

ADDRESS	
243 ST. AUGUSTINE DRIVE MADISON, MS 39110 (601) 720-1521	
REVISIONS	
MARK	DATE
FOR REVIEW ONLY	

PROJECT DATA
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REVIEW
FOR REVIEW ONLY

- LOTS 237A, 242 & 243 OF FRIST WARD
BAY ST. LOUIS, HANCOCK COUNTY, MISSISSIPPI
BAY VIEW COURT
RESIDENCE: STEWART & AMY HEARD

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DATE:	JUNE 09, 2026
SCALE:	AS SHOWN
PROJECT:	BRD-IT-26

SHEET NO.	
1	OF 7
DESCRIPTION	
Cover Sheet	

THIRD FLOOR PLANS

WWW.THIRDFLOORPLANS.COM



CUSTOM RENOVATION/ADDITION FOR:

STEWART & AMY HEARD

LOTS 237A, 242, 243

CODE DISCLAIMER

1. THESE PLANS WERE DESIGNED TO MEET CODES OF INTERNATIONAL CODE COUNCIL 2021 AT THE TIME OF THEIR CREATION AND MORE SPECIFICALLY THE MINIMAL LOCAL CODES OF CENTRAL MISSISSIPPI AREA. IT IS ADVISED TO HAVE A LOCAL STRUCTURAL ENGINEER SHALL REVIEW PLANS PRIOR TO CONSTRUCTION.
2. ALL BEAMS AND FLOOR JOIST ARE RECOMMENDATIONS ONLY, BUT SHOULD BE APPROVED BY LOCAL STRUCTURAL ENGINEER PRIOR TO ORDERING AND/OR CONSTRUCTION.
3. ALL CEILING JOISTS AND FLOOR JOIST SHALL BE SIZED BASED ON LATEST STANDARDS OF THE INTERNATIONAL CODE COUNCIL AND LOCAL PERMITTING CODE DEPARTMENT REQUIREMENTS.
4. FOUNDATION DESIGN AND SIZE OF FOOTINGS, BASEMENT WALLS, AND GRADE BEAMS SHALL ALL BE REVIEWED AND APPROVED BY LOCAL STRUCTURAL ENGINEER PRIOR TO START OF CONSTRUCTION.
5. OWNER/ CONTRACTOR TO PROVIDE ALL HIGH WIND STRAPS, AND ANCHORS ALONG WITH BRACED WALL DESIGN PER INTERNATIONAL CODE COUNCIL 2021 OR LATEST ADOPTED CODES PER LOCAL AREA.
6. BECAUSE ALL SITE CONDITIONS MAY VARY THIRD FLOOR PLANS CANNOT WARRANT THE STABILITY OF ANY STRUCTURE BUILT FROM THESE PLANS FOR USE ON YOUR SPECIFIC SITE. CONSTRUCTION FROM THESE PLANS SHOULD NOT BE UNDERTAKEN WITHOUT THE ASSISTANCE OF A LICENSED CONSTRUCTION PROFESSIONAL.
7. THIRD FLOOR PLANS IS A PROFESSIONAL RESIDENTIAL DESIGN FIRM LOCATED IN MADISON, MS. THIS DESIGN FIRM IS NOT A STRUCTURAL ENGINEERING FIRM AND THEREFORE OFFERS NO STRUCTURAL WARRANTIES OF ANY KIND.

COVER SHEET GENERAL CONSTRUCTION NOTES:

1. A STAMPED SET OF APPROVED DOCUMENTS TO REMAIN ON JOB SITE AT ALL TIMES.
2. DEVIATIONS FROM APPROVED PLANS ARE NOT PERMITTED.
3. DIRT PADS SHALL BE FREE OF ALL FOREIGN MATERIALS AND COMPACTED PROPERLY.
4. CONCRETE WASH OUTS WILL BE DONE ON SITE OF POURS. (DISCARD CONCRETE PROPERLY)
5. ALL SILT FENCES W/ REINFORCEMENT & ALL DRAINAGE SHALL BE MAINTAINED THROUGHOUT PROJECT.
6. GENERAL CONTRACTOR WILL FIELD VERIFY ALL CONDITIONS OF EXISTING SITE. ADDITION LOCATIONS AND BUILDING PROJECT SCOPE PRIOR TO STARTING CONSTRUCTION OF RENOVATION/ ADDITION.
7. ALL ELECTRICAL POWER SHUT OFF AND RECONNECTION DURING CONSTRUCTION WILL BE COORDINATED WITH THE GENERAL CONTRACTOR AND HOME OWNER.
8. GENERAL CONTRACTOR TO VERIFY AND COORDINATE ALL EXISTING FLOOR, CEILING HEIGHTS, AND ROOF CLIP HEIGHTS BEFORE CONSTRUCTION IS TO COMMENCE.
9. GENERAL CONTRACTOR TO REMOVE AND RELOCATE ALL MECHANICAL DUCTS AND PIPING AS REQUIRED FOR NEW RENOVATION/ADDITION.

LUMBER SPANS - #2 SOUTHERN YELLOW PINE					-IBC 2021 SPANS-
FLOOR JOISTS - BEDROOMS			DEAD LOAD = 10PSF		NOTES: TABLE 2308.4.2.1
CEILING JOIST SPACING (INCHES)	2X6	2X8	2X10	2X12	
	MAXIMUM JOIST SPAN				
	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	
12" O.C.	11'-3"	14'-11"	18'-1"	21'-4"	
16" O.C.	10'-3"	13'-3"	15'-8"	18'-6"	
24" O.C.	8'-6"	10'-10"	12'-10"	15'-1"	
FLOOR JOISTS - REMAINDER OF HOUSE					NOTES: TABLE 2308.4.2.1
CEILING JOIST SPACING (INCHES)	2X6	2X8	2X10	2X12	
	MAXIMUM JOIST SPAN				
	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	
12" O.C.	10'-3"	13'-6"	16'-2"	19'-1"	
16" O.C.	9'-4"	11'-10"	14'-0"	16'-6"	
24" O.C.	7'-7"	9'-8"	11'-5"	13'-6"	
CEILING JOISTS-ROOF LESS THAN 3:12 PITCH					NOTES: I. NO ATTIC STORAGE
CEILING JOIST SPACING (INCHES)	2X6	2X8	2X10	2X12	
	MAXIMUM JOIST SPAN				
	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	
12" O.C.	18'-8"	14'-7"	26'+	26'+	
16" O.C.	16'-11"	21'-7"	25'-7"	26'+	
24" O.C.	13'-11"	17'-7"	20'-11"	26'+	
CEILING JOISTS					NOTES: I. WITH ATTIC STORAGE
CEILING JOIST SPACING (INCHES)	2X6	2X8	2X10	2X12	
	MAXIMUM JOIST SPAN				
	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	
12" O.C.	13'-11"	17'-7"	20'-11"	26'+	
16" O.C.	12'-0"	15'-3"	18'-1"	26'+	
24" O.C.	9'-10"	12'-6"	14'-9"	26'+	
RAFTERS WITHOUT CEILING ATTACHED					NOTES: TABLE 2308.1.2
RAFTERS SPACING (INCHES)	2X6	2X8	2X10	2X12	
	MAXIMUM JOIST SPAN				
	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	
12" O.C.	15'-7"	19'-8"	23'-5"	26'+	
16" O.C.	13'-6"	17'-1"	20'-3"	23'-10"	
24" O.C.	11'-0"	13'-11"	16'-6"	19'-6"	
RAFTERS WITH GYP. CEILING ATTACHED					NOTES: TABLE 2308.1.2
RAFTERS SPACING (INCHES)	2X6	2X8	2X10	2X12	
	MAXIMUM JOIST SPAN				
	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	(FT.-IN.)	
12" O.C.	14'-9"	19'-6"	23'-5"	26'+	
16" O.C.	13'-5"	17'-1"	20'-3"	23'-10"	
24" O.C.	11'-0"	13'-11"	16'-6"	19'-6"	
ALLOWABLE SPANS FOR LINTELS					
SUPPORTING MASONRY VENEER					
SIZE OF STL. ANGLE	NO STORY ABOVE	ONE STORY ABOVE	TWO STORIES ABOVE	NOTES:	
SIZE IN INCHES					
3X3X1/4	6'-0"	4'-6"	3'-0"		
4X3X1/4	8'-0"	6'-0"	4'-6"		
5X3X5/16	10'-0"	8'-0"	6'-0"		
6X3 1/2X5/16	14'-0"	9'-6"	7'-0"		
2-6X3 1/2X5/16	20'-0"	12'-0"	9'-6"		
NOTES					
LONG LEG OF THE ANGLE SHALL BE PLACED IN VERTICAL POSITION. STL. MEMBERS INDICATED ARE ADEQUATE TYPICAL EXAMPLES/ OTHER STL. MEMBERS MEETING STRUCTURAL DESIGN REQUIREMENTS MAY BE USED. EITHER STEEL ANGLE OR LINTEL SHALL SPAN OPENING.					

HEADER DESIGN SCHEDULE									
HEADER SUPPORTING	HEADER SIZE	MAXIMUM ALLOWABLE HEADER SPAN							
		DESIGN PROCEDURE							
		NONSTRUCTURAL SHEATHING				1/2" INSULATION BD. SHEATHING			
		HOUSE DEPTH							
		24'	28'	32'	24'	28'	32'		
ROOF PLUS ONE STORY (NON BEARING)	2-2X4	4'-8"	4'-5"	4'-3"	4'-9"	4'-6"	4'-3"		
	2-2X6	5'-10"	5'-5"	5'-1"	6'-0"	5'-7"	5'-3"		
	2-2X8	6'-9"	6'-5"	6'-11"	7'-0"	6'-7"	6'-1"		
	2-2X10	8'-0"	7'-5"	8'-2"	8'-2"	7'-7"	7'-1"		
	2-2X12	9'-3"	8'-7"	9'-5"	9'-5"	8'-9"	8'-3"		
	2-2X4	3'-11"	3'-8"	3'-5"	4'-0"	3'-4"	3'-1"		
ROOF PLUS ONE STORY (NON BEARING)	2-2X4	4'-8"	4'-4"	4'-0"	4'-10"	4'-5"	4'-2"		
	2-2X6	5'-5"	5'-0"	4'-8"	5'-7"	5'-2"	4'-10"		
	2-2X8	6'-4"	5'-11"	5'-6"	6'-6"	6'-1"	5'-8"		
	2-2X10	7'-5"	6'-10"	6'-5"	7'-6"	7'-0"	6'-4"		
	2-2X12	8'-4"	7'-5"	7'-0"	8'-0"	7'-4"	6'-8"		
	2-2X4	3'-11"	3'-8"	3'-5"	4'-0"	3'-4"	3'-1"		
NO. 2 K.D. SOUTHERN PINE NO. 2 DOUBLE JOIST UNDER WALLS		DOUBLE JOIST UNDER MECHANICAL EQUIPMENT							

GENERAL DEMO AND ADDITION CONSTRUCTION NOTES:

GENERAL CONTRACTOR WILL FIELD VERIFY ALL CONDITIONS OF EXISTING SITE AND BUILDING PROJECT BEFORE CONSTRUCTION.

ELECTRICAL POWER SHUT OFF DURING CONSTRUCTION WILL BE COORDINATED WITH HOME OWNER.

CONTRACTOR TO VERIFY AND COORDINATE ALL EXISTING FLOOR, CEILING HEIGHTS AND ROOF CLIP HEIGHTS BEFORE CONSTRUCTION.

CONTRACTOR TO REMOVE AND RELOCATE MECHANICAL DUCTS AND PIPING AS REQ'D FOR NEW ADDITIONS.

TRIPLE PACK STUDS UNDER ALL LVL BEAMS AND SUPPORT BEAMS AS REQ'D

HVAC AND WATER HEATERS LOCATED IN ATTIC.

ADD CAT WALKS IN ATTIC TO ALL EXIST. & ADDITIONAL MECHANICAL SYSTEMS

GENERAL FLOOR PLAN NOTES

- DO NOT SCALE DRAWINGS. USE ONLY DIMENSIONS SHOWN ON DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION BEFORE CONTINUING WITH CONSTRUCTION. BUILDER SHALL VERIFY ALL DIMENSIONS & CONDITIONS AT JOBSITE.
- DIMENSIONS SHOWN ARE INSIDE OF STUD TO OUTSIDE OF STUD UNLESS NOTED OTHERWISE.
- BUILDER SHALL ESTABLISH FINISH FLOOR ELEVATION IN CONSULTATION WITH HOMEOWNER. BUILDER SHALL TAKE INTO ACCOUNT DESIGN INTENT, INCLUDING NUMBER OF STEPS, WATER TABLE MASONRY, ETC.
- BUILDER SHALL ALSO ASSURE THAT THERE IS ADEQUATE CLEARANCE BETWEEN FINISH GRADE & ANY WOOD CONSTRUCTION.
- LOCATE DOORS SO THAT DOOR CASING ABUTS SHEETROCK OF ADJACENT WALL UNLESS NOTED OTHERWISE OR UNLESS DOOR CASING IS NARROWER THAN 3-1/2". IN THIS CASE, INSTALL DOOR FRAME WITH APPROPRIATE SHIM SPACE AGAINST LINER AND STUD. DO NOT OMIT STUD OR LINER TO GET THE DOOR CLOSER TO THE ADJACENT WALL. IN CASES WHERE A DOOR IS SHOWN APPROXIMATELY IN THE CENTER OF A WALL, LOCATED DOOR IN THE EXACT CENTER OF THE WALL.
- WINDOW ROUGH OPENING HEAD HEIGHT SHALL GENERALLY BE 8'-2-1/2" ABOVE FLOOR SLAB OR DECK AT THE FIRST LEVEL & 6'-10-1/2" ABOVE FLOOR DECK AT THE SECOND LEVEL UNLESS NOTED OTHERWISE. SEE PLANS & EXTERIOR ELEVATIONS FOR WINDOW ALIGNMENTS, WINDOW TYPES & MUNTIN PATTERNS. ADJUST HEAD HEIGHTS SLIGHTLY (LESS THAN 1-3/8") AS REQUIRED TO COURSE WITH MASONRY VENEER, IF ANY. PROVIDE FILLER STRIP BETWEEN WINDOW AND MASONRY SILL IF REQUIRED TO ALLOW THE MASONRY SILL TO COURSE WITH SURROUNDING BRICKWORK. IN NO CASE SHOULD BRICK BE CUT TO EITHER COURSE WITH THE HEAD OR THE SILL OF A WINDOW OR DOOR.
- WINDOW SIZES INDICATED ON PLANS ARE GENERIC SASH SIZES.
- REFER TO PLANS & EXTERIOR ELEVATIONS FOR WINDOW TYPES. COORDINATE OPERABILITY OF WINDOWS & DIRECTION OF SWING OF CASEMENTS W/ HOMEOWNER.
- WALLS, CEILINGS, & FLOORS OF ANCILLARY SPACES SUCH AS CLOSETS & STORAGE AREAS SHALL MATCH THE ROOMS THEY SERVE UNLESS NOTED OTHERWISE.
- COORDINATED LOCATION OF UTILITY METERS ON SITE TO BE AWAY FROM PUBLIC VIEW AND TO MINIMIZE VISUAL IMPACT FROM ANY AREA OF THE SITE. HOLD METERS AS LOW AS POSSIBLE TO ALLOW MORE EFFECTIVE SCREENING.
- SPRINKLE POWDERED BORIC ACID ONTO BOTTOM PLATE OF WALL AT A RATE OF 1/8" CUP PER 2' OF PLATE EXCEPT 1/4" CUPPER 2' OF PLATE IN WALLS ADJACENT TO KITCHEN BATH, WET OR FOOD STORAGE AREAS. BORIC ACID SHALL BE INSTALLED IMMEDIATELY BEFORE INSTALLATION OF INSULATION IN INSULATED WALLS OR IMMEDIATELY BEFORE INSTALLATION OF SHEETROCK IN UNINSULATED WALLS.
- PREFABRICATED FIREPLACES AND FLUES SHALL BE UL APPROVED AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS AND ACCEPTED CONSTRUCTION PRACTICE. IT IS THE BUILDER'S RESPONSIBILITY TO ASSURE THAT ALL APPLICABLE CODES REGARDING FIRE SEPARATION USE OF MATERIALS & OTHER FIREPLACE CRITERIA ARE MET OR EXCEEDED. BUILDER SHALL COORDINATE FLUE HEIGHT TO MATCH CHIMNEY HEIGHT SHOWN ON ELEVATIONS.
- MOISTURE-RESISTANT GYPSUM BOARD SHALL BE USED IN RESTROOMS & OTHER ROOMS WHERE WATER IS PRESENT.
- BUILDER SHALL COORDINATE ALL SHELVEING & STORAGE REQUIREMENTS WITH HOMEOWNER.
- CENTER PLUMBING FIXTURES IN SPACE PROVIDED UNLESS NOTED OTHERWISE. PROVIDE NOT LESS THAN THE FOLLOWING CLEARANCES FROM FINISH WALL TO FIXTURE ON EITHER SIDE: LAVATORY: 15" TOILET: 18"

MASTER AREA CALCULATIONS

RENOVATION LIVING AREA	1300
ADDITION LIVING AREA	000
PORCHES	192
TOTAL AREA	1492
AREAS ABOVE DO NOT INCLUDE BRICK VENEER	
ORIGINAL LIVING AREA W/O BRICK	1300

GENERAL NOTES

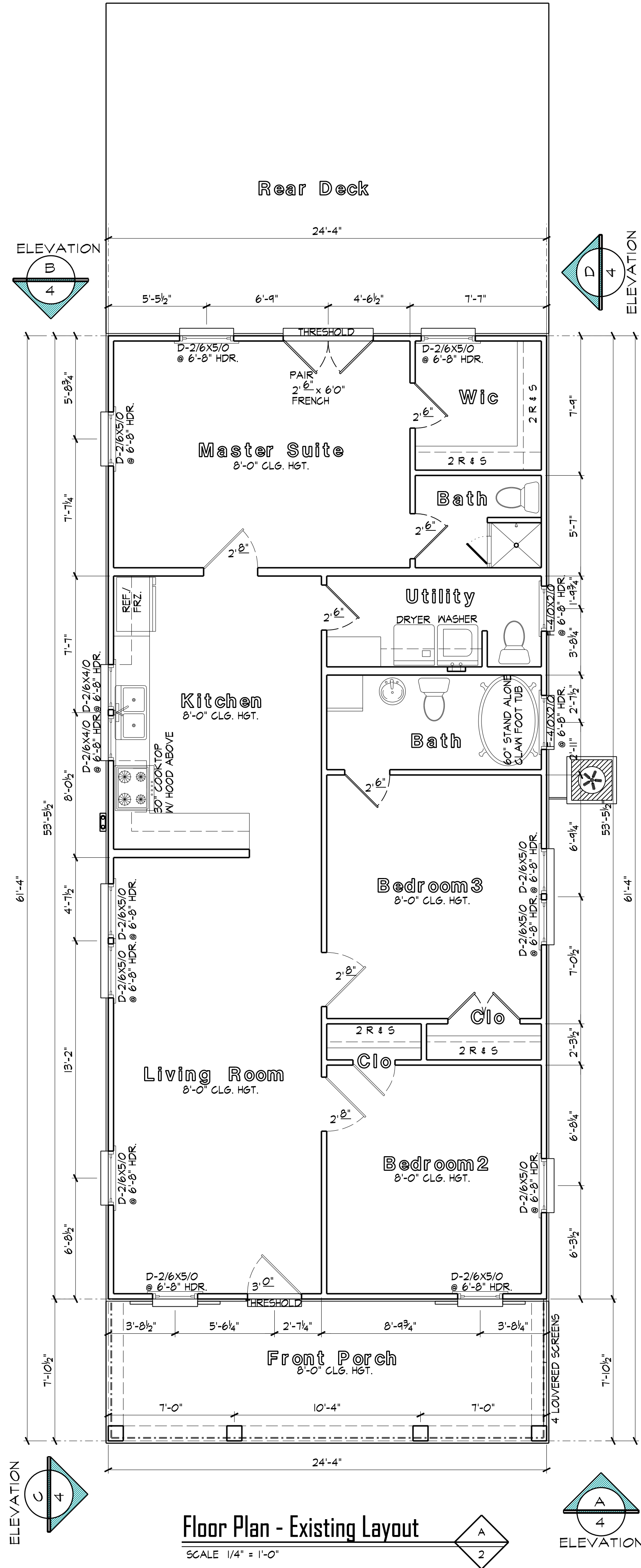
TRIPLE PACK STUDS UNDER ALL LAM. BEAMS AND SUPPORT BEAMS AS REQ'D

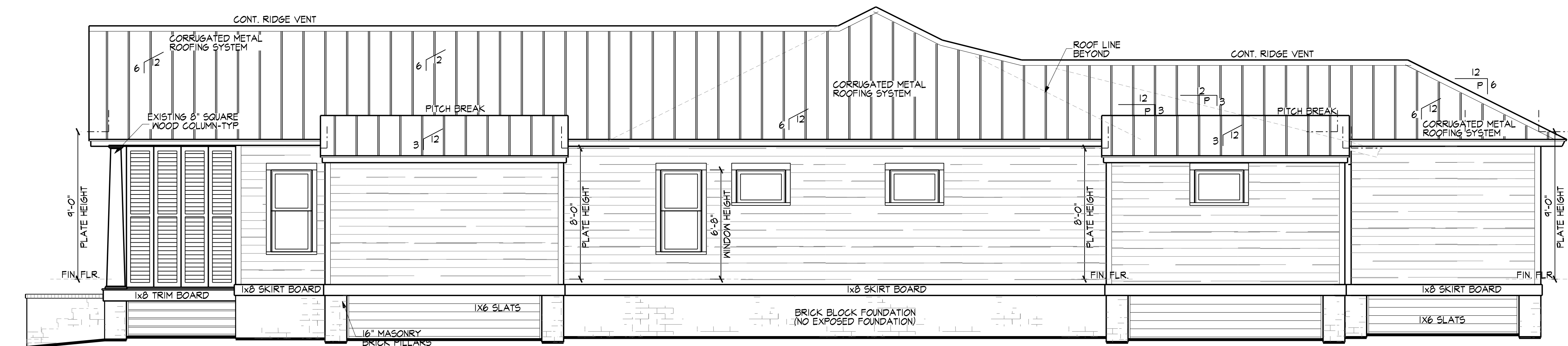
HVAC AND WATER HEATERS LOCATED IN ATTIC.

ADD CAT WALKS IN ATTIC TO ALL MECHANICAL SYSTEMS

WALL LEGEND

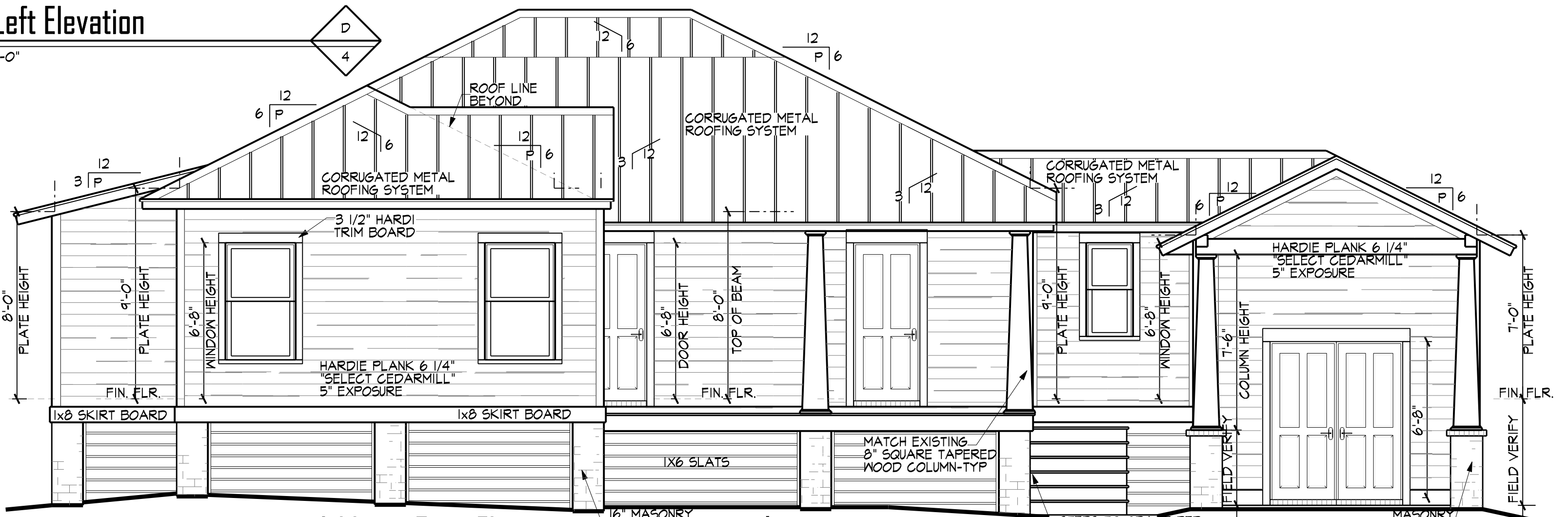
	PORCH LINE
	PORCH BEAM
	EXISTING WALL
	EXISTING BRICK LINES





Addition Left Elevation

SCALE 1/4" = 1'-0"



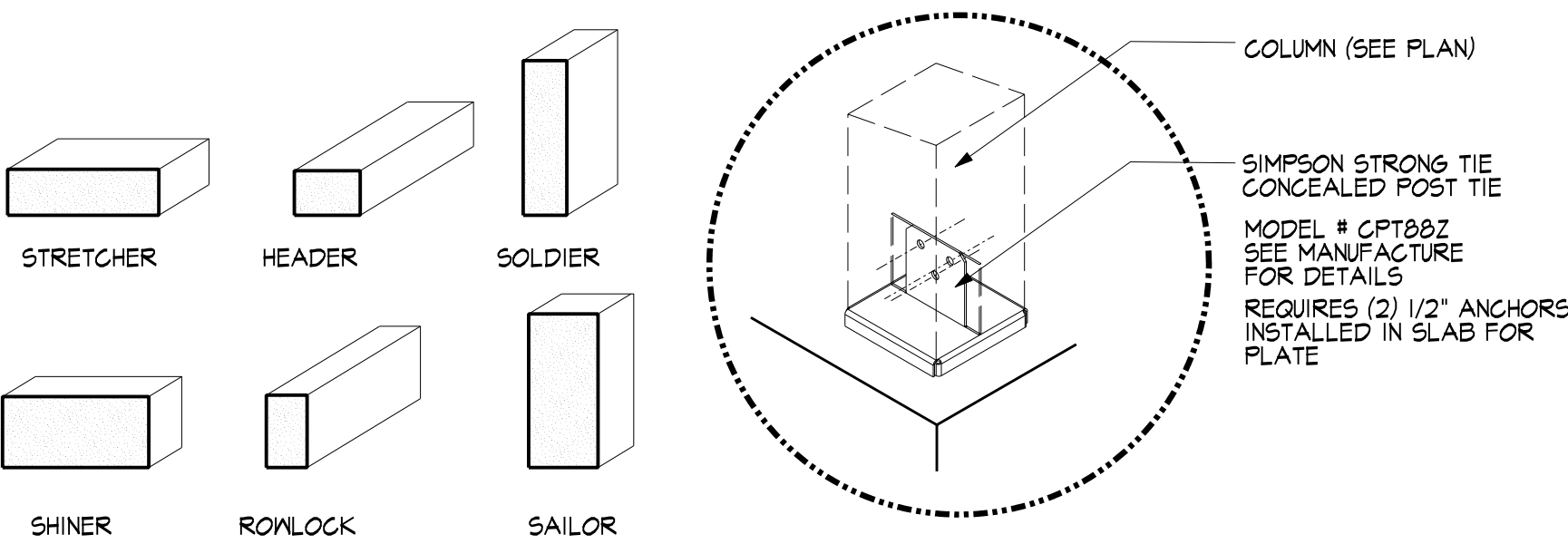
Addition Rear Elevation

SCALE 1/4" = 1'-0"



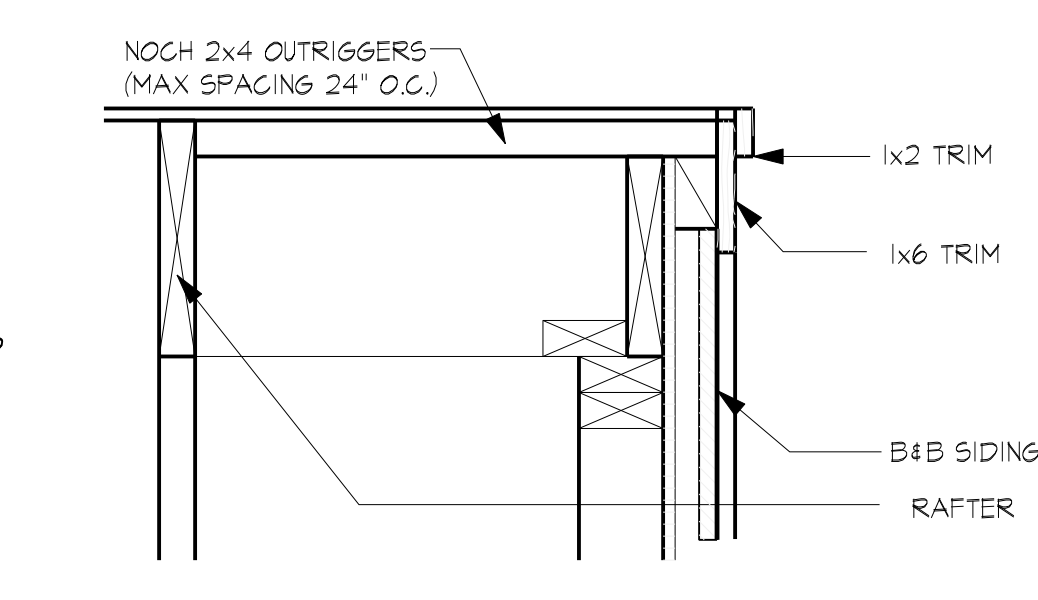
Addition Right Elevation

SCALE 1/4" = 1'-0"



Column Uplift Strap Detail

SCALE = N.T.S.



Flush Siding Rake Section Detail

SCALE = N.T.S.

ELEVATION NOTES

1. DO NOT SCALE DRAWINGS. USE ONLY DIMENSIONS SHOWN ON DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION BEFORE CONTINUING WITH CONSTRUCTION. BUILDER SHALL VERIFY ALL DIMENSIONS & CONDITIONS AT JOBSITE.
2. FINISH GRADE LINES ARE APPROXIMATE. VERIFY THAT FINISH GRADE AWAY FROM BUILDING FOR AT LEAST 48" OUTSIDE BUILDING PERIMETER. BUILDER SHALL ESTABLISH FINISH FLOOR ELEVATION IN CONSULTATION.
3. SEE DETAILS FOR EXTERIOR MATERIALS NOT SHOWN HERE.
4. GUTTERS & DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. OWNER OR BUILDER ELECT TO USE RAIN DIVERTERS OVER DOORS & WALKWAYS IN LIEU OF GUTTERS. IF GUTTERS & DOWNSPOUTS ARE USED, LOCATE TO ALLOW DRAINAGE TO FLOW AWAY FROM HOUSE, ADJACENT STRUCTURES & PROPERTY LINES. LOCATE DOWNSPOUTS IN NON-VISUALLY-OFFENSIVE LOCATIONS. DO NOT LOCATE DOWNSPOUTS ON FRONT FACE OF HOUSE. SUGGEST THE USE OF TRADITIONAL HALF ROUND GUTTERS & ROUND DOWN SPOUTS, SHOULD THE OWNER OR BUILDER ELECT TO INSTALL GUTTERS & DOWNSPOUTS.
5. ALL COLUMNS SHOWN SHALL BE ARCHITECTURAL GRADE. THIS GRADE INCLUDES CORRECTLY-PROPORTIONED BASE & CAPITAL DETAILS & PROPER ENTASIS TAPER.
6. ALL SHUTTERS SHALL BE SIZED AND STYLE TO MATCH EXISTING SHUTTERS. MOUNT WITH HINGES & HOLD IN PLACE WITH SHUTTER DOGS LOCATED AT BOTTOM RAIL AS SHOWN.

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MADISON, MS 39110
(601) 720-1521

REVISIONS

MARK	DATE

PROJECT DATA



LOTS 237A, 242 & 243 OF FRIST WARD
BAY ST. LOUIS, HANCOCK COUNTY, MISSISSIPPI
BAY VIEW COURT
RESIDENCE: STEWART & AMY HEARD

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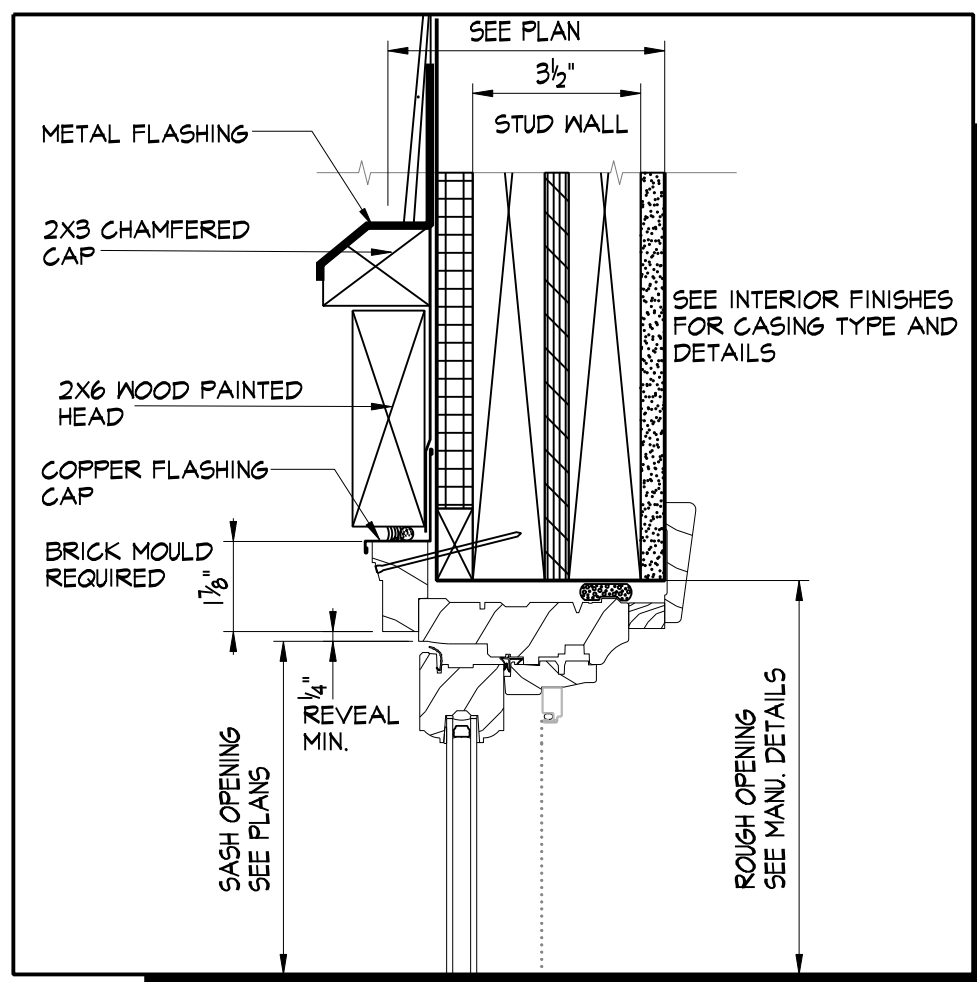
DATE:
JUNE 09, 2026

SCALE
AS SHOWN

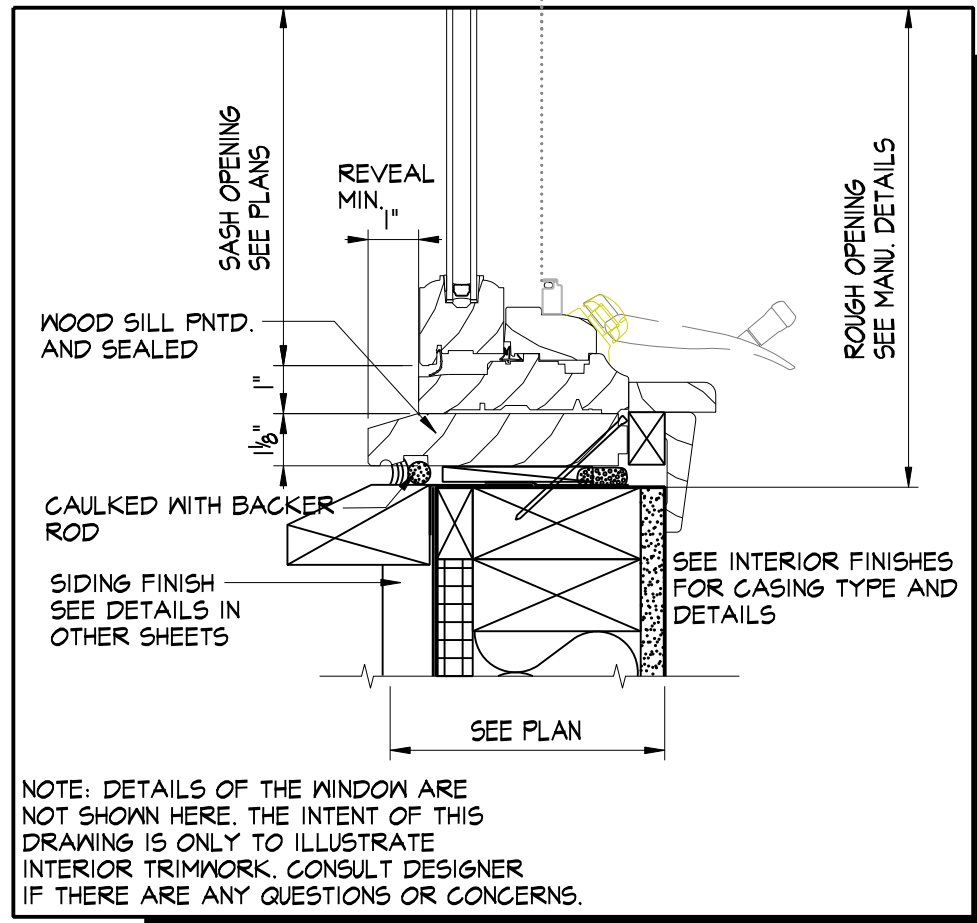
PROJECT
BRD-11-26

SHEET NO.
4 OF 7

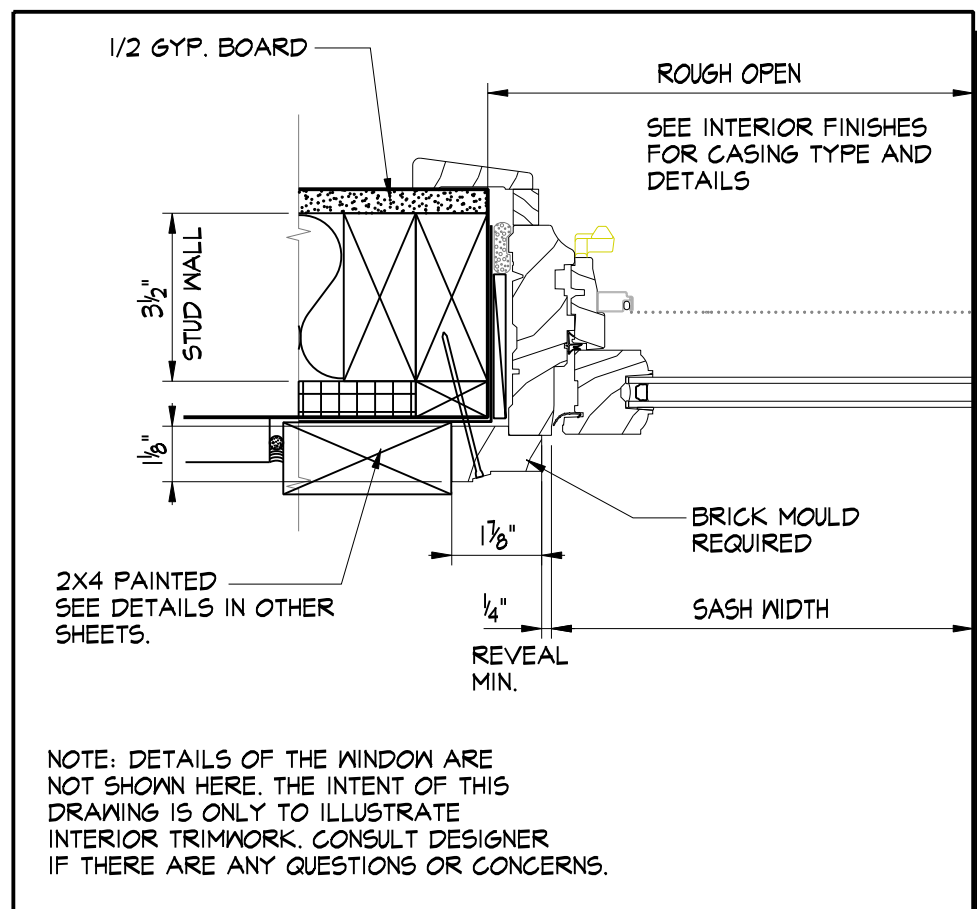
DESCRIPTION
Elevations



HEAD DETAIL



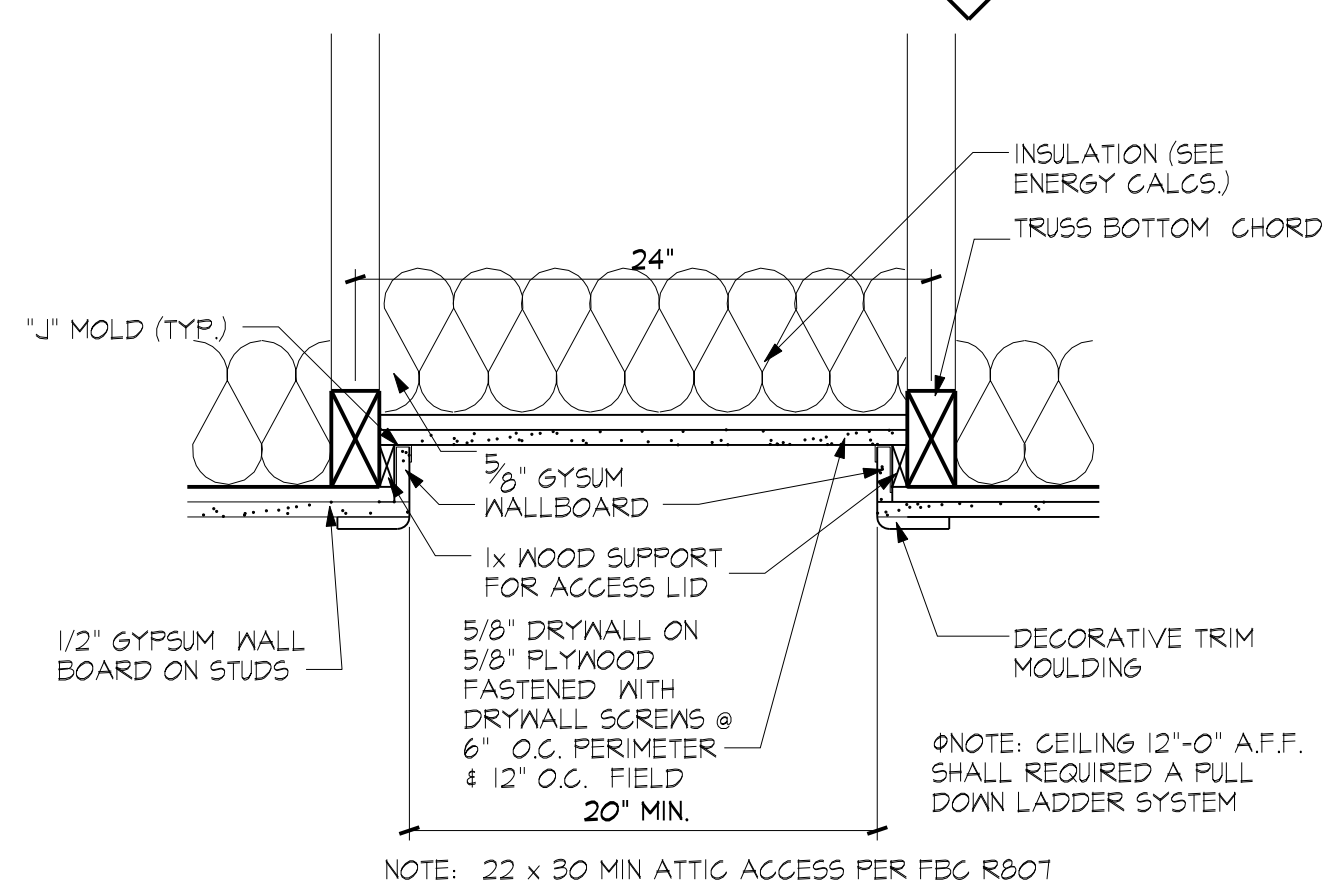
SILL DETAIL



SIDING VENEER JAMB DETAIL

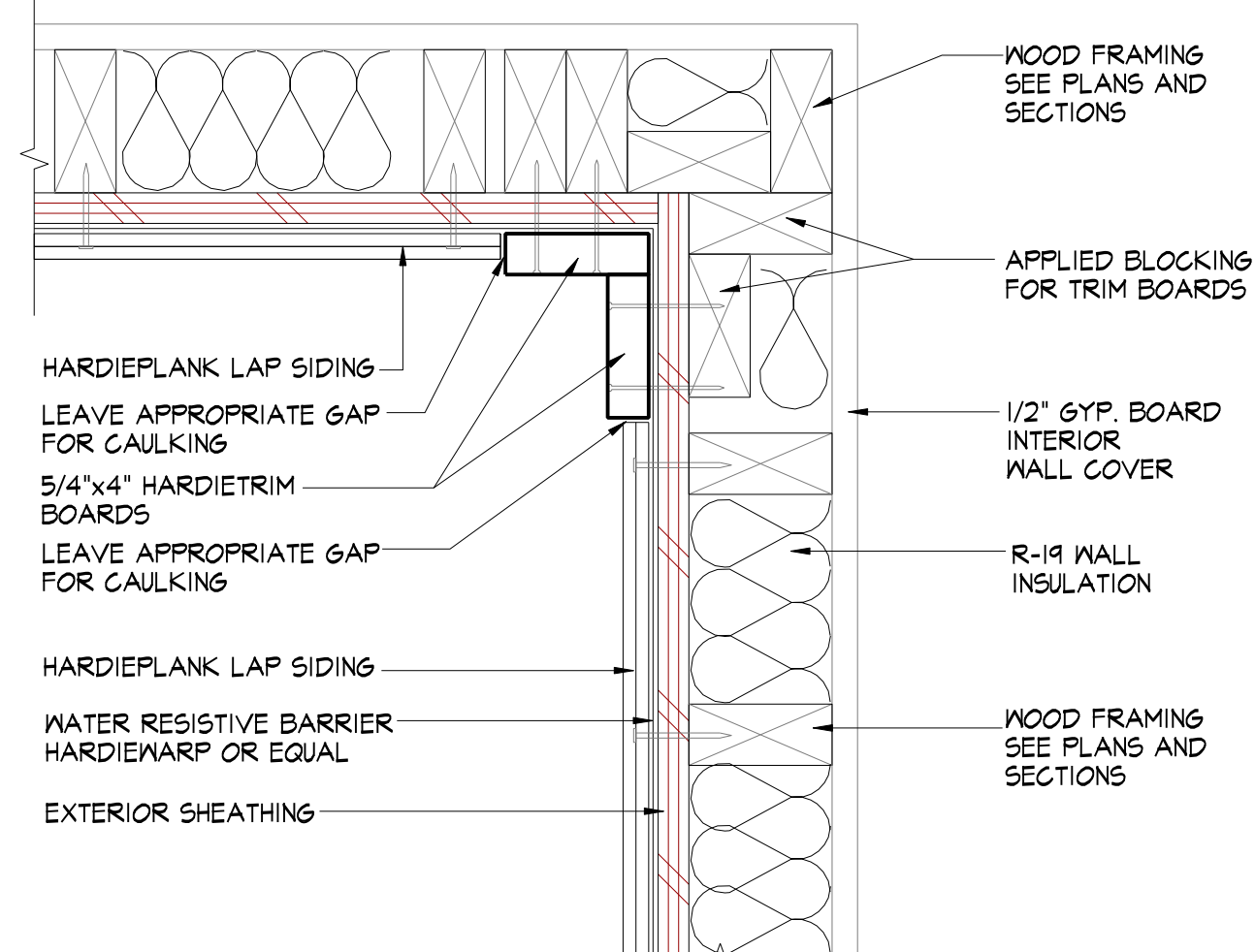
Window Head, Jamb, Sill Detail

SCALE 1-1/2" = 1'-0"



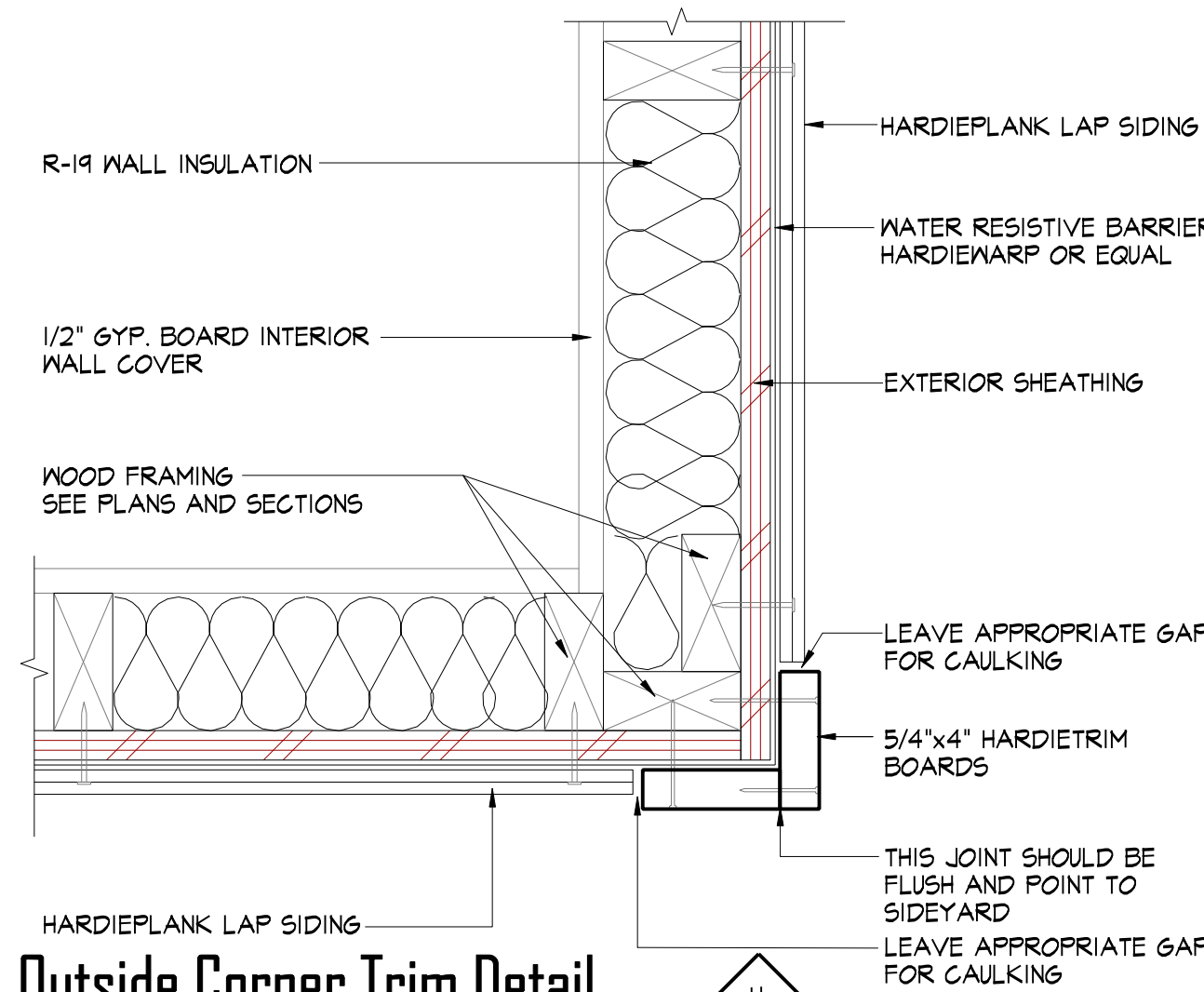
Typical Attic Access Section

SCALE = N.T.S.



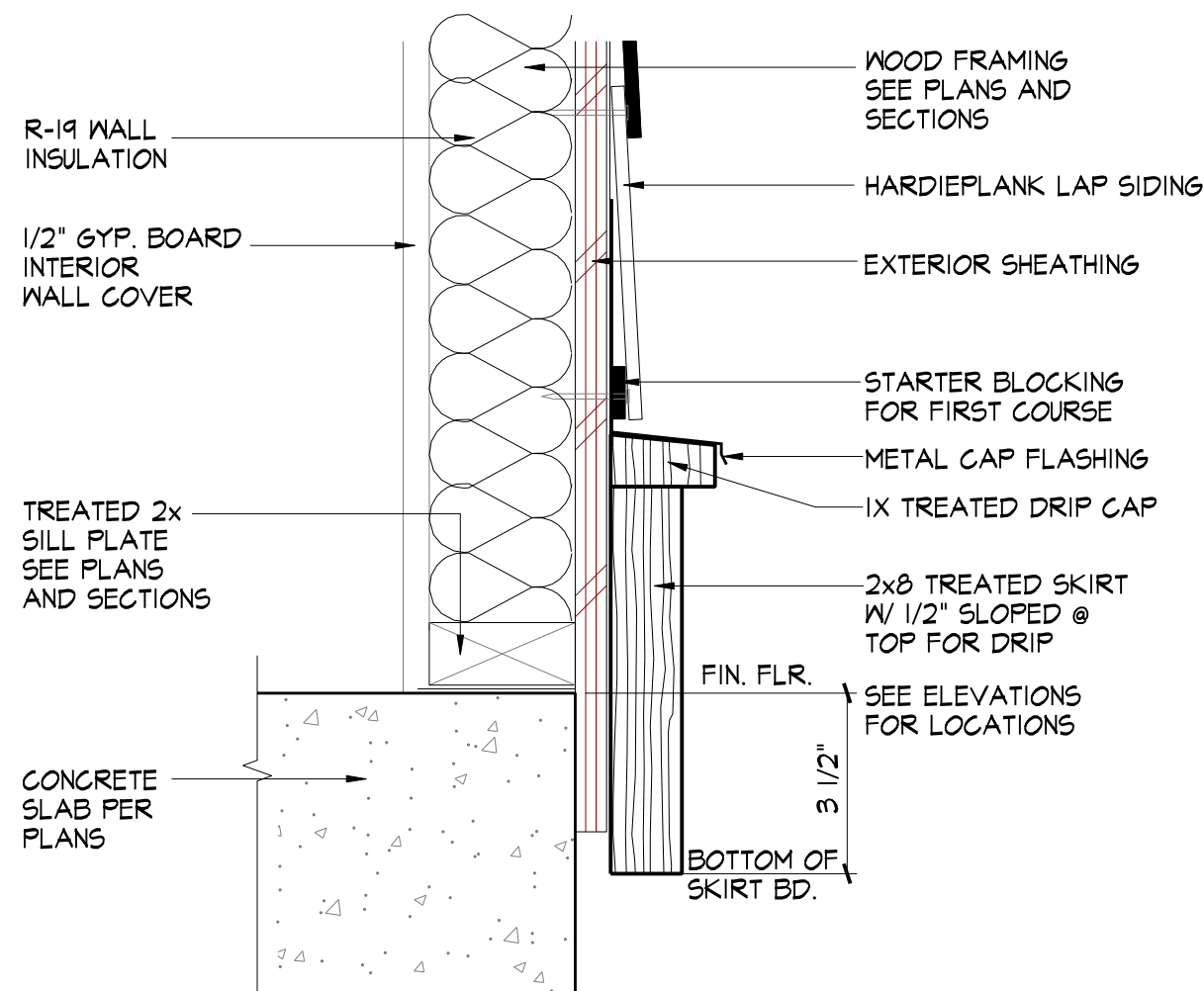
Inside Corner Trim Detail

SCALE 3/4" = 1'-0"



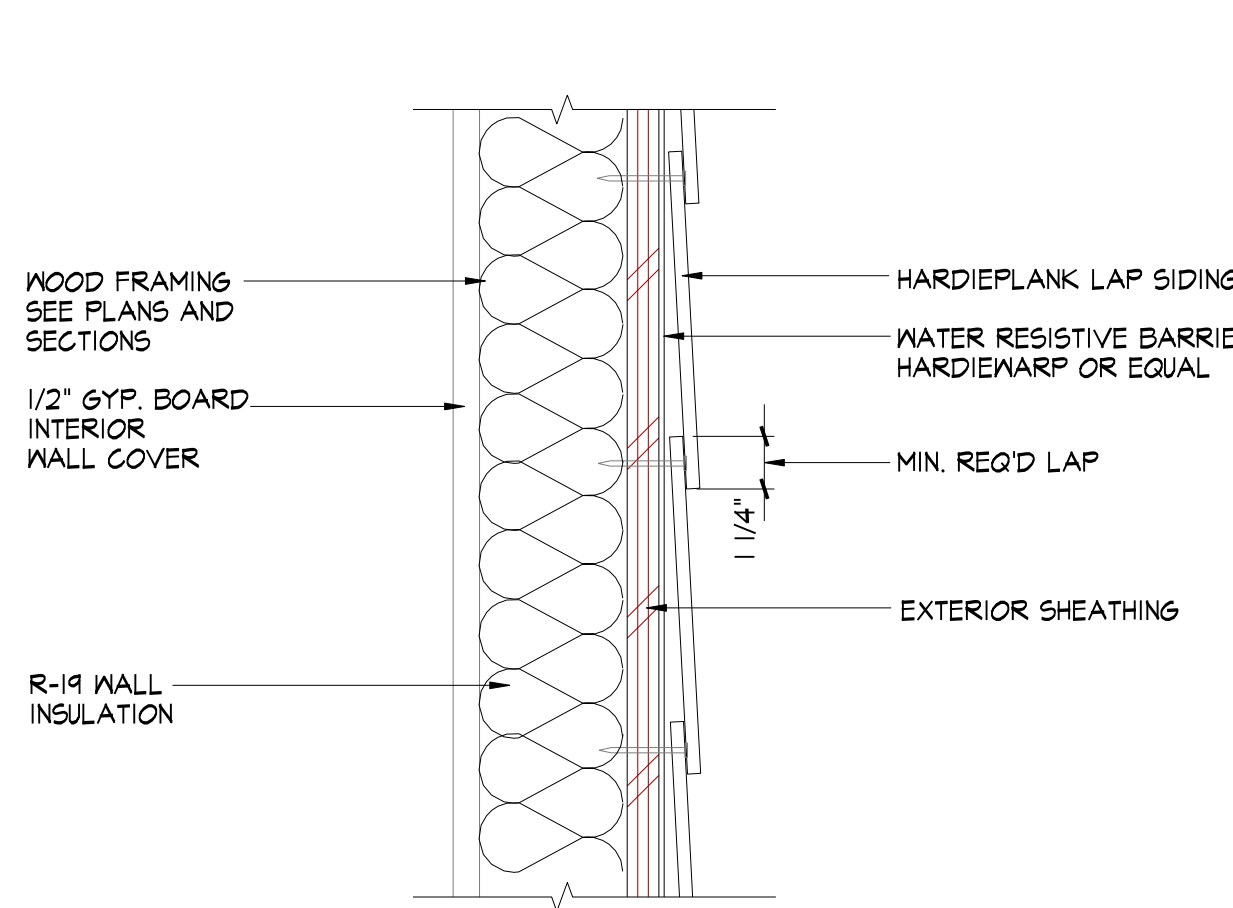
Outside Corner Trim Detail

SCALE 3/4" = 1'-0"



Bottom Trim and Skirt Detail

SCALE 3/4" = 1'-0"



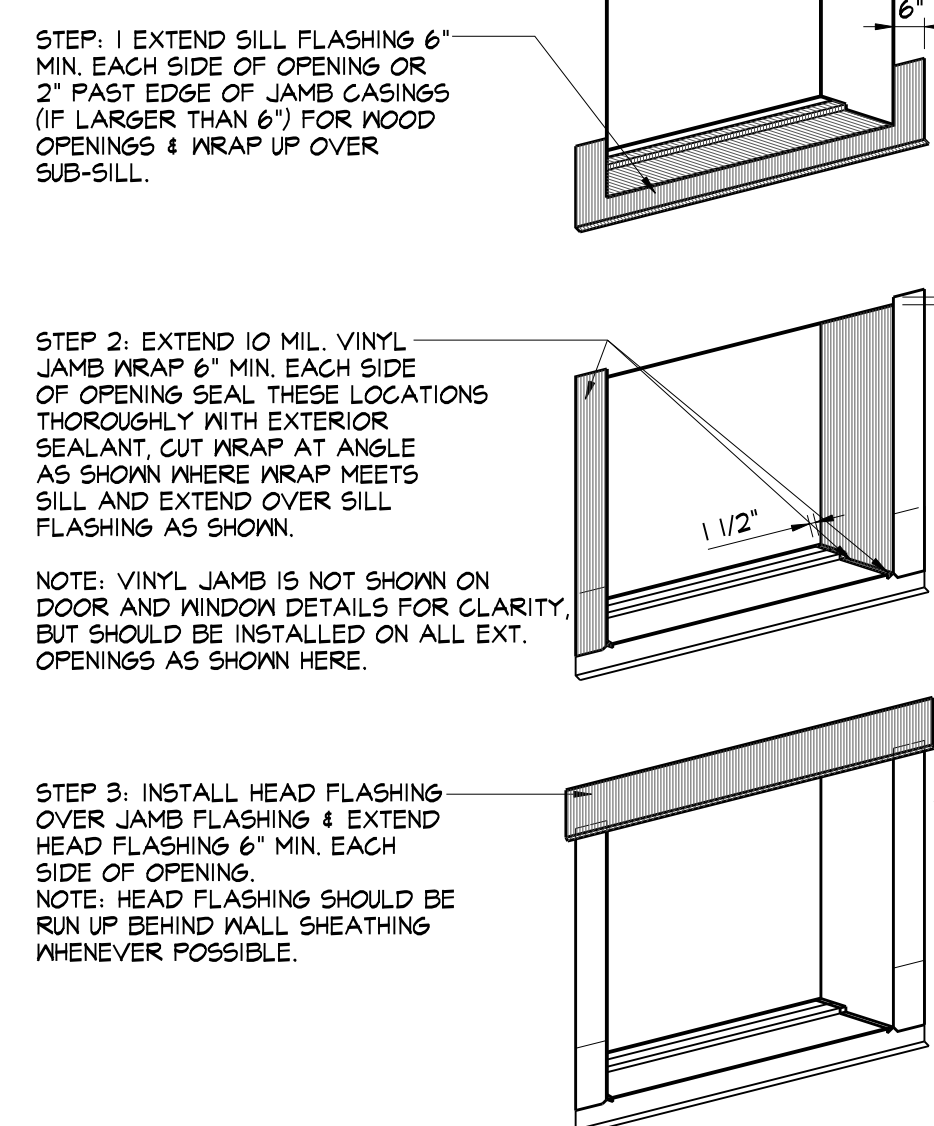
Horizontal Lap Detail

SCALE 3/4" = 1'-0"

ROOF PLAN NOTES

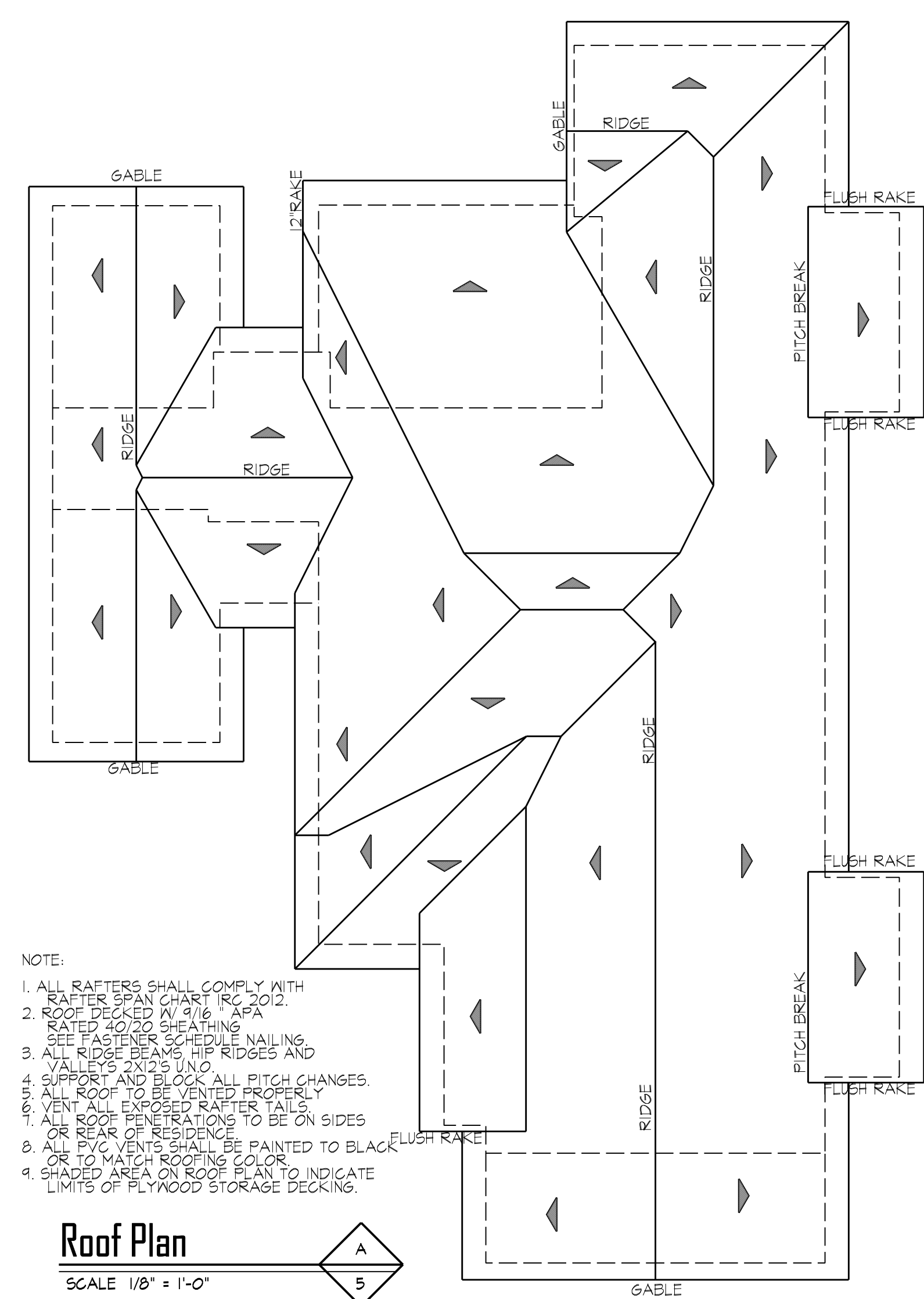
1. DO NOT SCALE DRAWINGS. USE ONLY DIMENSIONS SHOWN ON DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION BEFORE CONTINUING WITH CONSTRUCTION. BUILDER SHALL VERIFY ALL DIMENSIONS & CONDITIONS AT JOBSITE.
2. BEGIN METAL ROOFING W/ FULL PANEL @ MOST VISIBLE EDGE OF ROOF UNLESS SEAMS ARE SHOWN ON ELEVATIONS TO ALIGN WITH EXPOSED RAFTER TAILS OR DENTILS BELOW, IN WHICH CASE ROOF PANEL INSTALLATION SHALL CONFORM WITH ELEVATIONS. BEGIN SHINGLE ROOF W/ FULL SHINGLE @ MOST VISIBLE EDGE OF ROOF.
3. SEE FLOOR PLAN FOR BUILDING DIMENSIONS.
4. ROOF PENETRATIONS ARE PERMITTED ONLY IN THE AREAS NOTED. ROUTED ALL VENTS, EXHAUSTS, FLUES & OTHER PENETRATIONS TO THESE AREAS & TERMINATE AS PER CODE.
5. ALL ROOFING & ROOFING DETAILS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH INDUSTRY STANDARDS & MANUFACTURERS INSTRUCTIONS. NO WORK SHALL CONFLICT WITH THE MANUFACTURERS GUARANTEE OR WARRANTY.
6. PROVIDE FLASHING AS PER DETAILS OR AS PER SMAGNA IF NO DETAILS ARE SHOWN WHERE ROOF PITCH CHANGES OR WHERE ROOFING INTERSECTS WITH VERTICAL SURFACES.
7. FASTEN & HOLD DOWNSPOUTS TIGHT AGAINST ALL WALLS.
8. THE INSTALLATION SUBCONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL ROOFING LABOR & QUALITY OF INSTALLATION.
9. ALL ROOF SLOPES ARE INDICATED ON THE ELEVATION DRAWINGS.
10. PAINT ALL ROOFING MOUNTED ACCESSORIES & PENETRATIONS TO MATCH ROOFING COLOR OR SELECTED BY OWNER.
11. ALL EXHAUST FANS, VENTS, FLUES & STACK OPENINGS ARE TO BE CUT, INSTALLED & SEALED BY BUILDER TO CODE HEIGHTS REQUIRED.
12. ROOF VENT TERMINALS SHALL BE A MINIMUM OF 12" AWAY FROM AND 2' ABOVE ANY AIR INTAKE, DOOR & WINDOW, 18" AWAY FROM ANY VERTICAL WALL EXTENDING ABOVE ROOF VENT, AND NOT BELOW ANY ROOF EAVE, OR AS REQUIRED BY ALL LOCAL CODES.
13. ALL ATTIC, CRAWL SPACES AND OTHER CONCEALED AREAS SHALL BE VENTILATED AS PER LOCAL BUILDING CODES.
14. RIDGE VENTS SHALL BE AIR VENT UNIVENT (ABSOLUTELY NO SUBSTITUTIONS). TERMINATE RIDGE VENTS W/ MANUFACTURERS' STANDARD END CAP 12" FROM END OF RIDGE. CUT ROOF DECK BACK TO PROVIDE AIR PASSAGE AS RECOMMENDED BY MANUFACTURER. HOMEOWNER SHALL SELECT COLOR. SOFFIT VENT SHALL BE EQUAL TO AIR VENT 2' CONTINUOUS ALUMINUM SOFFIT VENTS.

NOTE: THIS DETAIL IS TYPICAL IN NATURE, AND IS INTENDED TO OUTLINE THE GENERAL PROCEDURES FOR FLASHING & JAMB-WRAPPING DOORS AND WINDOWS. SEE PLANS FOR SIZE AND THICKNESS OF WINDOW OR DOOR AND WALL.



Flashing Detail

SCALE = N.T.S.



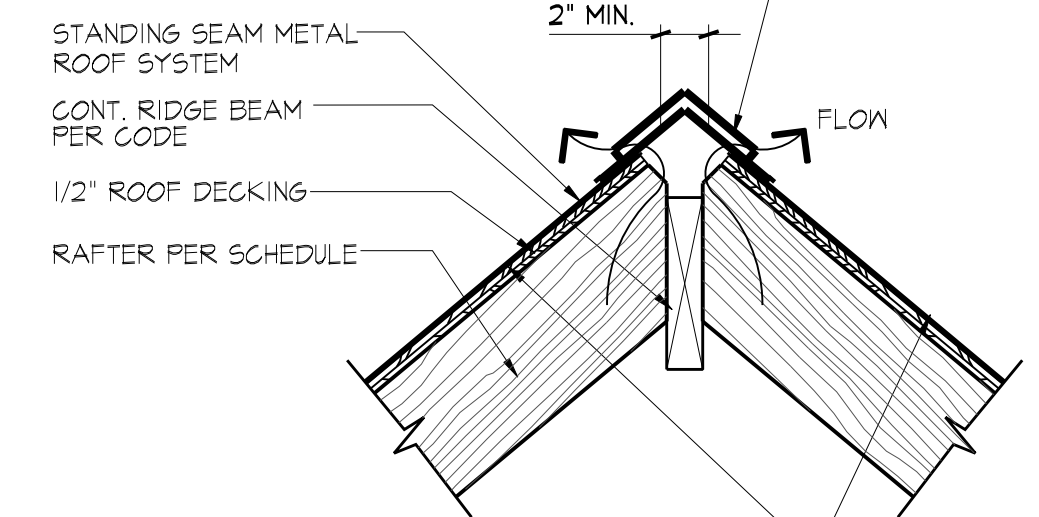
Roof Plan

SCALE 1/8" = 1'-0"

NOTE:

1. ALL RAFTERS SHALL COMPLY WITH RAFTER SPAN CHART IRC 2012.
2. ROOF DECKED W/ 5/8" AFA RATED 40/20 SHEATHING.
3. ALL RIDGE BEAMS, HIP RIDGES AND VALLEYS 2X12S UNO.
4. SUPPORT AND BLOCK ALL PITCH CHANGES.
5. ALL ROOF TO BE VENTED PROPERLY.
6. VENT ALL EXPOSED RAFTER TAILS.
7. ALL ROOF PENETRATIONS TO BE ON SIDES OR REAR OF RESIDENCE.
8. ALL PVC VENTS SHALL BE PAINTED TO BLACK OR TO MATCH ROOFING COLOR.
9. SHADED AREA ON ROOF PLAN TO INDICATE LIMITS OF PLYWOOD STORAGE DECKING.

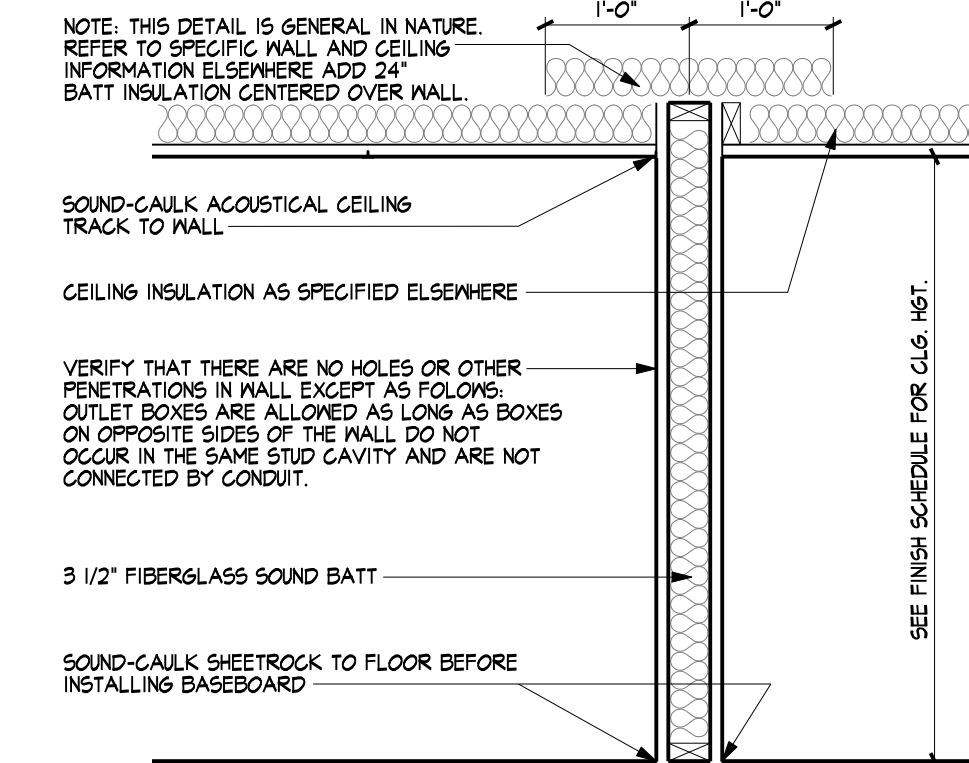
RIDGE UNIVENT BY AIRVENT COMPANY (NO EXCEPTIONS) SET INSOLID BED OF ELASTIC CEMENT & SCREW-ATTACHED TO ROOF DECK (HOLD ROOF DECK, ROOFING & FELT BACK FOR 2" MINIMUM CLEAR AIR SPACE



FIBERGLASS SHINGLES (SEE SPECS FOR SIZE, TYPE & EXPOSURE) OVER 30 LB ROOFING FELT OVER ROOF DECKING OVER ROOF FRAMING (SEE OTHER DRAWINGS & SPECS)

Cont. Ridge Vent Metal Detail

SCALE 1-1/2" = 1'-0"



Interior Sound Attenuation Detail

SCALE 3/4" = 1'-0"

SCALE 3/4" = 1'-0"

SCALE N.T.S.

EXTERIOR MASONRY VENEER SUPPORT BY ROOF MEMBERS
SHALL COMPLY W/ SECTION R703.7.2 OF THE IRC.

SCALE N.T.S.

NOTE:
THIS DETAIL IS TYPICAL IN NATURE, AND IS
INTENDED TO OUTLINE THE GENERAL PROCEDURES
FOR FLASHING & JAMB-WRAPPING DOORS AND
WINDOWS. SEE PLANS FOR SIZE AND THICKNESS
OF WINDOW OR DOOR AND WALL.

SCALE = N.T.S.

SCALE 1-1/2" = 1'-0"

NOTE: THIS DETAIL IS GENERAL IN NATURE AND MAY NOT REPRESENT EXACT CONFIGURATIONS OF THIS PROJECT. ITS PURPOSE IS TO ILLUSTRATE THE VARIOUS COMPONENTS AND THEIR RELATIONSHIPS. CONFIRM CONFIGURATIONS & DIMENSIONS NOT SHOWN HERE W/ PLANS.

SCALE 1-1/2" = 1'-0"

SCALE 1-1/2" = 1'-0"

CEILING JOIST AS SCHED

Strong Back Detail

SCALE 3/4" = 1'-0"

SCALE 3/4" = 1'-0"

NOTE: THIS DETAIL IS GENERAL IN NATURE AND MAY NOT REPRESENT EXACT CONFIGURATIONS OF THIS PROJECT. ITS PURPOSE IS TO ILLUSTRATE THE VARIOUS COMPONENTS AND THEIR RELATIONSHIPS. CONFIRM CONFIGURATIONS & DIMENSIONS NOT SHOWN HERE W/ WALL SECTIONS & OTHER DETAILS.

SCALE = NOT TO SCALE

ELEVATION NOTES

1. DO NOT SCALE DRAWINGS. USE ONLY DIMENSIONS SHOWN ON DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE BUILDER SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION BEFORE CONTINUING WITH CONSTRUCTION. BUILDER SHALL VERIFY ALL DIMENSIONS & CONDITIONS AT JOBSITE.
2. FINISH GRADE LINES ARE APPROXIMATE. VERIFY THAT FINISH GRADE AWAY FROM BUILDING FOR AT LEAST 48" OUTSIDE BUILDING PERIMETER. BUILDER SHALL ESTABLISH FINISH FLOOR ELEVATION IN CONSULTATION
3. SEE DETAILS FOR EXTERIOR MATERIALS NOT SHOWN HERE.
4. GUTTERS & DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. OWNER OR BUILDER ELECT TO USE RAIN DIVERTERS OVER DOORS & WALKWAYS IN LIEU OF GUTTERS. IF GUTTERS ARE USED, THEY ARE USED LOCATED TO ALLOW DRAINAGE TO FLOW AWAY FROM HOUSE, ADJACENT STRUCTURES & PROPERTY LINES. LOCATE DOWNSPOUTS IN NON-VISUALLY-OFFENSIVE LOCATIONS. DO NOT LOCATE DOWNSPOUTS ON FRONT FACE OF HOUSE. SUGGEST THE USE OF TRADITIONAL HALF ROUND GUTTERS & ROUND DOWN SPOUTS. SHOULD THE OWNER OR BUILDER ELECT TO INSTALL GUTTERS & DOWNSPOUTS.
5. ALL COLUMNS SHOWN SHALL BE ARCHITECTURAL GRADE. THIS GRADE INCLUDES CORRECTLY-PROPORTIONED BASE & CAPITAL DETAILS & PROPER ENTASIS TAPER.
6. ALL SHUTTERS SHALL BE SIZED AND STYLE TO MATCH EXISTING SHUTTERS, MOUNT WITH HINGES & HOLD IN PLACE WITH SHUTTER DOGS LOCATED AT BOTTOM RAIL, AS SHOWN.

NOTE: THIS DETAIL IS GENERAL IN NATURE AND MAY NOT REPRESENT EXACT CONFIGURATIONS OF THIS PROJECT. ITS PURPOSE IS TO ILLUSTRATE THE VARIOUS COMPONENTS AND THEIR RELATIONSHIPS. CONFIRM CONFIGURATIONS & DIMENSIONS NOT SHOWN HERE W/ WALL SECTIONS & OTHER DETAILS.

SCALE 1-1/2" = 1'-0"

POWER RISER DIAGRAM

NOTE: FUSES TO BE LABELED AS WELL AS CIRCUIT BREAKER SWITCHES

200 AMP METER MAIN
W/ 200 AMP 2 POLE
FOR MAIN AND S/FACE
FOR A/C FEED

METER BASE BY
UTILITY CO.

ELECTRICAL PLAN
100 AMP MLD
120/ 208V, 1P
20 CIRCUIT
FLUSH MOUNTED
#6 BARE COPPER

FINISHED GRADE

NOT TO SCALE

LINE OF
FINISHED SLAB

2" PVC, SCH 80 DOWN PIPE

8" GALV. ROD
2-8" GROUND RODS 6'
APART TO BE USED

ELECTRICAL SCHEDULE

- A. A PANEL SCHEDULE TO INCLUDE THE FOLLOWING MIN. NUMBER OF CIRCUITS.
- ONE 15 AMPERE BRANCH CURRENT FOR EACH 600 SQ. FT. FOR LIGHTING AND GENERAL PURPOSE RECEPTACLE.
 - TWO 20 AMP BRANCH CIRCUITS FOR SMALL APPLIANCES.
 - ONE 20 AMP BRANCH CIRCUIT FOR THE LAUNDRY.
 - ONE BRANCH CIRCUIT FOR THE RANGE OR COOKTOP.
 - ONE BRANCH FOR A/C AND HEATING.
- B. GFI PROTECTION IS REQ'D IN THE BATHROOM, GARAGE, EXTERIOR AND KITCHEN COUNTER FOR RECEPTACLES.

GENERAL LIGHTING NOTES

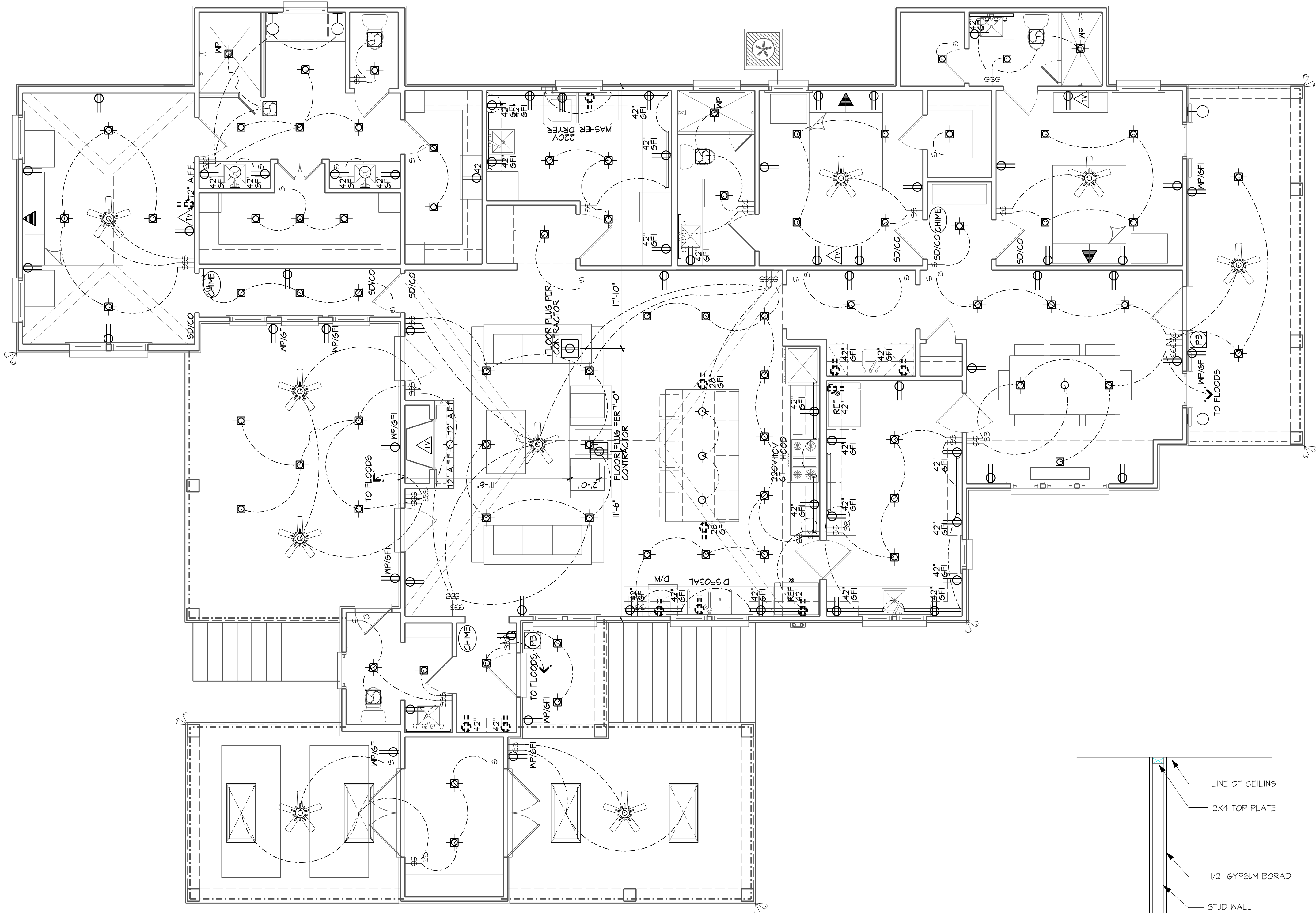
- A. LIGHT FIXTURES SHALL BE LOCATED AS CLOSE AS POSSIBLE TO LOCATIONS SHOWN ON THIS PLAN. FIXTURES SHALL ALIGN WITH OR CENTER ON EACH OTHER OR WITH ADJACENT ARCHITECTURAL ELEMENTS. COORDINATE LOCATIONS OF LIGHT FIXTURES WITH HVAC GRILLES SO THAT THEY ALIGN WITH OR ARE AT LEAST SYMMETRICAL WITH EACH OTHER WHERE THERE MAY BE CONFLICTS. GRILLES AND REGISTERS SHALL BE BLOCKED AS REQUIRED SO THAT THEY ALIGN WITH LIGHT FIXTURES. LIGHT FIXTURE AND SWITCH LOCATIONS SHALL BE REVIEWED AND APPROVED BY OWNER OR INTERIOR DESIGNER BEFORE INSTALLATION OF SHEETROCK OR OTHER WALL AND CEILING FINISHES.
- B. CENTER ITEMS SHOWN IN CEILING AREA UNLESS NOTED OTHERWISE.
- C. COFFER DIMENSIONS ARE SHOWN TO FACE OF FRAMING UNLESS NOTED OTHERWISE.
- D. SWITCHES SHALL BE LOCATED ADJACENT TO BUT NOT INTERSECTING DOOR CASINGS OR TRIM. VERIFY TRIM SIZE AND SELECTION FOR EACH ROOM. GROUPED SWITCHED SHALL BE GANGED TIGHT TOGETHER AND SHALL BE COVERED WITH A SINGLE PLATE DESIGNED FOR THAT PURPOSE. SWITCHES SHALL TYPICALLY BE MOUNTED 48" AFF. TO CENTER OF SWITCH.
- E. SUPPORT ALL FIXTURES RIGIDLY FROM STRUCTURE OF BUILDING.
- F. VERIFY DEVICE AND PLATE COLORS WITH OWNER OR INTERIOR DESIGNER.
- G. CONSULT WITH OWNER AND ADD EXTERIOR SECURITY LIGHTING IF REQUIRED. VERIFY LIGHTING TYPE AND SWITCHING.
- H. CONSULT WITH OWNER AND ADD LANDSCAPING LIGHTING IF REQUIRED. VERIFY LIGHTING TYPE AND SWITCHING. CONNECT ALL EXTERIOR LIGHTING TO PHOTOCELL CONTROL RELAYS WITH TIMELOCK OVERRIDE FOR TIME-CONTROLLABLE ILLUMINATION DURING DARKNESS.
- I. ALL FLOURESCENT LAMPS SHALL BE MARY WHITE DELUXE.

GENERAL ELECTRICAL NOTES

- ALL BEDROOMS SHALL BE ARC FAULT PROTECTED
- ALL BEDROOMS AND AREAS ADJACENT SHALL HAVE SMOKE DETECTORS
- ALL OUTDOORS RECEPTICALS TO BE GFI/MP TYPE
- ALL VENTS SHALL VENT THRU ROOF
- ALL OUTLETS IN BATHROOMS, KITCHEN, UTILITY, AND GARAGE TO BE GFI OUTLET CIRCUITS & 42" A.F.F. UNLESS OTHERWISE NOTED
- ALL GAS LINES SHALL BE PROPERLY GROUNDED/ BONDED
- 6" MAX OVERHANG ON ALL COUNTERS WITH ELECTRIC OUTLETS UNDERNEATH THEM
- CONTRACTOR SHALL FROIDE UPPER AND LOWER CABINET LIGHTING

SYMBOL SCHEDULE

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DUPLEX OUTLET IN BASE BOARD		SMOKE DETECTOR-ALL SMOKE DETECTORS WIRED TO MASTER.
	DUPLEX OUTLET UNDER CABINET		EYE BALL LIGHT
	DUPLEX IN FLOOR		RECESSED CAN LIGHT (LED)
	DUPLEX OUTLET MOUNTED IN SOFFIT		RECESSED CAN LIGHT-3"
	220 VOLT 3 PHASE OUTLET		WALL MOUNTED SCONCE LIGHT
	PHONE		LIGHT FIXTURE TO BE SELECTED BY OWNER
	CABLE OUTLET		52" CEILING FAN W/ LIGHTING FIXTURED SWITCH SEPERATELY
	SINGLE POLE SWITCH		52" CEILING FAN
	3 POLE SWITCH		MOTION DETECTOR DOUBLE FLOOD LIGHT W/
	MOTION DETECTOR DOUBLE FLOOD LIGHT W/		36" STRIP LIGHT W/4 40 WATT FROSTED BULBS
	UNDER CABINET STRIP LIGHT		RECESSED 2X4 FLORESCENT FIXTURE W/4 40 WATT BULBS
	GAS LANTERN CEILING MOUNTED SEE ELEVATIONS FOR HEIGHT		RECESSED 1X4 FLORESCENT FIXTURE W/4 40 WATT BULBS
	EXHAUST FAN		DOOR CHIME
	METER BASE		PUSH BUTTON
	BREAKER PANEL		DIMMER SWITCH
	LED STEP / WALL RECESSED LIGHT FIXTURE		NIGHT LIGHT FIXTURE



OPTIONAL

ELEVATION

SECTION

Switch Location

SCALE 3/4" = 1'-0"

Electrical Plan - First Floor

SCALE 1/4" = 1'-0"

ADDRESS

243 ST. AUGUSTINE DRIVE
MADISON, MS 39110
(601) 720-1521

REVISIONS

MARK	DATE

PROJECT DATA



- LOTS 237A, 242 & 243 OF FRIST WARD
BAY ST. LOUIS, HANCOCK COUNTY, MISSISSIPPI
BAY VIEW COURT
RESIDENCE: STEWART & AMY HEARD

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DATE:

JUNE 09, 2026

SCALE

AS SHOWN

PROJECT

3RD-1T-26

SHEET NO.

7 OF 7

DESCRIPTION
Electrical Plan

LOTS-237A, 242 & 243 OF FIRST WARD

BAY VIEW COURT
BAY ST. LOUIS,
HANCOCK COUNTY, MS
PROJECT 17-26
SCALE: 1"=10'-0"

CRITICAL SITE NOTES

SEE GRADING PLANS FOR FINAL
FOUNDATION ELEVATIONS ABOVE
SIDEWALK CURB.
ALL STEPS SHOWN SHOULD BE ADJUSTED
WITH LANDSCAPE FINAL PLANS.



ADDRESS

243 ST. AUGUSTINE DRIVE
MADISON, MS 39110
(601) 720-1521

REVISIONS

MARK	DATE

FOR REVIEW ONLY

PROJECT DATA



- LOTS 237A, 242 & 243 OF FRIST WARD
BAY ST. LOUIS, HANCOCK COUNTY, MISSISSIPPI
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DATE:

JUNE 09, 2026

SCALE

AS SHOWN

PROJECT

SRD-17-26

SHEET NO.

C1 OF 7

DESCRIPTION

Site Plan

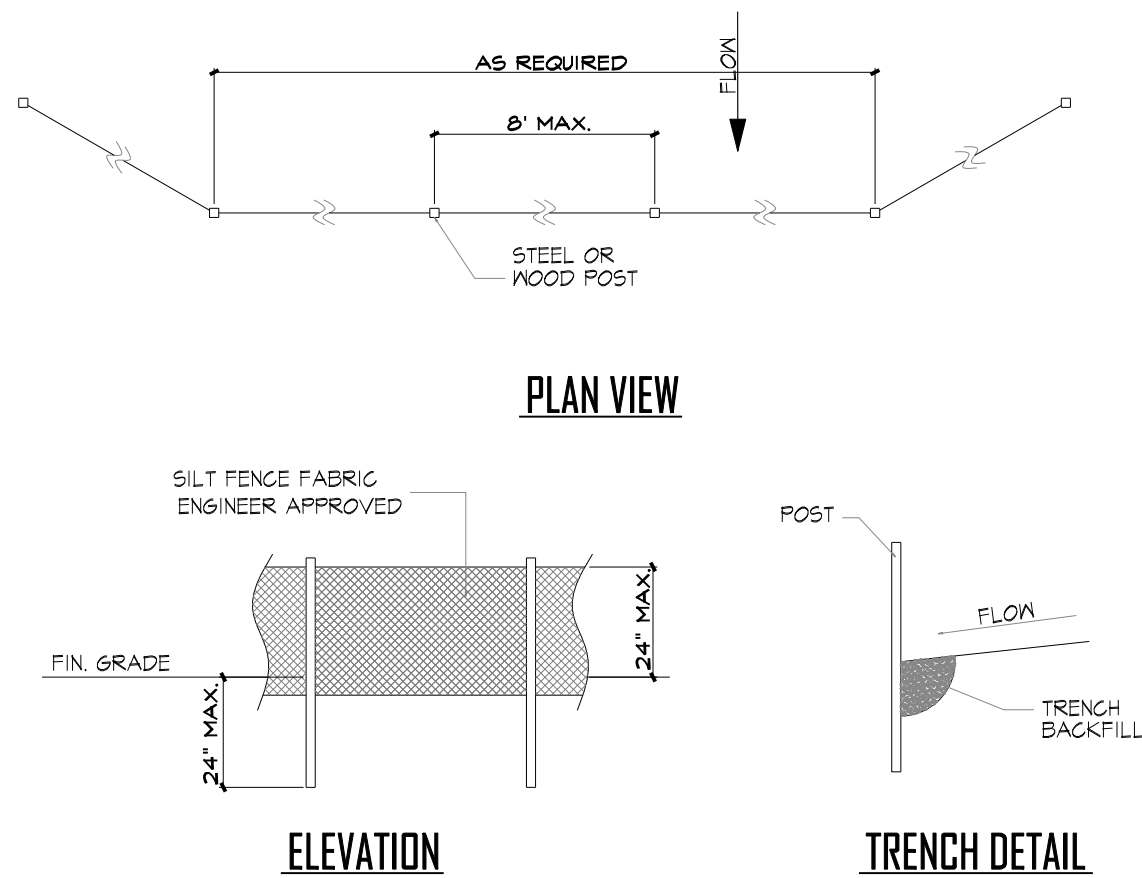
LEGEND

EXIST. GRADE	EX. =ELEV. 98.9'
SLAB ELEVATION	FIN. FLOOR ELEV. 100.0'
GRADING PATTERN	SWALE
SWALE LOCATION	SWALE
FENCE CONTROL	
EROSION CONTROL	
PROPERTY LINE	
UTILITY DRAINAGE EASEMENTS	
REFERENCE STRINGS	
BUILDING SETBACK LINE	
FRONT	25'-0"
REAR	20'-0"
SIDES	8'-0"

GENERAL NOTES

EROSION CONTROL MEASURES AS PRESCRIBED
BY THE CITY SHALL BE REQUIRED
TO PROTECT ALL DOWN HILL PROPERTIES
PRIOR TO SET BACK INSPECTION
SWALES AND BERMS REQUIRED TO PREVENT
EXCESSIVE DRAINAGE (RUN-OFF)
ONTO ADJACENT DOWNHILL LOTS.
ORANGE PLASTIC TREE/ VEGETATION FENCING
MUST BE IN PLACE BEFORE ANY CONSTRUCTION
IS TO TAKE PLACE.
SIDEWALK PER SUBDIVISION REQUIREMENTS.
PROVIDE DRAINAGE SWALES @ SIDE PROPERTY
LINES TO PREVENT WATER RUN OFF TO ADJACENT LOTS

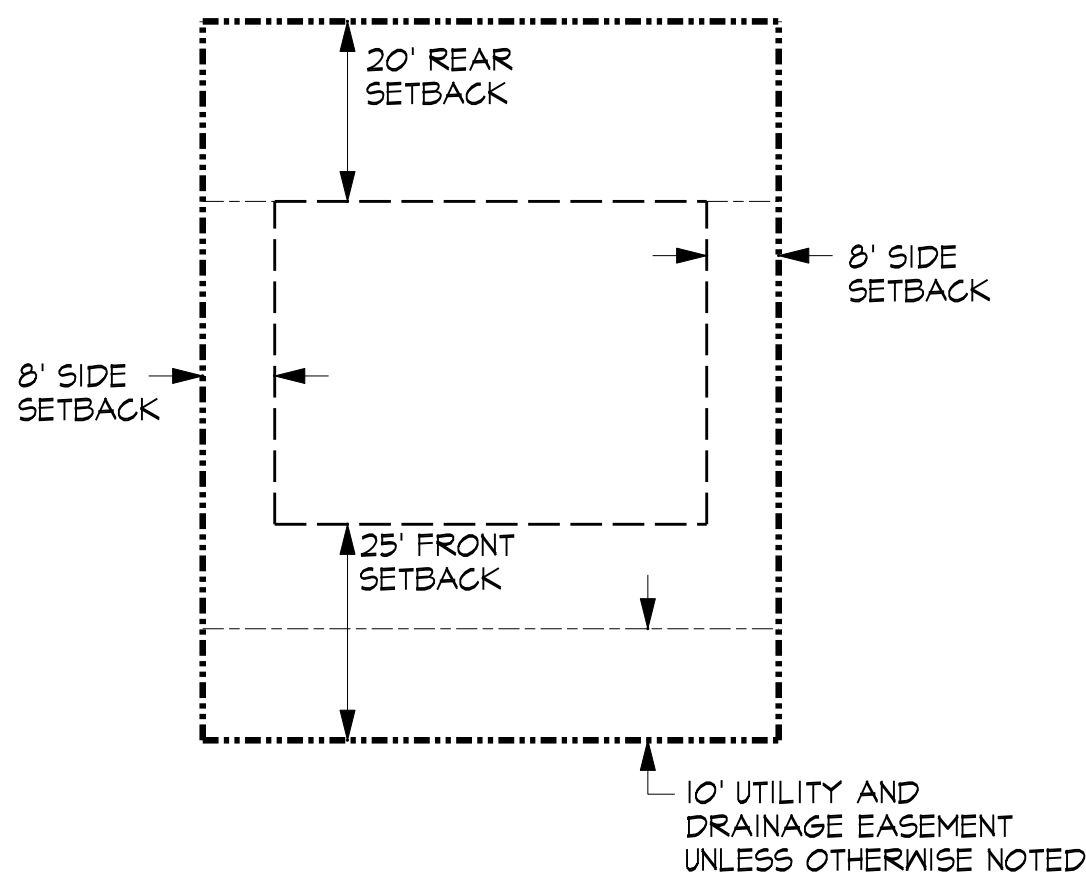
- NOTES:
1. SILT FENCE SEDIMENT BARRIER SHALL BE INSTALLED
TO FILTER SEDIMENT FROM RUNOFF.
 2. BUILD-UP OF SEDIMENT SHALL BE REMOVED WHEN
SEDIMENT REACHES 1/2 THE ABOVE GROUND HEIGHT
OF FENCE.
 3. SILT FENCE SHALL BE LEFT IN PLACE UNTIL PERMANENT
VEGETATION COVER IS ESTABLISHED.
 4. AREA DISTURBED AS A RESULT OF THE SILT FENCE SHALL
BE RESTABILIZED BY SEEDING.
 5. SILT FENCES SHALL BE PLACED TO FOLLOW THE CONTOURS.



Silt Fence Detail

SCALE = N.T.S.

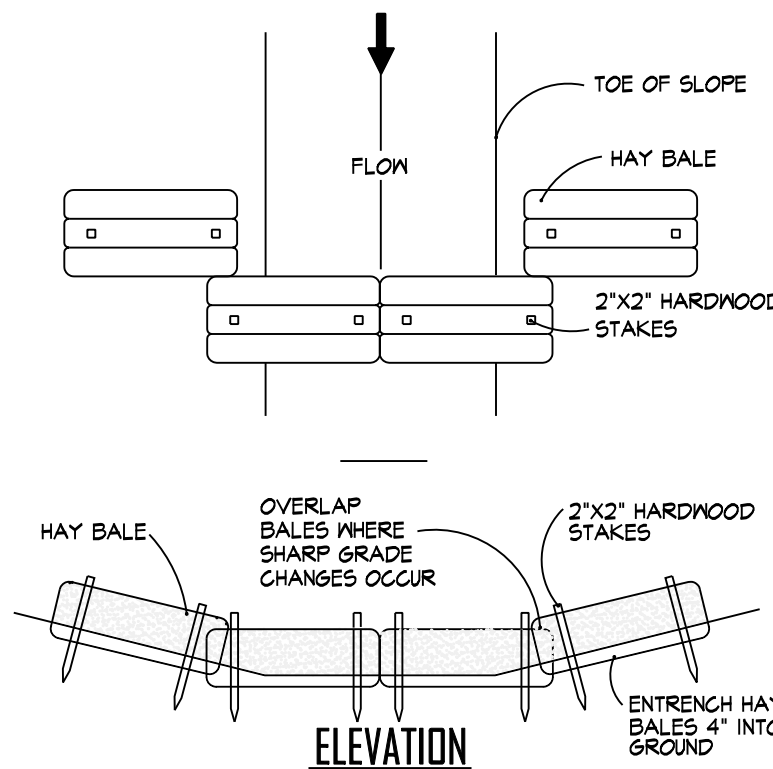
TRENCH DETAIL



STREET (50' TYPICAL R.O.W.)

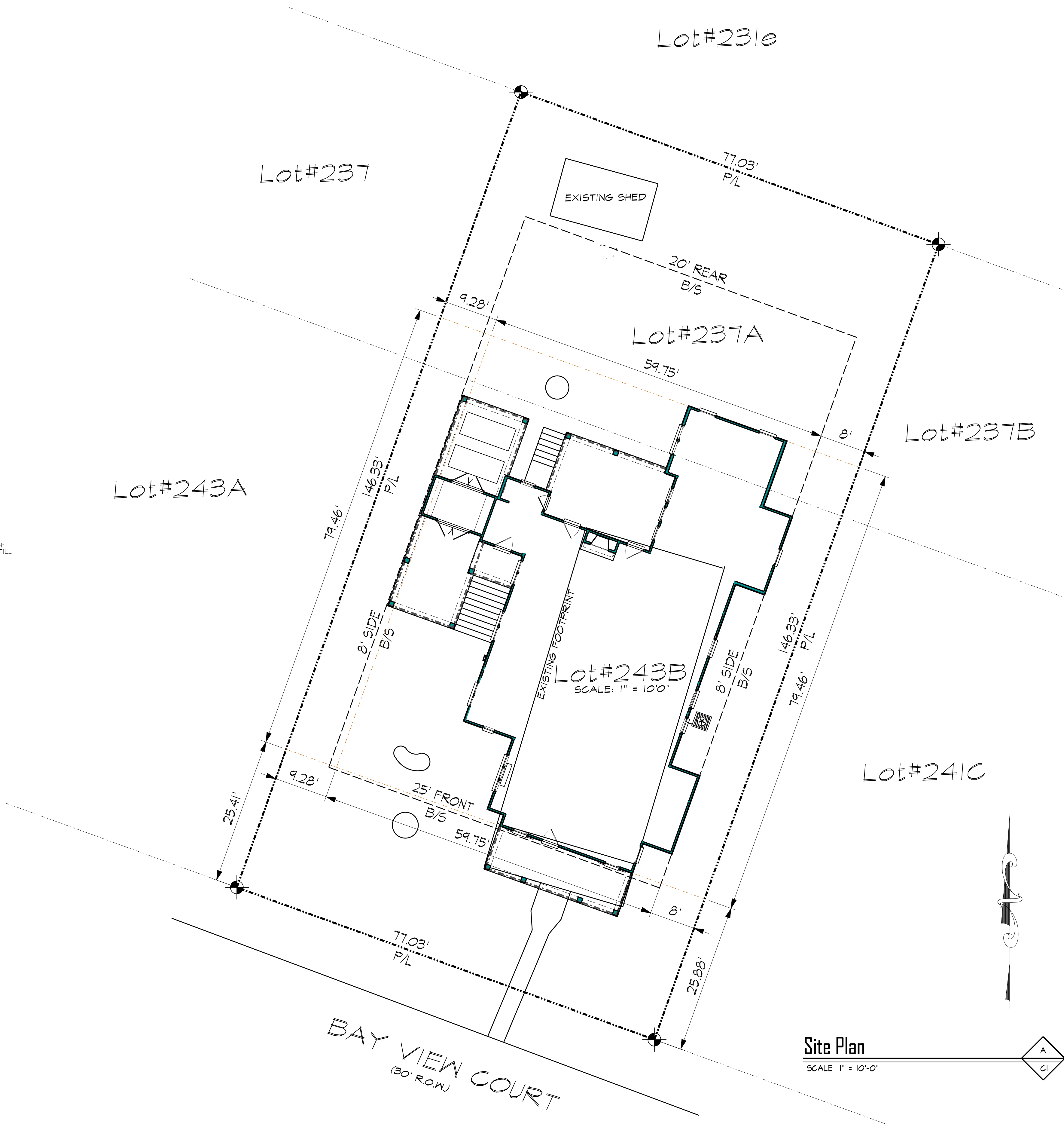
TYPICAL LOT DETAIL

NOT TO SCALE



Hay Bale Check Dam

SCALE = N.T.S.



Site Plan

SCALE 1" = 10'-0"

ADDRESS

243 ST. AUGUSTINE DRIVE
MADISON, MS 39110
(601) 720-1521

REVISIONS

MARK DATE

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PROJECT DATA

- LOTS 237A, 242 & 243 OF FRIST WARD
BAY ST. LOUIS, HANCOCK COUNTY, MISSISSIPPI
BAY VIEW COURT

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PROJECT

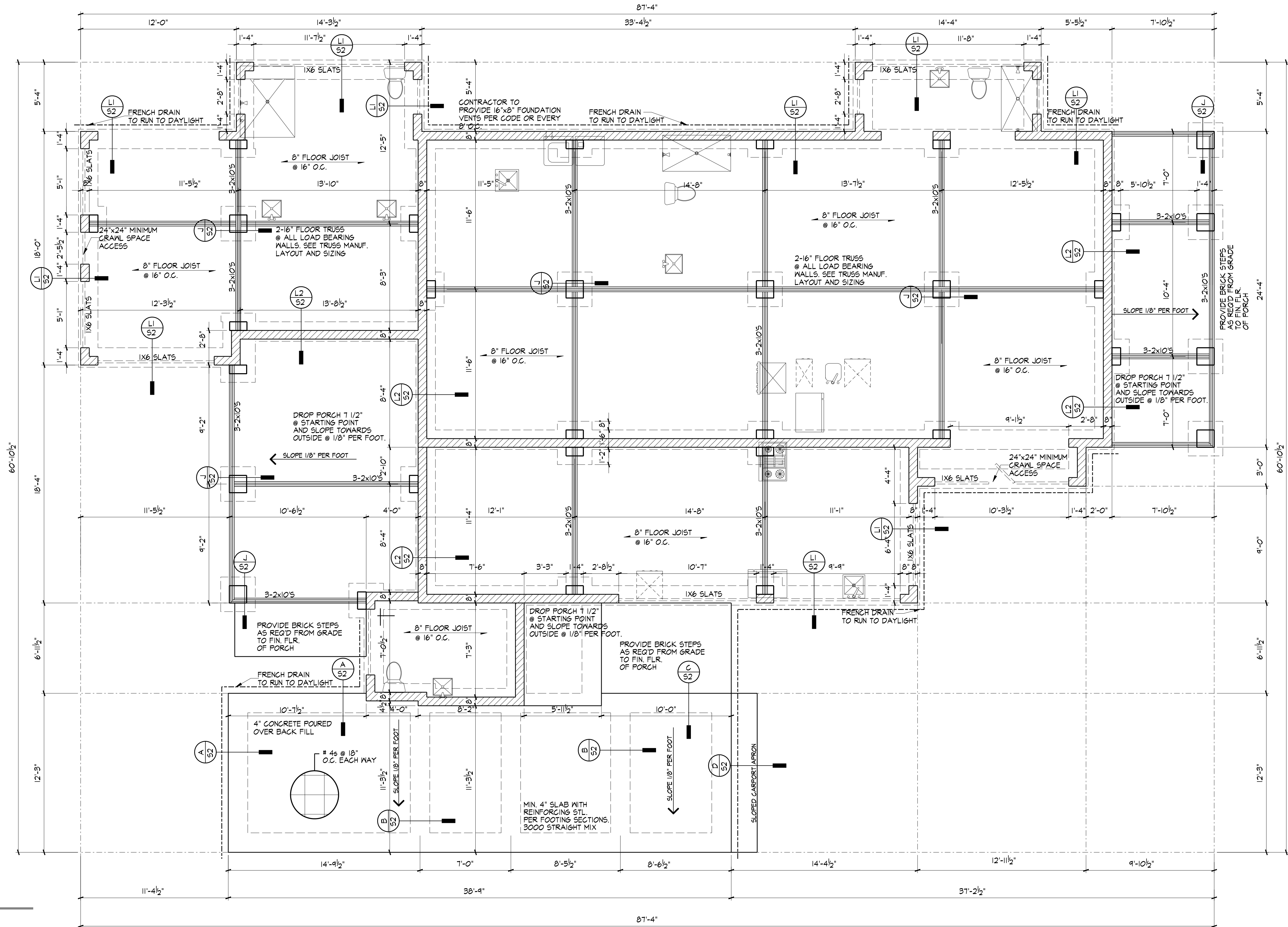
BRD-T-26

SHEET NO.

S1 OF 7

DESCRIPTION

Foundation Plan

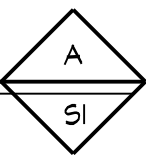


FOUNDATION NOTES

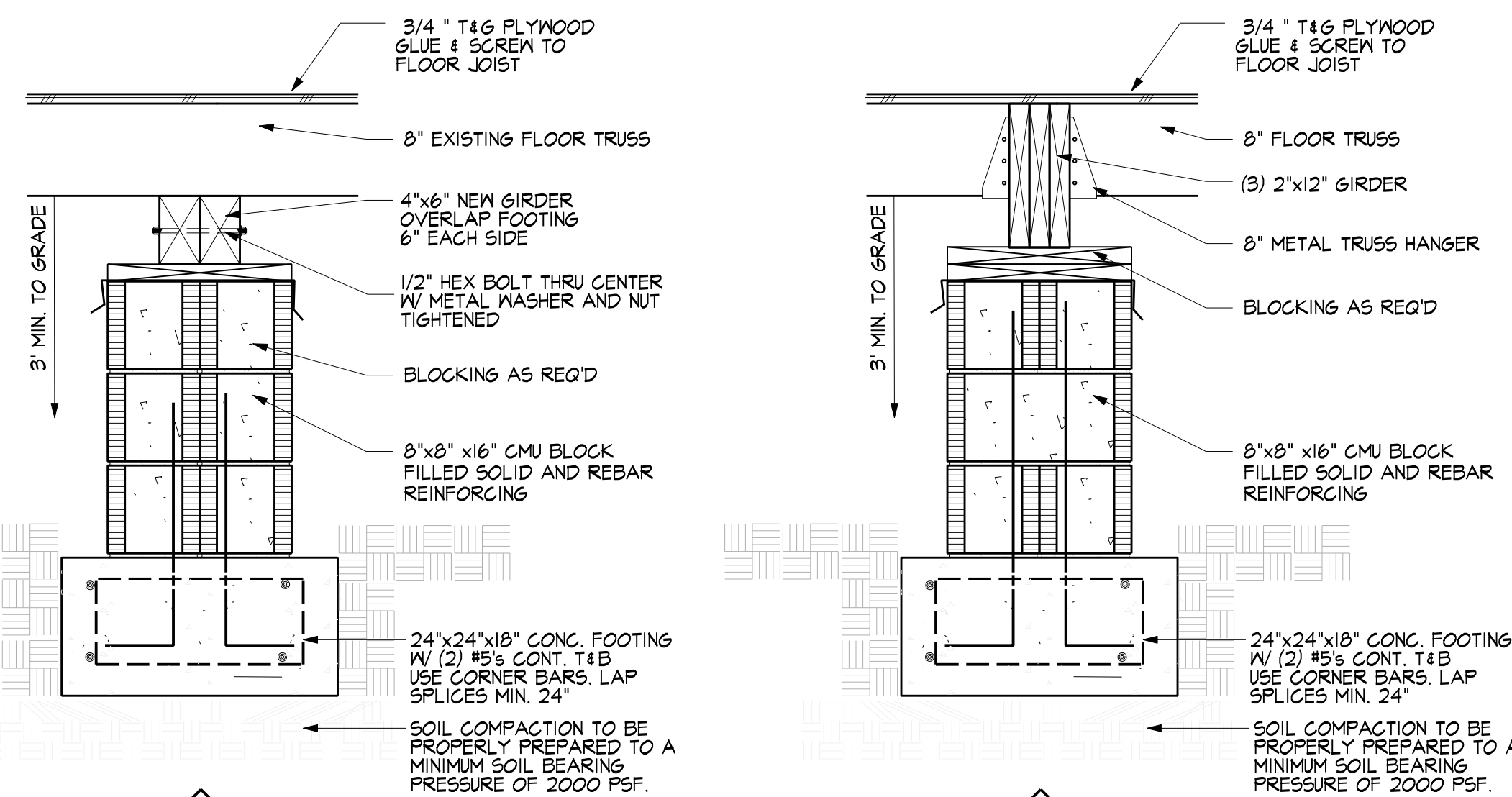
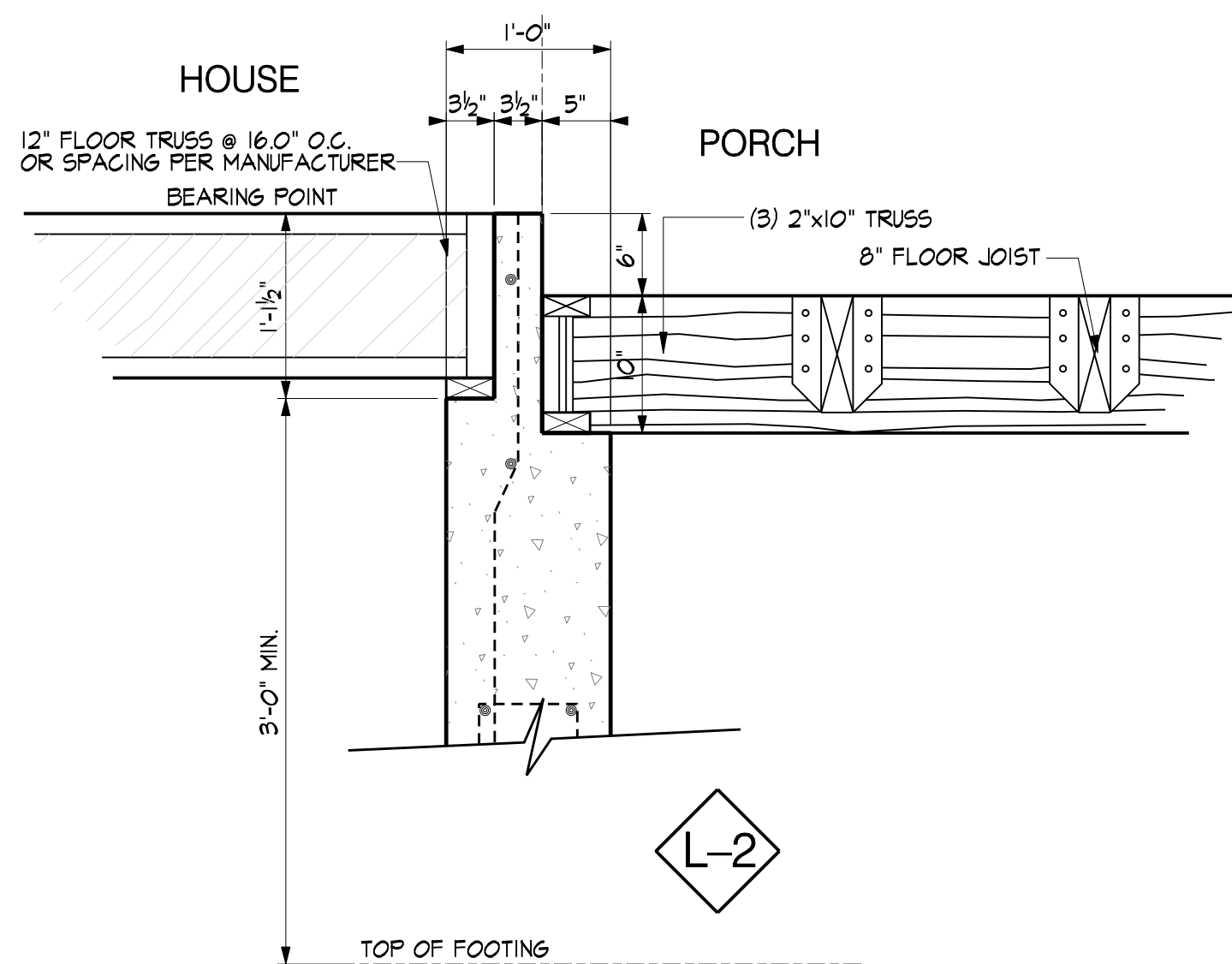
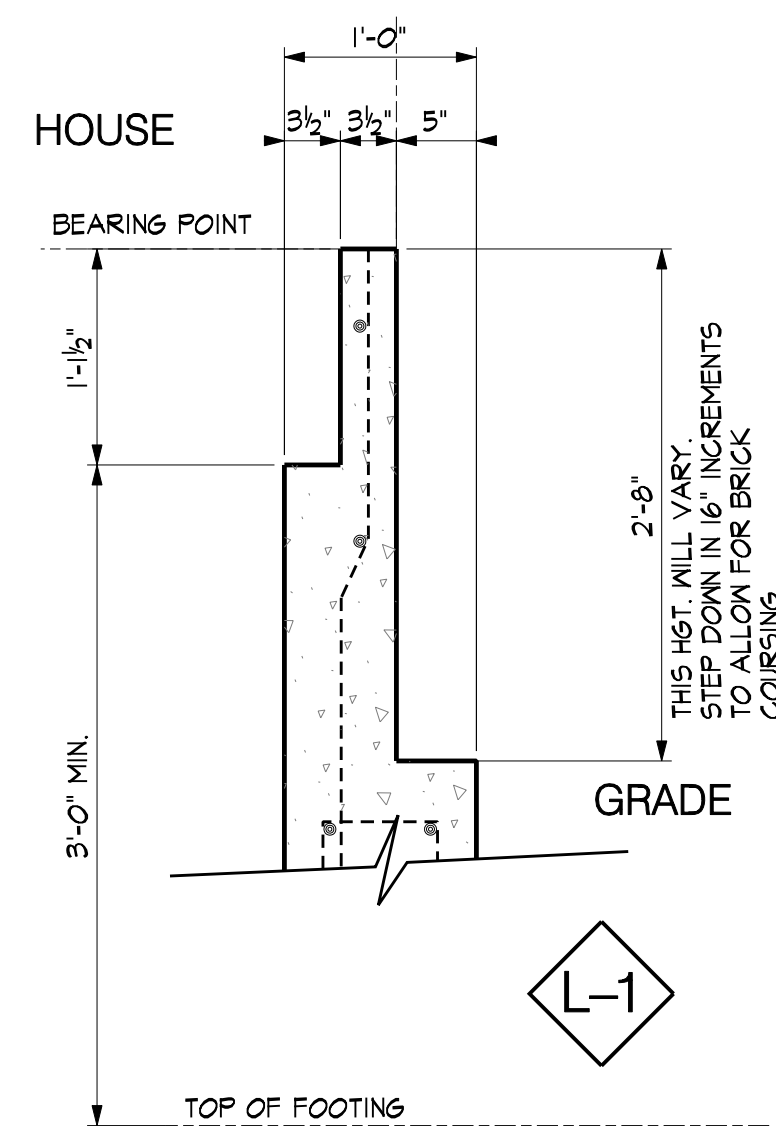
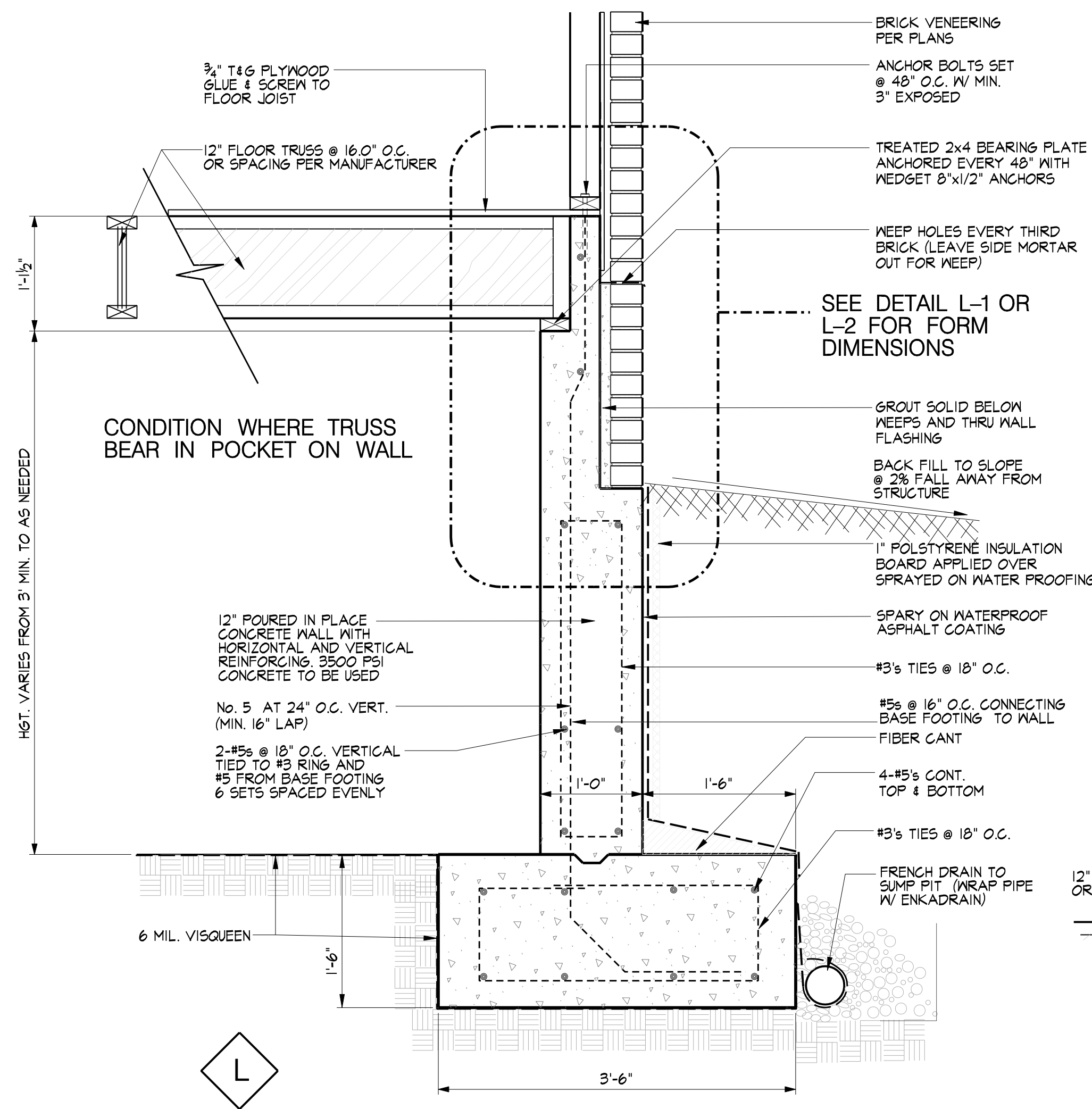
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING WORK.
- ALL CONCRETE SHALL HAVE A CONCRETE COMPRESSIVE STRENGTH OF AT LEAST 3500 PSI AT 28 DAYS.
- REINFORCEMENT SHALL CONFORM TO ASTM STANDARDS, grade 60
- REINFORCEMENT IN FOOTINGS SHALL HAVE A MINIMUM CONCRETE COVER OF 2 INCHES (3 INCHES WHEN CAST AGAINST EARTH).
- THE FOLLOWING MINIMUM CRITERIA SHALL APPLY FOR SITE PREPARATION UNLESS OTHERWISE SPECIFIED BY A QUALIFIED GEOTECHNICAL ENGINEER. IF FILL SOILS ARE REQUIRED TO ACHIEVE THE DESIRED FOUNDATION ELEVATION, LOW SHRINK-SWELL POTENTIAL FIRM NATURAL SILTY CLAYS AND/OR COMPACTED SELECT FILL SOILS SHOULD BE PLACED IN LIFT LAYERS NOT TO EXCEED 9 INCHES AND THEN COMPACTED TO AT LEAST 96 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. THE FILL MATERIAL SHOULD EXTEND AND BE PROPERLY COMPACTED OVER AN AREA AT LEAST 6 FEET BEYOND THE BUILDING PERIMETER, AND THE SLOPE TO NATURAL GRADE SHOULD NOT EXCEED 4 TO 1 (HORIZONTAL TO VERTICAL). QUALITY CONTROL WITH DENSITY AND MOISTURE CONTENT MEASUREMENTS FOR EACH LIFT IS REQUIRED. WHEN CONSTRUCTED ON SITE UNDERLAIN WITH EXPANSIVE CLAYS, 8' OF COMPACTED SELECT FILL SOILS SHALL BE PROVIDED BENEATH THE UNDERSURFACE OF THE SLAB. THE BLANKET SHOULD ALSO EXTEND HORIZONTALLY AT LEAST 1 FEET BEYOND BUILDING LINES BEFORE SLOPING DOWN TO NATURAL GROUND.
- POSITIVE DRAINAGE AWAY FROM THE FOUNDATION IS CRITICAL. GUTTERS ARE GENERALLY RECOMMENDED AND DOWNSPOUTS SHOULD EXTEND 5 TO 7 FEET FROM THE FOUNDATION OR EMPTY INTO PIPES THAT CARRY THE WATER AWAY FROM THE FOUNDATION.
- THE DESIGN ASSUMES THAT THE SUBSURFACE SOIL WILL BE PROPERLY PREPARED TO INSURE A MINIMUM ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF, WITH LOW COMPRESSIBILITY.

Foundation Plan -Crawlspace/ Basement

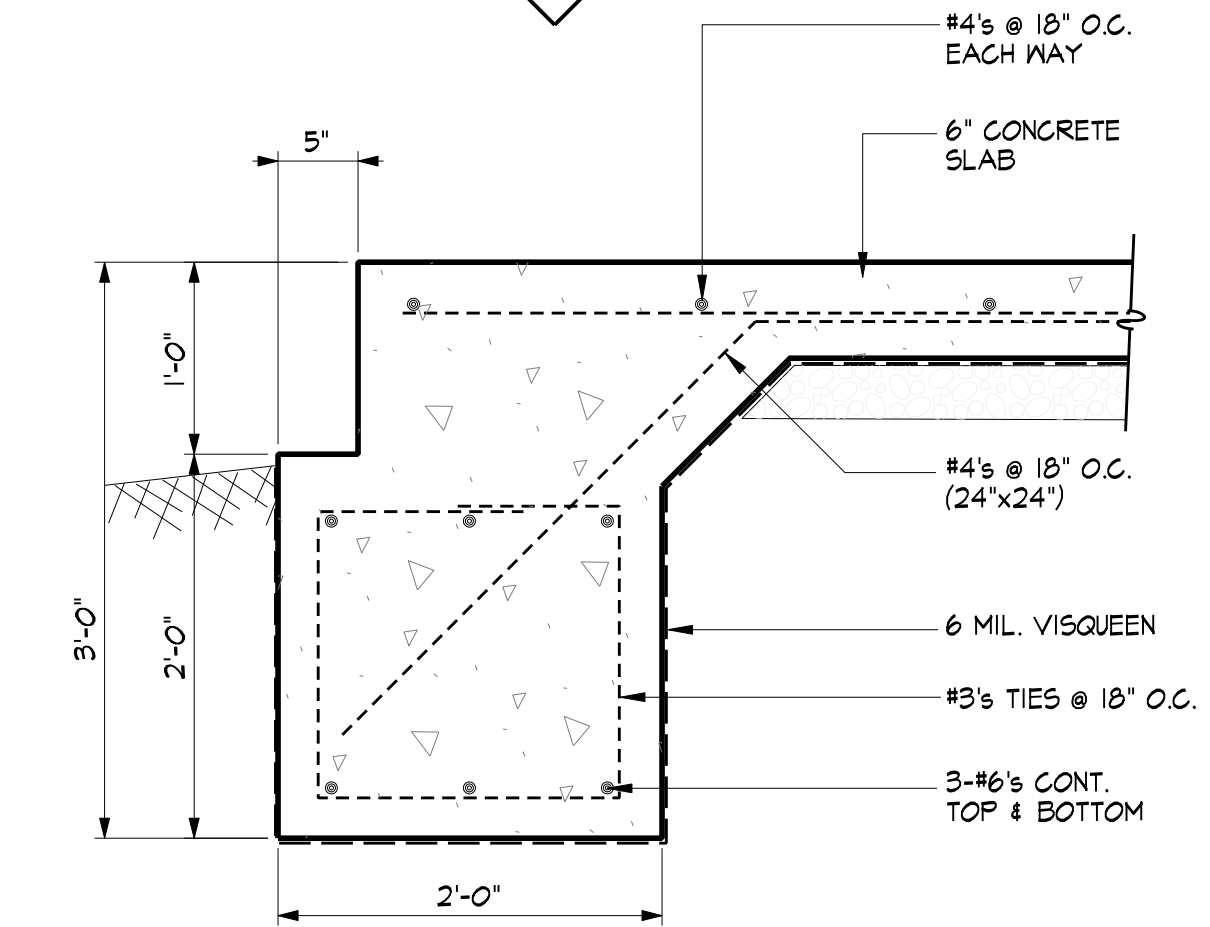
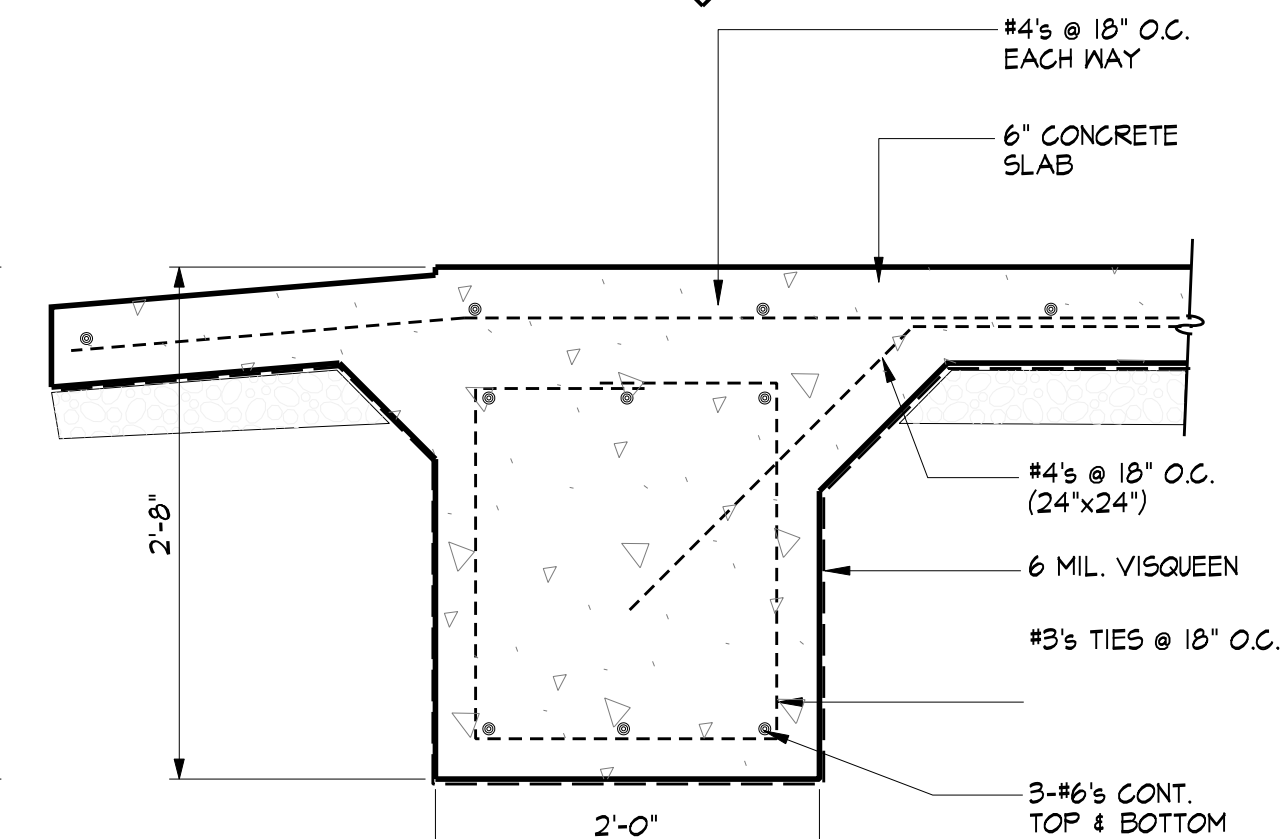
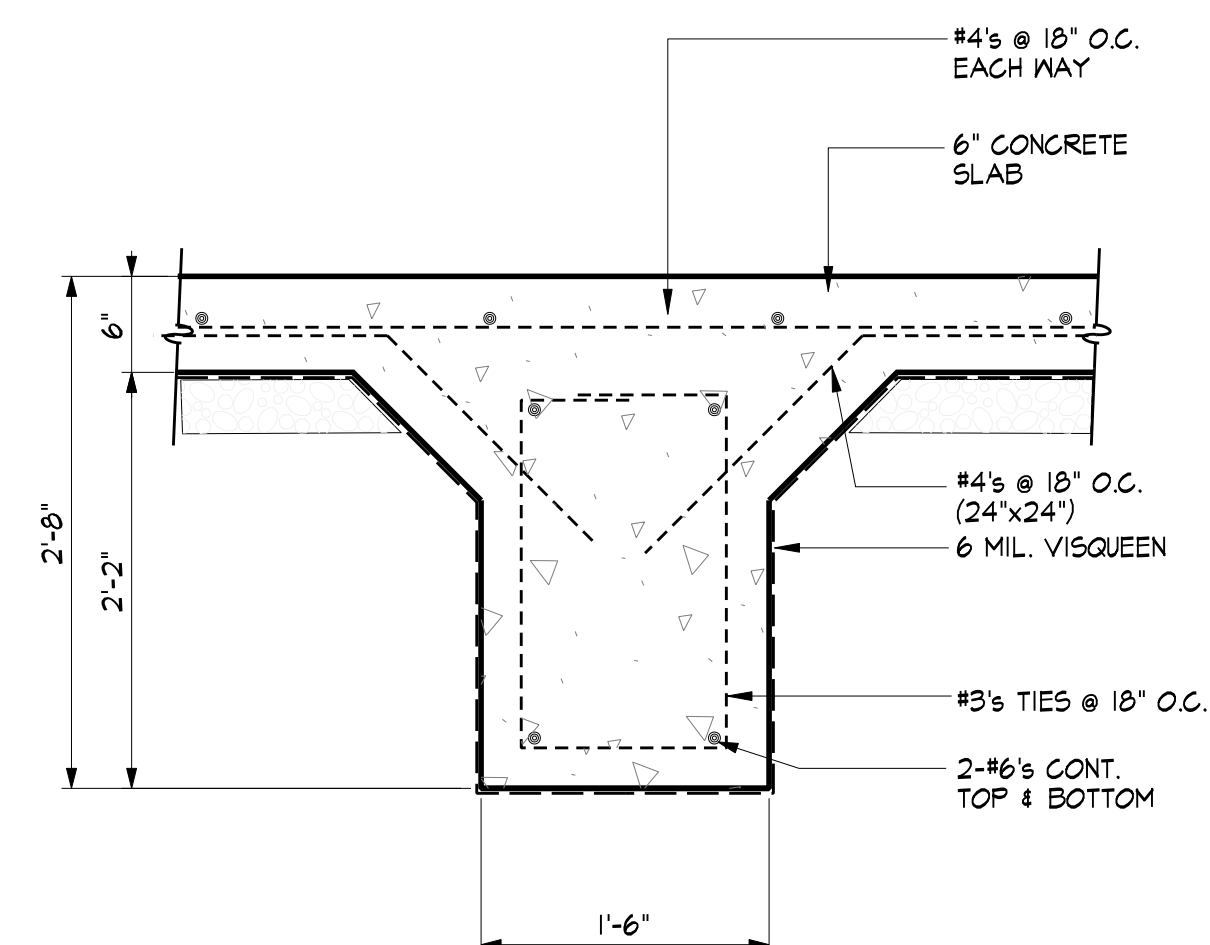
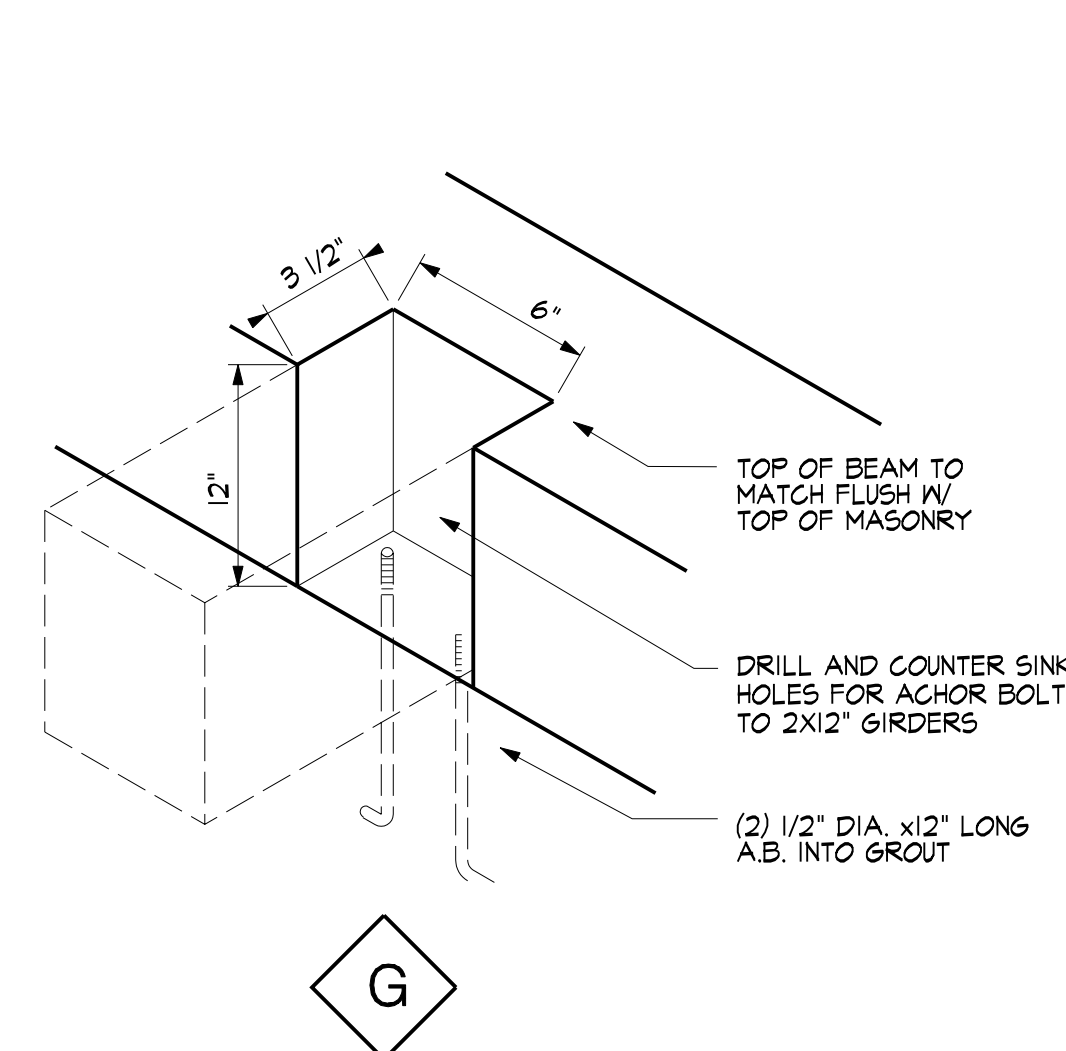
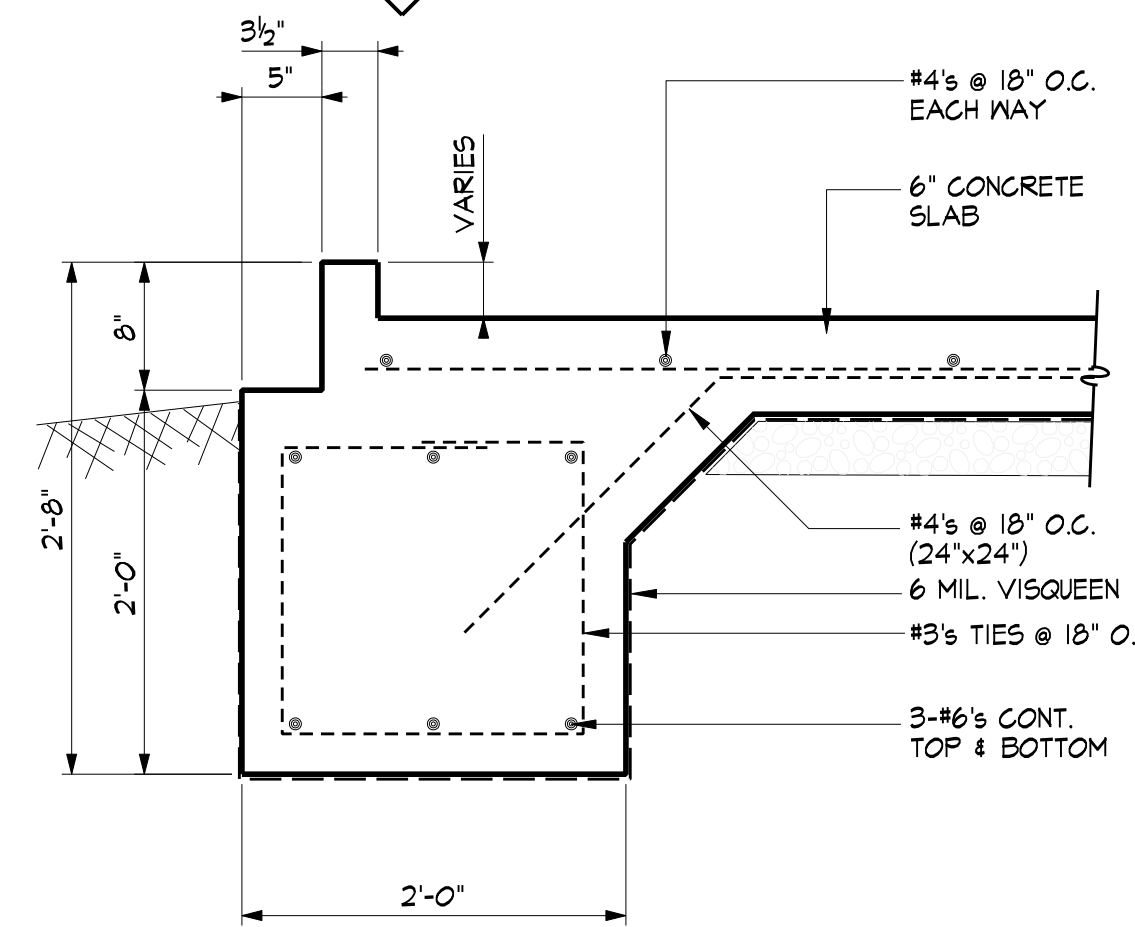
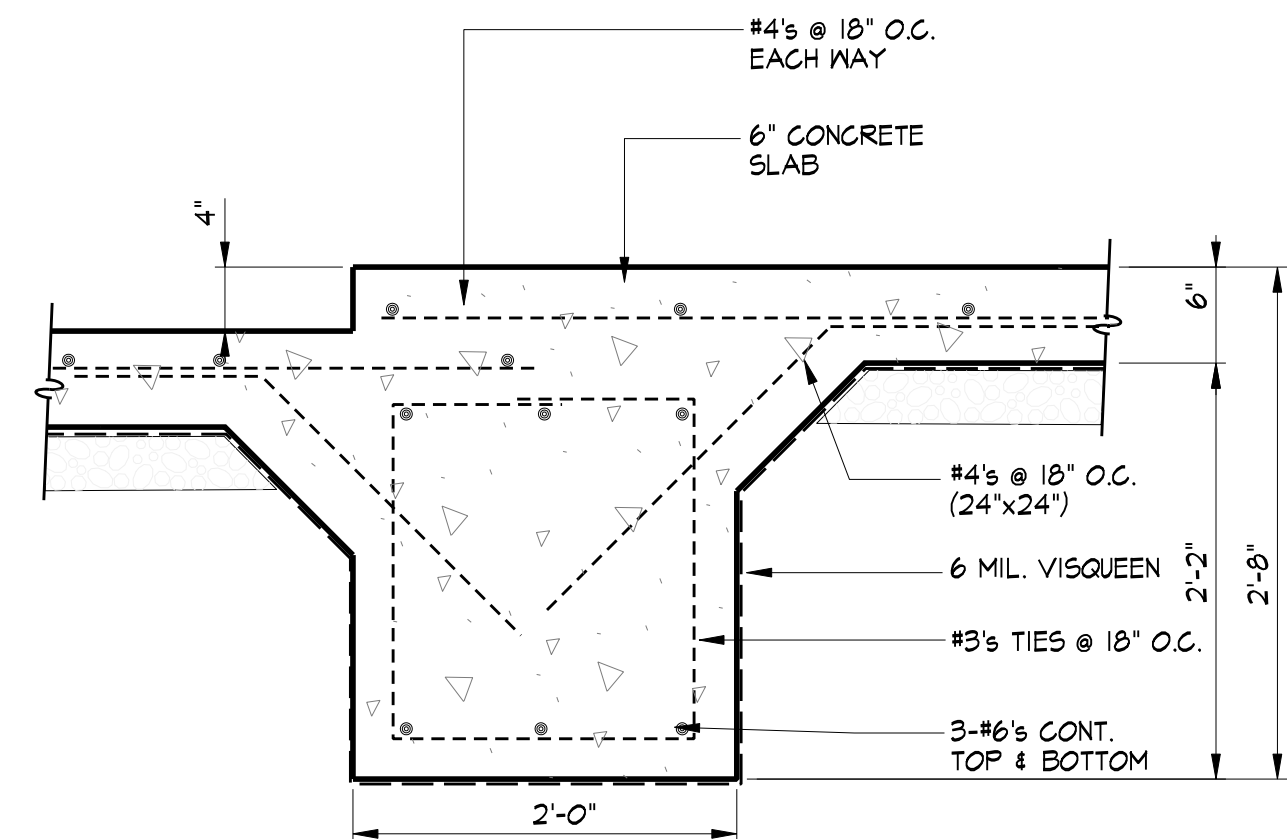
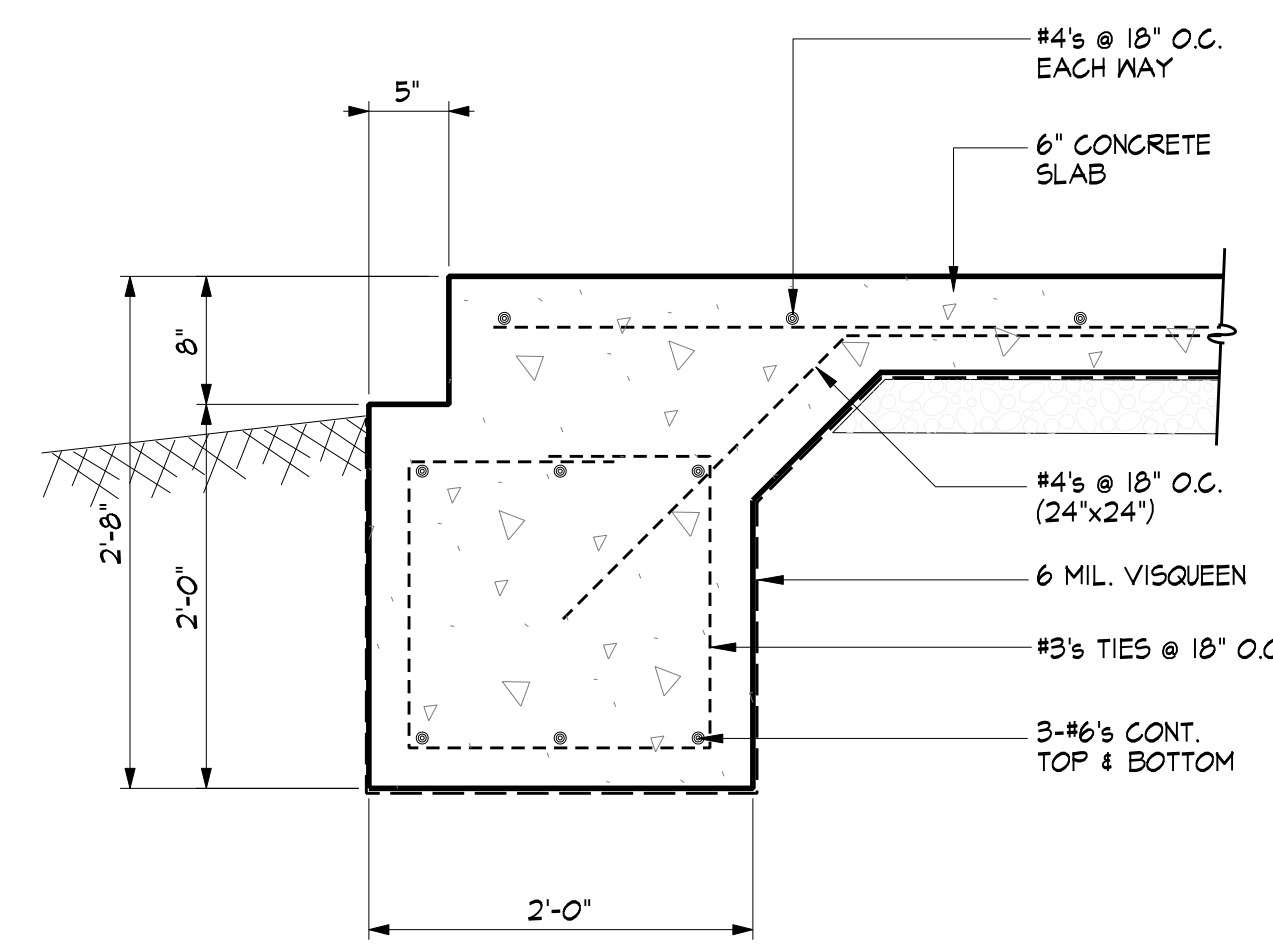
SCALE 1/4" = 1'-0"



SEE ELECTRICAL PLAN FOR
FLOOR OUTLETS PRIOR TO
POURING CONCRETE



NOTE:
FOOTING TO BE LOCATED AT
EVERY 8' O.C. OR LESS PER
CODE REQUIREMENTS



FOUNDATION NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING WORK.
- ALL CONCRETE SHALL HAVE A CONCRETE COMPRESSIVE STRENGTH OF AT LEAST 3500 PSI AT 28 DAYS.
- REINFORCEMENT SHALL CONFORM TO ASTM STANDARDS, GRADE 60.
- REINFORCEMENT IN FOOTINGS SHALL HAVE A MINIMUM CONCRETE COVER OF 2 INCHES (3 INCHES WHEN CAST AGAINST EARTH).
- THE FOLLOWING MINIMUM CRITERIA SHALL APPLY FOR SITE PREPARATION UNLESS OTHERWISE SPECIFIED BY A QUALIFIED GEOTECHNICAL ENGINEER. IF FILL SOILS ARE REQUIRED TO ACHIEVE THE DESIRED FOUNDATION ELEVATION, LOW SHRINK-SWELL POTENTIAL FIRM NATURAL SILTY CLAYS AND/OR COMPACTED SELECT FILL SOILS SHOULD BE PLACED IN LIFT LAYERS NOT TO EXCEED 9 INCHES AND THEN COMPACTED TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. THE FILL MATERIAL SHOULD EXTEND AND BE PROPERLY COMPACTED OVER AN AREA AT LEAST 6 FEET BEYOND THE BUILDING PERIMETER, AND THE SLOPE TO NATURAL GRADE SHOULD NOT EXCEED 4 TO 1 (HORIZONTAL TO VERTICAL). QUALITY CONTROL WITH DENSITY AND MOISTURE CONTENT MEASUREMENTS FOR EACH LIFT IS REQUIRED. WHEN CONSTRUCTED ON SITE UNDERLAIN WITH EXPANSIVE CLAYS, 8' OF COMPACTED SELECT FILL SOILS SHALL BE PROVIDED BENEATH THE UNDERSURFACE OF THE SLAB. THE BLANKET SHOULD ALSO EXTEND HORIZONTALLY AT LEAST 7 FEET BEYOND BUILDING LINES BEFORE SLOPING DOWN TO NATURAL GROUND.
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- THE DESIGN ASSUMES THAT THE SUBSURFACE SOIL WILL BE PROPERLY PREPARED TO INSURE A MINIMUM ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF, WITH LOW COMPRESSIBILITY.

ADDRESS

243 ST. AUGUSTINE DRIVE
MADISON, MS 39110
(601) 720-1521

REVISIONS

MARK	DATE

FOR REVIEW ONLY

PROJECT DATA



LOTS 237A, 242 & 243 OF FRIST WARD
BAY ST. LOUIS, HANCOCK COUNTY, MISSISSIPPI
BAY VIEW COURT
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DATE:

JUNE 09, 2026

SCALE

AS SHOWN

PROJECT

3RD-17-26

SHEET NO.

S2 OF **7**

DESCRIPTION

Conv. Details