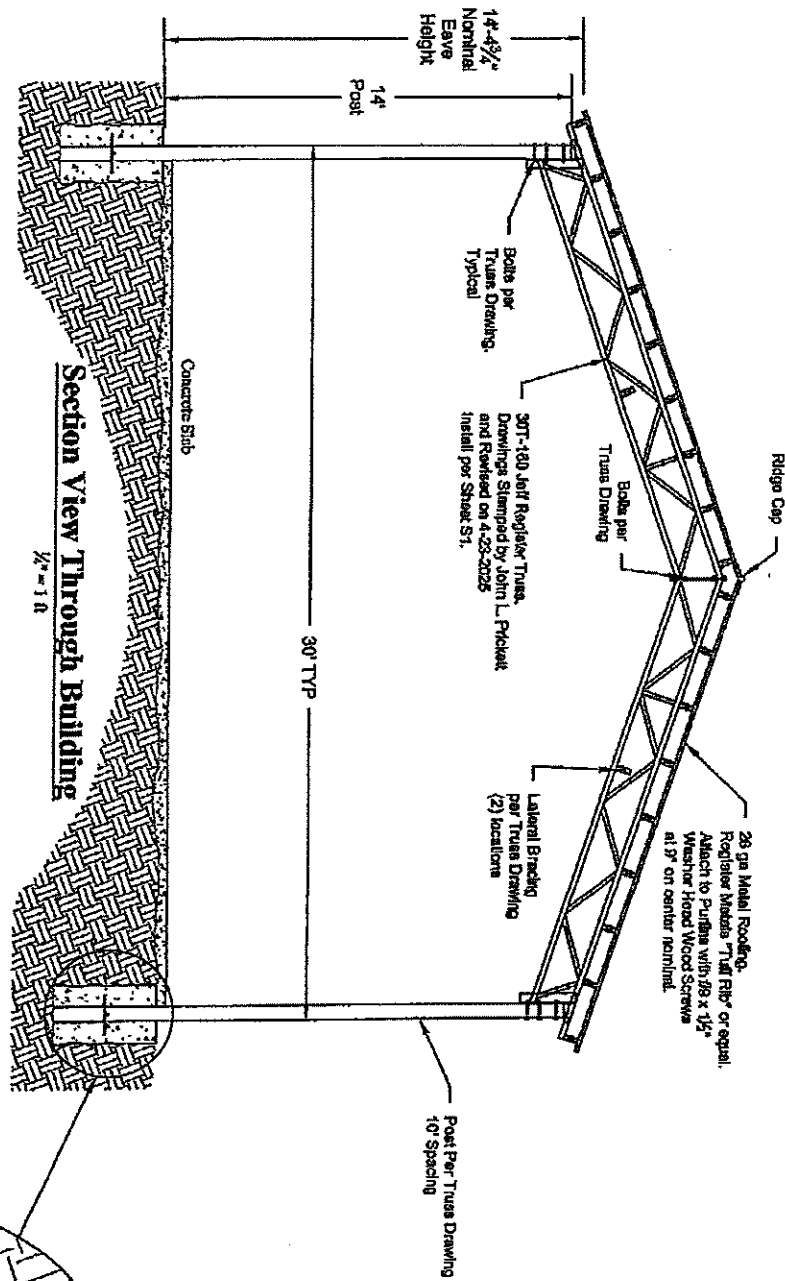
3d View for untitled





3d View for untitled



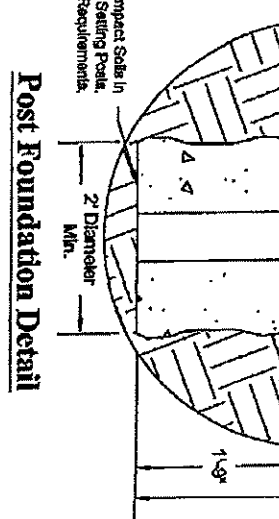


Section View Through Building

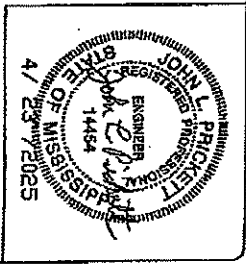
1. All materials and construction shall be in accordance with A.C.I.-318. Holes excavated for posts which intersect slabs, stiff holes, old concrete, buried organic materials, etc. shall be completely excavated, filled and compacted prior to placement of posts. If underground springs, permanent wet spots, etc. are encountered a professional engineer shall be consulted before proceeding with the fill material.
2. Fill material under posts shall be placed in maximum 3-inch lifts (before compaction). The lifts shall be compacted by packing the surface by means of hand tampers or other manually directed compaction equipment.
3. Reinforcing bars shall conform to ASTM-A-616, Grade 60 steel. Concrete placed around posts shall have a minimum 28-day compressive strength not less than 2,000 psi. (1907.3.3-1)

1. The structure is designed to comply with IBC 2018 Section 1807.2, "Embedded Posts and Poles".
2. The Presumptive Load Bearing Value of Soils used is per Class 4, Sand, Silty Sand, Clayey Sand, Silty Gravel and Clayey Gravel (SM, SP, SA, SC, GM, and GC), Allowable Vant Foundation Pressure = 2,000 psi.
3. Soil Type is assumed to be cohesive when evaluating for uplift resistance. Gravelly type soils require further design.
4. Contractor shall verify that soils meet or exceed the class and types listed above prior to construction. If soils do not meet the above requirements, a revised foundation design must be provided by a Licensed Design Professional.

Two, #4 Rebars, 18" long, Centered in Post. Orient 90 degrees apart. Drill Post 1/2" Diameter Thru and Drive Rebars In for a Tight Fit.



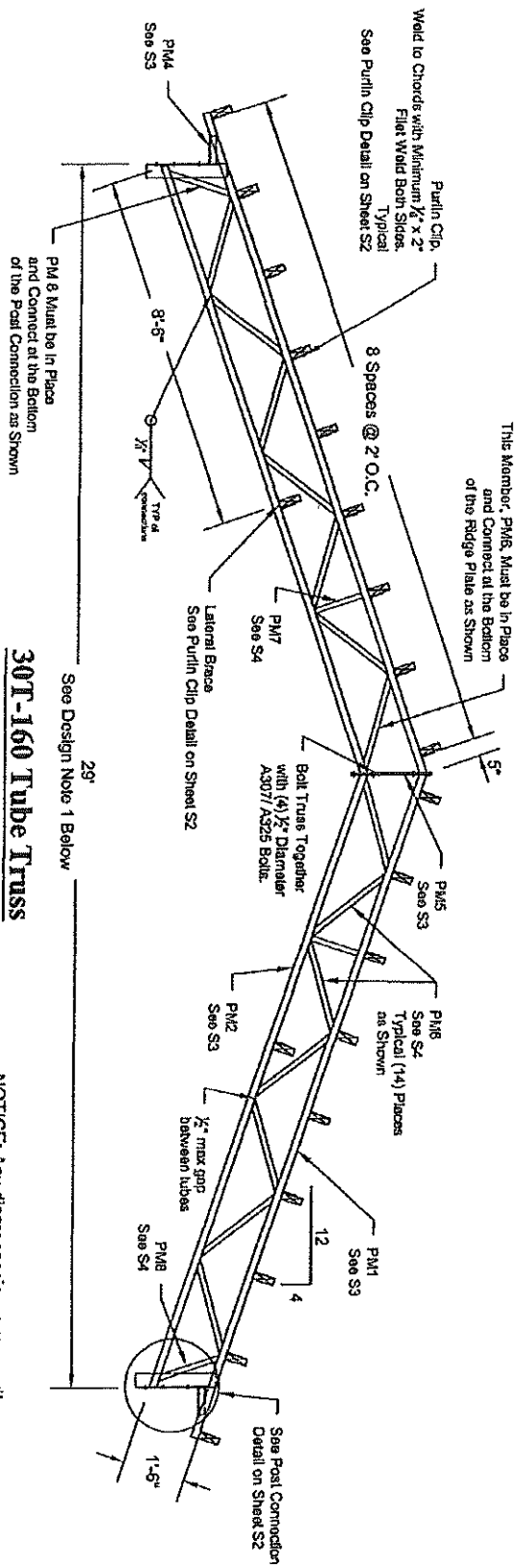
Thoroughly Compact Soils in Bottom of Hole Before Setting Post. See This Sheet for Soil Requirements.



Owner	Jeff Register Building and Truss
Project Address	General Drawing Southeast USA
Title	Standard Foundation Plan
Scale	As Noted
Date	04-17-2025
Drawn by	J.L. Prickett
Checked by	J.L. Prickett
Sheet No.	F1
Sheet Count	307-160

Jeff Register Building & Truss
 Wiggins, MS 39577
 (601) 928-5309
 WWW.REGISTERBARNs.com

John L. Prickett, P.E.
 122 Covert Avenue East
 Wiggins, MS
 (601) 928-1322 Ph
 A.E.@JeffRegister.net



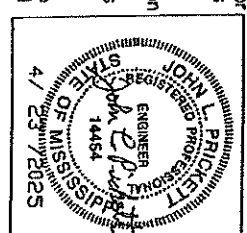
Revised 4/23/25. Earlier drawings are obsolete and should not be used for construction.

30T-160 Tube Truss

DESIGN NOTES:

- Truss Design Spacing: 10'
 - Min. Truss Design Post: 8 x 8 full sawn, #1 Dome, southern yellow pine (SYP) @ 14' eave height max.
 - See Sheet F1 for Foundation Design
- NOTES:
1. Truss can be shortened to any span shorter than 29'.
 2. Purlins to be minimum 2 x 8 SYP (Spaced maximum 2'-0" O.C.)
 3. Contractor is responsible for temporary construction bracing.
 4. Temporary truss bracing consistent with BCS-B2 shall be provided where required.
- Minimum Weld Sizes (where not otherwise detailed):
1. Where fillet welds are normally used: Provide continuous fillet weld to match thickness of thinner member (all around)
 2. Where two equal members $\frac{1}{2}$ " or thicker are butt welded: Provide full penetration, full bevel weld with $\frac{1}{2}$ " cap.
 3. Where two equal members $\frac{1}{2}$ " or thinner are butted: Provide full penetration weld with $\frac{1}{2}$ " min. thickness backing plates and $\frac{1}{4}$ " cap.
 4. For all other conditions: Have the design engineer provide written details.

Member Table			
Mark	Qty.	Part	Grade
PM1	2	HSS 2 x 2 x 1/4	A500 - Gr. B
PM2	2	HSS 2 x 2 x 1/4	A500 - Gr. B
PM3	2	1/2" x 4" FB	A36 Gr. 50
PM3.1	2	1/2" x 2 1/2" FB	A36 Gr. 50
PM4	2	L 2 x 2 x 1/4	A36 Gr. 50
PM5	2	3/8" x 4" FB	A36 Gr. 50
PM6	14	HSS 1 1/2 x 1 1/2 x 1/8	A500 - Gr. B
PM7	2	HSS 1 1/2 x 1 1/2 x 1/8	A500 - Gr. B
PM8	2	HSS 1 1/2 x 1 1/2 x 1/8	A500 - Gr. B



Applicable Codes:
IBC Use:
IBC 2018, IBC 2021
U (utility)

Design Loads:
Roof Dead Load - 3.7 psf
Collateral load - 1 psf
Roof Live Load - 20 psf, reducible
Snow Load - 10 psf
Wind Speed - 160 mph - (ASCE 7-10)
Exposure - 9
Structure - Open
Risk Category - I
Wind design controls.

General Welding Requirements:
1. All welding shall conform to the latest applicable AISC / AWS standards.
2. Welding to the sheathing (i.e. PBR panels) is not permitted.
3. All defective welds to be ground out and repaired.
4. Weld fillet sizes shown may be increased up to 50% where thickness and fillet allow.
5. Weld ripples shown may be increased up to a continuous weld.

30T-160

Order No. 2084-S-F1
Date 04-17-2025
As Noted

Client: Jeff Register Building and Truss
Project Address: General Drawing Southeast USA
Title: Main Truss, 30ft Tube Truss

FABRICATOR:
Jeff Register Building & Truss
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WWW.REGISTARBARNs.com

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