

PROJECT TIMBERWOLF

BAXTER, MN

100% CD

PROJECT CONTACTS

DEVELOPER

RYAN A+E, INC.
533 SOUTH THIRD STREET, SUITE 100
MINNEAPOLIS, MN 55415
EDDY WOLF
952-807-2120
eddy.wolf@ryancompanies.com

CIVIL ENGINEER

RYAN A+E, INC.
533 SOUTH THIRD STREET, SUITE 100
MINNEAPOLIS, MN 55415
JARED OLSON
612-492-4447
jared.olson@ryancompanies.com

GENERAL CONTRACTOR

RYAN COMPANIES US, INC.
533 SOUTH THIRD STREET, SUITE 100
MINNEAPOLIS, MN 55415
JORDAN DALLUGE
507-995-0712
jordan.dalluge@ryancompanies.com

LANDSCAPE ARCHITECT

RYAN A+E, INC.
533 SOUTH THIRD STREET, SUITE 100
MINNEAPOLIS, MN 55415
JUSTIN BAGGENSTOSS
952-797-6447
justin.baggenstoss@ryancompanies.com

ARCHITECT

CESO, INC.
175 MONTROSE WEST AVE., SUITE 400
AKRON, OH 44321
JANINE NUNFIO
479-390-0544
janine.nunfio@cescoinc.com

SURVEYOR

WESTWOOD
12701 WHITEWATER DR, SUITE 300
MINNETONKA, MN 55343
CHRIS AMBOURN
952-844-7693
chris.ambourn@westwoodps.com

STRUCTURAL

WALLACE DESIGN COLLECTIVE
123 N MARTIN LUTHER KING JR BLVD
TULSA, OK 74103
MATT GEBHARDT
918-584-5858
matt.gehardt@wallacedesign.com

MECHANICAL

HP ENGINEERING
5504 W PINNACLE POINT DR, SUITE 200
ROGERS, AR 72758
BRITTNEY PEACE
479-899-6370
bpeace@hpengineeringinc.com

PROJECT LOCATION



VICINITY MAP
NOT TO SCALE

SHEET INDEX

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●		L200	SITE LANDSCAPE LAYOUT & SURFACING PLAN
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●		L401	ENLARGED PLANTING PLAN DETAIL-NORTH
●		L500	LANDSCAPE DETAILS
DRAWING INDEX LEGEND			
<div><div></div>FILLED CIRCLE INDICATES DRAWING INCLUDED WITHIN THIS ISSUE</div> <div><div></div>MOST RECENT REVISION NUMBER</div> <div><div></div>MOST RECENT ISSUE OR REVISION DATE</div>			
○	-	X/XX/20XX	CX SHEET TITLE

CITY OFFICIALS

MAYOR:	DARRELL OLSON
CITY COUNCIL:	MARK CROSS
	CONNIE LYSCIO
	ZACH TABATT
	JEFF PHILLIPS
UTILITIES COMMISSION	ROCK YLINIEMI - CHAIR
	JACK CHRISTOFFERSON
	DOUGLAS STENBERG
	JOHN BRENNY
CITY ADMINISTRATOR	BRADLEY CHAPULIS
PUBLIC WORKS DIRECTOR / CITY ENGINEER	TREVOR WALTER

APPROVALS

RECOMMENDED FOR APPROVAL _____	CITY CONSULTING ENGINEER	DATE
RECOMMENDED FOR APPROVAL _____	PUBLIC WORKS DIRECTOR / CITY ENGINEER	DATE



RYAN A+E, INC.
533 South Third Street, Suite 100
Minneapolis, MN 55415
612-492-4000 tel
612-492-3000 fax

WWW.RYANCOMPANIES.COM

OWNER



CONSULTANTS



PROJECT INFORMATION

PROJECT TIMBERWOLF

BAXTER, MN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota


JARED B. OLSON

REGISTRATION NO.	DATE
42340	05/24/2024

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DRAWN BY	CHECKED BY
DCS	---
JOB NO.	DATE
701676	05/24/2024

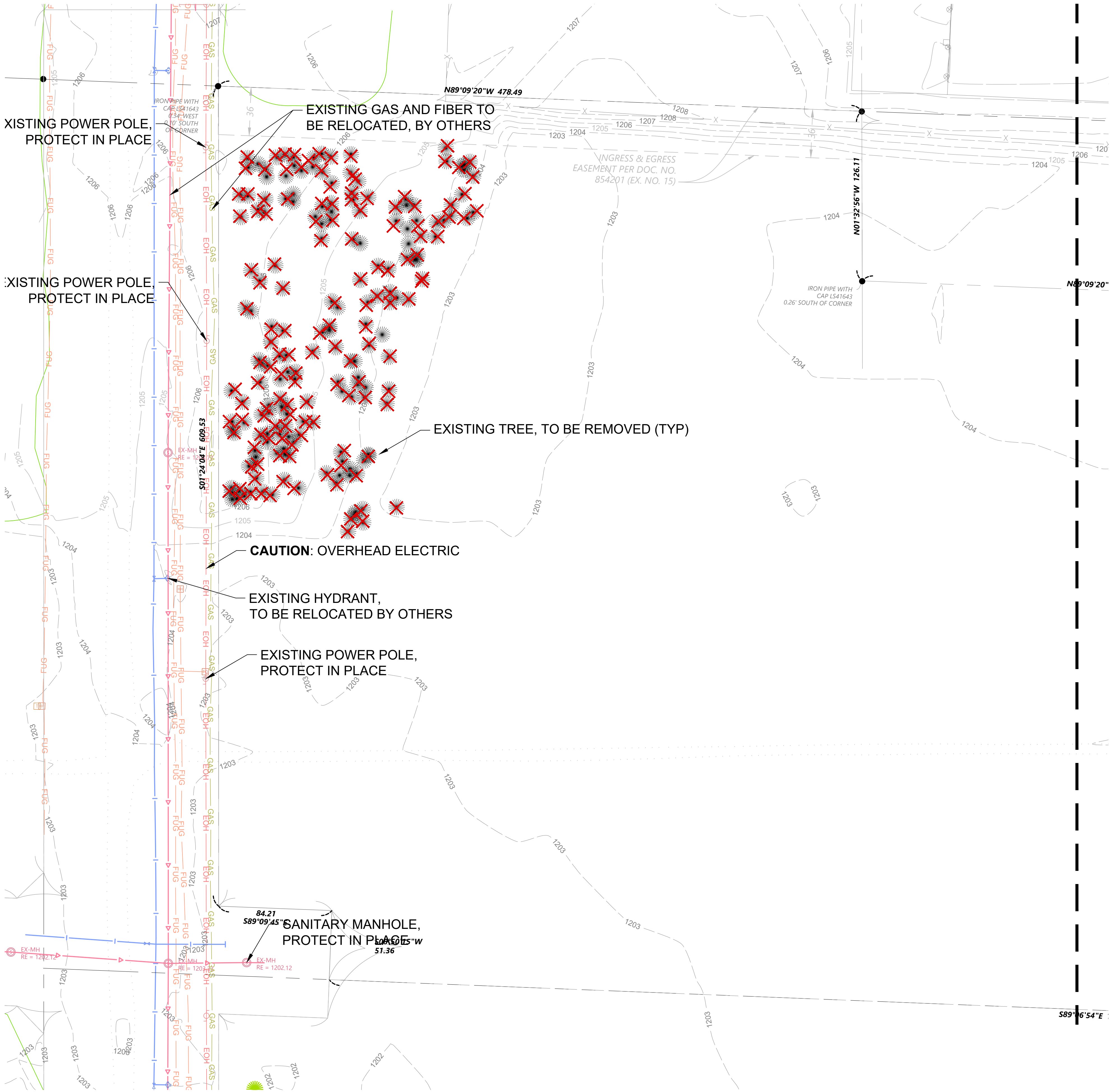
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100% CD

COVER SHEET

C001

CHECKED:	CNA
DRAWN:	BJY
FIELD CREW:	BDA/MDS/MVG
FIELD WORK DATE:	03/20/2024

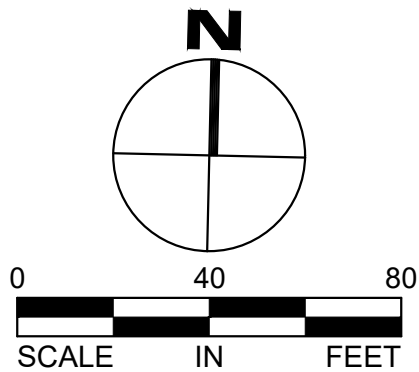


EXISTING CONDITIONS NOTES

- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE COMMENCEMENT OF REMOVALS AND SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 1-800-252-1166 OR 811) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO EXCAVATION.
- ALL EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO REMOVALS.
- CONTRACTOR TO REMOVE/RELOCATE EXISTING PRIVATE UTILITIES AS NECESSARY. CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES.
- CONTRACTOR IS RESPONSIBLE FOR ALL REMOVALS NOTED ON PLANS. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING, OR REMOVING AND REINSTALLING ALL FENCES, SIGNS, AND OTHER MISCELLANEOUS ITEMS. SERVICE MUST BE MAINTAINED THROUGHOUT CONSTRUCTION. TEMPORARY OR PERMANENT RELOCATION OF ABOVE ITEMS MAY BE NECESSARY AND SHALL BE COORDINATED WITH THE APPROPRIATE PARTY. ALL WORK REQUIRED TO COMPLETE THE ABOVE SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
- CARE MUST BE TAKEN DURING CONSTRUCTION AND EXCAVATION TO PROTECT ANY SURVEY MONUMENTS AND/OR PROPERTY IRONS.
- EXISTING PAVEMENT WITHIN RIGHT-OF-WAY SHALL BE SAWCUT IN ACCORDANCE WITH CITY OF BAXTER REQUIREMENTS.
- CONTRACTOR SHALL REMOVE ALL SITE SURFACE FEATURES WITHIN REMOVAL LIMITS UNLESS OTHERWISE NOTED.
- CONTRACTOR TO CLEAR AND GRUB EXISTING VEGETATION WITHIN CONSTRUCTION LIMITS UNLESS OTHERWISE NOTED. STRIP TOPSOIL, AND STOCKPILE ON-SITE. REFER TO EROSION CONTROL PLAN, GRADING PLAN AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR SEDIMENT AND EROSION CONTROL REQUIREMENTS.
- TREE PROTECTION FENCING SHALL BE INSTALLED AT THE DRIP LINE OF TREES TO REMAIN WITHIN THE LIMITS OF DISTURBANCE PRIOR TO THE START OF CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT.

LEGEND:

REMOVAL
X EACH



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612-492-4000 tel
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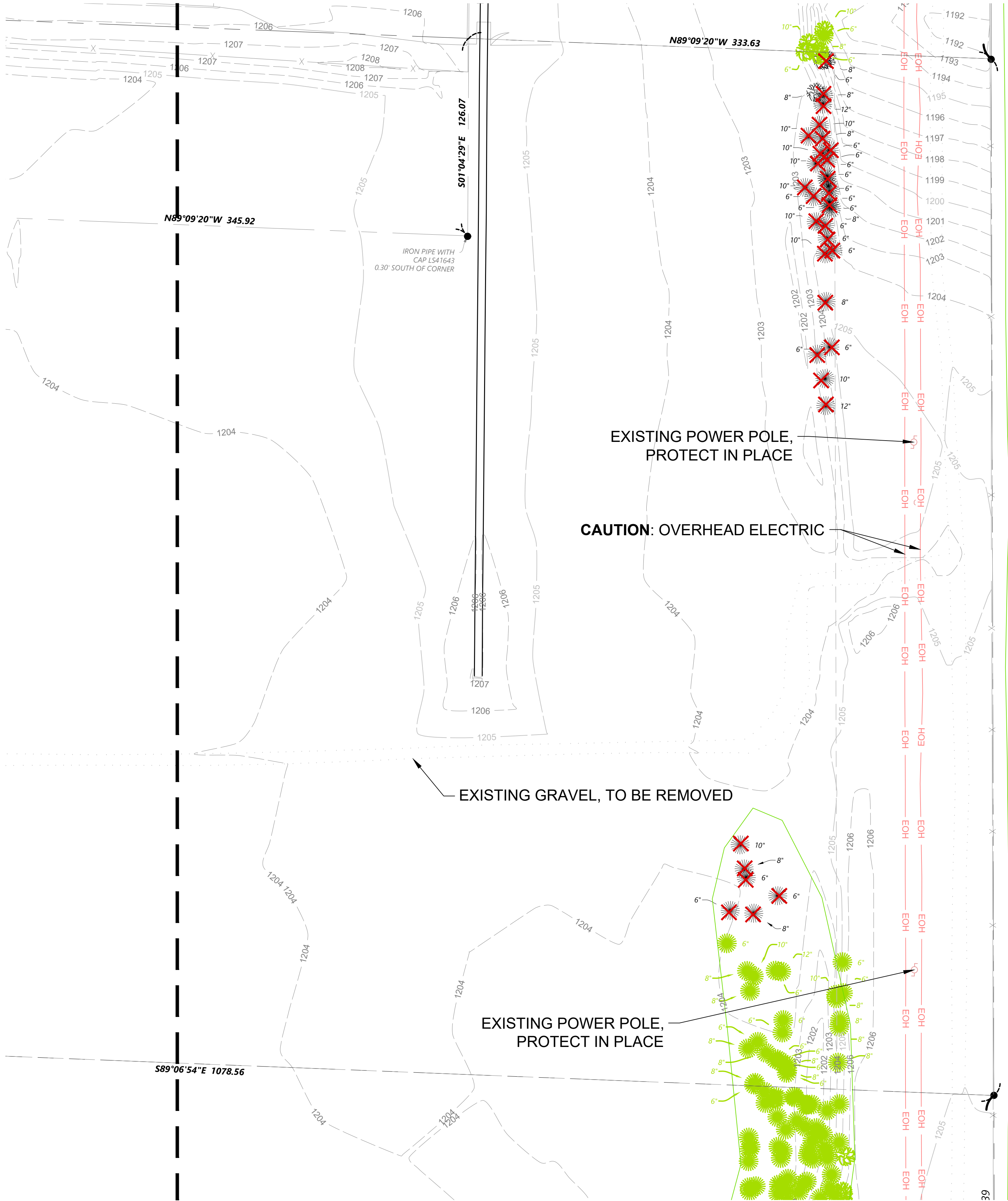
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100% CD

EXISTING CONDITIONS & REMOVALS PLAN

C101



EXISTING CONDITIONS NOTES

1. CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE COMMENCEMENT OF REMOVALS AND SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
2. ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 1-800-252-1166 OR 811) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO EXCAVATION.
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7. CARE MUST BE TAKEN DURING CONSTRUCTION AND EXCAVATION TO PROTECT ANY SURVEY MONUMENTS AND/OR PROPERTY IRONS.
8. EXISTING PAVEMENT WITHIN RIGHT-OF-WAY SHALL BE SAWCUT IN ACCORDANCE WITH CITY OF BAXTER REQUIREMENTS.
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11. TREE PROTECTION FENCING SHALL BE INSTALLED AT THE DRIP LINE OF TREES TO REMAIN WITHIN THE LIMITS OF DISTURBANCE PRIOR TO THE START OF CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT.

LEGEND:

- REMOVAL
- EACH



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533 South Third Street, Suite 100
Minneapolis, MN 55415
612-492-4000 tel
612-492-3000 fax

WWW.RYANCOMPANIES.COM

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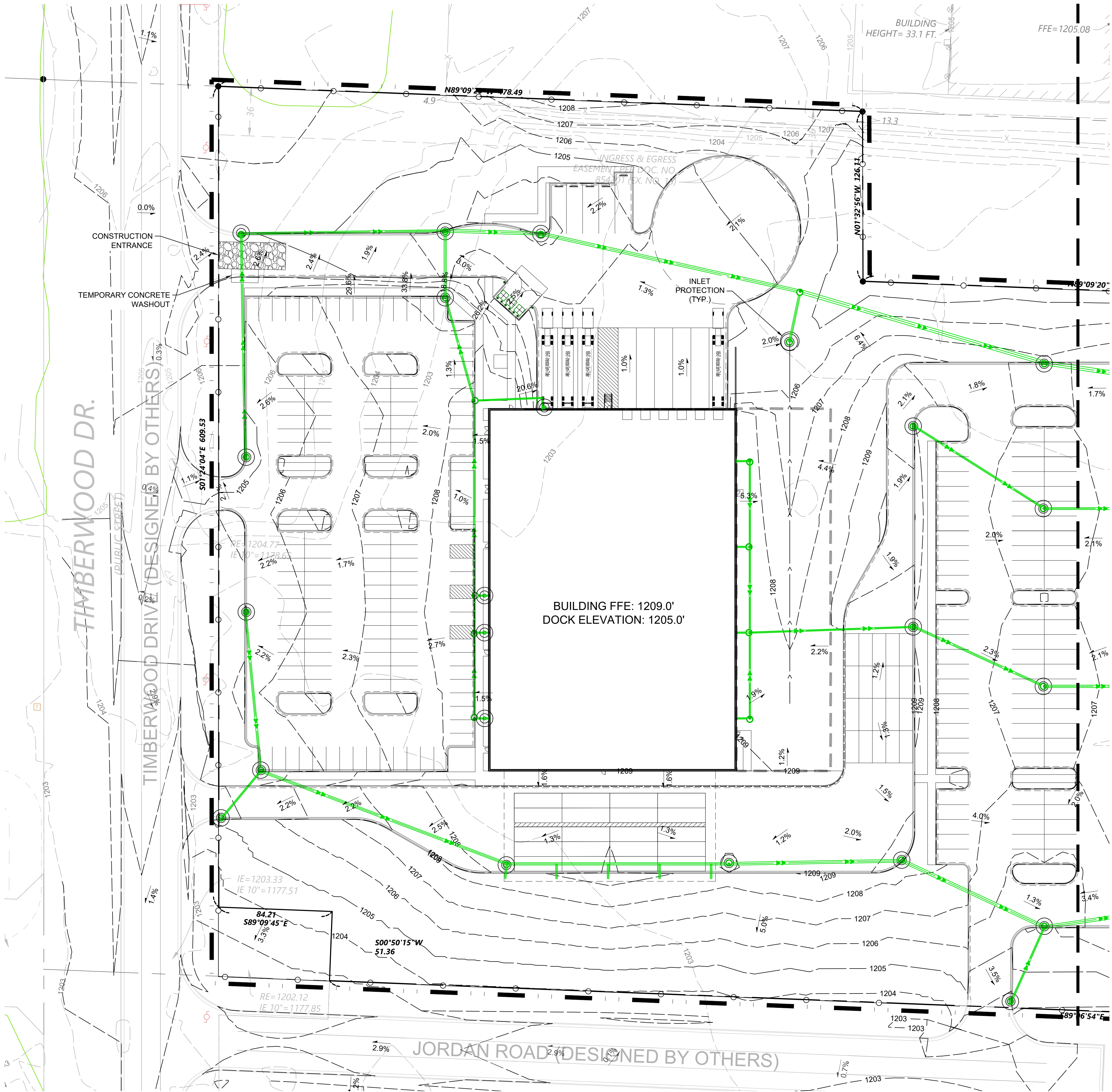
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100% CD

EXISTING CONDITIONS & REMOVALS PLAN

C102



EROSION CONTROL NOTES

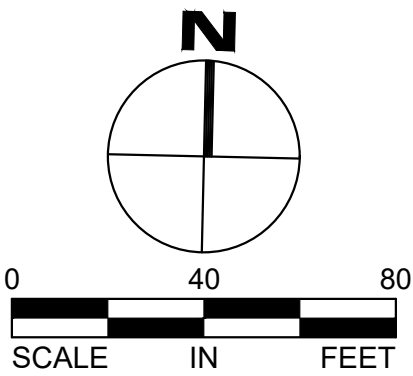
- ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. SEE CONSTRUCTION SEQUENCING.
- THE GRADING CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
- INITIATED IMMEDIATELY AND COMPLETED WITHIN 7 DAYS OF SITE GRADING OR INACTIVITY, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, EROSION CONTROL BLANKET OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, WATERSHED, COUNTY AND STATE PERMITS AS REQUIRED.
- THE GRADING CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF ACCUMULATED SILT IN FRONT OF SILT FENCES DURING THE DURATION OF CONSTRUCTION.
- ANY EXCESS SEDIMENT IN PROPOSED BASINS SHALL BE REMOVED BY THE GRADING CONTRACTOR.
- REMOVE ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
- THE GRADING CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS.
- DUST MUST BE ADEQUATELY CONTROLLED. IF BLOWING DUST BECOMES A NUISANCE, THE GRADING CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.
- CONTRACTOR TO CLEAN OUT INFILTRATION BASINS, PONDS, CATCH BASINS, AND STORMSEWER SYSTEM AT THE END OF THE PROJECT.
- ESTIMATED QUANTITIES REFER TO INITIAL INSTALLED QUANTITIES. CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND/OR REPLACE BMPS AS NEEDED.
- STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED AND MAINTAINED. SWEEP ADJACENT STREETS IN ACCORDANCE WITH CITY REQUIREMENTS.
- ON SLOPES 3:1 OR GREATER, MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES.
- ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
- TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS.
- FINAL STABILIZATION REQUIRES THAT ALL SOIL DISTURBING ACTIVITIES HAVE BEEN COMPLETED AND THAT DISTURBED AREAS ARE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH 70% OF THE EXPECTED FINAL DENSITY, AND THAT ALL PERMANENT PAVEMENTS HAVE BEEN INSTALLED. ALL TEMPORARY BMPS SHALL BE REMOVED, DITCHES STABILIZED, AND SEDIMENT SHALL BE REMOVED FROM PERMANENT CONVEYANCES AND SEDIMENTATION BASINS IN ORDER TO RETURN THE POND TO DESIGN CAPACITY.
- THE WATERSHED DISTRICT OR THE CITY MAY HAVE REQUIREMENTS FOR INSPECTIONS VERIFYING PROPER CONSTRUCTION OF THE BMPS. CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS.
- REFER TO SWPPP FOR ADDITIONAL EROSION CONTROL REQUIREMENTS.

ESTIMATED QUANTITIES

ITEM DESCRIPTION	UNIT	QUANTITY
SILT FENCE	LF	5,577
ROCK CONSTRUCTION ENTRANCE	EA	1
INLET PROTECTION	EA	27
EROSION CONTROL BLANKET	SY	8,811

LEGEND:

EXISTING	PROPOSED	MAJOR CONTOUR
830	830	MINOR CONTOUR
831	831	HIGH WATER LEVEL
		STORM SEWER PIPE
		SOLID DRAINTILE
		PERFORATED DRAINTILE
		STORM INLET
		STORM MANHOLE
		FLARED END SECTION
		STORM CLEANOUT
		STORM FITTINGS
		ONE-POINT PERCENT GRADE
		TWO-POINT PERCENT GRADE
		SLOPE RATIO
		CONSTRUCTION LIMITS
		SILT FENCE
		ROCK CONSTRUCTION ENTRANCE
		INLET PROTECTION
		EROSION CONTROL BLANKET



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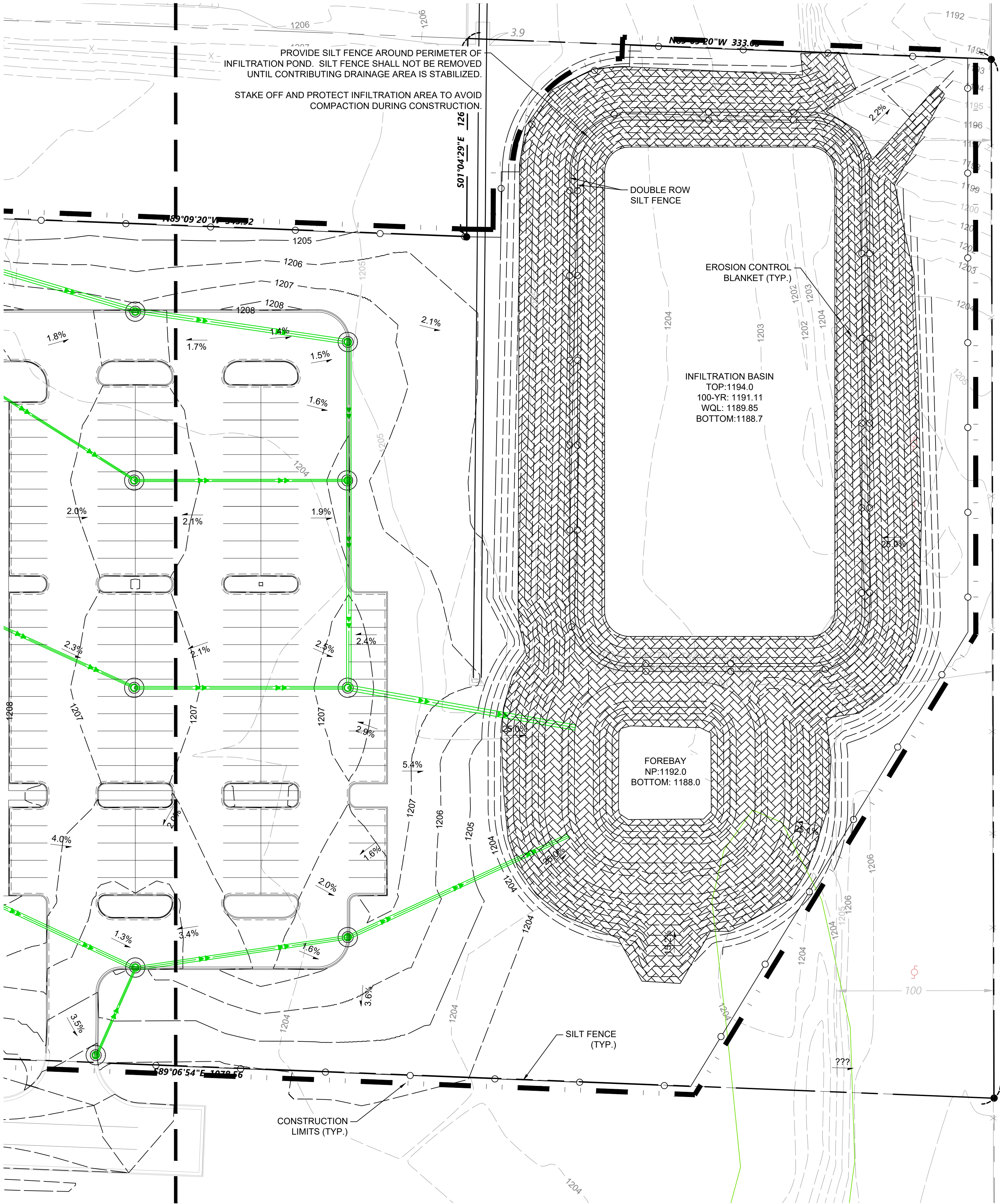
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100% CD

EROSION CONTROL PLAN

C200



EROSION CONTROL NOTES

1. ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. SEE CONSTRUCTION SEQUENCING.
2. THE GRADING CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
3. INITIATED IMMEDIATELY AND COMPLETED WITHIN 7 DAYS OF SITE GRADING OR INACTIVITY, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, EROSION CONTROL BLANKET OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
4. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, WATERSHED, COUNTY AND STATE PERMITS AS REQUIRED.
5. THE GRADING CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF ACCUMULATED SILT IN FRONT OF SILT FENCES DURING THE DURATION OF CONSTRUCTION.
6. ANY EXCESS SEDIMENT IN PROPOSED BASINS SHALL BE REMOVED BY THE GRADING CONTRACTOR.
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10. CONTRACTOR TO CLEAN OUT INFILTRATION BASINS, PONDS, CATCH BASINS, AND STORMSEWER SYSTEM AT THE END OF THE PROJECT.
11. ESTIMATED QUANTITIES REFER TO INITIAL INSTALLED QUANTITIES. CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND/OR REPLACE BMPs AS NEEDED.
12. STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED AND MAINTAINED. SWEEP ADJACENT STREETS IN ACCORDANCE WITH CITY REQUIREMENTS.
13. ON SLOPES 3:1 OR GREATER, MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES.
14. ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
15. TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS.
16. FINAL STABILIZATION REQUIRES THAT ALL SOIL DISTURBING ACTIVITIES HAVE BEEN COMPLETED AND THAT DISTURBED AREAS ARE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH 70% OF THE EXPECTED FINAL DENSITY, AND THAT ALL PERMANENT PAVEMENTS HAVE BEEN INSTALLED. ALL TEMPORARY BMPs SHALL BE REMOVED, DITCHES STABILIZED, AND SEDIMENT SHALL BE REMOVED FROM PERMANENT CONVEYANCES AND SEDIMENTATION BASINS IN ORDER TO RETURN THE POND TO DESIGN CAPACITY.
17. THE WATERSHED DISTRICT OR THE CITY MAY HAVE REQUIREMENTS FOR INSPECTIONS VERIFYING PROPER CONSTRUCTION OF THE BMPs. CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS.
18. REFER TO SWPPP FOR ADDITIONAL EROSION CONTROL REQUIREMENTS.

ESTIMATED QUANTITIES

ITEM DESCRIPTION	UNIT	QUANTITY
SILT FENCE	LF	5,577
ROCK CONSTRUCTION ENTRANCE	EA	1
INLET PROTECTION	EA	27
EROSION CONTROL BLANKET	SY	8,811

LEGEND:

EXISTING 830 831	PROPOSED 830 831	MAJOR CONTOUR
		MINOR CONTOUR
		HIGH WATER LEVEL
		STORM SEWER PIPE
		SOLID DRAINTILE
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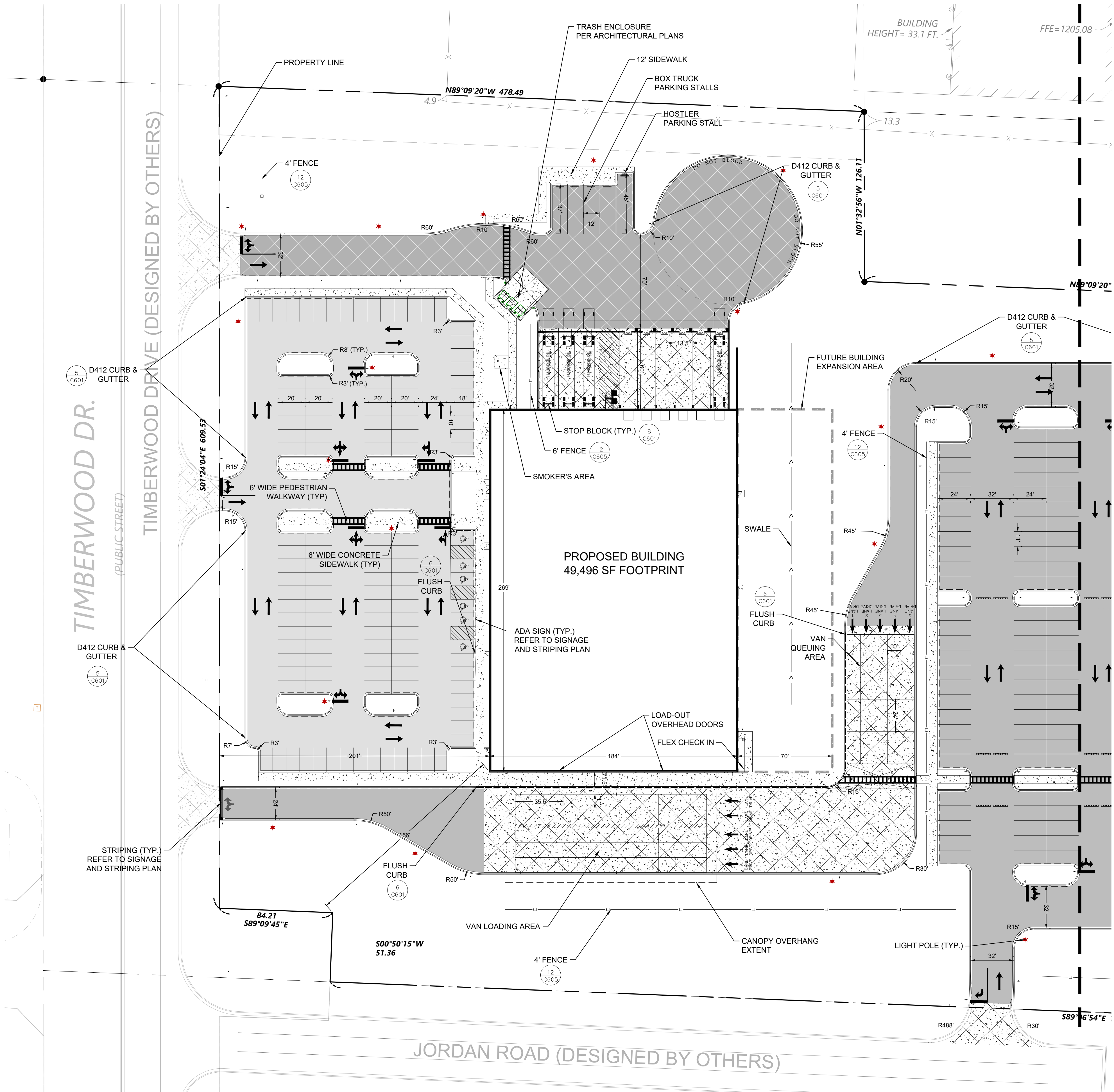
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EROSION CONTROL PLAN

C201



SITE NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING CONDITIONS. THIS WOULD INCLUDE ALL EXISTING UTILITIES AND TOPOGRAPHIC FEATURES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- 2. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, FACE OF BUILDING, EDGE OF PAVEMENT, OR TO PROPERTY LINE, UNLESS OTHERWISE NOTED.
- 3. ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE CIVIL DETAILS AND STATE/LOCAL JURISDICTION REQUIREMENTS.
- 4. ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
- 5. TYPICAL FULL SIZED PARKING STALL IS 10.0' X 20.0' UNLESS OTHERWISE NOTED.
- 6. ALL RADII ARE TO GUTTER LINE OR PAVEMENT EDGE UNLESS OTHERWISE NOTED.
- 7. ALL CONCRETE CURB AND GUTTER RADII SHALL BE 5.0' UNLESS OTHERWISE NOTED.
- 8. ALL CURB TERMINI TO HAVE A 3.0' TAPER UNLESS OTHERWISE NOTED.
- 9. BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.
- 10. SEE ELECTRICAL PLANS FOR SITE LIGHTING DESIGN
- 11. SIGNAGE AND STRIPING BY SEPARATE PLAN, DESIGNED BY OTHERS

	EXISTING	PROPOSED
ZONING	INDUSTRY OFFICE	INDUSTRY OFFICE
PERVIOUS AREA	15.89 AC	7.73 AC
IMPERVIOUS AREA	0.0 AC	8.16 AC
PERCENT IMPERVIOUS	0%	51%
IMPERVIOUS EXPANSION BUILDING	N/A	0.43 AC

	BUILDING SETBACK	PARKING SETBACK
FRONT YARD	35	10
SIDE YARD	10	10
REAR YARD	30	10

MAXIMUM BUILDING HEIGHT = 45 FT

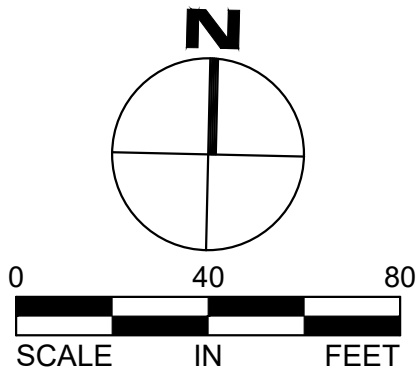
	EXISTING	PROPOSED
ASSOC. PARKING STALLS	N/A	110
ADA PARKING	N/A	6
VAN PARKING	N/A	150
TRAILER PARKING	N/A	3
BOX TRUCK PARKING	N/A	4

PROPOSED USE TYPE	WAREHOUSE/DISTRIBUTION
CODE REQUIRED PARKING MINIMUM	33 + 1 PER COMPANY VEHICLE

CODE REQUIREMENTS: OFFICE=1 PER 300 SF, WAREHOUSE=1 PER 2,000 SF

LEGEND:

EXISTING	PROPOSED	
		PROPERTY BOUNDARY
		EASEMENT
		LOT/TRACT LINE
		B6 CURB
		FLUSH CURB
		TIP OUT
		TIP OUT
		NORMAL DUTY BITUMINOUS
		MEDIUM DUTY BITUMINOUS
		HEAVY DUTY BITUMINOUS
		CONCRETE (SIDEWALK)
		HEAVY DUTY CONCRETE
		NORMAL WATER LEVEL
		HIGH WATER LEVEL
		STREET LIGHT



RYAN A+E, INC.
533 South Third Street, Suite 100
Minneapolis, MN 55415
612-492-4000 tel
612-492-3000 fax

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OWNER

CONSULTANTS

PROJECT INFORMATION

PROJECT TIMBER WOLF

BAXTER, MN

DCS

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision as a duly Licensed Professional Engineer under the laws of the State of Minnesota

JARED B. OLSON

REGISTRATION NO.	DATE
42340	05/24/2024
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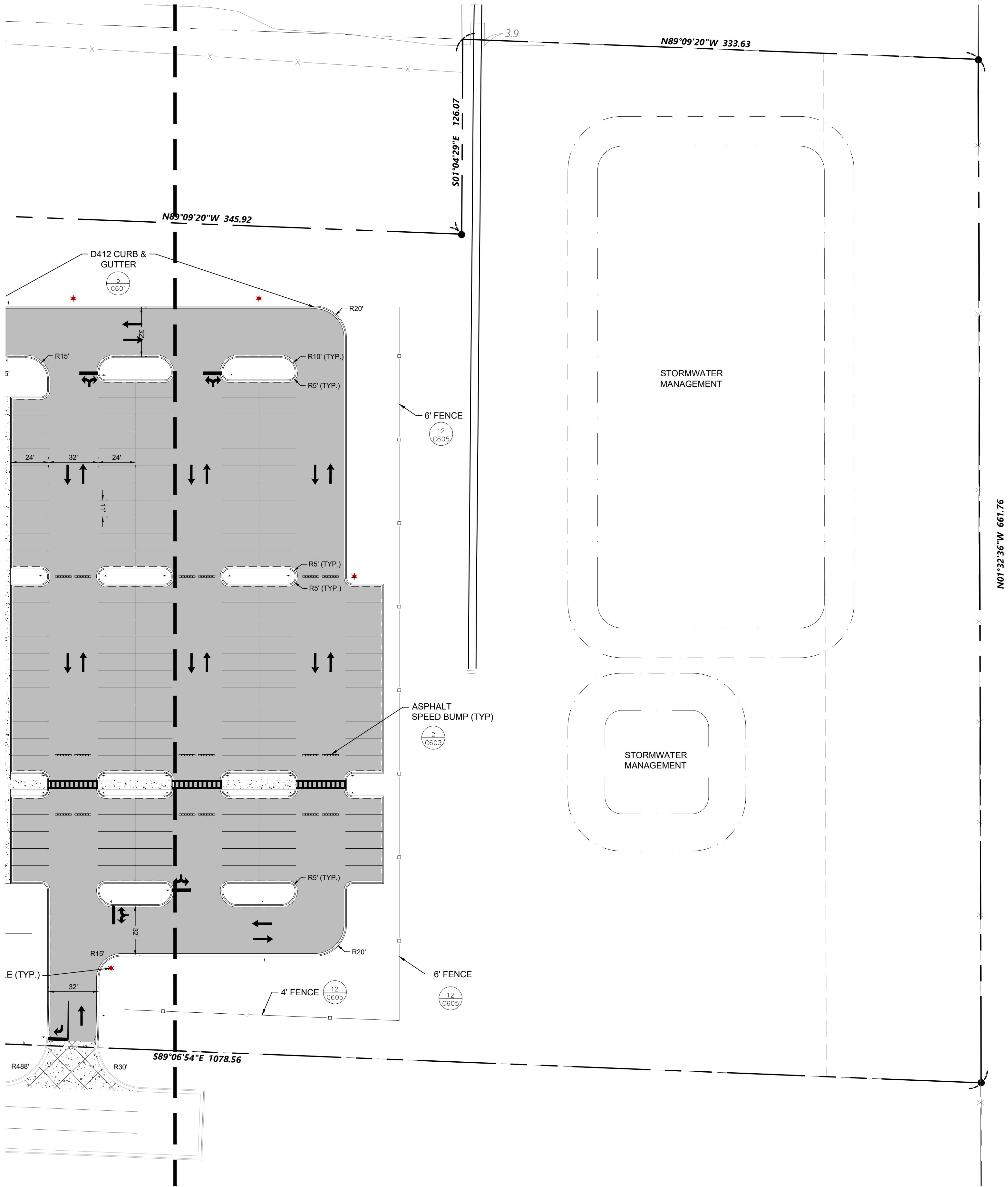
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100% CD	DATE

SITE PLAN

ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION
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2	05/24/2024	100% CD SET

C300

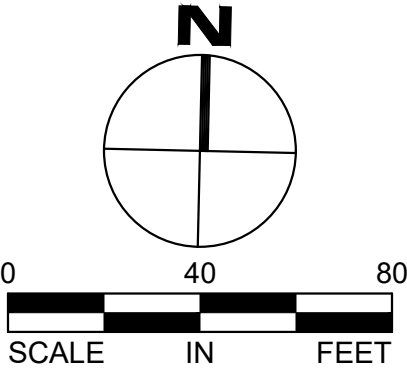


SITE NOTES

1. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING CONDITIONS. THIS WOULD INCLUDE ALL EXISTING UTILITIES AND TOPOGRAPHIC FEATURES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
2. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, FACE OF BUILDING, EDGE OF PAVEMENT, OR TO PROPERTY LINE, UNLESS OTHERWISE NOTED.
3. ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE CIVIL DETAILS AND STATE/LOCAL JURISDICTION REQUIREMENTS.
4. ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
5. TYPICAL FULL SIZED PARKING STALL IS 10.0' X 20.0' UNLESS OTHERWISE NOTED.
6. ALL RADII ARE TO GUTTER LINE OR PAVEMENT EDGE UNLESS OTHERWISE NOTED.
7. ALL CONCRETE CURB AND GUTTER RADII SHALL BE 5.0' UNLESS OTHERWISE NOTED.
8. ALL CURB TERMINI TO HAVE A 3.0' TAPER UNLESS OTHERWISE NOTED.
9. BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.
10. SEE ELECTRICAL PLANS FOR SITE LIGHTING DESIGN
11. SIGNAGE AND STRIPING BY SEPARATE PLAN, DESIGNED BY OTHERS

LEGEND:

EXISTING	PROPOSED	PROPERTY BOUNDARY
		EASEMENT
		LOT/TRACT LINE
		B6 CURB
		B1212 CURB
		FLUSH CURB
		NORMAL DUTY BITUMINOUS
		MEDIUM DUTY BITUMINOUS
		HEAVY DUTY BITUMINOUS
		CONCRETE (SIDEWALK)
		HEAVY DUTY CONCRETE
		NORMAL WATER LEVEL
		HIGH WATER LEVEL
		STREET LIGHT



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Jared B. Olson
JARED B. OLSON

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DATE 05/24/2024

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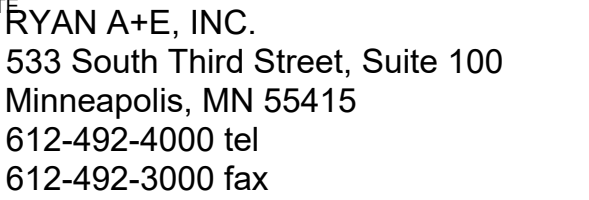
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JOB NO. 701676
DATE 05/24/2024

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2	05/24/2024	100% CD SET
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100% CD

SITE PLAN

C301



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DATE _____

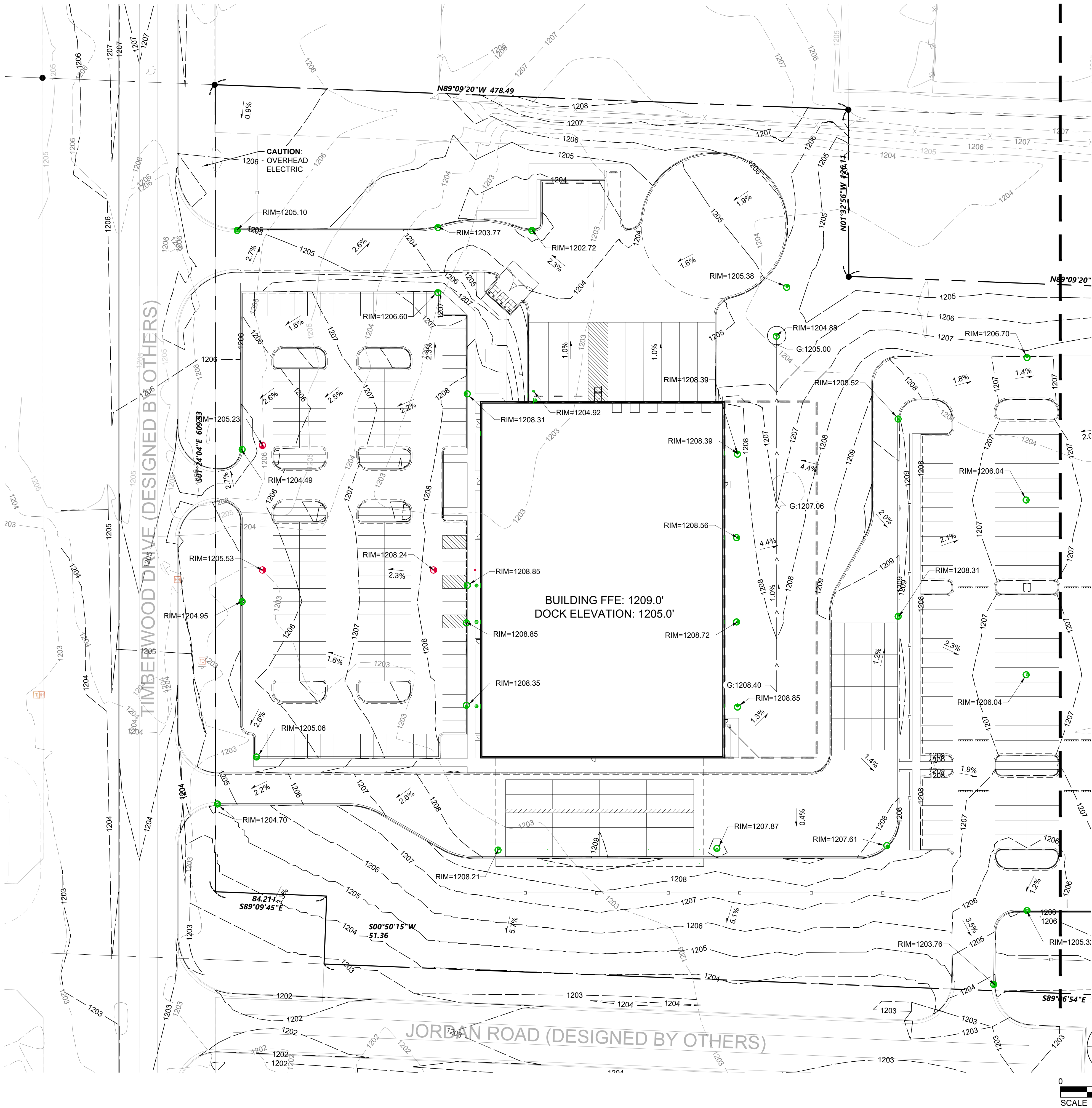
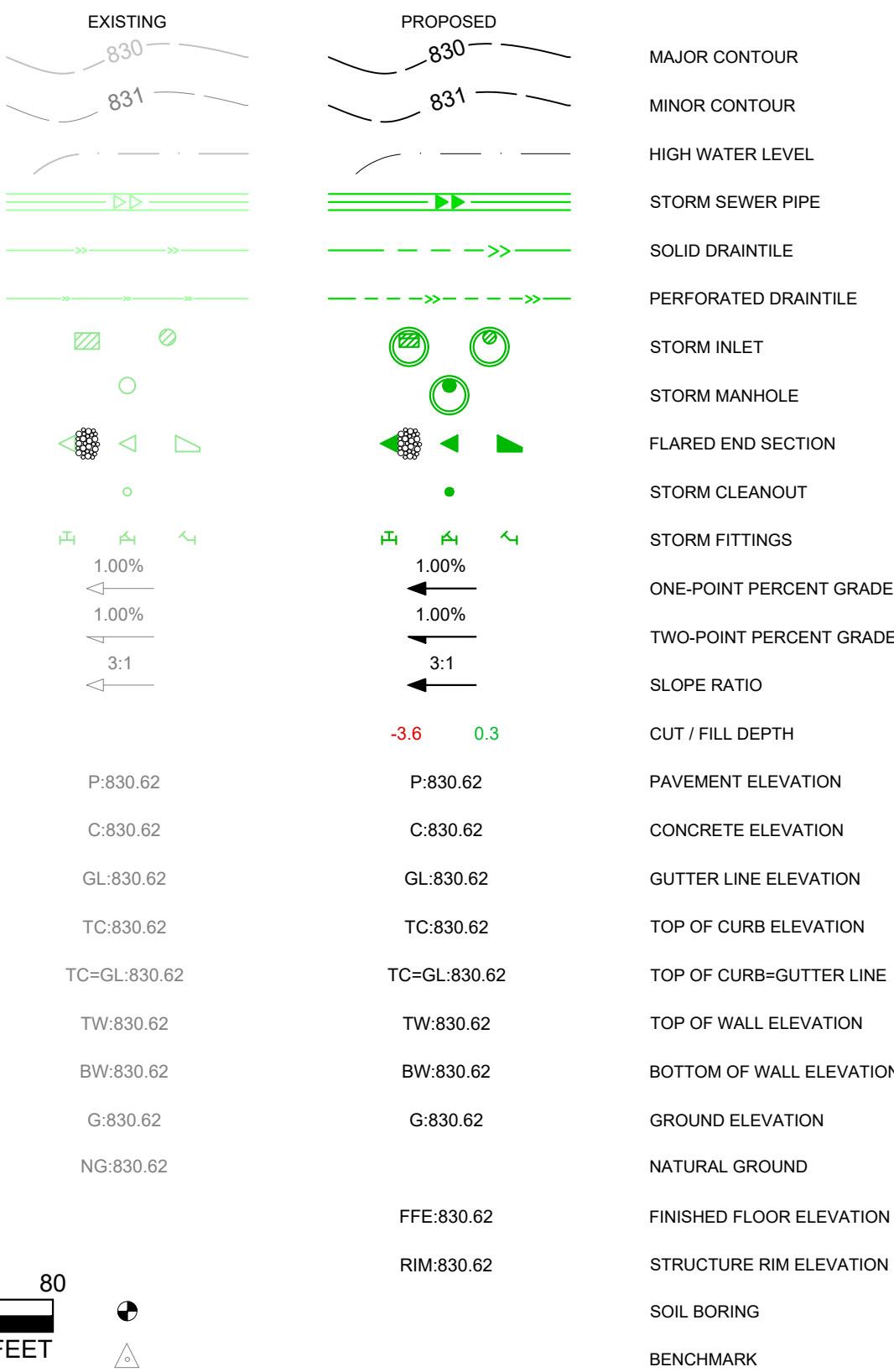
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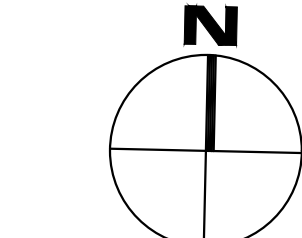
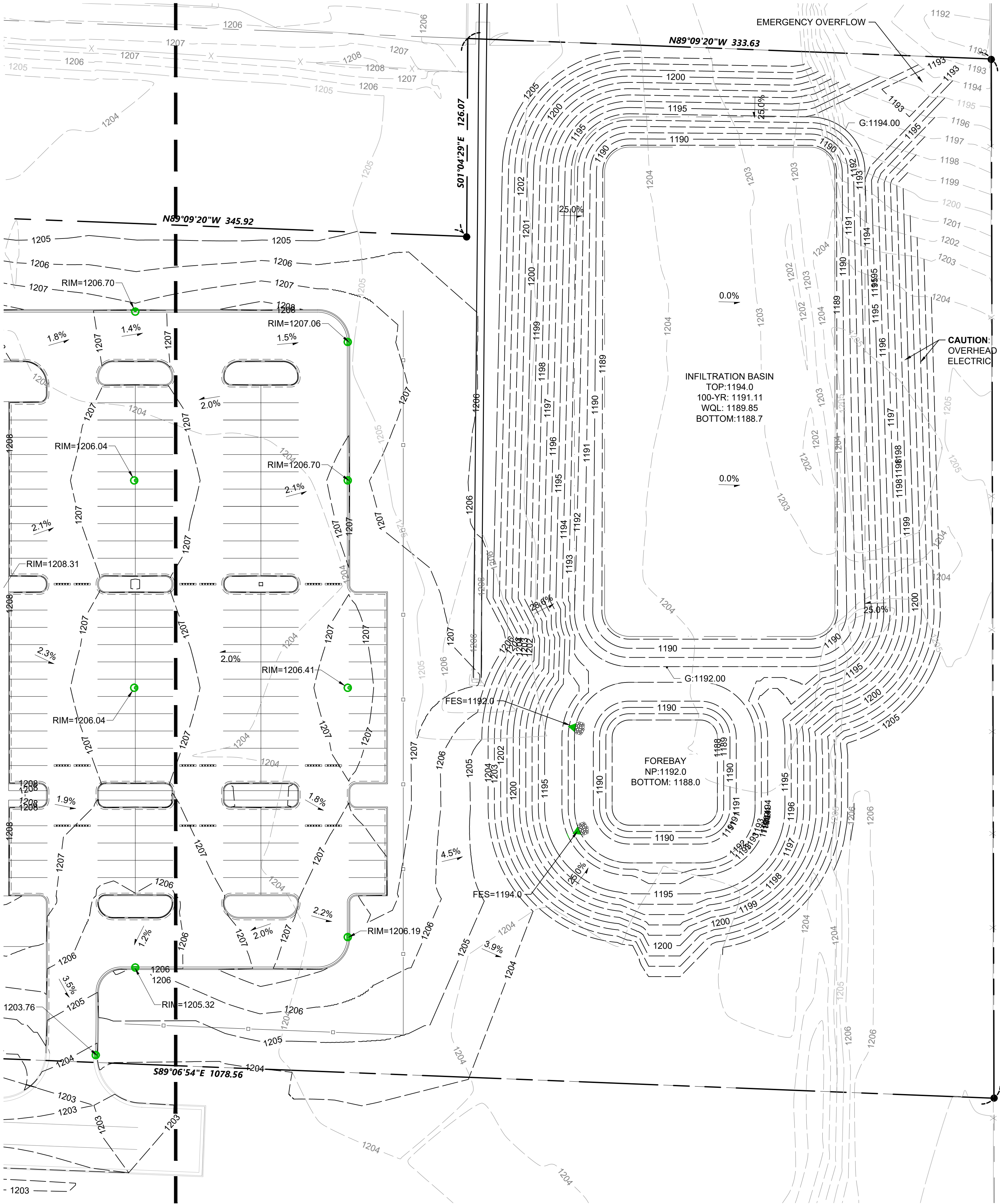
GRADING PLAN

C400

- SUBTRACTOR WORKS WORK REQUIRE EXCAVATION SHALL CONTACT "GOPHER STATE ONE-CALL" (651-454-0002 OR 1-800-252-1166 OR 811) FOR UTILITY LOCATIONS 48 HOURS PRIOR TO EXCAVATION. HESHE SHALL REPAIR OR REPLACE DAMAGED UTILITIES DURING CONSTRUCTION AT NO COST TO OWNER OR GENERAL CONTRACTOR.
- EXISTING TOPOGRAPHY PER WESTWOOD, DRAFT ALTANSPS LAND TITLE SURVEY, DATED 04/15/2024.
- REFER TO GEOTECHNICAL EVALUATION REPORT, DATED 05/03/2024 AS PREPARED BY BRAUN INTERTEC CORPORATION FOR AN EXISTING SUBSURFACE SITE CONDITION ANALYSIS AND CONSTRUCTION RECOMMENDATIONS.
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- SUITABLE GRADING MATERIAL SHALL CONSIST OF ALL SOIL ENCOUNTERED ON THE SITE WITH EXCEPTION OF TOPSOIL, DEBRIS, ORGANIC MATERIAL AND OTHER UNSTABLE MATERIAL AS DIRECTED BY THE GEOTECHNICAL ENGINEER. STOCKPILE TOPSOIL AND GRANULAR FILL AT LOCATIONS DIRECTED BY GENERAL CONTRACTOR.
- SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF THE EXISTING PAVEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- PROPOSED GRADES SHOWN ARE FINISHED GRADES.
- ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE SUBCONTRACTOR AND SHALL BE DISPOSED OF THE CONSTRUCTION SITE.
- THE MINIMUM GRADED SLOPE FROM EDGE OF BUILDING SHALL BE 2 PERCENT UNLESS OTHERWISE NOTED.
- FINISHED GROUND AND SOD ELEVATION ADJACENT TO BUILDING SHALL BE 6" BELOW FLOOR ELEVATION UNLESS OTHERWISE NOTED.
- EARTHWORK & PAVING CONTRACTORS ARE RESPONSIBLE FOR GRADING AND SLOPING THE FINISHED GROUND SURFACE TO PROVIDE SMOOTH & UNIFORM SLOPES. WHEN PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING AND PREVENT PONDING IN LOWER AREAS. ANY DERIVATION FROM PLANS SHALL BE APPROVED BY THE PROJECT ENGINEER.
- GRADING BEHIND CURBS SHALL START AT THE TOP OF CURB.
- CONTRACTOR SHALL VERIFY THAT EXISTING UTILITIES HAVE ADEQUATE COVER TO MEET PROVIDER REQUIREMENTS IN AREAS OF GRADE REVISIONS.
- RETURN ALL TEMPORARY DIVERSIONS TO EXISTING GRADE UPON FINAL STABILIZATION.
- CONTRACTORS TO FOLLOW SAFETY GUIDELINES INSIDE ELECTRIC EASEMENT AREAS.
- RESHAPING OF POND TO BE COMPLETED WITHOUT DRAINING. IF DEWATERING IS DESIRED, SUBCONTRACTOR TO PULL APPROPRIATE PERMITS AND COORDINATE WITH ENGINEER FOR NPDES REQUIREMENTS.
- ALL RETAINING WALLS GREATER THAN FOUR FEET TO BE DESIGNED BY A STRUCTURAL ENGINEER.
- REMOVE SEDIMENT FROM EXISTING STORM SEWER IF PRESENT.
- SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.4 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
- GRADING OF THE INFILTRATION AREAS SHALL BE ACCOMPLISHED USING LOW-IMPACT EARTH-MOVING EQUIPMENT TO PREVENT COMPACTION OF THE UNDERLYING SOILS. SMALL TRACKED DOZERS AND BOGCATS WITH RUNNER TRACKS ARE RECOMMENDED.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 6 INCHES (COMPACTED) OF TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED. SEE LANDSCAPE PLAN FOR DETAILS.
- STREETS MUST BE CLEANED AND SWEEP WHENEVER TRUCKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
- DUST MUST BE ADEQUATELY CONTROLLED.
- ON SLOPES 4:1 OR GREATER MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES.
- ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
- TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXEMPT EX: CLEAN AGGREGATE STOCK PILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES.
- FINAL STABILIZATION REQUIRES THAT ALL SOIL DISTURBING ACTIVITIES HAVE BEEN COMPLETED AND THAT DISTURBED AREAS ARE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH 70% OF THE EXPECTED FINAL DENSITY, AND THAT ALL PERMANENT PAVEMENTS HAVE BEEN INSTALLED. ALL TEMPORARY BMPs SHALL BE REMOVED, DITCHES STABILIZED, AND SEDIMENT SHALL BE REMOVED FROM PERMANENT CONVEYANCES AND SEDIMENTATION BASINS IN ORDER TO RETURN THE POND TO DESIGN CAPACITY.
- THE WATERSHED DISTRICT OR THE CITY MAY HAVE REQUIREMENTS FOR INSPECTIONS VERIFYING PROPER CONSTRUCTION OF THE BMPs.
- SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
- SEE UTILITY PLAN FOR WATER, STORM AND SANITARY SEWER INFORMATION.
- SEE PAVING PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.
- ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
- BASED ON GROUNDWATER ELEVATIONS ENCOUNTERED DURING GEOTECHNICAL EXPLORATION TEMPORARY DEWATERING OF EXCAVATIONS MAY BE NEEDED. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.

LEGEND:





GRADING NOTES

- SUBCONTRACTORS WHOSE WORK REQUIRES EXCAVATION SHALL CONTACT "GOPHER STATE ONE-CALL" (651-454-0002 OR 1-800-252-1166 OR 811) FOR UTILITY LOCATIONS 48 HOURS PRIOR TO EXCAVATION. HE/SHE SHALL REPAIR OR REPLACE DAMAGED UTILITIES DURING CONSTRUCTION AT NO COST TO OWNER OR GENERAL CONTRACTOR.
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LEGEND:

EXISTING	PROPOSED	
		MAJOR CONTOUR
		MINOR CONTOUR
		HIGH WATER LEVEL
		STORM SEWER PIPE
		SOLID DRAIN TILE
		PERFORATED DRAIN TILE
		STORM INLET
		STORM MANHOLE
		FLARED END SECTION
		STORM CLEANOUT
		STORM FITTINGS
		ONE-POINT PERCENT GRADE
		TWO-POINT PERCENT GRADE
		SLOPE RATIO
		CUT / FILL DEPTH
		PAVEMENT ELEVATION
		CONCRETE ELEVATION
		GUTTER LINE ELEVATION
		TOP OF CURB ELEVATION
		TOP OF CURB-GUTTER LINE
		TOP OF WALL ELEVATION
		BOTTOM OF WALL ELEVATION
		GROUND ELEVATION
		NATURAL GROUND
		FINISHED FLOOR ELEVATION
		STRUCTURE RIM ELEVATION
		SOIL BORING
		BENCHMARK



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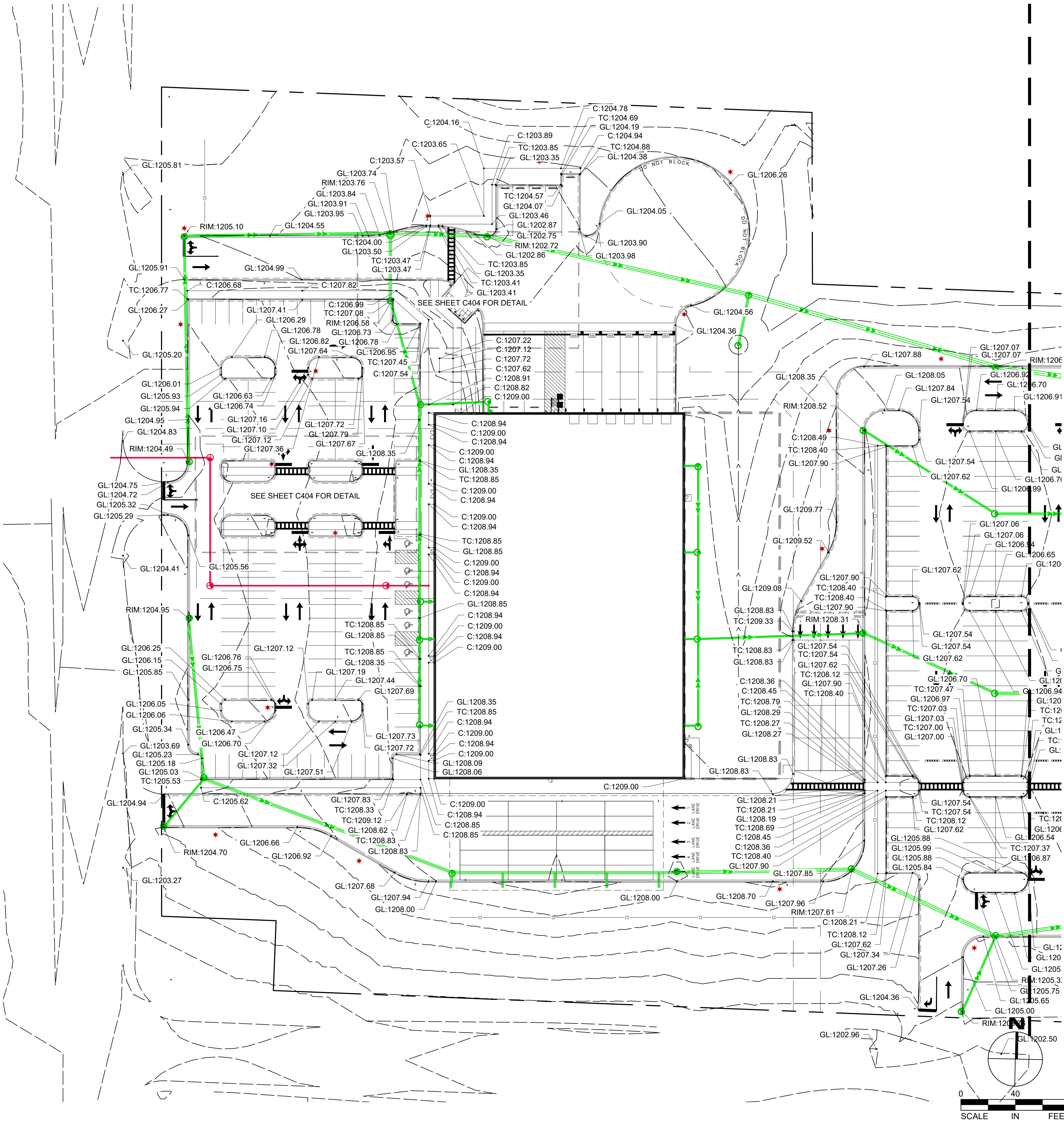
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100% CD

GRADING PLAN

C401



- PAVING NOTES
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 4. ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
 5. ALL CURB TERMINI TO HAVE A 3:0' TAPER UNLESS OTHERWISE NOTED.
 6. BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.
 7. SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
 8. FIELD ADJUST ALL CASTINGS TO MATCH FINAL GRADES.

LEGEND:

EXISTING	PROPOSED	
		MAJOR CONTOUR
		MINOR CONTOUR
		HIGH WATER LEVEL
		STORM SEWER PIPE
		SOLID DRAIN TILE
		PERFORATED DRAIN TILE
		STORM INLET
		STORM MANHOLE
		FLARED END SECTION
		STORM CLEANOUT
		STORM FITTINGS
		ONE-POINT PERCENT GRADE
		TWO-POINT PERCENT GRADE
		SLOPE RATIO
		CUT / FILL DEPTH
		PAVEMENT ELEVATION
		CONCRETE ELEVATION
		GUTTER LINE ELEVATION
		TOP OF CURB ELEVATION
		TOP OF CURB-GUTTER LINE
		TOP OF WALL ELEVATION
		BOTTOM OF WALL ELEVATION
		GROUND ELEVATION
		NATURAL GROUND
		FINISHED FLOOR ELEVATION
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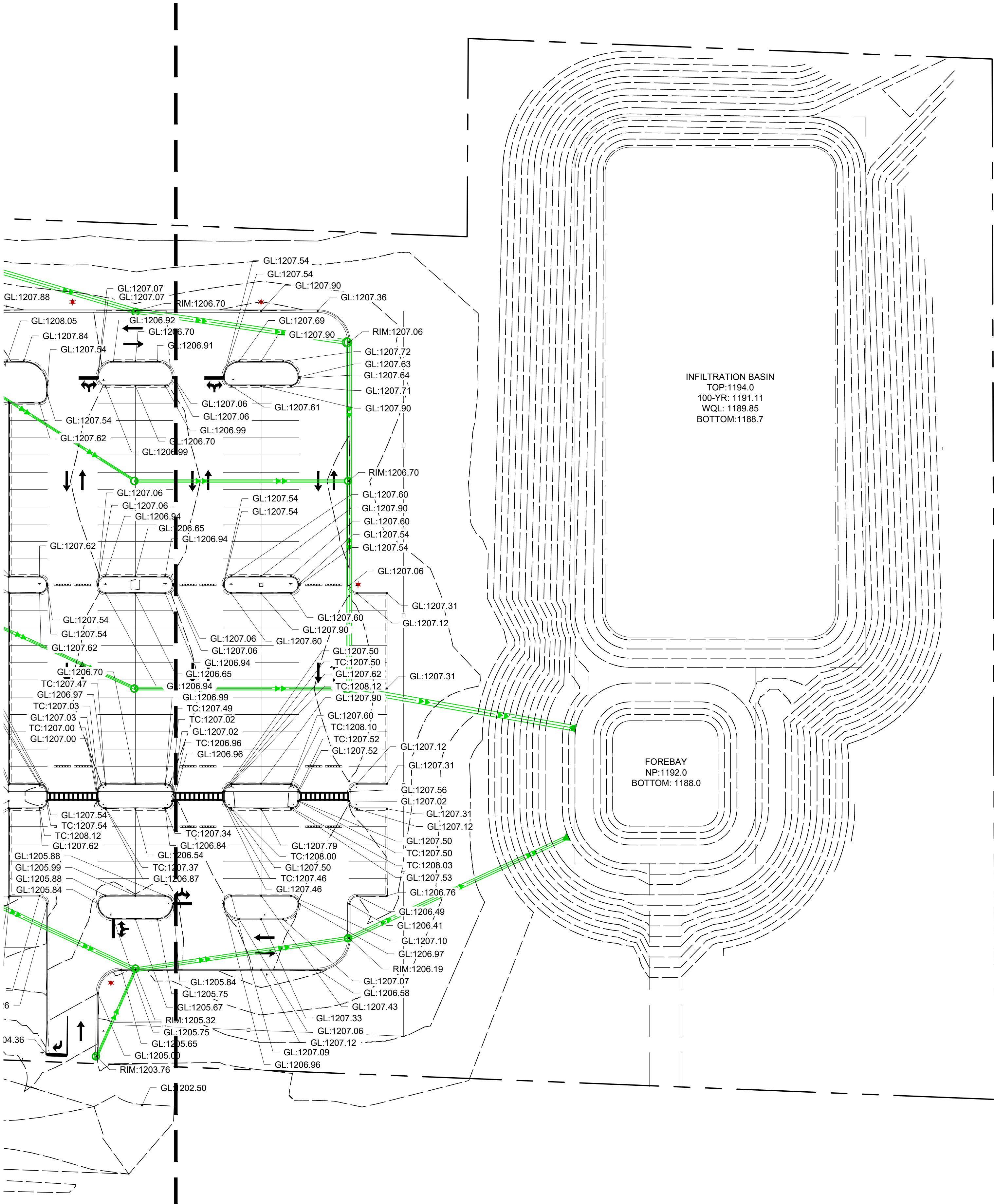
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-2-	05/24/2024	100%-CD SET
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100% CD PAVING PLAN

C402

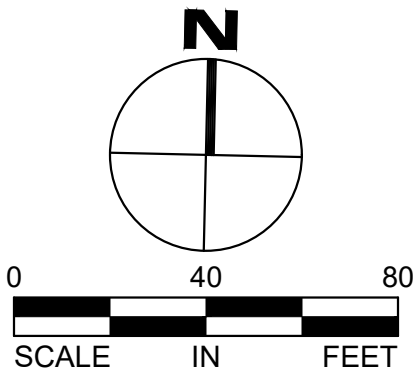


PAVING NOTES

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7. SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
8. FIELD ADJUST ALL CASTINGS TO MATCH FINAL GRADES.

LEGEND:

EXISTING	PROPOSED	
		MAJOR CONTOUR
		MINOR CONTOUR
		HIGH WATER LEVEL
		STORM SEWER PIPE
		SOLID DRAIN TILE
		PERFORATED DRAIN TILE
		STORM INLET
		STORM MANHOLE
		FLARED END SECTION
		STORM CLEANOUT
		STORM FITTINGS
		ONE-POINT PERCENT GRADE
		TWO-POINT PERCENT GRADE
		SLOPE RATIO
		CUT / FILL DEPTH
		PAVEMENT ELEVATION
		CONCRETE ELEVATION
		GUTTER LINE ELEVATION
		TOP OF CURB ELEVATION
		TOP OF CURB-GUTTER LINE
		TOP OF WALL ELEVATION
		BOTTOM OF WALL ELEVATION
		GROUND ELEVATION
		NATURAL GROUND
		FINISHED FLOOR ELEVATION
		STRUCTURE RIM ELEVATION
		SOIL BORING
		BENCHMARK



RYAN A+E, INC.
533 South Third Street, Suite 100
Minneapolis, MN 55415
612-492-4000 tel
612-492-3000 fax

WWW.RYANCOMPANIES.COM

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PROJECT INFORMATION

PROJECT TIMBER WOLF

BAXTER, MN

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JARED B. OLSON

REGISTRATION NO.	DATE
42340	05/24/2024

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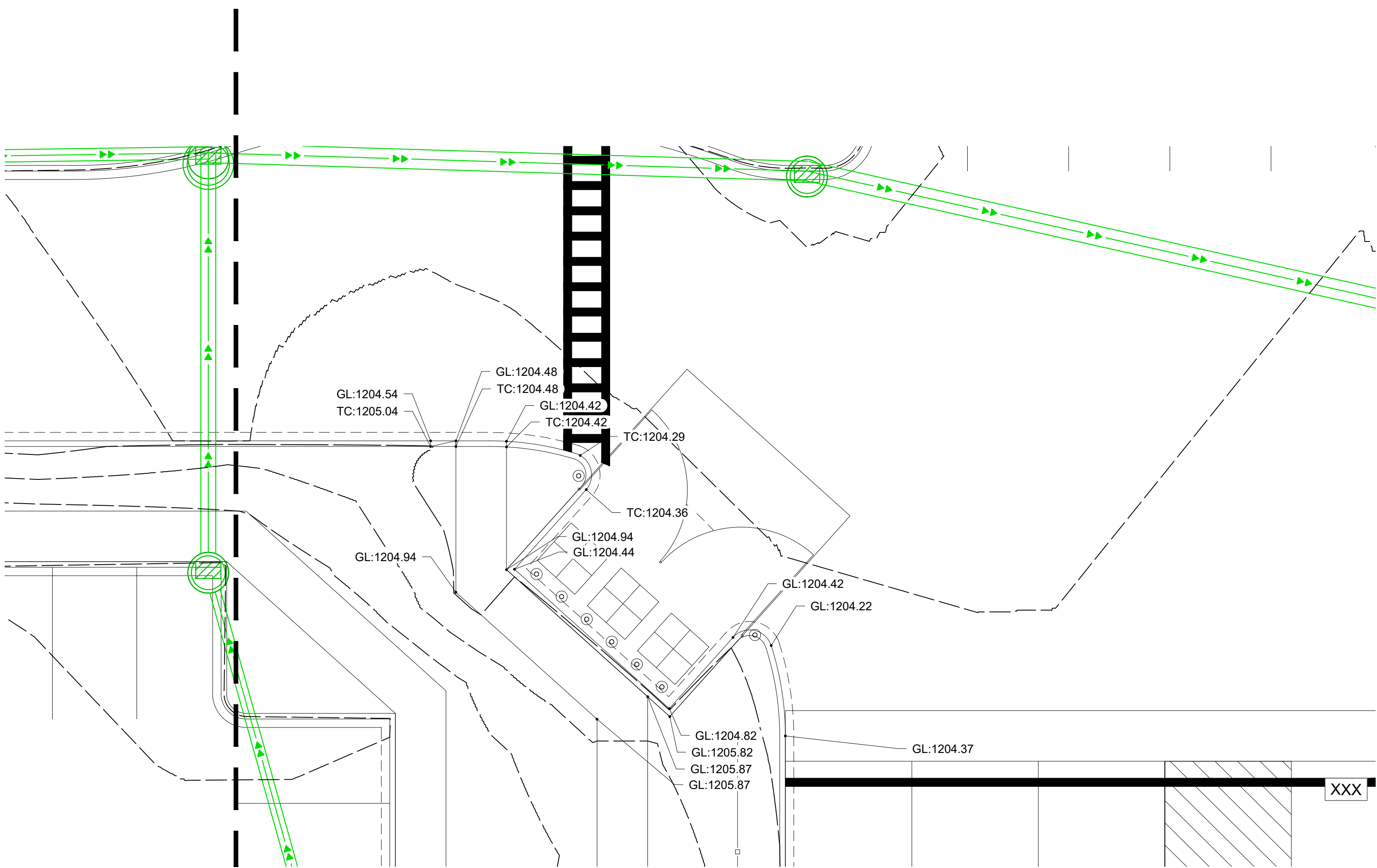
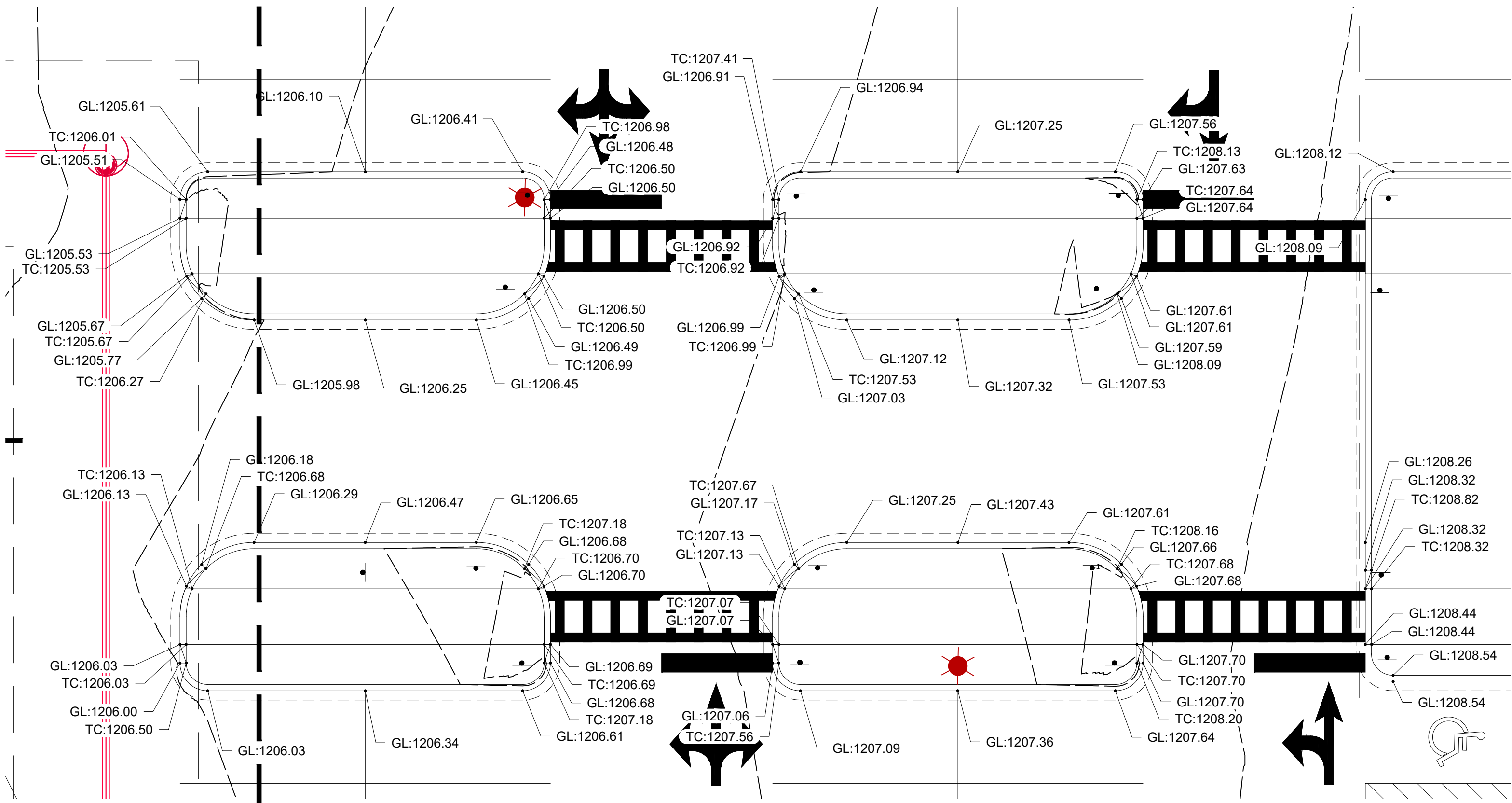
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JOB NO.	DATE
701676	05/24/2024

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-2-	05/24/2024	100%-CD SET
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100% CD

PAVING PLAN

C403



PAVING NOTES

- CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING CONDITIONS. THIS WOULD INCLUDE ALL EXISTING UTILITIES AND TOPOGRAPHIC FEATURES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- REFER TO SITE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT.
- ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEET(S) AND STATE/LOCAL JURISDICTION REQUIREMENTS.
- ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
- ALL CURB TERMINI TO HAVE A 3.0' TAPER UNLESS OTHERWISE NOTED.
- BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS.
- SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- FIELD ADJUST ALL CASTINGS TO MATCH FINAL GRADES.

LEGEND:

EXISTING	PROPOSED	
		MAJOR CONTOUR
		MINOR CONTOUR
		HIGH WATER LEVEL
		STORM SEWER PIPE
		SOLID DRAIN TILE
		PERFORATED DRAIN TILE
		STORM INLET
		STORM MANHOLE
		FLARED END SECTION
		STORM CLEANOUT
		STORM FITTINGS
		ONE-POINT PERCENT GRADE
		TWO-POINT PERCENT GRADE
		SLOPE RATIO
		CUT / FILL DEPTH
		PAVEMENT ELEVATION
		CONCRETE ELEVATION
		GUTTER LINE ELEVATION
		TOP OF CURB ELEVATION
		TOP OF CURB-GUTTER LINE
		TOP OF WALL ELEVATION
		BOTTOM OF WALL ELEVATION
		GROUND ELEVATION
		NATURAL GROUND
		FINISHED FLOOR ELEVATION
		STRUCTURE RIM ELEVATION
		SOIL BORING
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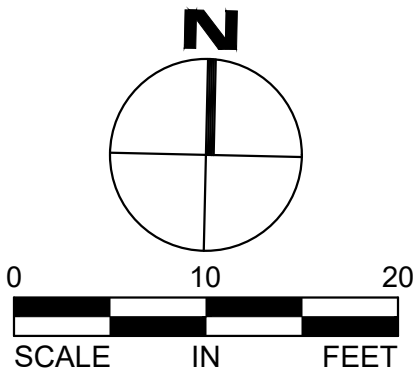
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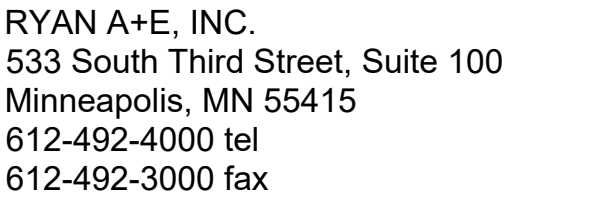
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PAVING PLAN

C404





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100% CD

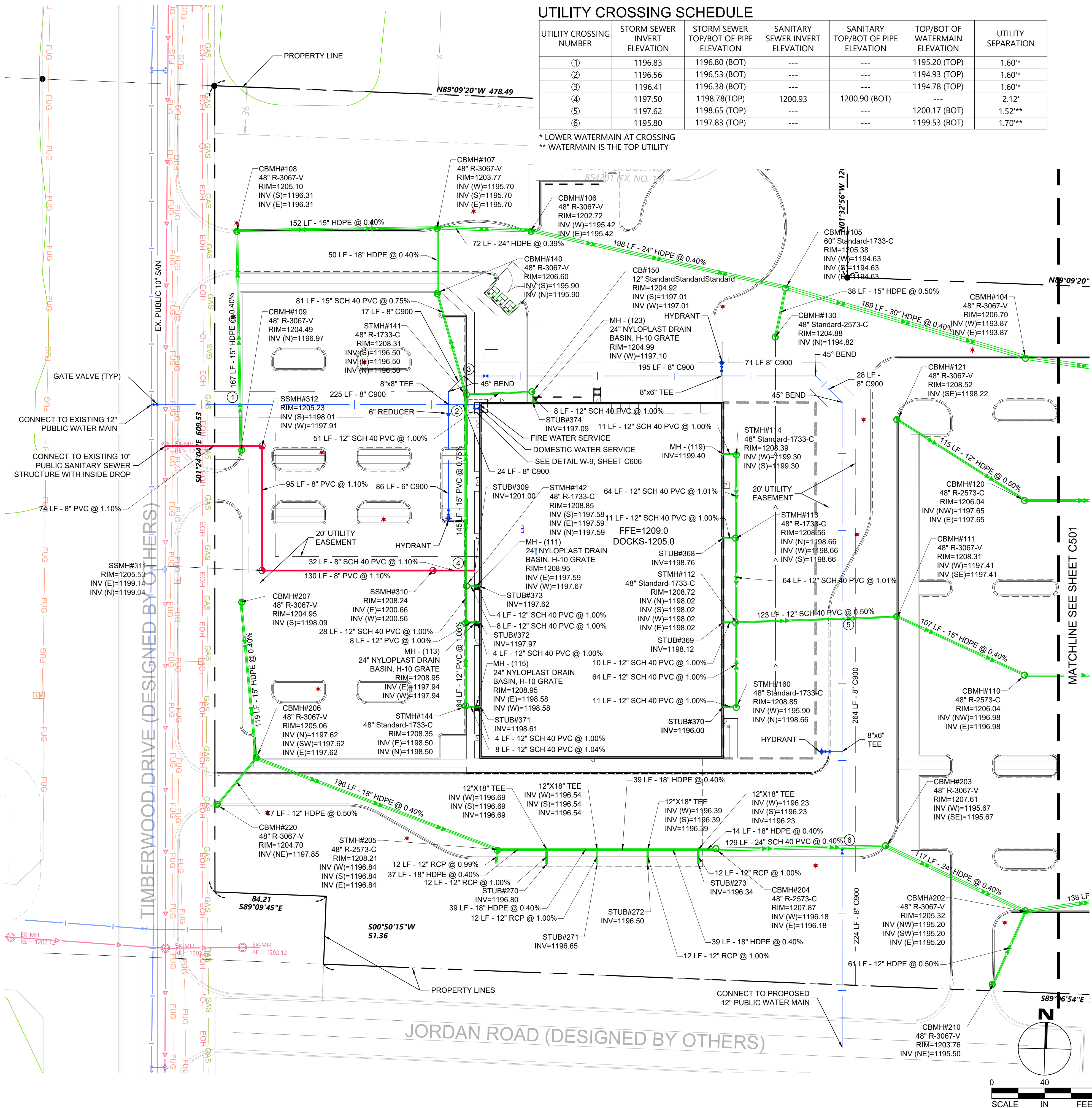
UTILITY PLAN

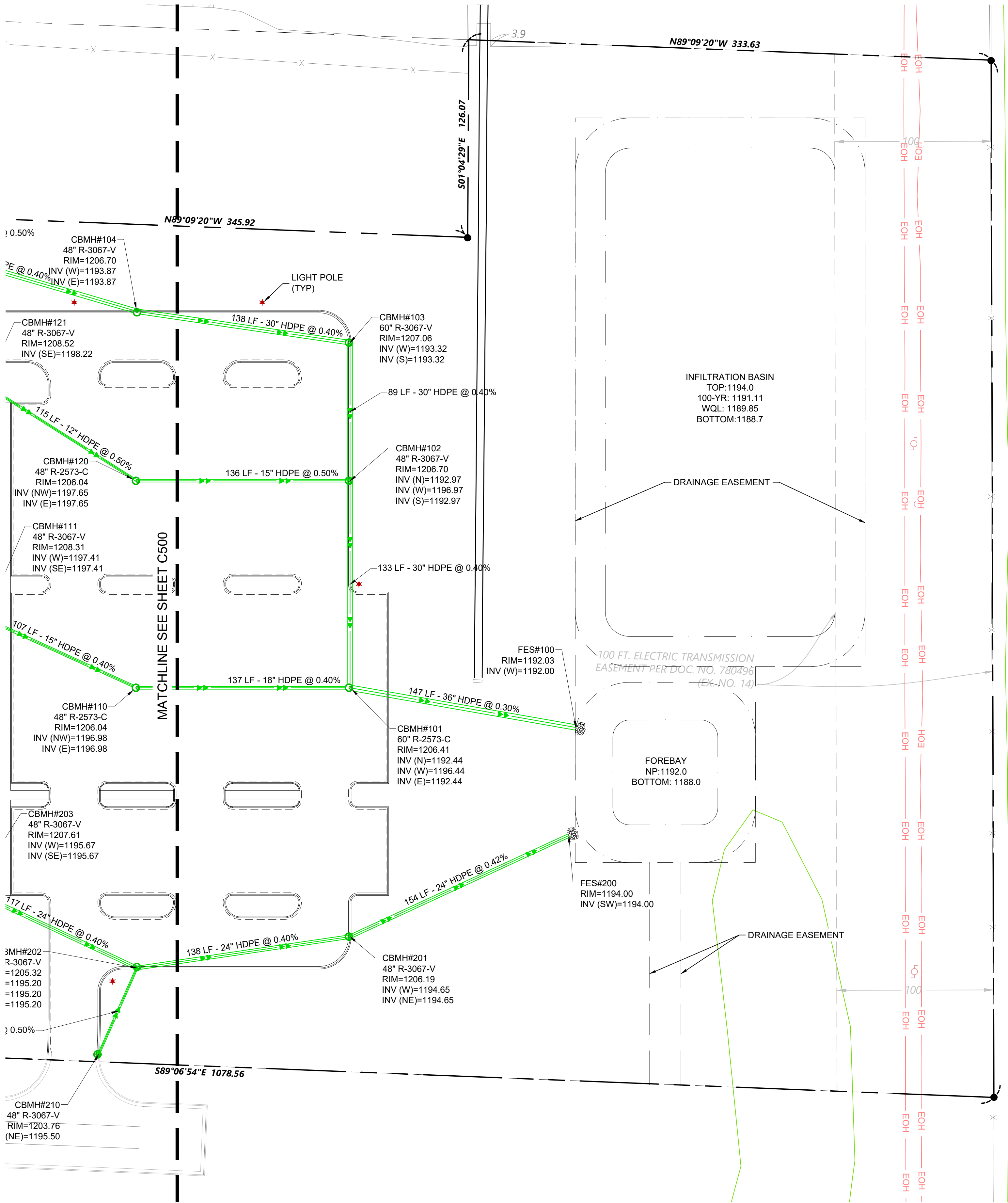
C500

3. PRIOR TO CONSTRUCTION, SUBCONTRACTORS WHOSE WORK REQUIRES EXCAVATION SHALL FIELD VERIFY ALL EXISTING UTILITY LOCATIONS AND INVERTS, SHOWN OR NOT SHOWN. ANY DISCREPANCY BETWEEN PLANS AND FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER IMMEDIATELY.
2. THE UTILITY CONTRACTOR SHALL VERIFY THE LOCATIONS AND ELEVATIONS OF THE BUILDING PIPE SYSTEM PRIOR TO CONSTRUCTING SERVICE CONNECTIONS.
3. ALL UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH CITY SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS. ALL SANITARY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE MINNESOTA PLUMBING CODE, THE LOCAL GOVERNING UNIT, AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), CURRENT EDITION.
4. ALL UTILITY PIPE BEDDING SHALL BE COMPACTED SAND OR FINE GRANULAR MATERIAL. UTILITY TRENCHES SHALL BE COMPACTED IN ACCORDANCE WITH GUIDELINES PROVIDED BY THE GEOTECHNICAL ENGINEER.
5. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE STATE AND LOCAL JURISDICTIONS. THE CITY DEPARTMENT OF ENGINEERING AND BUILDING INSPECTIONS DEPARTMENT MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, OR WORK IMPACTING PUBLIC UTILITIES.
6. ALL STORM SEWER, SANITARY SEWER AND WATER SERVICES SHALL TERMINATE 5' FROM THE BUILDING FACE UNLESS OTHERWISE NOTED.
7. CONNECTION TO THE EXISTING SANITARY SEWER AND WATER REQUIRES INSPECTION BY THE CITY.
8. FIELD ADJUST ALL CASTINGS TO MATCH FINAL GRADES.
9. THE UTILITY CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING THE APPROPRIATE SEWER, WATER AND PLUMBING PERMITS FROM THE CITY'S BUILDING DEPARTMENT.
10. GENERAL CONTRACTOR SHALL COORDINATE WORK WITH ALL UTILITY COMPANIES.
11. VERTICAL CLEARANCE BETWEEN SANITARY, STORM AND WATERMAIN TO BE 18" MINIMUM. HORIZONTAL CLEARANCE BETWEEN SEWER (SANITARY/STORM) AND WATERMAIN TO BE 10" MINIMUM.
12. ALL NEW WATERMAIN AND SERVICES MUST HAVE A MINIMUM OF 8.0' OF COVER. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. THE CONTRACTOR SHALL FIELD ADJUST WATERMAIN TO AVOID CONFLICTS WITH SANITARY SEWER, STORM SEWER, AND SERVICES AS REQUIRED. INSULATION OF WATER AND SANITARY SEWER LINES SHALL BE PROVIDED WHERE 8.0' MINIMUM DEPTH CAN NOT BE ATTAINED.
13. ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
14. PROPOSED PIPE MATERIALS:

WATERMAIN	C900 PVC
SANITARY SEWER	SDR 26 PVC, SCH 40 PVC
STORM SEWER	DUAL WALL HDPE (SITE DRAINAGE)
STORM SEWER	SCH 40 PVC (BUILDING SERVICES)
15. CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.
16. ALL PORTIONS OF THE STORM SEWER SYSTEM, INCLUDING CATCH BASINS, LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED ACCORDANCE WITH MINNESOTA RULES, PART 4715.2820.
17. ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE CASTIGHT OR WATERTIGHT (SEE MINNESOTA RULES, PART 4715.0700). APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, AND OTHER STRUCTURES.
18. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINS MUST COMPLY WITH MINNESOTA RULES, PART 4715.0540:
 - a) PIPES 4-INCH TO 10-INCH IN SIZE MUST COMPLY WITH AASHTO M252.
 - b) PIPES 12-INCH TO 60-INCH IN SIZE MUST COMPLY WITH ASTM F2306.
 - c) ALL FITTINGS MUST COMPLY WITH ASTM D3212.
 - d) WATER-TIGHT JOINTS MUST BE USED AT ALL CONNECTIONS INCLUDING STRUCTURES.
19. SEWERS CROSSING ABOVE OR LESS THAN 12 INCHES BELOW A WATER SERVICE MUST BE CONSTRUCTED OF MATERIALS APPROVED FOR USE WITHIN A BUILDING (SEE MN PLUMBING CODE SECTIONS 609.2, 720.1, AND TABLE 701.2). PER MN PLUMBING CODE:
 - a) THE LENGTH OF SEWER OR DRAINAGE PIPING THAT MUST BE CONSTRUCTED OF MATERIALS APPROVED FOR USE WITHIN A BUILDING SHALL SPAN THE TRENCH WIDTH OVER WATERMAIN, SEE SECTION 609.2
 - b) FOR A LIST OF MATERIALS APPROVED FOR USE WITHIN A BUILDING SEE TABLE 701.2
 - c) THE WATER SERVICE SHOULD NOT CONTAIN ANY JOINTS OR CONNECTIONS WITHIN 10 FEET OF THE CROSSING

EXISTING	PROPOSED	
		STORM SEWER PIPE
		SOLID DRAINILE
		PERFORATED DRAINILE
		STORM INLET
		STORM MANHOLE
		FLARED END SECTION
		STORM CLEANOUT
		SANITARY SEWER PIPE
		SANITARY SEWER MANHOLE
		SANITARY SEWER CLEANOUT
		WATER MAIN
		HYDRANT
		GATE VALVE
		WATER MANHOLE
		METER
		FIRE DEPARTMENT CONNECTION
		NATURAL GAS
		ELECTRIC OVERHEAD
		FIBER OPTIC UNDERGROUND
		LIGHT POLES
		POWER POLE
		CONSTRUCTION LIMIT





UTILITY NOTES

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LEGEND:

EXISTING	PROPOSED	
		STORM SEWER PIPE
		SOLID DRAINTILE
		PERFORATED DRAINTILE
		STORM INLET
		STORM MANHOLE
		FLARED END SECTION
		STORM CLEANOUT
		SANITARY SEWER PIPE
		SANITARY SEWER MANHOLE
		SANITARY SEWER CLEANOUT
		WATER MAIN
		HYDRANT
		GATE VALVE
		WATER MANHOLE
		METER
		FIRE DEPARTMENT CONNECTION
		WELL
		NATURAL GAS
		ELECTRIC OVERHEAD
		ELECTRIC UNDERGROUND
		FIBER OPTIC OVERHEAD
		FIBER OPTIC UNDERGROUND
		TELEPHONE OVERHEAD



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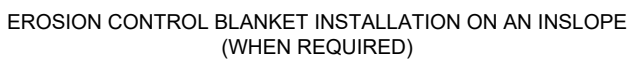
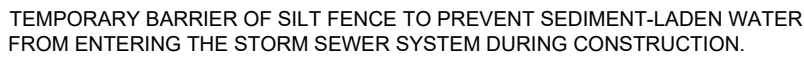
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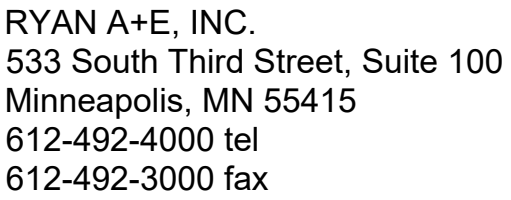
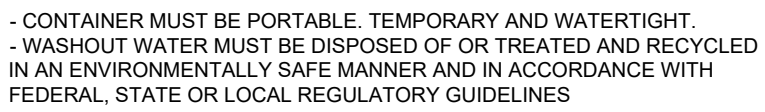
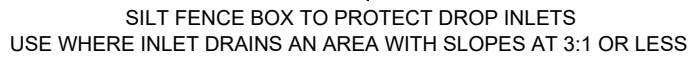
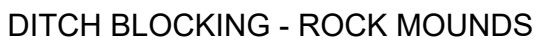
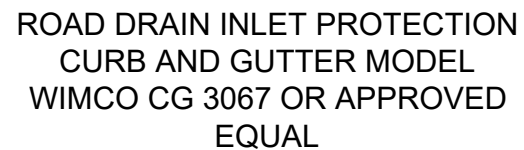
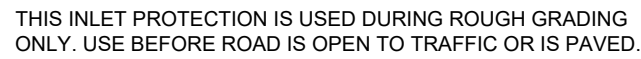
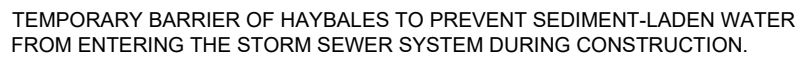
UTILITY PLAN

C501



CATEGORY	ACCEPTABLE TYPES
1	STRAW RD 1S, WOOD FIBER RD 1S
2	STRAW 1S, WOOD FIBER 1S
3	STRAW 2S, WOOD FIBER 2S
4	STRAW/COCONUT 2S, WOOD FIBER HV 2S

EROSION CONTROL BLANKET



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DETAILS

C600

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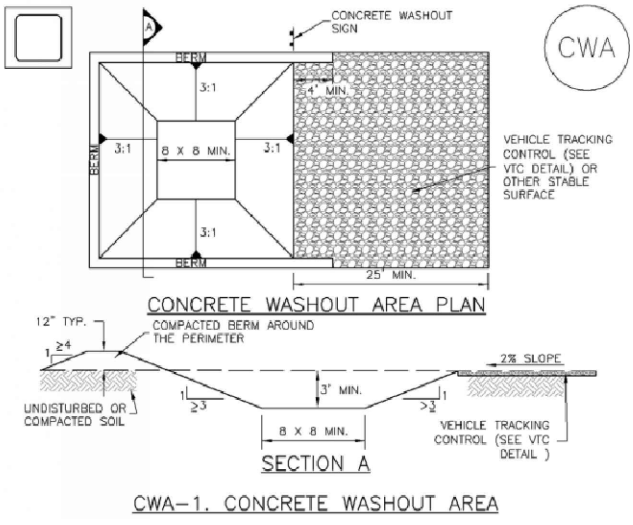
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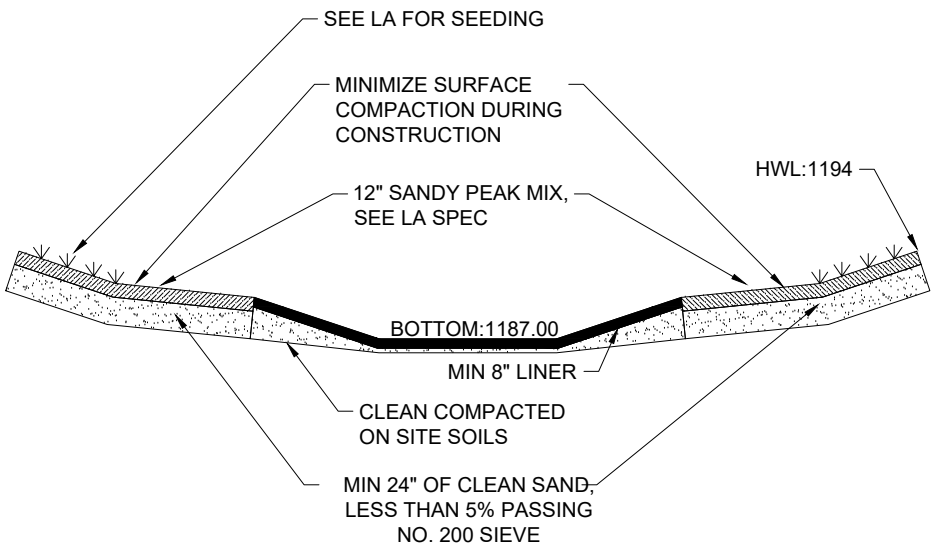
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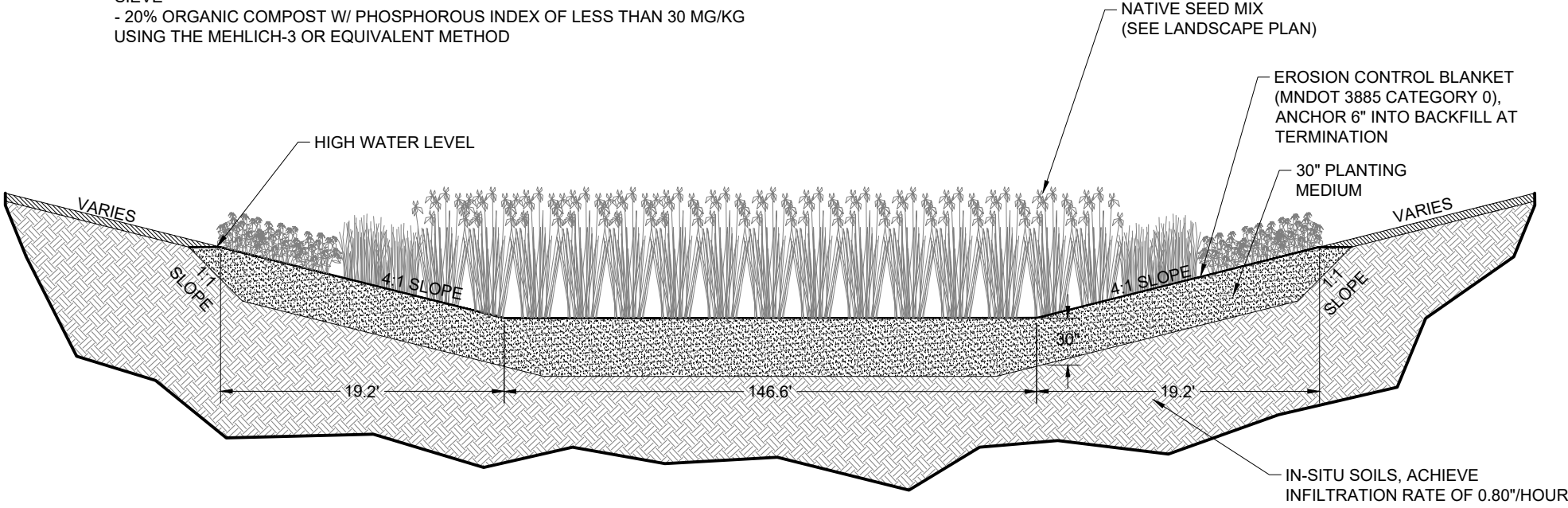
C601



NON-PORTABLE CONCRETE WASHOUT



- NOTES:
1. PLANTING MEDIUM SPECIFICATIONS:
30" DEPTH, UNCOMPACTED IN 6" LIFTS, WELL BLENDED MIXTURE BY VOLUME:
- 80% SAND (5% PASSING #200 SIEVE & A MAXIMUM OF 60% PASSING THE #40 SIEVE)
- 20% ORGANIC COMPOST W/ PHOSPHOROUS INDEX OF LESS THAN 30 MG/KG USING THE MEHLICH-3 OR EQUIVALENT METHOD



TYPICAL INFILTRATION BASIN SECTION

1
C601

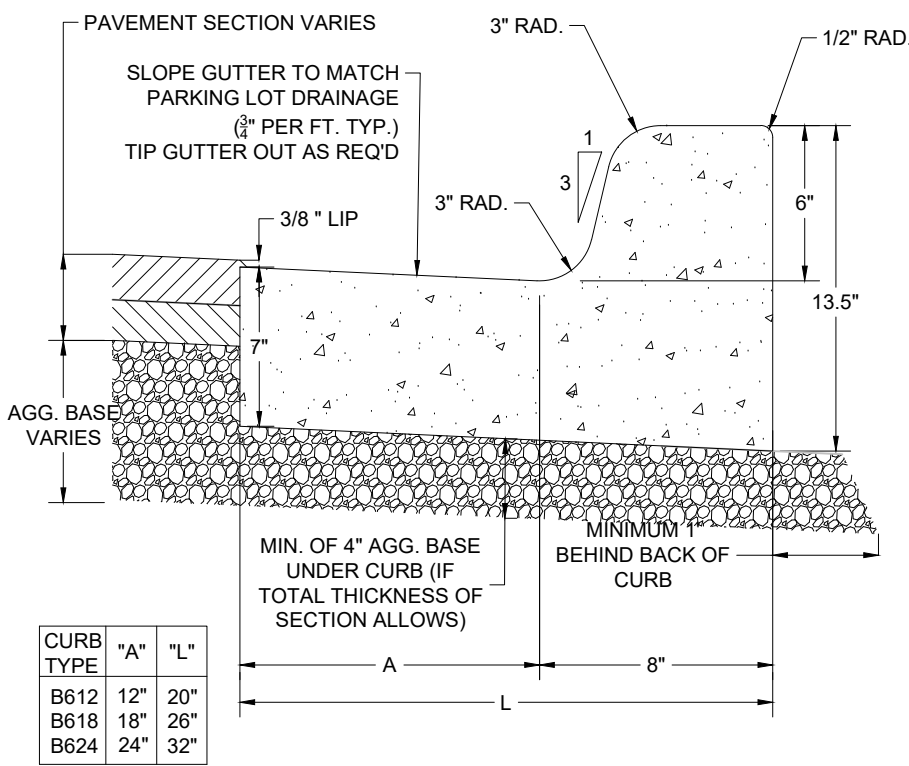
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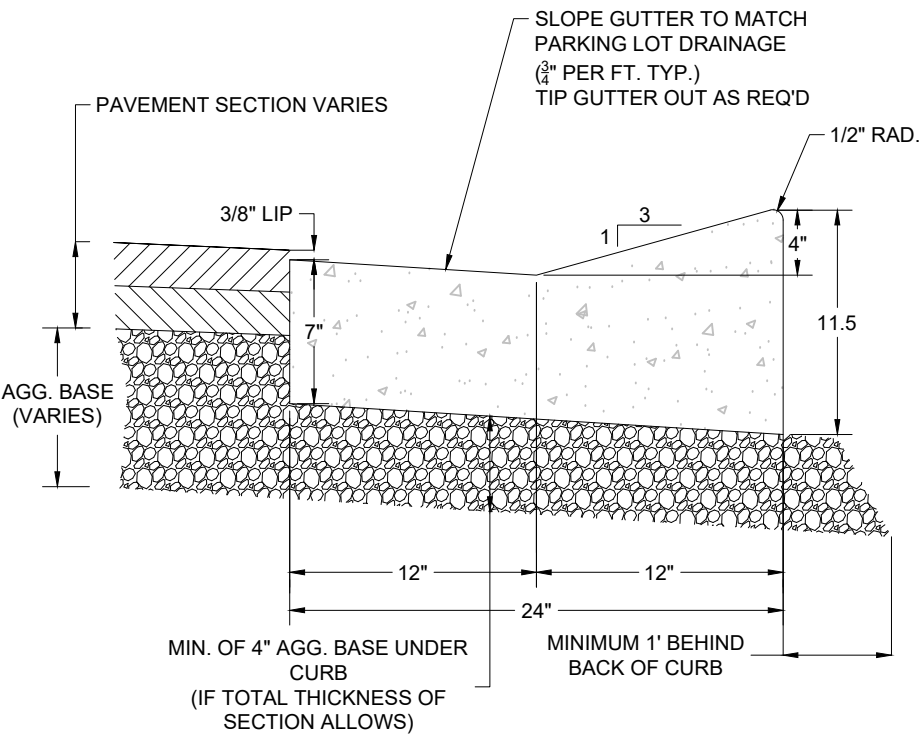
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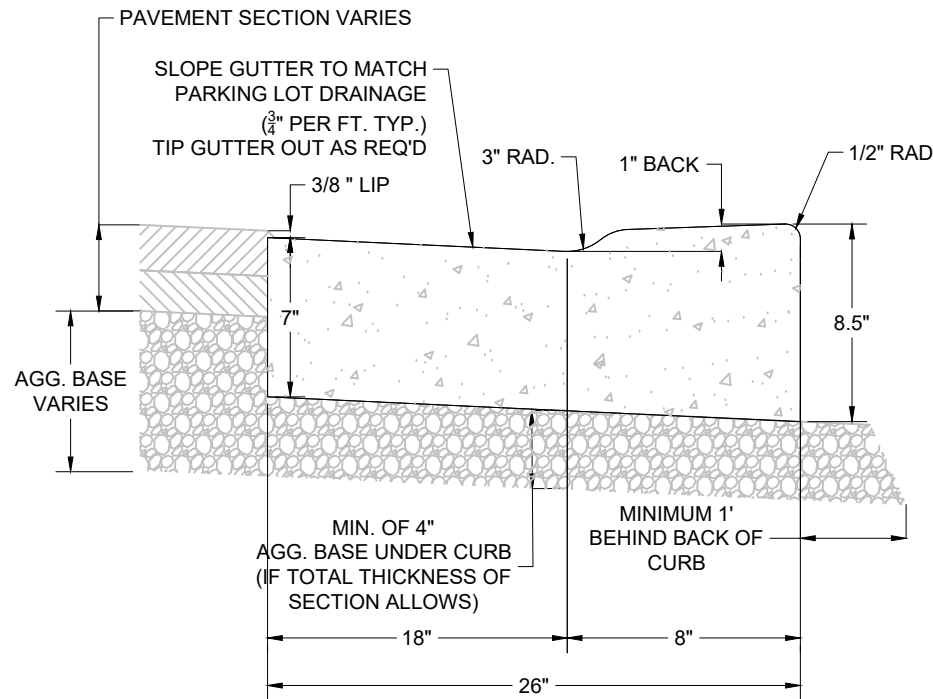
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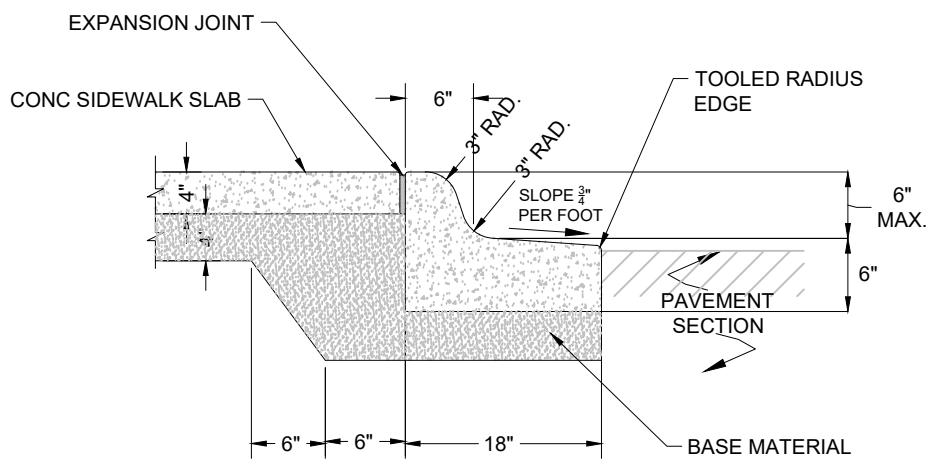
B6 STYLE CONCRETE CURB AND GUTTER



D412 CONCRETE CURB AND GUTTER



FLUSH CURB AND GUTTER (18")



SIDEWALK AT B612 CURB

4
C601

NTS

5
C601

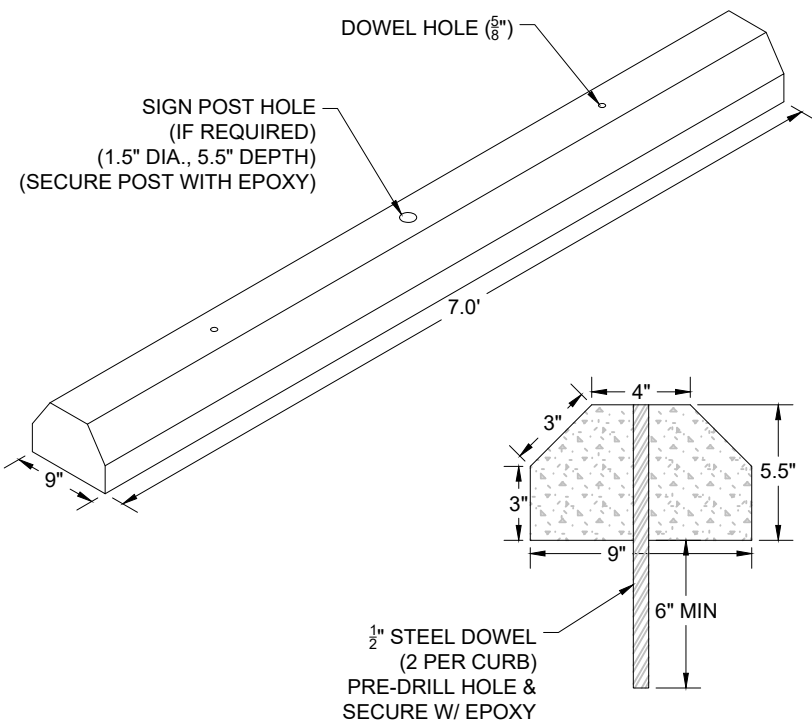
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C601

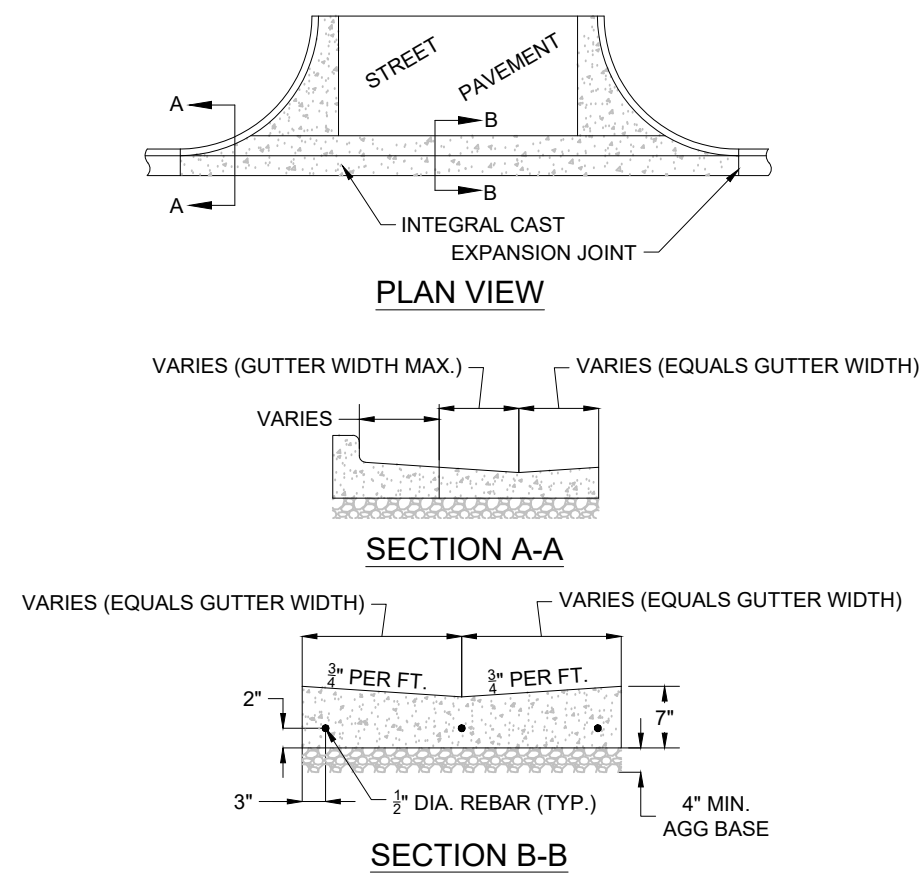
NTS

7
C601

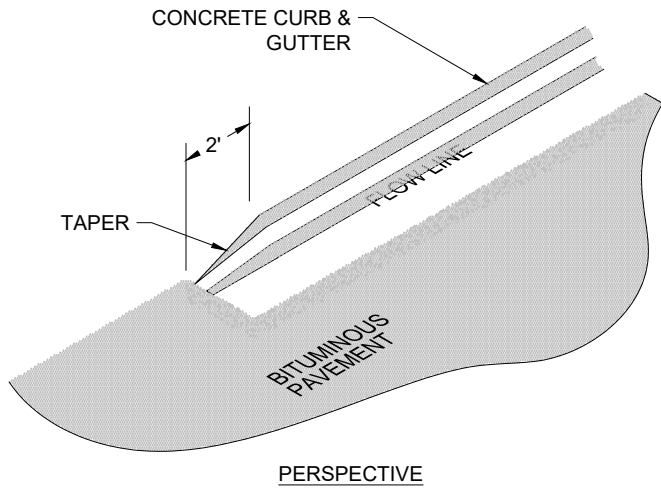
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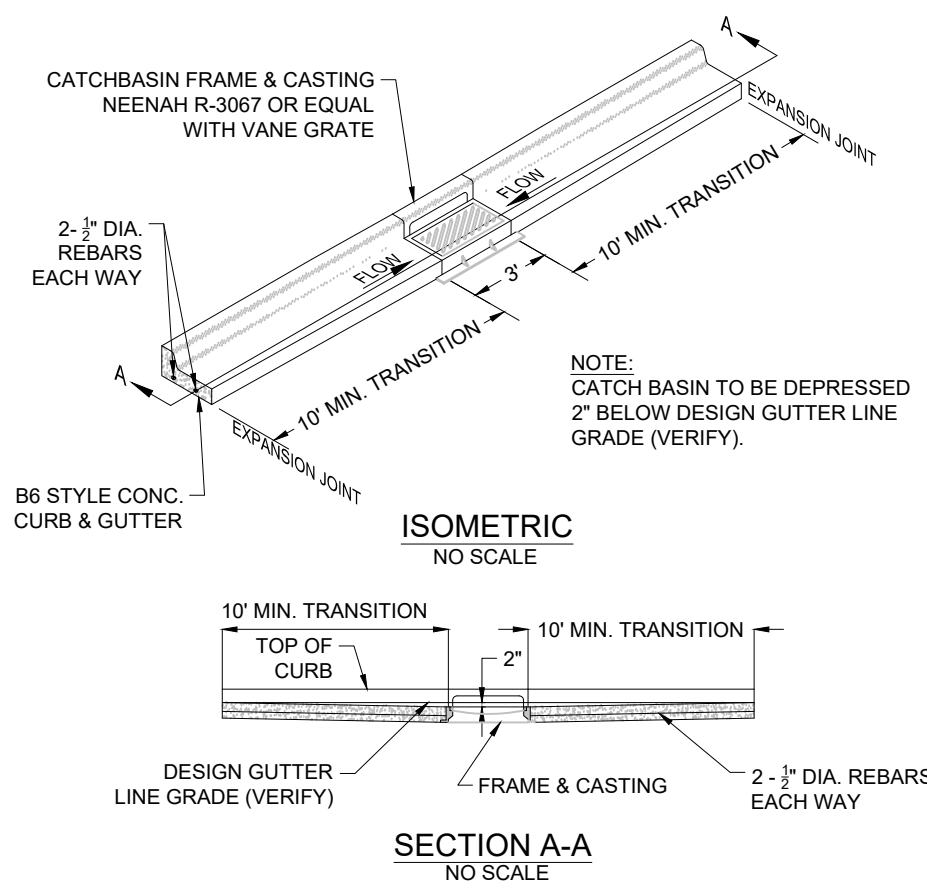
STOP BLOCK



CONCRETE VALLEY GUTTER



CURB TAPER



B6 STYLE CURB & GUTTER CONS. AT CATCH BASIN

8
C601

NTS

9
C601

NTS

10
C601

NTS

11
C601

NTS

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CONSULTANTS

PROJECT INFORMATION

PROJECT TIMBER WOLF

BAXTER, MN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Jared B. Olson

JARED B. OLSON

REGISTRATION NO.	DATE
42340	05/24/2024

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DRAWN BY	CHECKED BY
DCS	---
JOB NO.	DATE
701676	05/24/2024

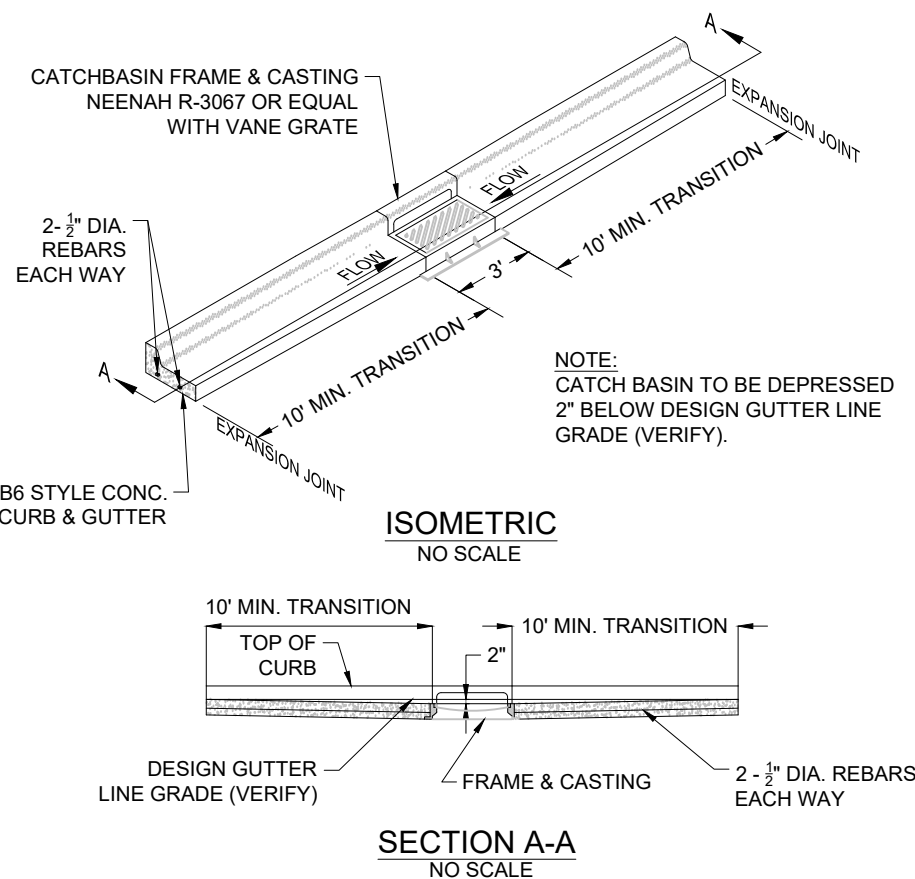
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ISSUE #	DATE	DESCRIPTION
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-2-	05/24/2024	100%-CD SET
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100% CD

DETAILS

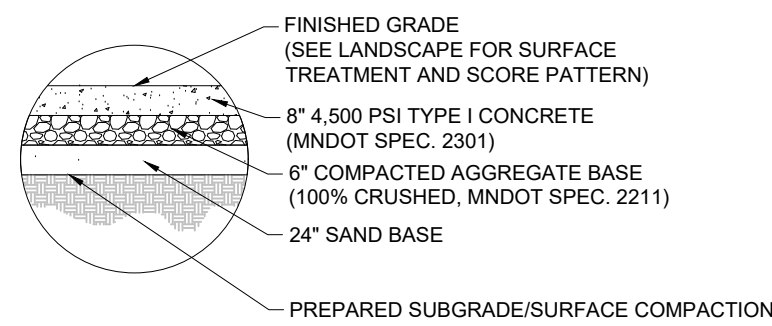
C602



B6 STYLE CURB & GUTTER CONS. AT CATCH BASIN

1
C602

NTS



NOTES:
CONCRETE SHALL BE REINFORCED WITH DEFORMED NO. 3 REINFORCING BARS
SPACED AT 16" O.C. IN EACH DIRECTION. TIE ALL INTERSECTIONS TO PREVENT
SHIFTING AND MAINTAIN A 2" MINIMUM COVER FROM REINFORCING TO CONCRETE
EDGE

SAWED OR FORMED CONTROL JOINTS SHOULD BE INCLUDED FOR EACH 225 SQUARE
FEET OF AREA OR LESS (15 FEET BY 15 FEET).

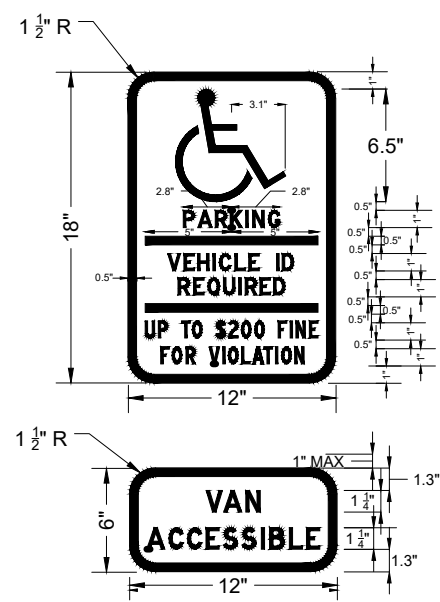
SAW CUTS SHOULD NOT CUT THROUGH THE REINFORCING STEEL AND DOWELS
SHOULD BE UTILIZED AT FORMED AND/OR COLD JOINTS.

SECTION AND MIX REQUIREMENTS PER GEOTECHNICAL RECOMMENDATIONS
(SEE GEOTECHNICAL EVALUATION REPORT DATED MAY 3RD, 2024)

HEAVY DUTY CONCRETE PAVEMENT SECTION

5
C602

NTS



COLORS:
LEGEND AND BORDER - WHITE
WHITE SYMBOL ON BLUE BACKGROUND - BLUE

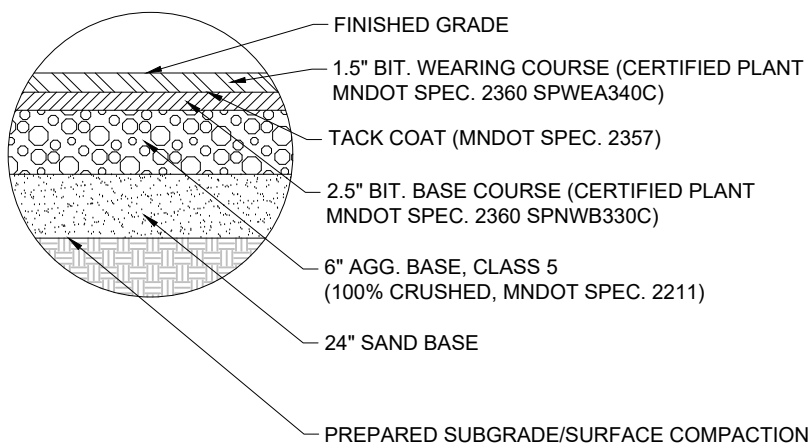
REDUCE SPACING 50%
SEE APPENDIX "E" FOR SYMBOL PROPORTIONS

NOTE: SIGNAGE REQUIREMENTS VARY: VERIFY ALL DIMENSIONS, COLOR, AND
MOUNTING HEIGHTS, ETC. WITH LOCAL AND STATE AUTHORITIES.

VAN ACCESSIBLE HANDICAP SIGN

9
C602

NTS

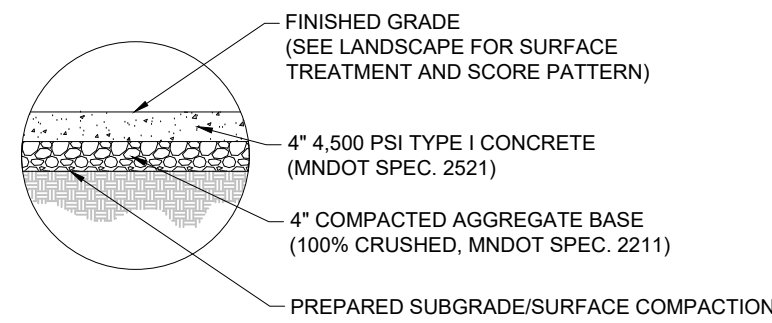


NOTES:
SECTION AND MIX DESIGN PER GEOTECHNICAL RECOMMENDATIONS
(SEE GEOTECHNICAL EVALUATION REPORT DATED MAY 3RD, 2024)

STANDARD DUTY BITUMINOUS PAVEMENT SECTION

2
C602

NTS

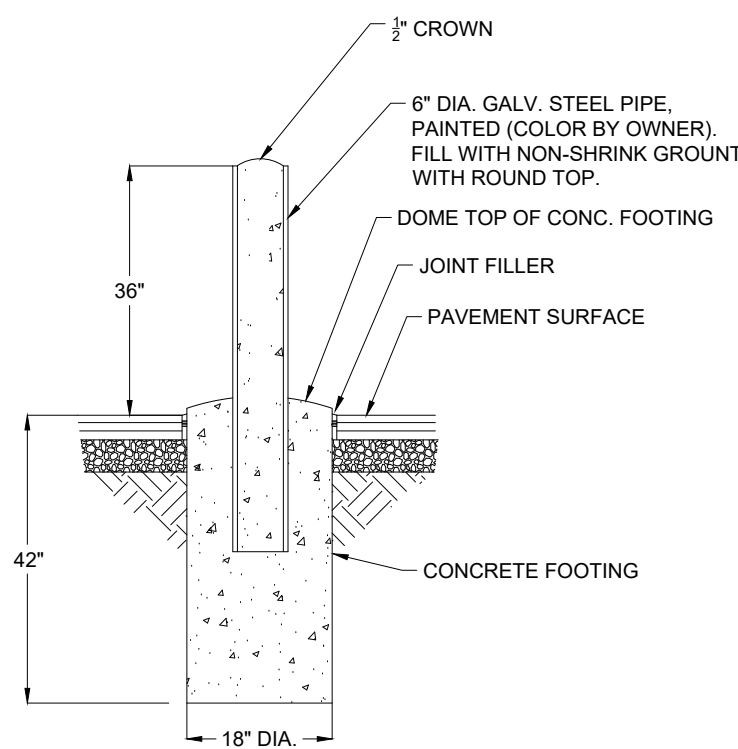


NOTES:
2% MAX CROSS SLOPE IN PATH OF TRAVEL
PROVIDE CONTRACTION JOINTS AT 5' SPACING (TYP.)
PROVIDE EXPANSION JOINTS EVERY 40' OR LESS

CONCRETE SIDEWALK SECTION

6
C602

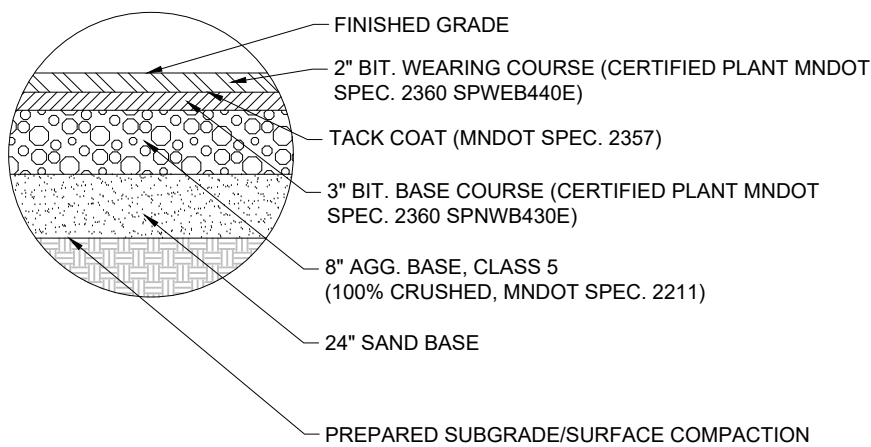
NTS



BOLLARD

10
C602

NTS

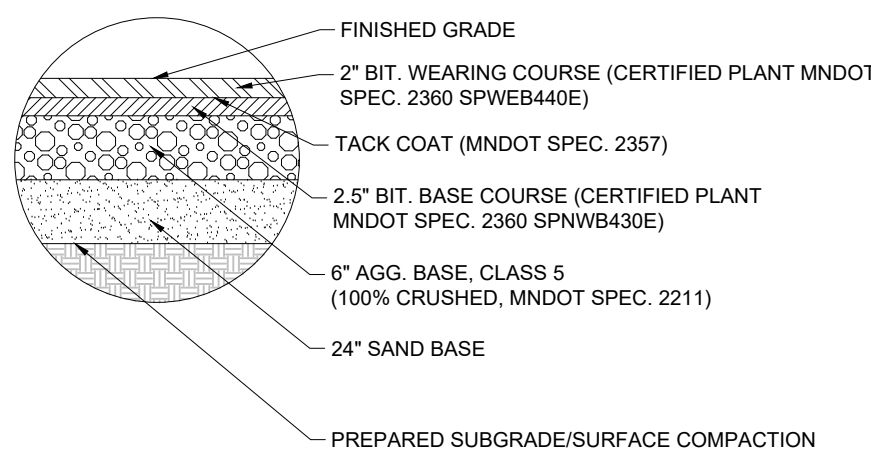


NOTES:
SECTION AND MIX DESIGN PER GEOTECHNICAL RECOMMENDATIONS
(SEE GEOTECHNICAL EVALUATION REPORT DATED MAY 3RD, 2024)

HEAVY DUTY BITUMINOUS PAVEMENT SECTION

3
C602

NTS

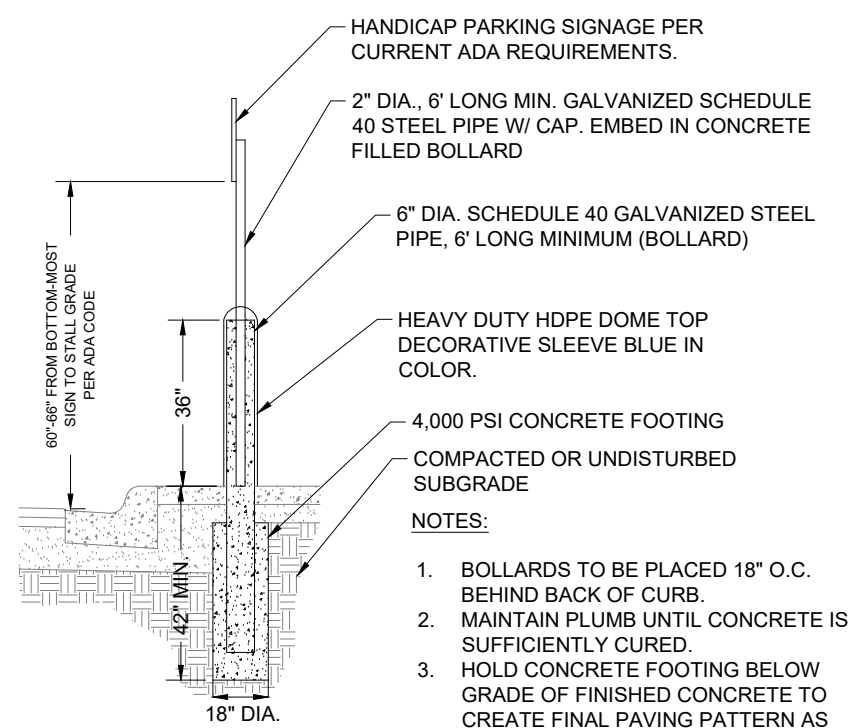


NOTES:
SECTION AND MIX DESIGN PER GEOTECHNICAL RECOMMENDATIONS

MEDIUM DUTY BITUMINOUS PAVEMENT SECTION

7
C602

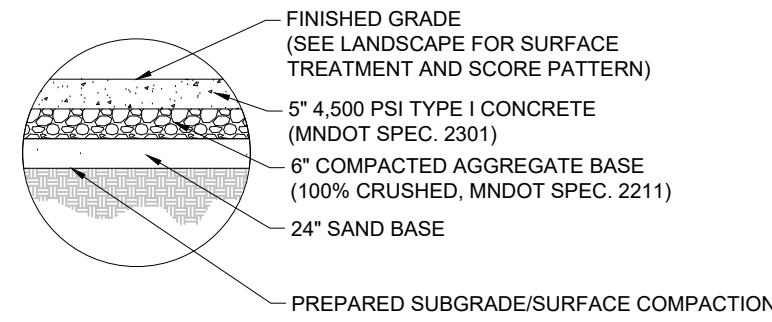
NTS



ADA PARKING SIGN W/ BOLLARD

11
C602

NTS



NOTES:
CONCRETE SHALL BE REINFORCED WITH DEFORMED NO. 3 REINFORCING BARS
SPACED AT 16" O.C. IN EACH DIRECTION. TIE ALL INTERSECTIONS TO PREVENT
SHIFTING AND MAINTAIN A 2" MINIMUM COVER FROM REINFORCING TO CONCRETE
EDGE

SAWED OR FORMED CONTROL JOINTS SHOULD BE INCLUDED FOR EACH 225 SQUARE
FEET OF AREA OR LESS (15 FEET BY 15 FEET).

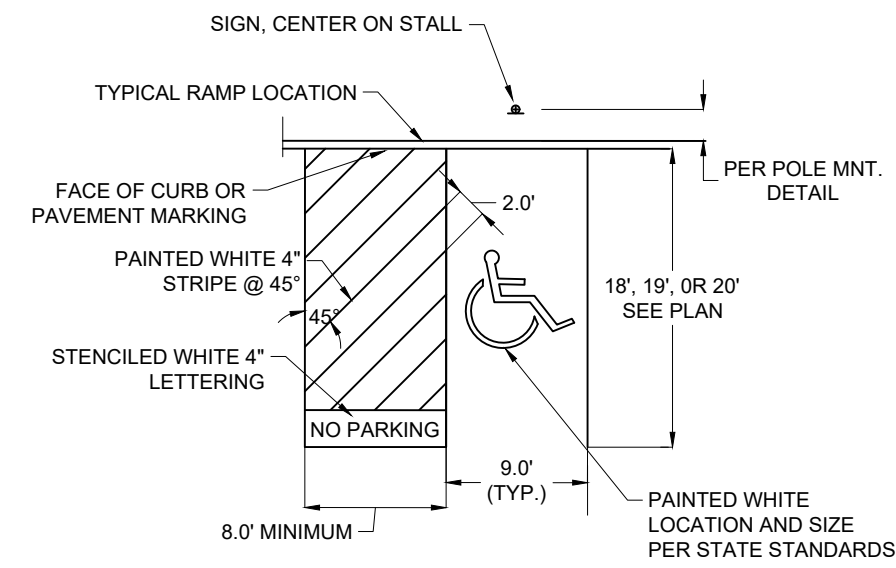
SAW CUTS SHOULD NOT CUT THROUGH THE REINFORCING STEEL AND DOWELS
SHOULD BE UTILIZED AT FORMED AND/OR COLD JOINTS.

SECTION AND MIX REQUIREMENTS PER GEOTECHNICAL RECOMMENDATIONS
(SEE GEOTECHNICAL EVALUATION REPORT DATED MAY 3RD, 2024)

STANDARD DUTY CONCRETE PAVEMENT SECTION

4
C602

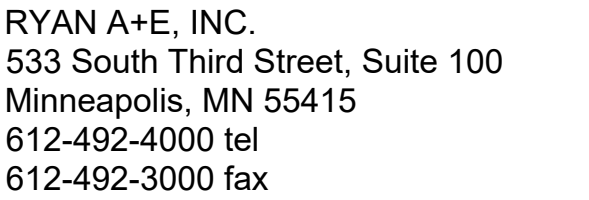
NTS



HANDICAP PARKING STALL LAYOUT

8
C602

NTS



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CONSULTANTS

PROJECT INFORMATION

BAXTER, MN

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JARED B. OLSON

REGISTRATION NO.	DATE
42340	05/24/2024

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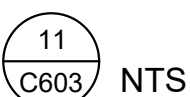
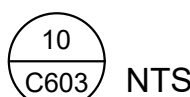
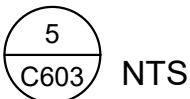
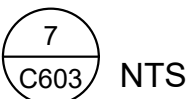
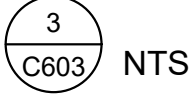
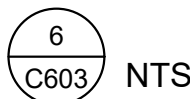
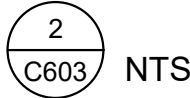
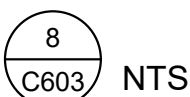
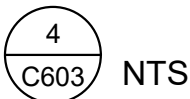
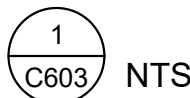
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JOB NO.	DATE
701676	05/24/2024

ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION
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-2-	05/24/2024	100%-GD SET
*****	*****	*****
*****	*****	*****
*****	*****	*****
*****	*****	*****

DETAILS

C603





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533 South Third Street, Suite 100
Minneapolis, MN 55415
612-492-4000 tel
612-492-3000 fax

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OWNER

CONSULTANTS

PROJECT INFORMATION

PROJECT TIMBER WOLF

BAXTER, MN

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JARED B. OLSON

REGISTRATION NO. 42340
DATE 05/24/2024

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CHECKED BY ---
JOB NO. 701676
DATE 05/24/2024

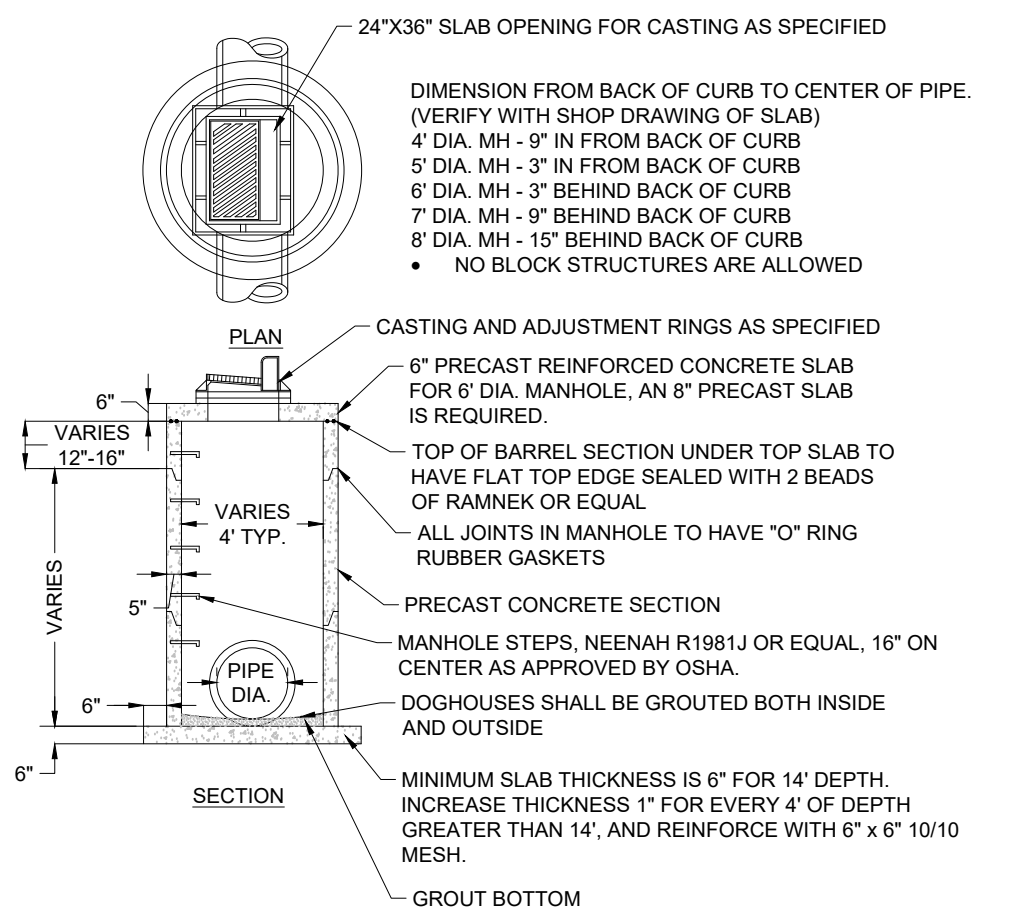
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100% CD

DETAILS

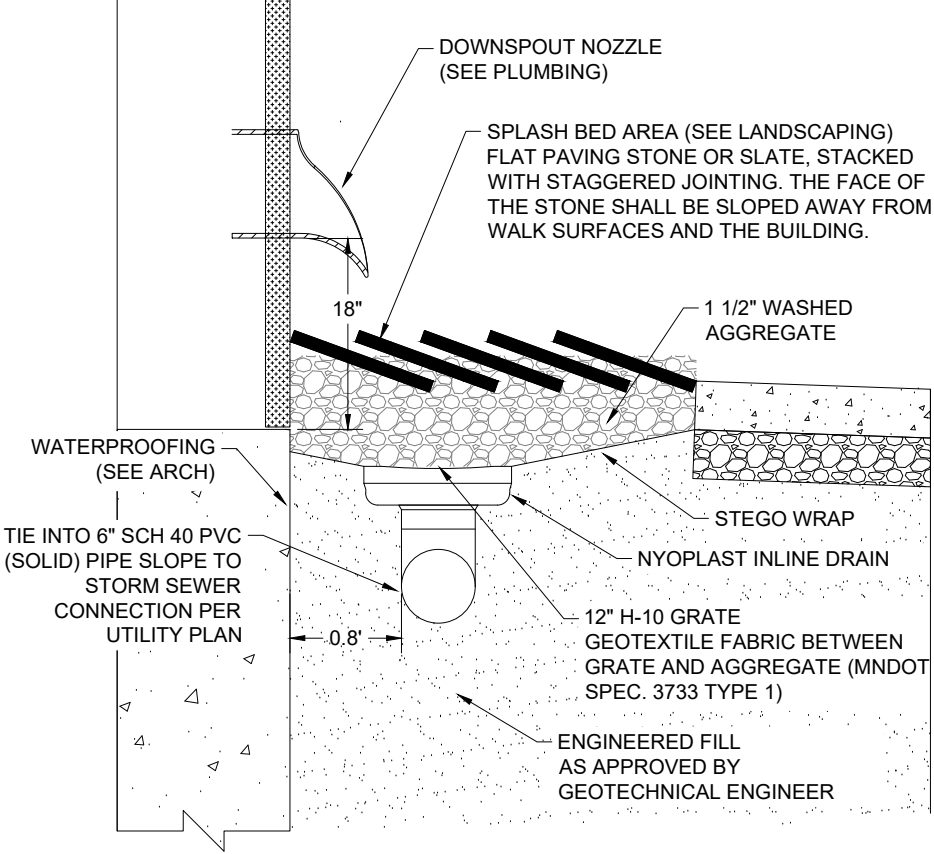
C604



CATCHBASIN MANHOLE WITH RECTANGULAR OPENING

1
C604

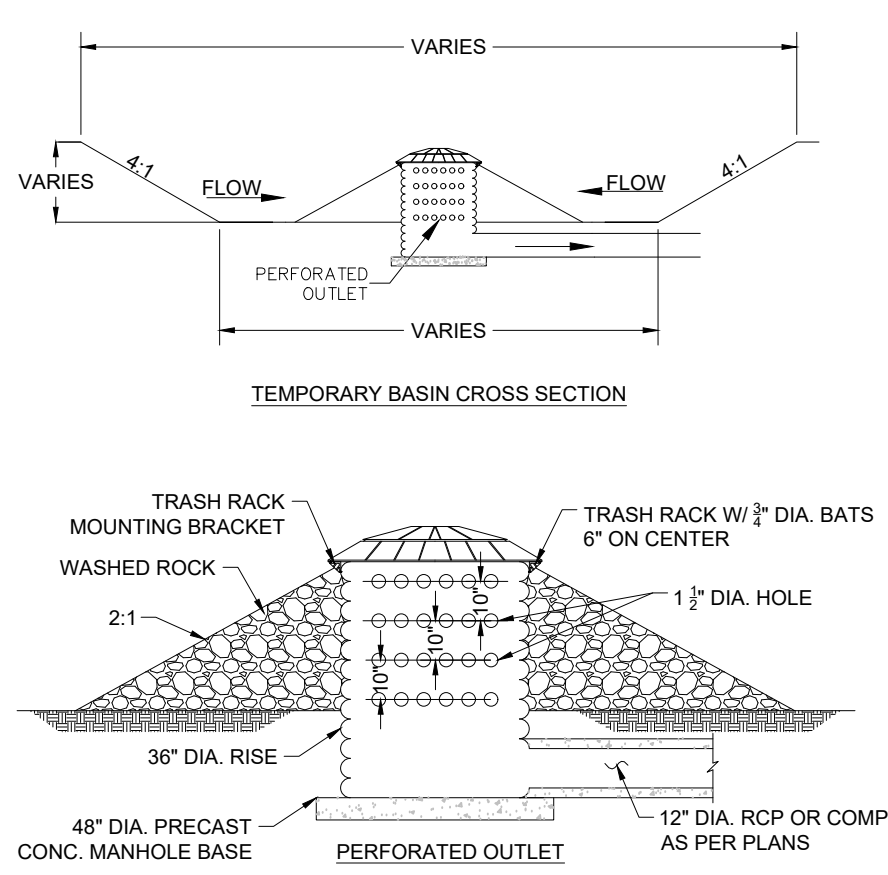
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OVERFLOW DRAIN - LANDSCAPE AREAS

2
C604

NTS

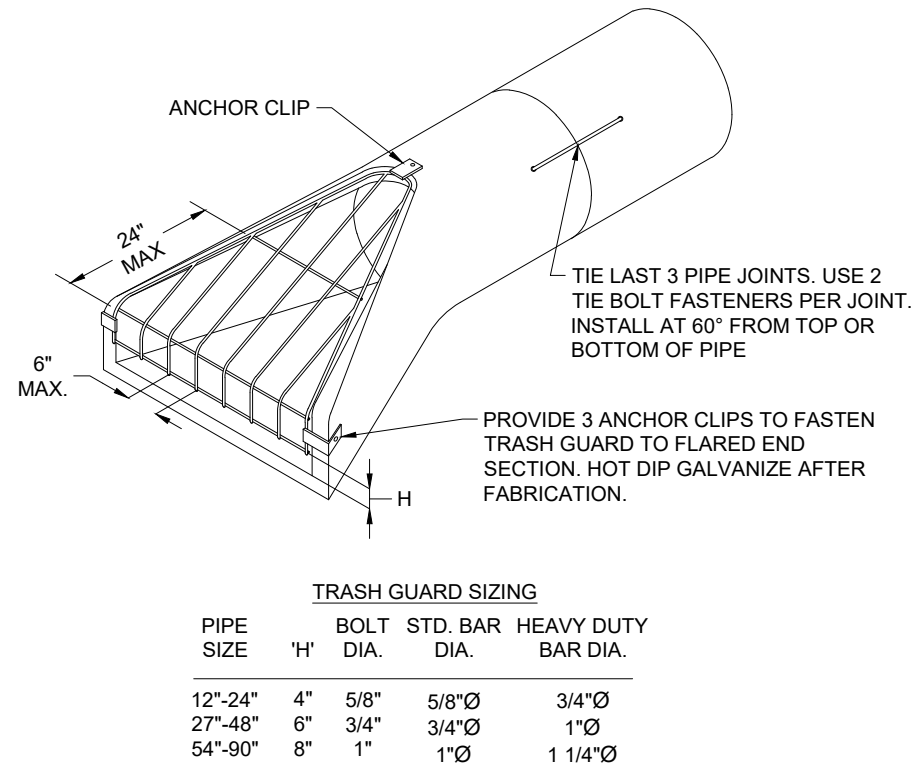


TEMPORARY SEDIMENTATION BASIN OUTLET STRUCTURE

3
C604

NTS

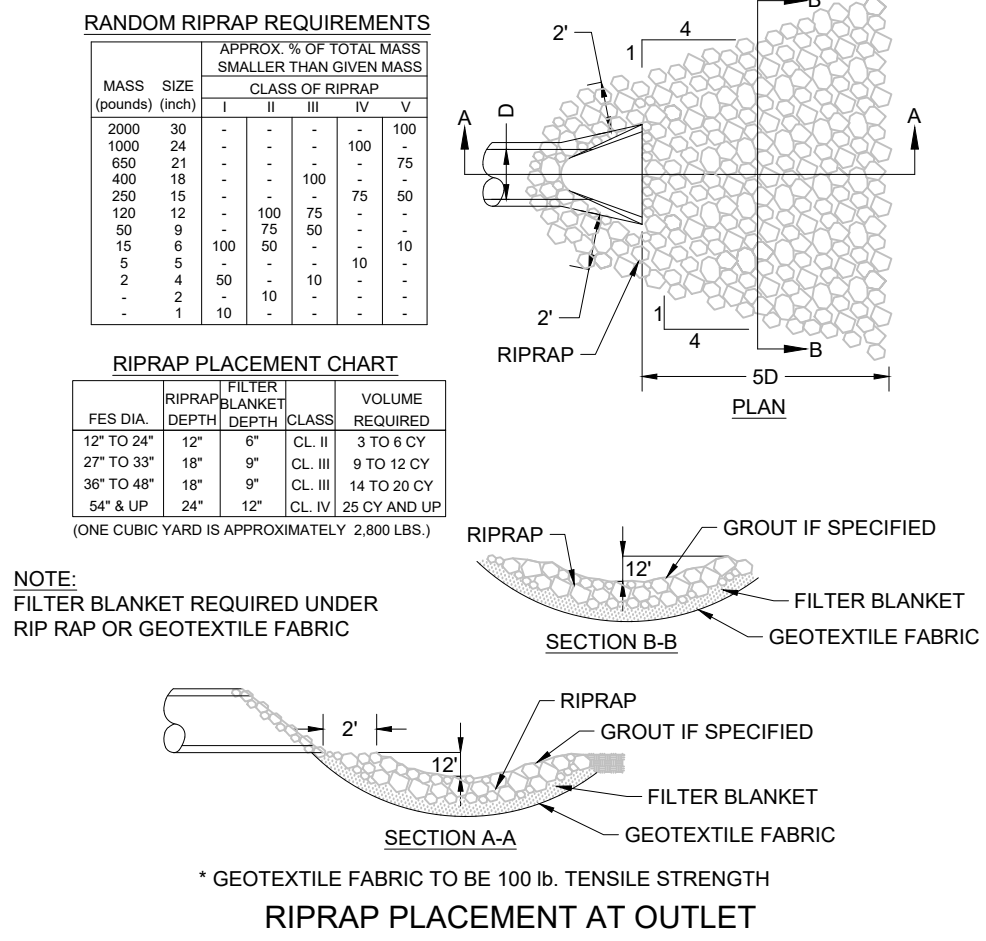
SEE PLATE NO. STM07 FOR RIPRAP PLACEMENT.



FLARED END WITH TRASH GUARD

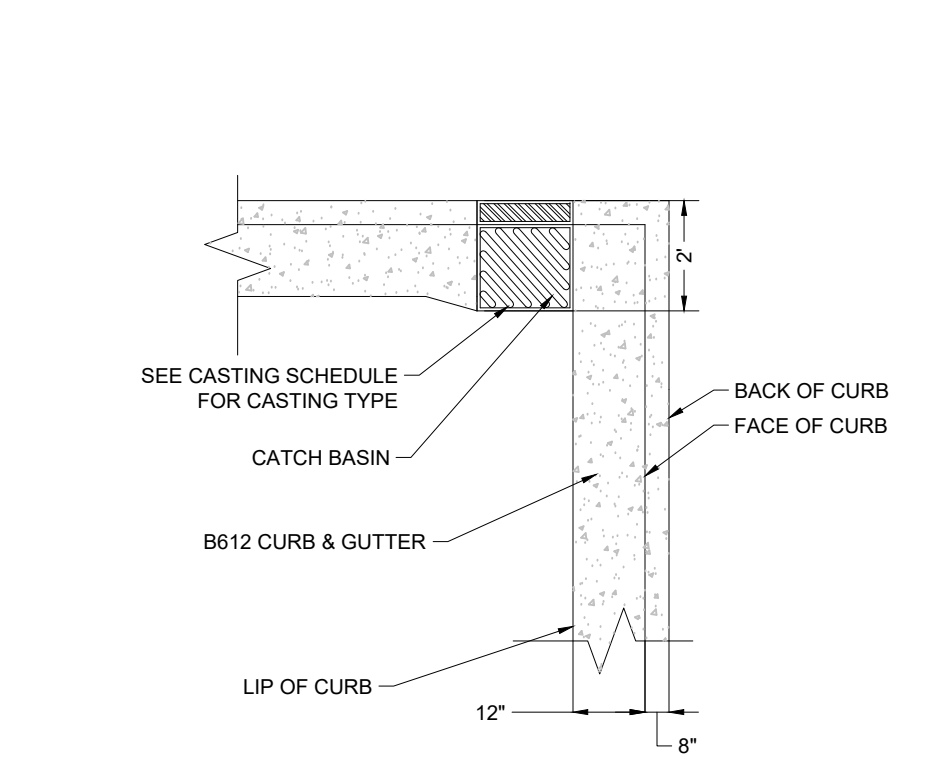
4
C604

NTS



5
C604

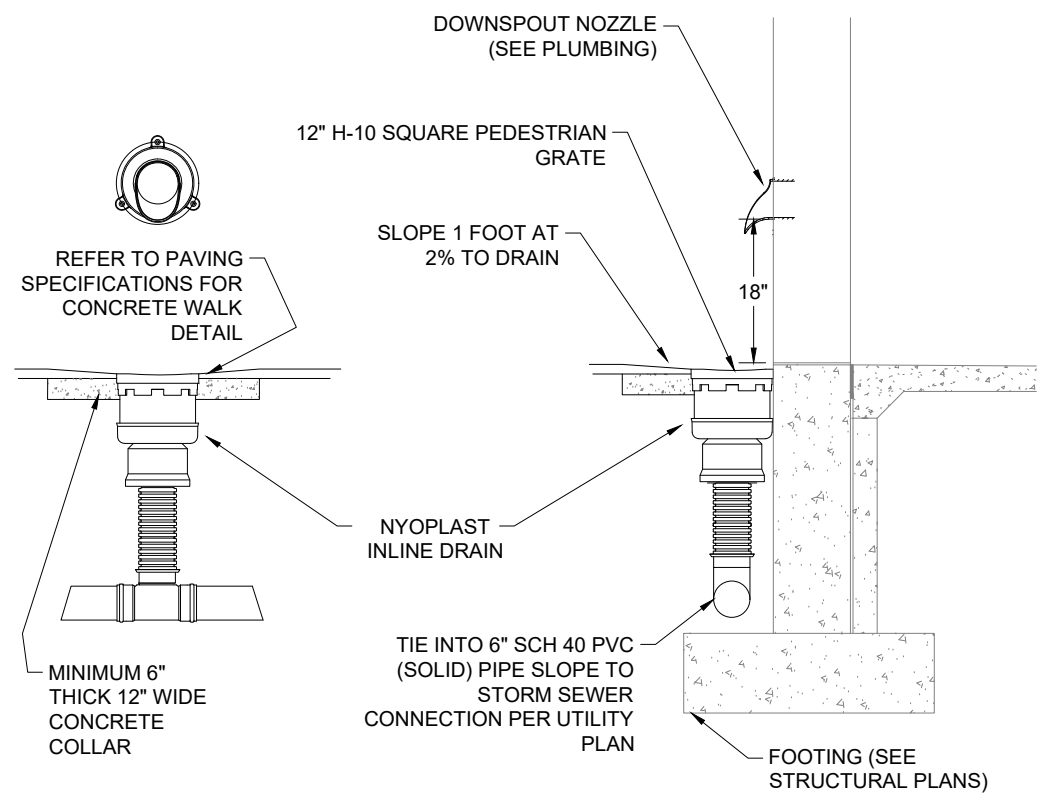
NTS



CORNER CATCH BASIN

6
C604

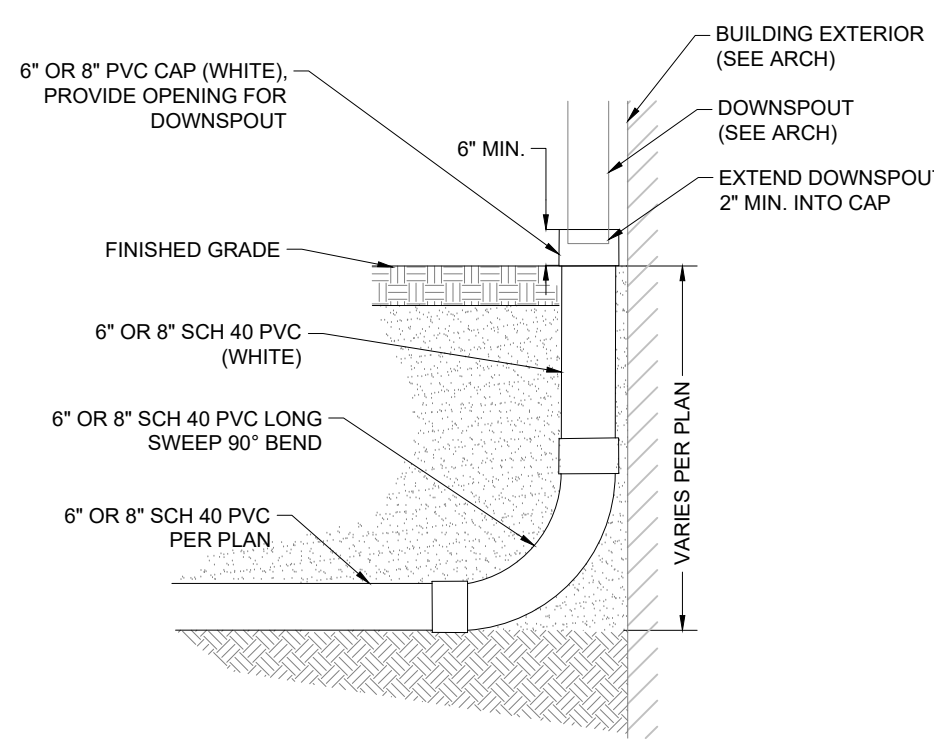
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OVERFLOW DRAIN - HARDSCAPE AREAS

7
C604

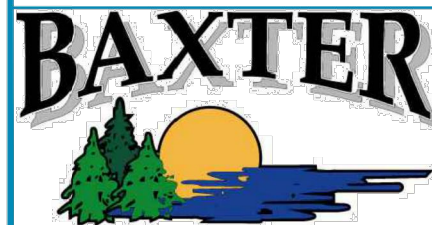
NTS



ROOF DRAIN / DOWNSPOUT RISER

8
C604

NTS



CITY OF BAXTER, MINNESOTA

REV. 9-17

STORM SEWER ADJUSTING RING AND SEAL

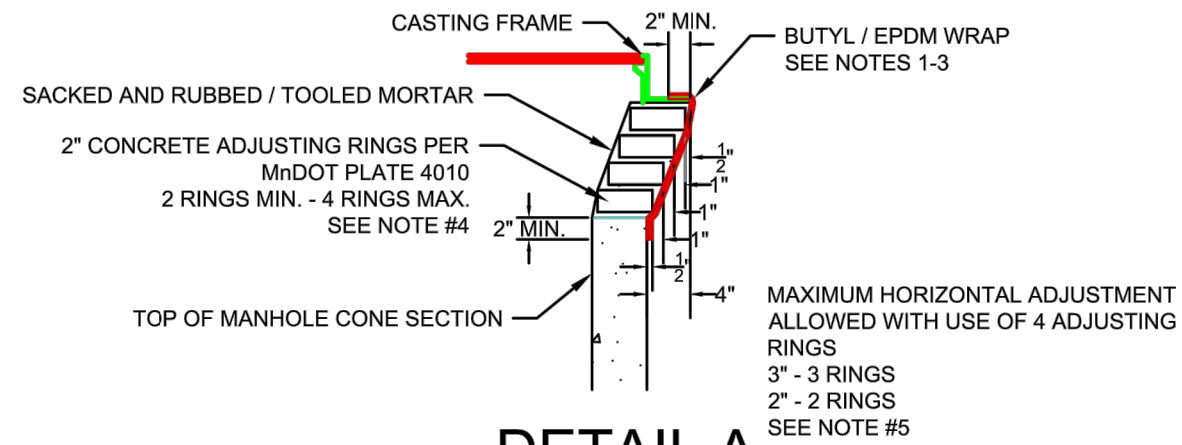
PUBLIC WORKS DEPARTMENT

ST-1

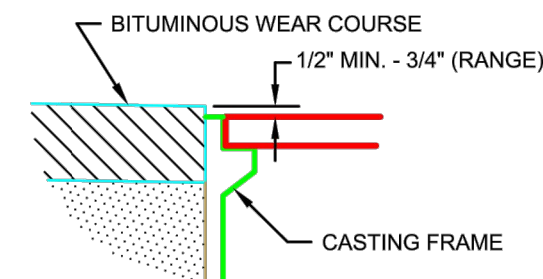
NOTES:

- BUTYL (.030") / EPDM (.045") WRAP PLACED AROUND CONCRETE RINGS. LAP HORIZONTAL JOINTS 1½" MIN. AND FOLD OVER ONTO CASTING FRAME 2" MIN.
- ON FLAT COVER STRUCTURES, MATERIAL SHALL ALSO BE EXTENDED ONTO PRECAST TOP 2" MIN.
- BUTYL / EPDM WRAP IS INCIDENTAL TO STRUCTURE CONSTRUCTION.
- PRECAST SHOP DRAWINGS SHALL UTILIZE STRUCTURE HEIGHTS TO ALLOW 0.5' (2 RINGS) MINIMUM TO 1.0' (4 RINGS) MAXIMUM BUILD HEIGHT PLUS ACTUAL FRAME / CASTING HEIGHT.
- CONTRACTOR SHALL FIELD ADJUST STRUCTURE AND PIPE TO MAINTAIN MAXIMUM RING OFFSET DIMENSIONS PER DETAIL. HORIZONTAL ADJUSTMENT SHALL NOT EXCEED 1" BETWEEN RINGS AS SHOWN IN DETAIL A.
- METAL ADJUSTMENT RING / BAND SHALL BE FIELD WELDED TO FRAME IF UTILIZED BY CONTRACTOR.

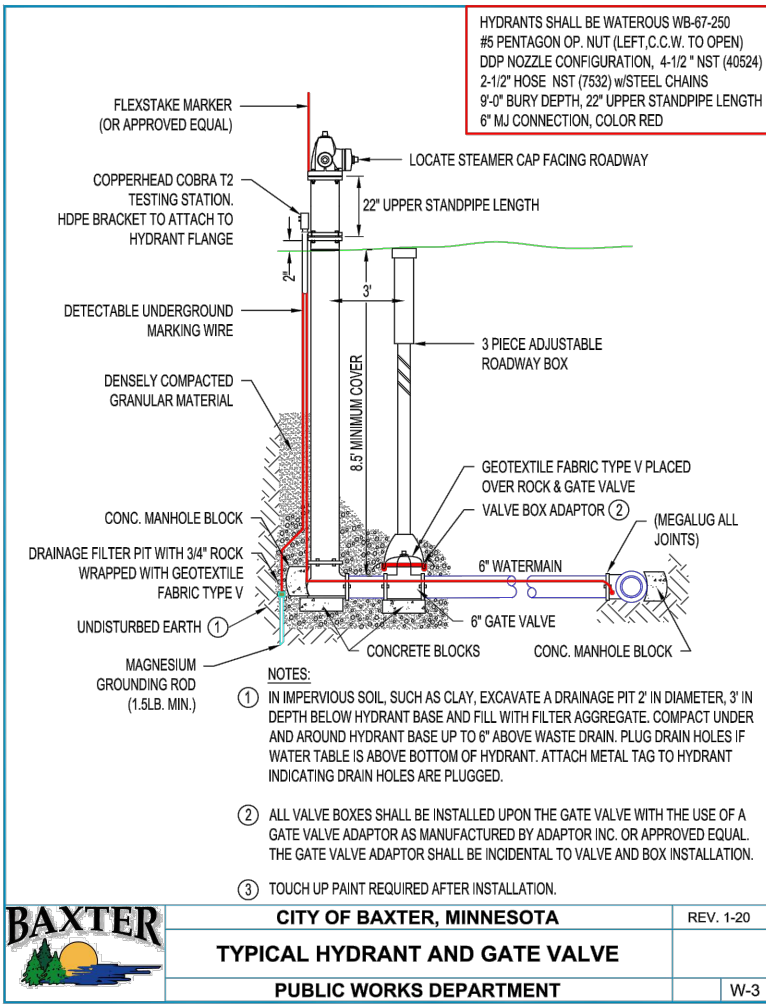
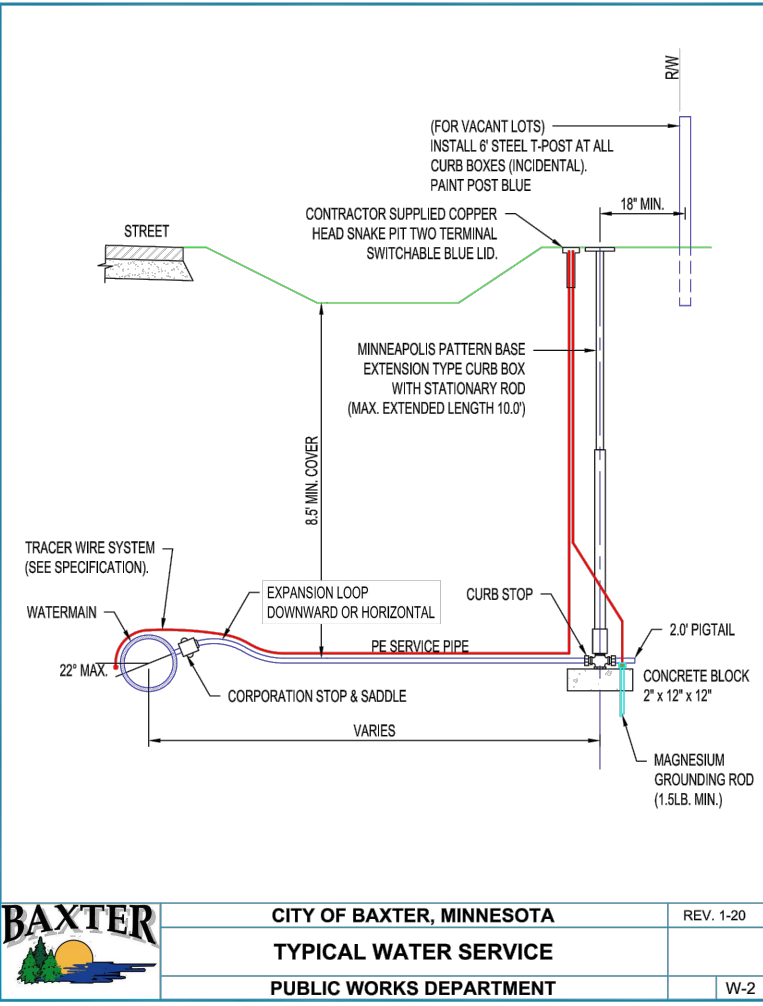
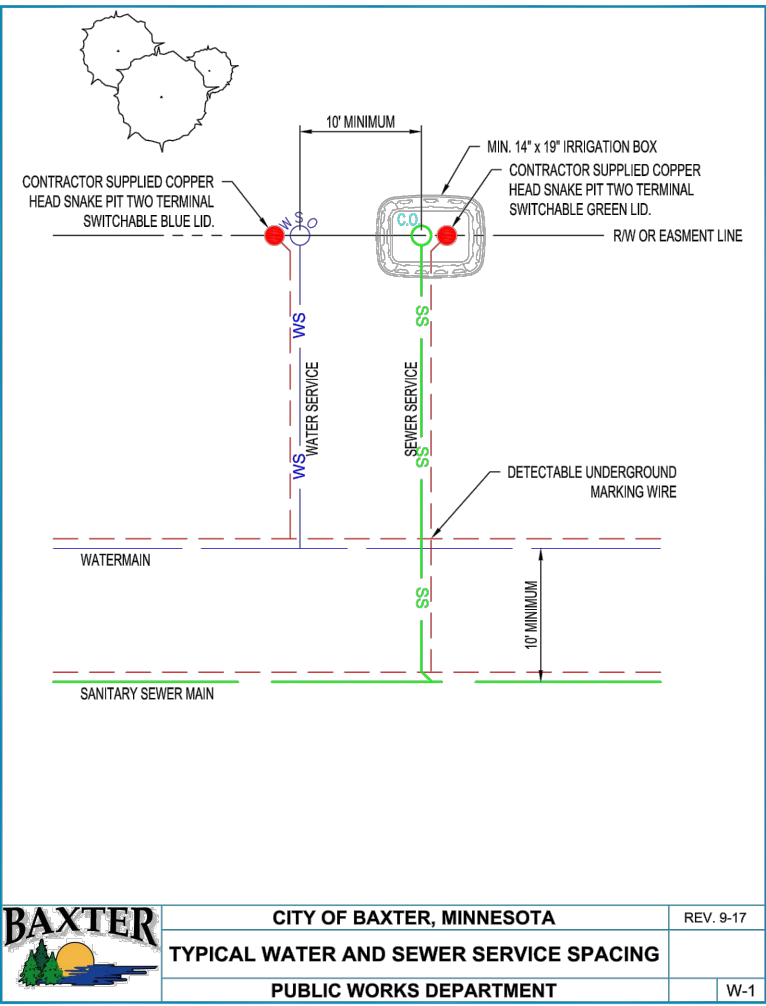
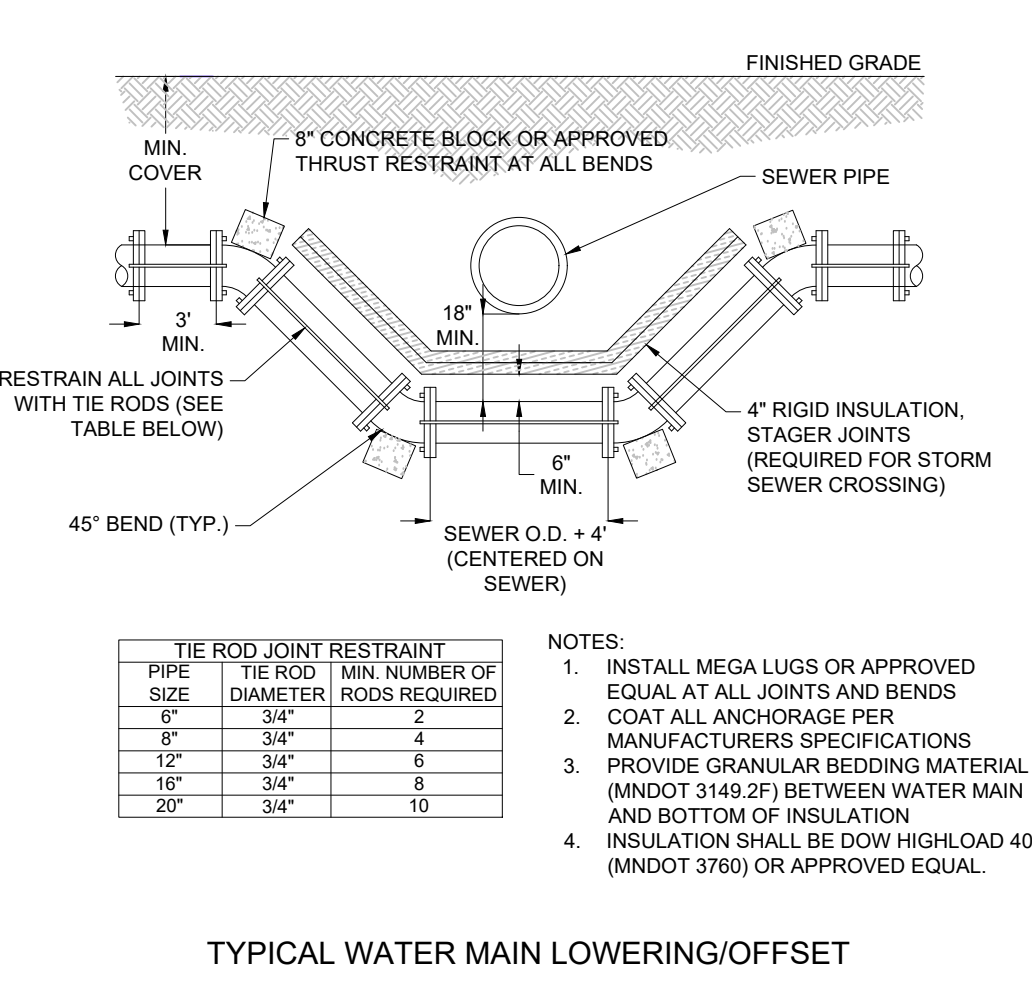
ADJUSTING RING AND SEAL MANHOLES IN ROADWAYS



DETAIL A ADJUSTING RING OFFSET



DETAIL B CASTING / COVER RECESS



1
C605

NTS

2
C605

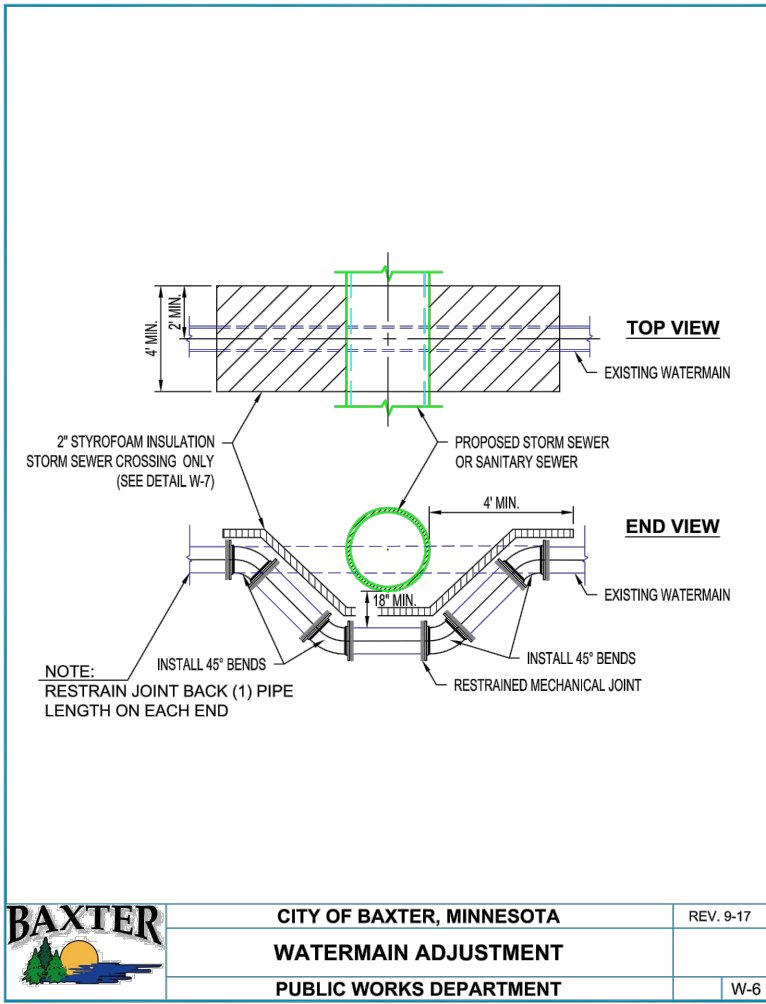
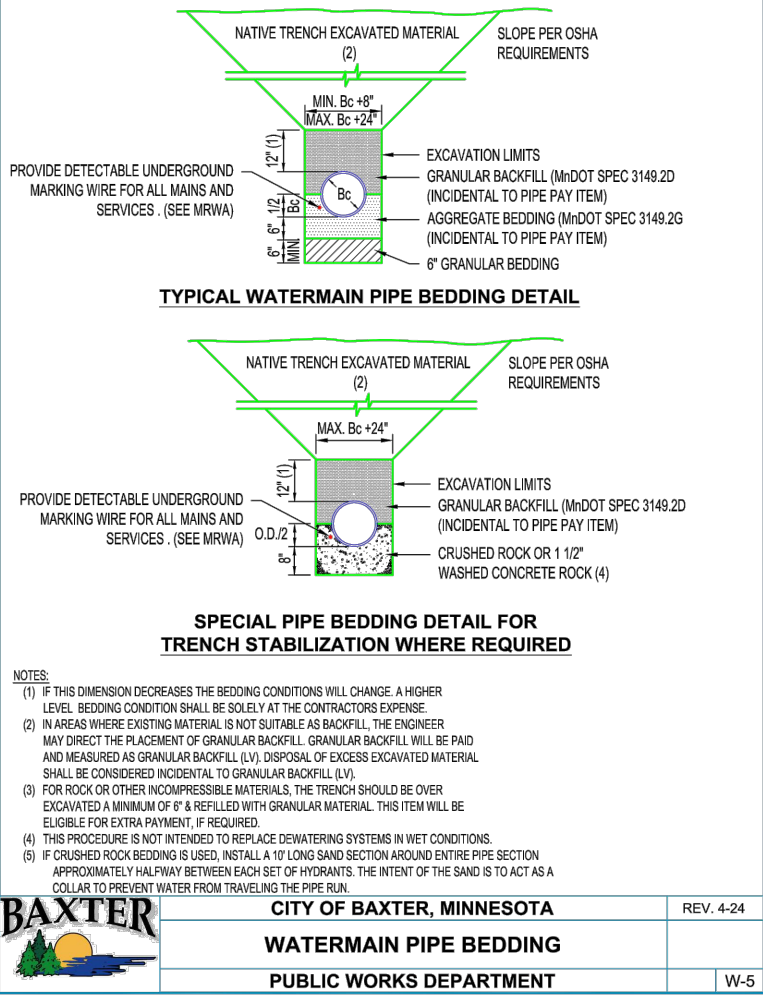
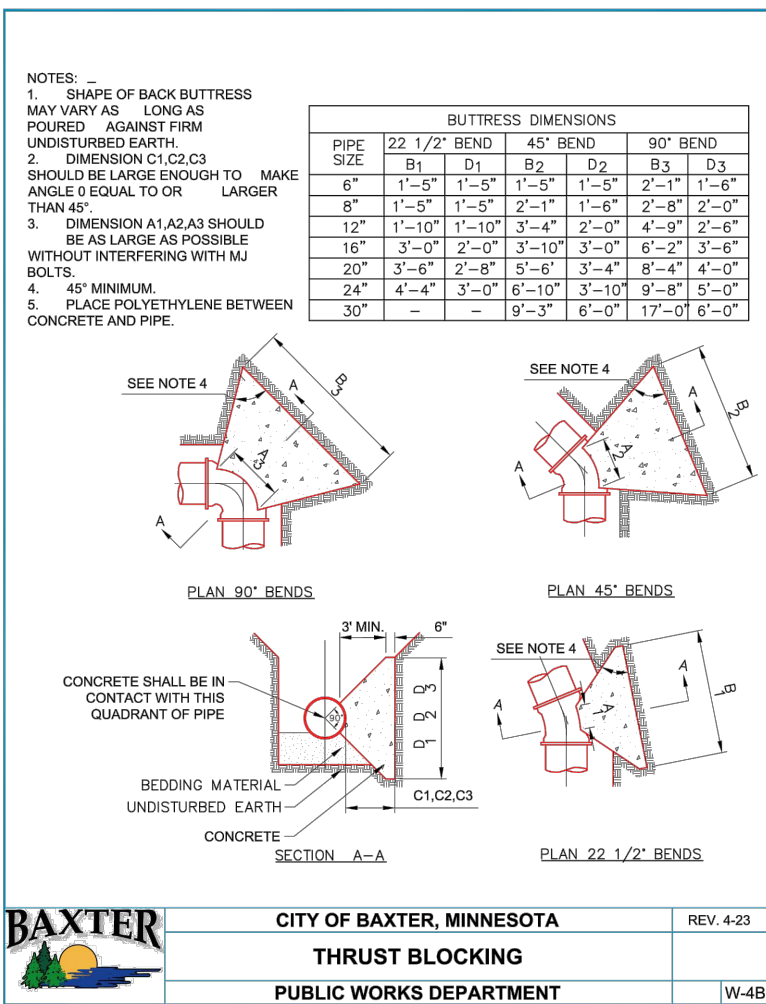
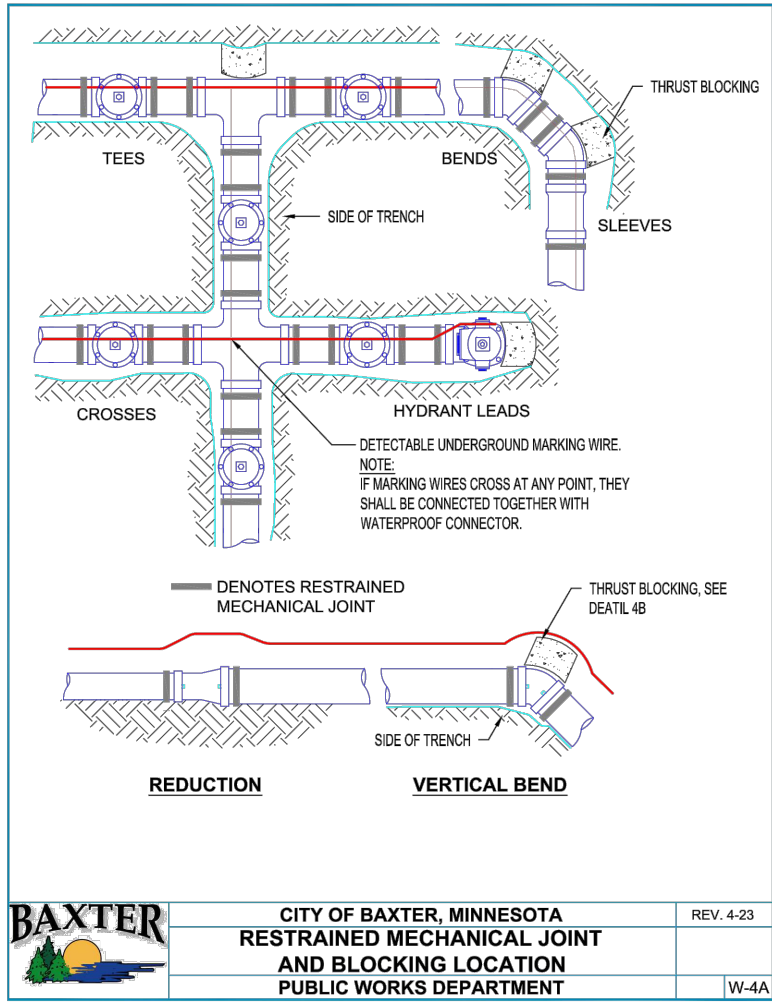
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3
C605

NTS

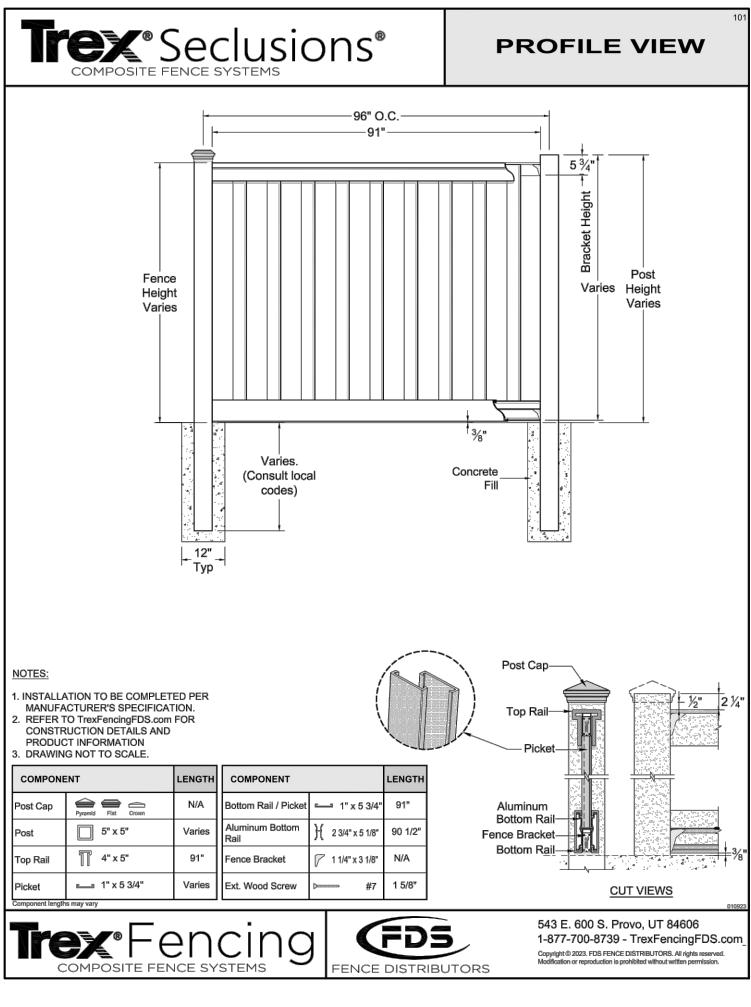
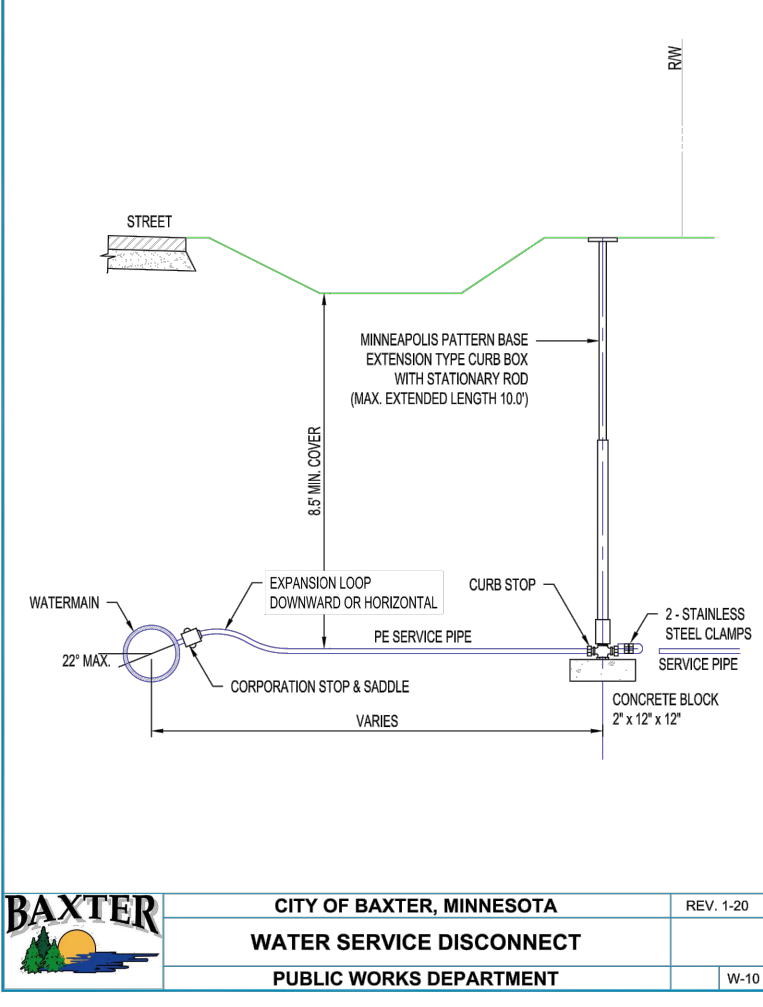
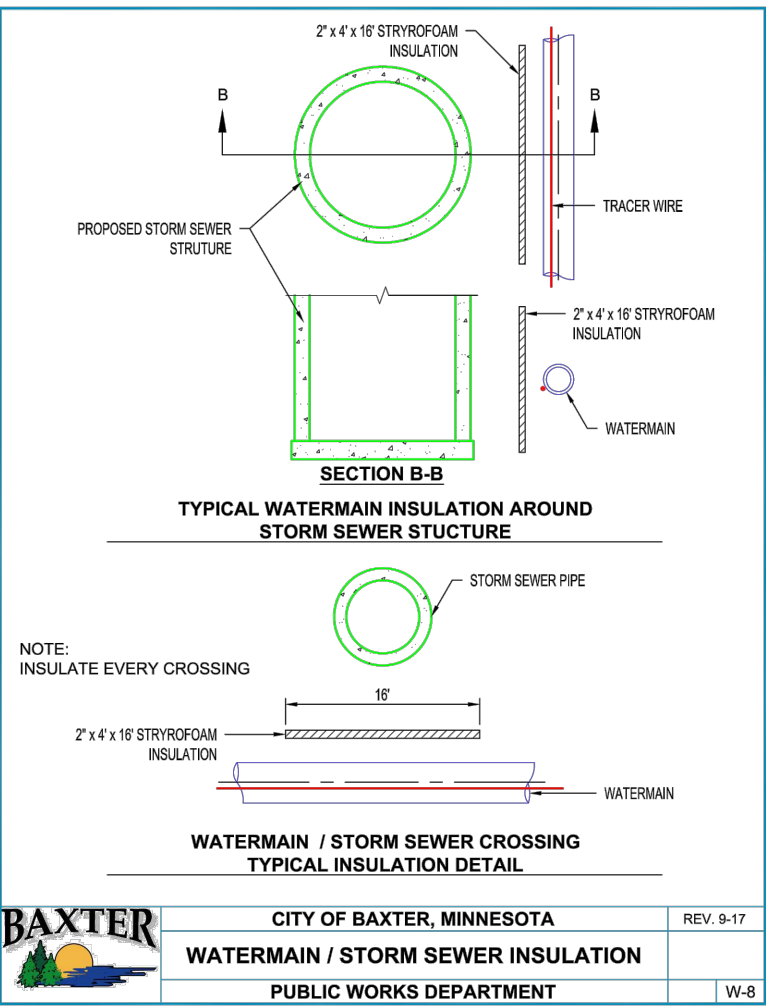
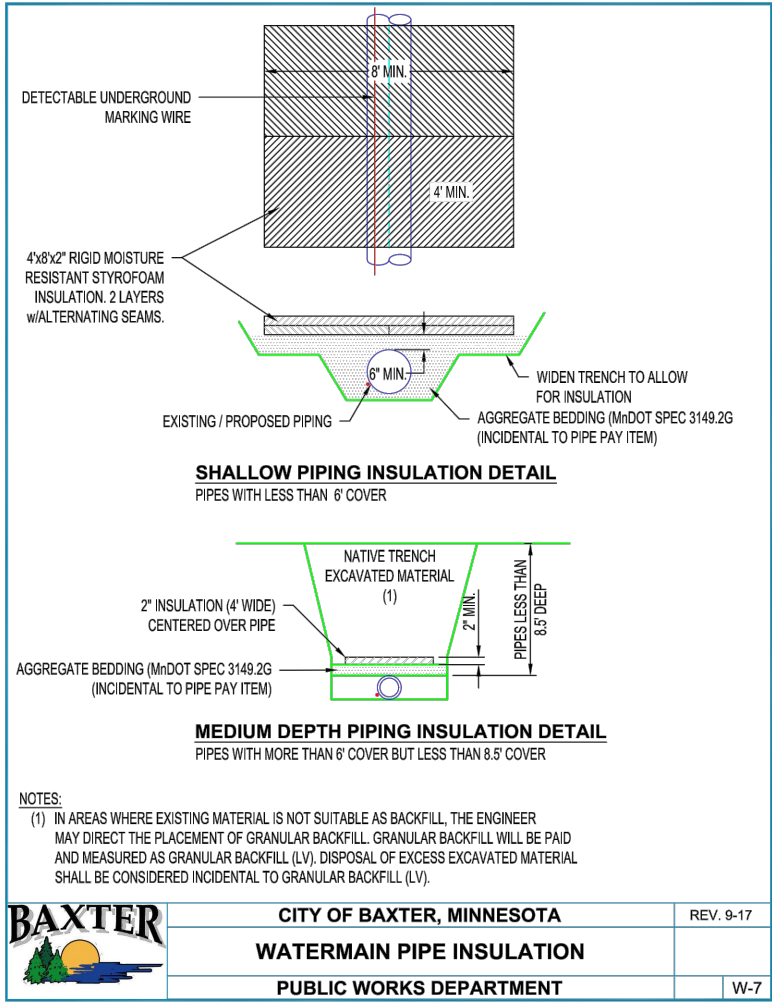
4
C605

NTS



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C605

NTS



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C605

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C605

NTS

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C605

NTS

12
C605

NTS



RYAN A+E, INC.
533 South Third Street, Suite 100
Minneapolis, MN 55415
612-492-4000 tel
612-492-3000 fax

WWW.RYANCOMPANIES.COM

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PROJECT INFORMATION

PROJECT TIMBER WOLF

BAXTER, MN

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Jared B. Olson

JARED B. OLSON

REGISTRATION NO. 42340
DATE 05/24/2024

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CHECKED BY ---

JOB NO. 701676
DATE 05/24/2024

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-2-	05/24/2024	100%-CD SET
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100% CD

DETAILS

C605



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533 South Third Street, Suite 100
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612-492-4000 tel
612-492-3000 fax

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Jared B. Olson
JARED B. OLSON

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42340	05/24/2024

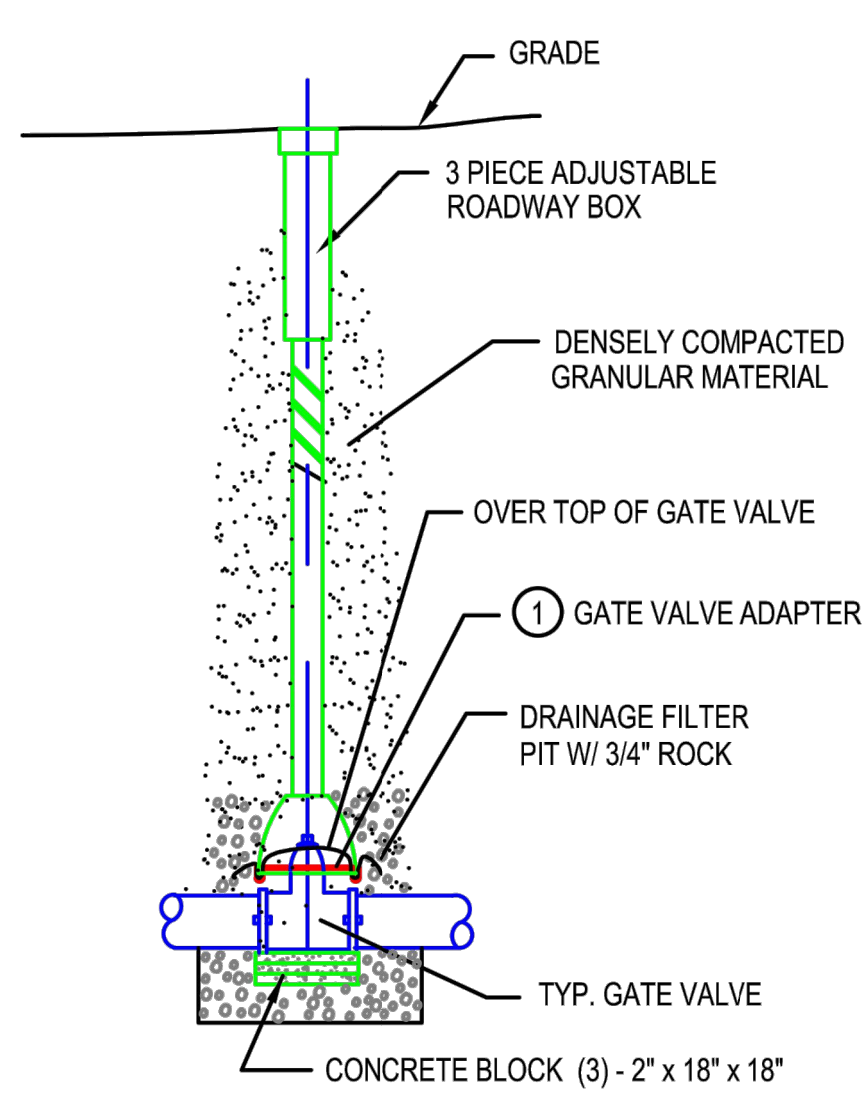
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DCS	---
JOB NO.	DATE
701676	05/24/2024

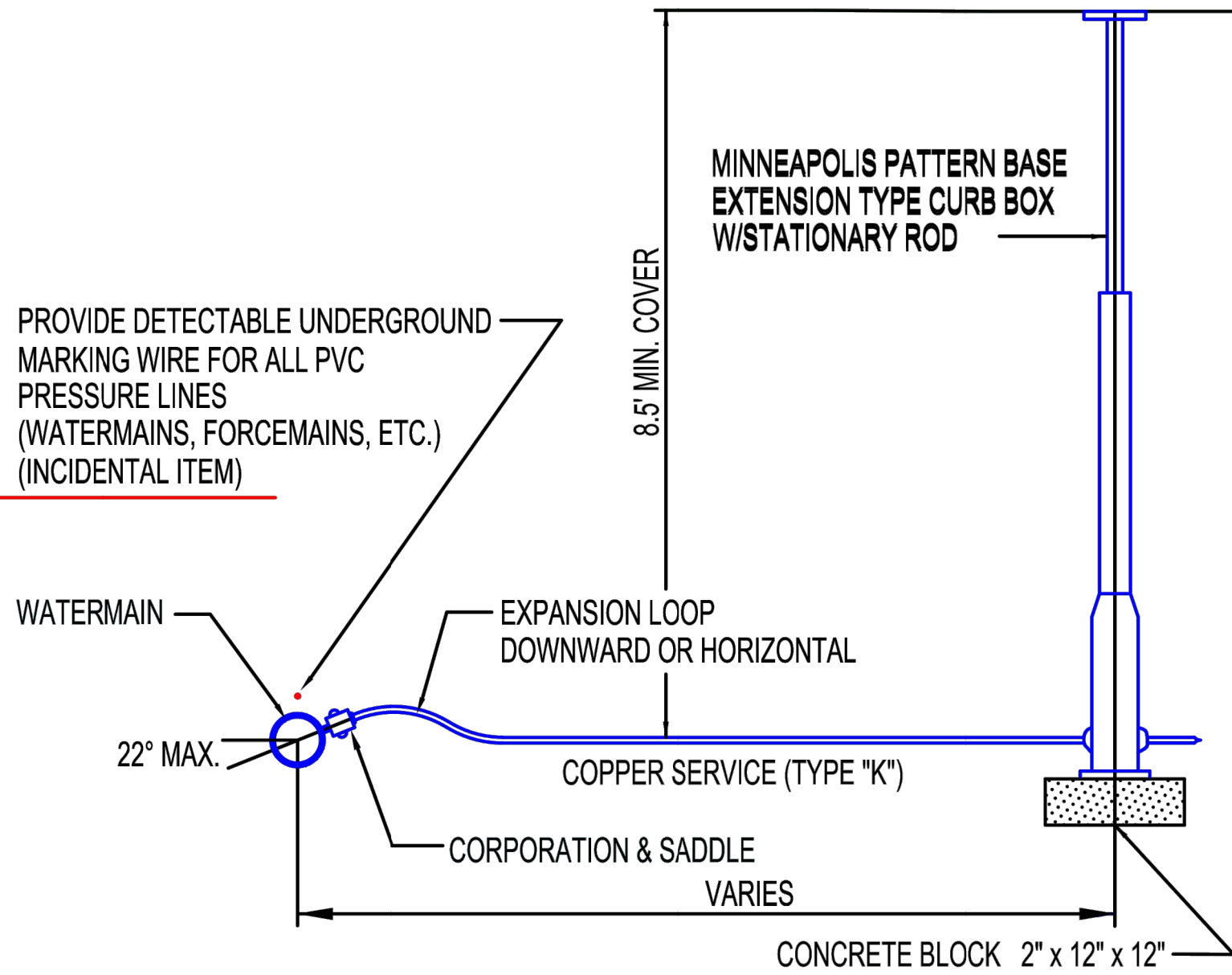
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100% CD
DETAILS

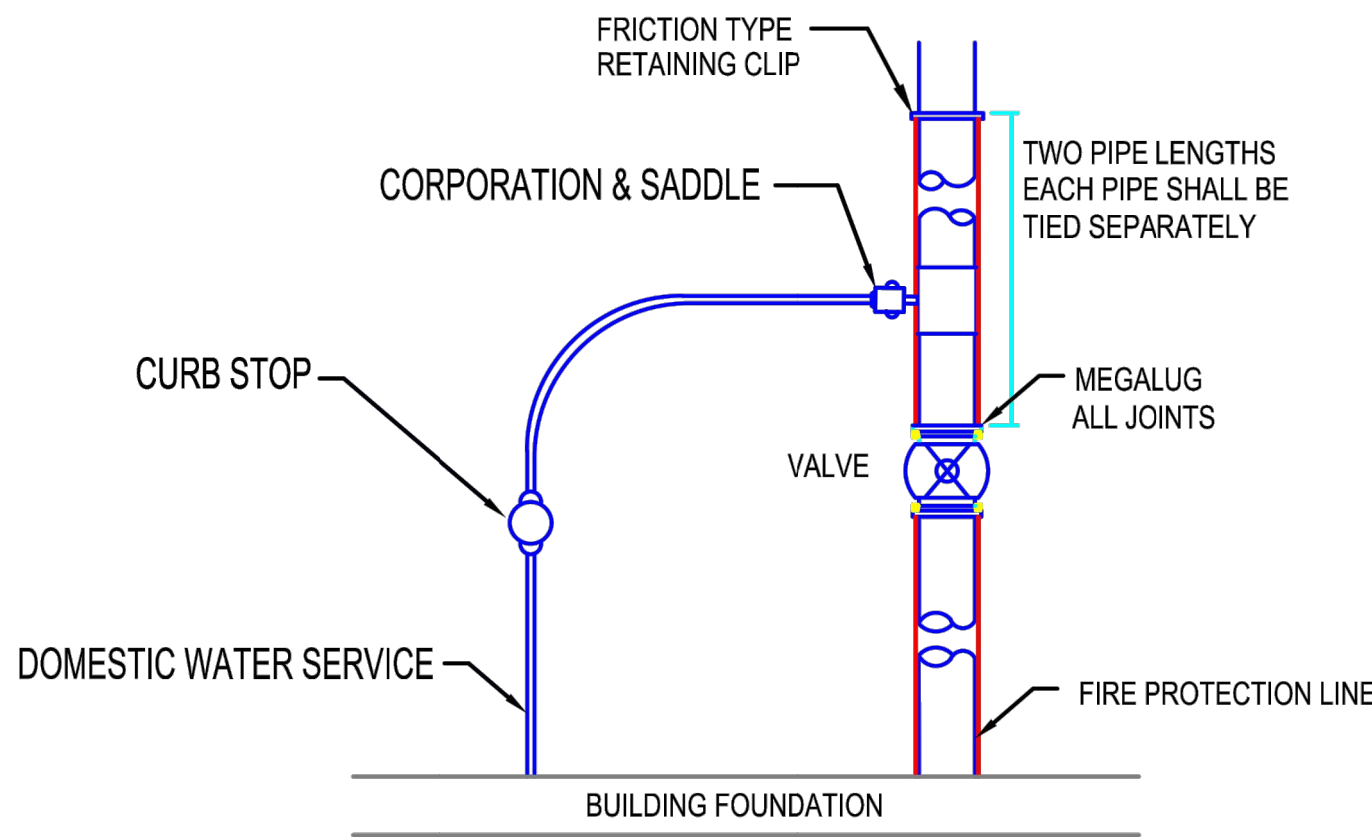
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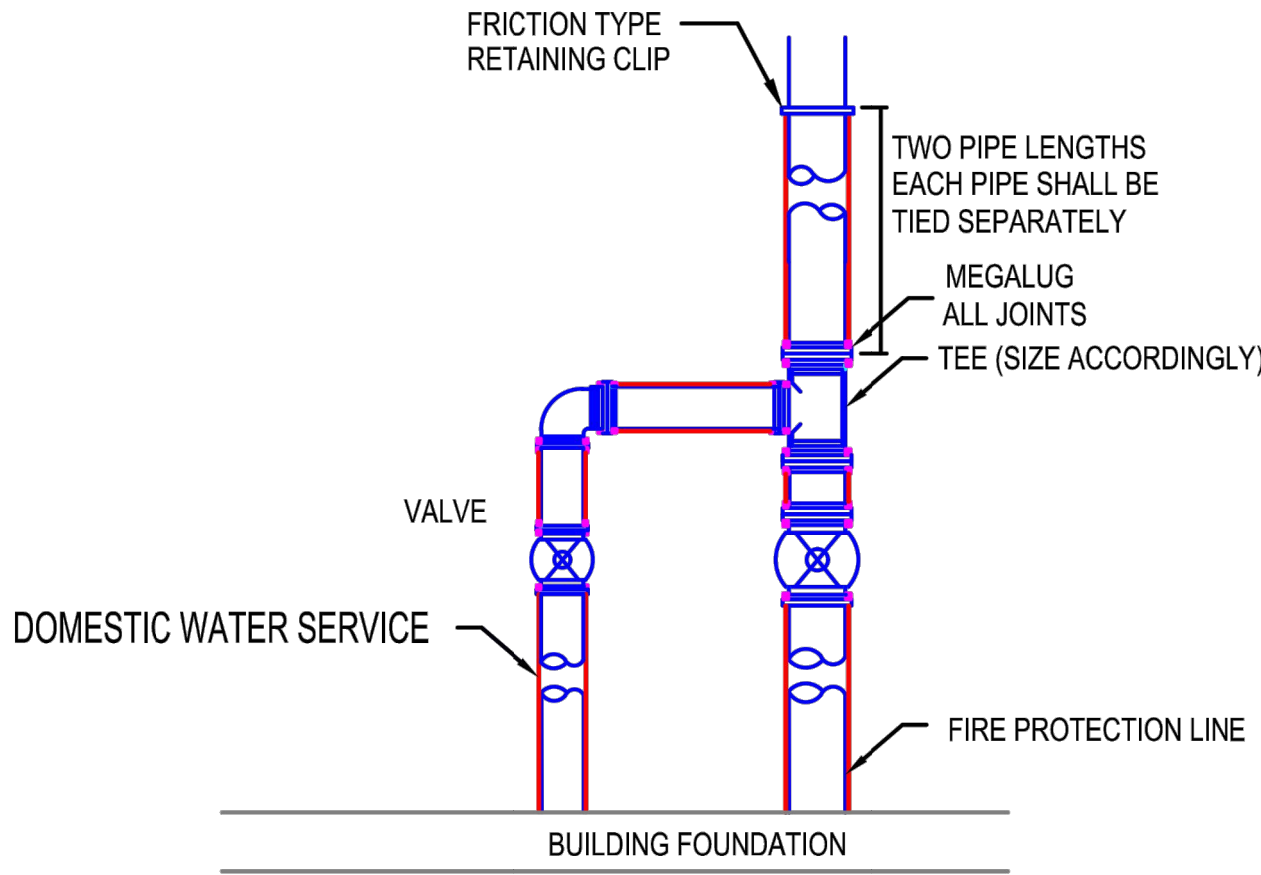
TYPICAL GATE VALVE DETAIL
NO SCALE



TYPICAL WATER SERVICE DETAIL
NO SCALE



TYPICAL VALVE DETAIL 2" OR LESS
NO SCALE



TYPICAL VALVE DETAIL 4" OR LARGER
NO SCALE

NOTES:

- ① ALL VALVE BOXES SHALL BE INSTALLED UPON THE GATE VALVE WITH THE USE OF A GATE VALVE ADAPTER AS MANUFACTURED BY ADAPTER INC. OR APPROVED EQUAL. THE GATE VALVE ADAPTER SHALL BE INCIDENTAL TO VALVE AND BOX INSTALLATION



CITY OF BAXTER, MINNESOTA
TYPICAL FIRE & WATER SERVICE
PUBLIC WORKS DEPARTMENT

REV. 9-17

W-9

1
C606

NTS



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KEY PLAN



Baxter, MN

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Name VCB

JUSTIN C. BAGGENSTOSS

REGISTRATION NO.	DATE
LA 52753	05/24/2024

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PROJ. NO.
701676

ISSUE RECORD

ISSUE #	DATE	DESCRIPTION
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100% CD

05/24/2024

LANDSCAPE
TITLE SHEET








L001

GENERAL NOTES









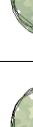








SHEET INDEX:

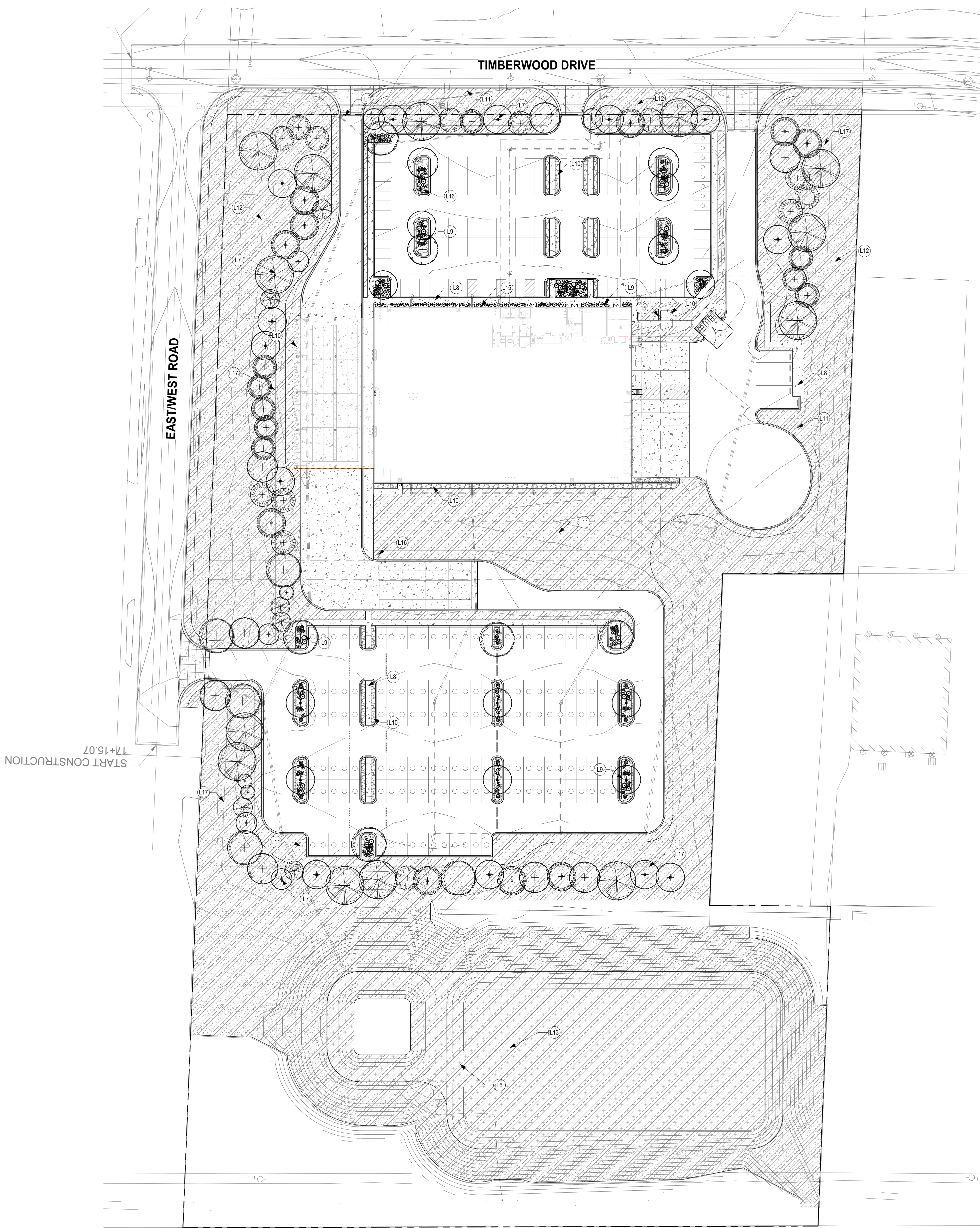
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SURFACE TREATMENT LEGEND

SURFACE TYPE	GRAPH# C/D
Concrete Drive Aprons	
Concrete Pavement	
Lawn-Low Maintenance Mix-Seeded-Hydrumuch-MN DOT #25-131 2	
Native Prairie Seed Mix-MMDOT #35-241	
Native Seed-Wet Mix-MMDOT #33-261	
Planting Areas	
Rock Mulch #1	

—PLANTING LEGEND:

SYM	COMMON NAME	SCIENTIFIC NAME
TREES		
Coniferous Tree		
	BALSAM FIR	Abies balsamea
	BALSAM FIR.1	Abies balsamea
	NORWAY SPRUCE	Picea abies
	NORWAY SPRUCE.1	Picea abies
	BLACK HILLS SPRUCE	Picea glauca densata
	BLACK HILLS SPRUCE.1	Picea glauca densata
	WHITE PINE	Pinus strobus
	WHITE PINE.1	Pinus strobus
Deciduous Tree		
	NORTHWOOD MAPLE	Acer rubrum Northwood
	NORTHWOOD MAPLE.1	Acer rubrum Northwood
	COMMON HACKBERRY	Celtis occidentalis
	COMMON HACKBERRY.1	Celtis occidentalis
	NORTHERN ACCLAIM HONEYLOCUST	Gleditsia triacanthos inermis 'Hance'
	NORTHERN ACCLAIM HONEYLOCUST.1	Gleditsia triacanthos inermis 'Hance'
	NORTHERN PIN OAK	Quercus ellipsoides
	NORTHERN PIN OAK.1	Quercus ellipsoides
Undersory Deciduous Tree		
	SPRING FLURRY SERVICEBERRY	Amelanchier lanceolata (JFS-Ash/PP 304)
	THORNLESS HAWTHORN	Crataegus crus-galli var. inermis
	PINK SPIRES CRABAPPLE	Malus Pink Spire



1 OVERALL SITE LANDSCAPE REFERENCE PLAN
L100 1" = 50'-0"

GENERAL NOTES

KEYNOTE LEGEND

- L1 MAIN ENTRY DRIVE;
L6 STORMWATER MANAGEMENT; (SEE ELEC.);
L7 PROPOSED TREES: PROVIDE MULCH RINGS AT ALL TREES NOT LOCATED IN PLANTING AREAS;
L8 SURFACE TREATMENT: CONCRETE, TYP. JOINTING PER PLANS
L9 SURFACE TREATMENT: PLANTING AREAS; SHREDDED HARDWOOD MULCH; 3" DEPTH; DRIP IRRIGATED;
L10 SURFACE TREATMENT: ROCK MULCH: BASIS OF DESIGN: 2-6" FIELD STONE W/FABRIC UNDERLAYMENT;
L11 SURFACE TREATMENT: LOW MAINTENANCE TURFGRASS; HYDROSEEDING-MNDOT MIX 25-131; IRRIGATED;
L12 SURFACE TREATMENT: NATIVE PRAIRIE MIX; SEEDED-MODIFIED MNDOT MIX #35-241;
L13 SURFACE TREATMENT: WET POND MIX; SEEDED-MODIFIED MNDOT MIX #33-261;
L15 COMMERCIAL EDGING; STEEL; 4" X 1/8"; COLOR 'BLACK';
L16 SITE LIGHTING; (SEE ELEC.);
L17 FENCING;

SURFACE TREATMENT SCHEDULE

SURFACE TYPE	GRAPHIC ID	KEYNOTE ID (SEE KEYNOTE LEGEND, LAYOUT & SURFACING PLAN)
Concrete Drive Aprons		CDA
Concrete Pavement		C
Lawn-Low Maintenance Mix-Seeded-Hydromulch-MNDOT #25-131.2		LL
Native Prairie Seed Mix-MNDOT #35-241		NP
Native Seed-Wet Mix-MNDOT #33-261		NW
Planting Areas		PA
Rock Mulch #1		R1



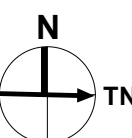
RYAN A+E, INC.
533 South Third Street, Suite 100
Minneapolis, MN 55415
612-492-4000 tel
612-492-3000 fax

WWW.RYANCOMPANIES.COM

OWNER

CONSULTANTS

KEY PLAN



0 50' 100' 150'

PROJECT INFORMATION

PROJECT TIMBER WOLF

Baxter, MN

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the state of Minnesota

Name

JUSTIN C. BAGGENSTOSS

REGISTRATION NO.

LA 52753

DATE

05/24/2024

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701676

ISSUE RECORD

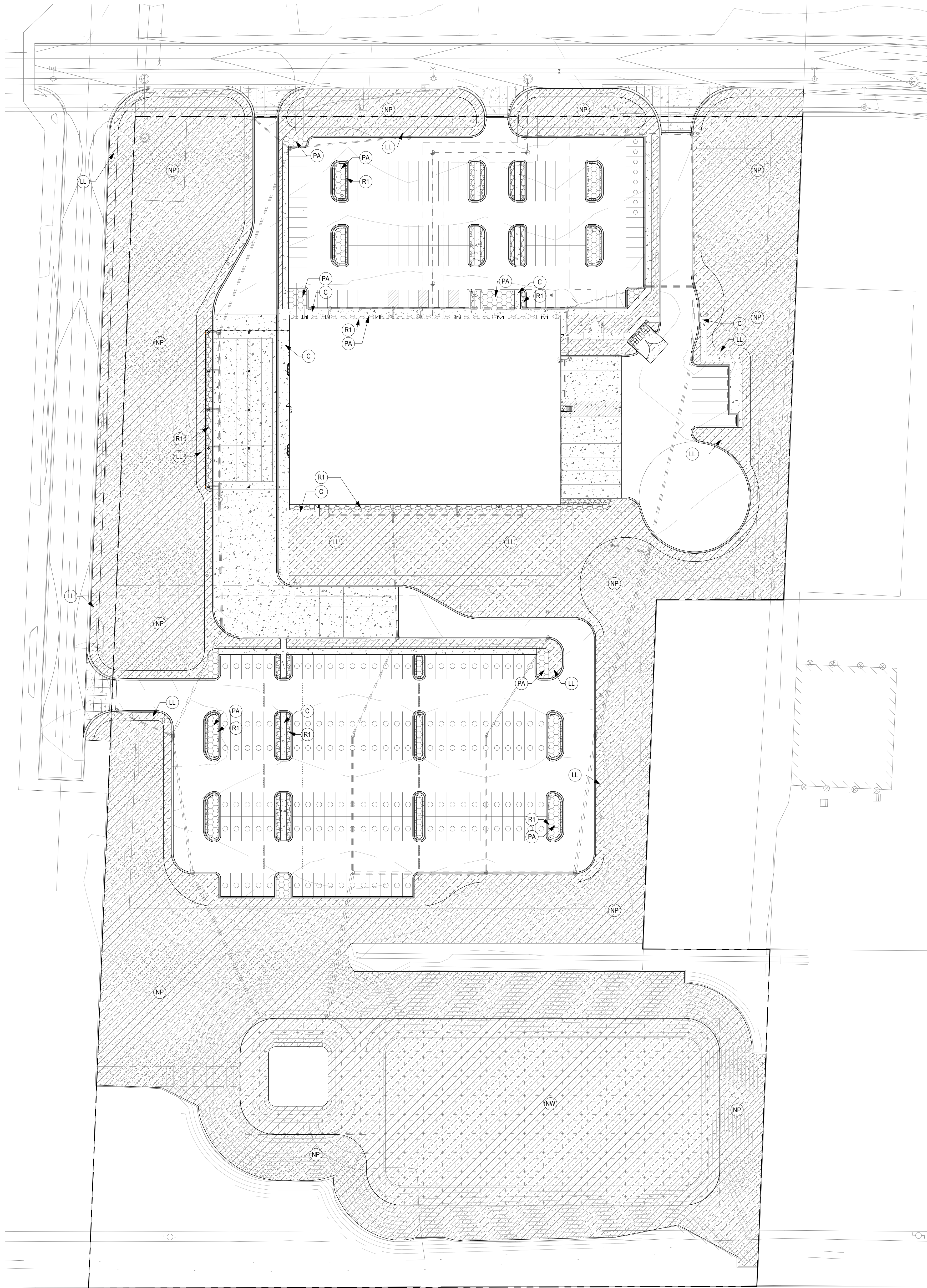
ISSUE #	DATE	DESCRIPTION
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05/24/2024

OVERALL SITE
LANDSCAPE
REFERENCE
PLAN

L100



GENERAL NOTES



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533 South Third Street, Suite 100
Minneapolis, MN 55415
612-492-4000 tel
612-492-3000 fax

WWW.RYANCOMPANIES.COM

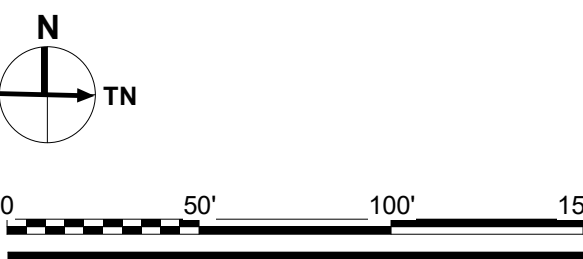
OWNER

CONSULTANTS

SURFACE TREATMENT SCHEDULE

SURFACE TYPE	GRAPHIC ID	KEYNOTE ID	AREA
Concrete Drive Aprons		CDA	5820 SF
Concrete Pavement		C	48215 SF
Lawn-Low Maintenance Mix-Seeded-Hydromulch- MNDOT #25-131.2		LL	70799 SF
Native Prairie Seed Mix-MNDOT #35-241		NP	238381 SF
Native Seed-Wet Mix-MNDOT #33-281		NW	78895 SF
Planting Areas		PA	6687 SF
Rock Mulch #1		R1	7670 SF
			456486 SF

KEY PLAN



PROJECT INFORMATION

PROJECT TIMBER
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Name

JUSTIN C. BAGGENSTOSS

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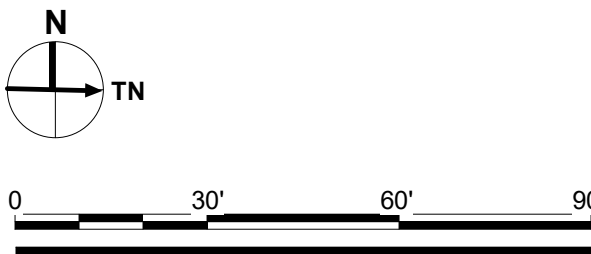
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SITE LANDSCAPE
LAYOUT &
SURFACING
PLAN

L200

1 OVERALL SITE LANDSCAPE LAYOUT & SURFACING PLAN
L200 1" = 50'-0"



PROJECT INFORMATION

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ENLARGED PLANTING PLAN

DETAIL-NORTH

L401


GENERAL NOTES

- SEE SHEET L400 FOR ADDITIONAL AND SUPPLEMENTAL PLANTING IDENTIFICATION
- ONLY SHRUBS/PERENNIALS ARE IDENTIFIED ON THIS PLAN FOR GRAPHIC CLARITY

PLANTING NOTES

- REFER TO CIVIL GRADING PLAN FOR PROPOSED GRADING AND EROSION CONTROL INFORMATION.
- REFER TO L-500 FOR LANDSCAPE NOTES AND DETAILS.
- THE LANDSCAPE PLANT SCHEDULE IS FOR THE CONVENIENCE TO THE LANDSCAPE SUBCONTRACTOR. THE LANDSCAPE SUBCONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PLANT COUNTS ON PLAN.
- THIS PLAN ILLUSTRATES THE MINIMUM PLANTINGS TO BE PROVIDED FOR CITY APPROVAL. THE OWNER RETAINS THE RIGHT TO INCREASE PLANT SIZES / QUANTITIES.
- ALL TREES AND SHRUBS SHALL RECEIVE 4" OF SHREDDED HARDWOOD MULCH.
- ALL OPEN SPACE AREAS SHALL RECEIVE PLANT MATERIALS AND IRRIGATION. EXCLUDED FROM IRRIGATION AREAS IS THE BUILDING FOOTPRINT, HARDSCAPE AREAS, ROCK MULCH MAINTENANCE STRIPS AND AREAS BELOW THE NORMAL WATER LEVEL IN STORMWATER BMPs. AREAS RECEIVING NATIVE SEED SHALL BE ON A DEDICATED IRRIGATION ZONE.

PLANT SCHEDULE

SYM	QTY	ID	COMMON NAME	SCIENTIFIC NAME	PLANTING SIZE	MATURE HEIGHT/WIDTH	COMMENTS
TREES							
Coniferous Tree							
	2	AB	BALSAM FIR	Abies balsamea	6' B&B	50/30'	PLANT PER PLAN
	8	AB	BALSAM FIR.1	Abies balsamea	4' B&B	50/30'	PLANT PER PLAN
	1	PA	NORWAY SPRUCE	Picea abies	6' B&B	60/25'	PLANT PER PLAN
	5	PA	NORWAY SPRUCE.1	Picea abies	4' B&B	60/25'	PLANT PER PLAN
	1	PG	BLACK HILLS SPRUCE	Picea glauca densata	6' B&B	35/22'	PLANT PER PLAN
	6	PG	BLACK HILLS SPRUCE.1	Picea glauca densata	4' B&B	35/22'	PLANT PER PLAN
	4	PS	WHITE PINE	Pinus strobus	6' B&B	50/30'	PLANT PER PLAN
	5	PS	WHITE PINE.1	Pinus strobus	4' B&B	50/30'	PLANT PER PLAN
32							
Deciduous Tree							
	11	AR	NORTHWOOD MAPLE	Acer rubrum 'Northwood'	3' B&B	50/35'	PLANT PER PLAN
	12	AR	NORTHWOOD MAPLE.1	Acer rubrum 'Northwood'	2' B&B	50/35'	PLANT PER PLAN
	5	CO	COMMON HACKBERRY	Celtis occidentalis	3' B&B	55/40'	PLANT PER PLAN
	5	CO	COMMON HACKBERRY.1	Celtis occidentalis	2' B&B	55/40'	PLANT PER PLAN
	4	GT	NORTHERN ACCLAIM HONEYLOCUST	Gleditsia triacanthos inermis 'Harve'	2.5' B&B	40/30'	PLANT PER PLAN
	8	GT	NORTHERN ACCLAIM HONEYLOCUST.1	Gleditsia triacanthos inermis 'Harve'	2' B&B	40/30'	PLANT PER PLAN
	5	QE	NORTHERN PIN OAK	Quercus ellipsoidalis	2.5' B&B	50/40'	PLANT PER PLAN
	8	QE	NORTHERN PIN OAK.1	Quercus ellipsoidalis	2' B&B	50/40'	PLANT PER PLAN
58							
Undersory Deciduous Tree							
	6	AL	SPRING FLURRY SERVICEBERRY	Amelanchier lancea/JFS-4/b(PP15,30 4)	2' B&B	30/20'	PLANT PER PLAN
	6	CC	THORNLESS HAWTHORN	Crataegus crus-galli var. inermis	2' B&B	20/20'	PLANT PER PLAN
	3	MP	PINK SPIRES CRABAPPLE	Malus 'Pink Spires'	2' B&B	15/12'	PLANT PER PLAN
15							
SHRUBS							
Coniferous Shrub							
	15	Cp	KINGS GOLD FALSE CYPRESS	Chamaecyparis pisifera 'Kings Gold'	#5 CONT.	4'x4'	
	15	Jc	SEA GREEN JUNPER	Juniperus chinensis 'Sea Green'	#5 CONT.	5'x5'	
30							
Deciduous Shrub							
	22	Cd	NEON BURST DOGWOOD	Cornus alba 'ByBoughen'(PP27,956)	#5 CONT.	5'x4'	
	57	Cs	ARTIC FIRE DOGWOOD	Cornus stolonifera 'Farrow'(PP18,523)	#5 CONT.	5'x4'	
	18	Haa	ANABELLE SMOOTH HYDRANGEA	Hydrangea arborescens 'Annabelle'	#3 CONT.	5'x5'	
	20	Ss	SEM FALSESPIREA	Sorbaria sorbifolia 'Sem'(PP16,336)	#5 CONT.	3'x3'	
	52	Sd	ANTHONY WATERER SPIRAEA	Spiraea x bumalda 'Anthony Waterer'	#5 CONT.	3'x4'	
169							
PERENNIALS/VINES/GRASSES							
Perennials							
	279	Cxa	KARL FOERSTER FEATHER REED GRASS	Calamagrostis x acutiflora 'Karl Foerster'	#5 CONT.	48/30"	
279							

1

ENLARGED PLANTING PLAN DETAIL-NORTH

1" = 30'-0"

2

ENLARGED PLANTING PLAN DETAIL-SOUTH

1" = 30'-0"

