

# PROJECT TIMBER WOLF

BAXTER, MN

100% CD

PROJECT LOCATION

## PROJECT CONTACTS

DEVELOPER

RYAN A+E, INC.  
533 SOUTH THIRD STREET, SUITE 100  
MINNEAPOLIS, MN 55415  
EDDY WOLF  
952-807-2120  
eddy.wolf@ryancompanies.com

CIVIL ENGINEER

RYAN A+E, INC.  
533 SOUTH THIRD STREET, SUITE 100  
MINNEAPOLIS, MN 55415  
JARED OLSON  
612-492-4447  
jared.olson@ryancompanies.com

GENERAL CONTRACTOR

RYAN COMPANIES US, INC.  
533 SOUTH THIRD STREET, SUITE 100  
MINNEAPOLIS, MN 55415  
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jordan.dalluge@ryancompanies.com

LANDSCAPE ARCHITECT

RYAN A+E, INC.  
533 SOUTH THIRD STREET, SUITE 100  
MINNEAPOLIS, MN 55415  
JUSTIN BAGGENSTOSS  
952-797-6447  
justin.baggenstoss@ryancompanies.com

ARCHITECT

CESO, INC.  
175 MONTROSE WEST AVE., SUITE 400  
AKRON, OH 44321  
JANINE NUNFIO  
479-390-0544  
janine.nunfio@cescoinc.com

SURVEYOR

WESTWOOD  
12701 WHITEWATER DR, SUITE 300  
MINNETONKA, MN 55343  
CHRIS AMBOURN  
952-844-7693  
chris.ambourn@westwoodps.com

STRUCTURAL

WALLACE DESIGN COLLECTIVE  
123 N MARTIN LUTHER KING JR BLVD  
TULSA, OK 74103  
MATT GEBHARDT  
918-584-5858  
matt.gehardt@wallacedesign.com

MECHANICAL

HP ENGINEERING  
5504 W PINNACLE POINT DR, SUITE 200  
ROGERS, AR 72758  
BRITTNEY PEACE  
479-899-6370  
bpeace@hpengineeringinc.com

Existing elevations and ground contours shown hereon are based on the NAVD88 vertical datum relative to Benchmark: WHIPPLE, which has an elevation of 1209.62 feet.

Bearings of property lines shown hereon are based on the Hennepin coordinate system, (NAD 83 - 11 Control Adjustment)



VICINITY MAP  
NOT TO SCALE

## CITY OFFICIALS

MAYOR:	DARRELL OLSON
CITY COUNCIL:	MARK CROSS
	CONNIE LYSCIO
	ZACH TABATT
	JEFF PHILLIPS
UTILITIES COMMISSION	ROCK YLINIEMI - CHAIR
	JACK CHRISTOFFERSON
	DOUGLAS STENBERG
	JOHN BRENNY
CITY ADMINISTRATOR	BRADLEY CHAPULIS
PUBLIC WORKS DIRECTOR / CITY ENGINEER	TREVOR WALTER

## APPROVALS

RECOMMENDED FOR APPROVAL	CITY CONSULTING ENGINEER	DATE
RECOMMENDED FOR APPROVAL	PUBLIC WORKS DIRECTOR / CITY ENGINEER	DATE

## SHEET INDEX

●		C001	COVER SHEET
●		C100	SURVEY
●		C101	EXISTING CONDITIONS & REMOVALS PLAN
●		C102	EXISTING CONDITIONS & REMOVALS PLAN
●		C200	EROSION CONTROL PLAN
●		C201	EROSION CONTROL PLAN
●		C300	SITE PLAN
●		C301	SITE PLAN
●		C400	GRADING PLAN
●		C401	GRADING PLAN
●		C402	PAVING PLAN
●		C403	PAVING PLAN
●		C404	PAVING PLAN
●		C405	PAVING PLAN
●		C500	UTILITY PLAN
●		C501	UTILITY PLAN
●		C600	DETAILS
●		C601	DETAILS
●		C602	DETAILS
●		C603	DETAILS
●		C604	DETAILS
●		C605	DETAILS
●		C606	DETAILS
●		C607	DETAILS
●		C608	DETAILS
●		L001	LANDSCAPE TITLE SHEET
●		L100	OVERALL SITE LANDSCAPE REFERENCE PLAN
●		L200	SITE LANDSCAPE LAYOUT & SURFACING PLAN
●		L400	OVERALL SITE LANDSCAPE TREE PLANTING PLAN
●		L401	ENLARGED PLANTING PLAN DETAIL-NORTH
●		L500	LANDSCAPE DETAILS

### DRAWING INDEX LEGEND

○ - FILLED CIRCLE INDICATES DRAWING INCLUDED WITHIN THIS ISSUE  
X/XX/20XX MOST RECENT REVISION NUMBER  
CX MOST RECENT ISSUE OR REVISION DATE

○ - X/XX/20XX CX SHEET TITLE



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Minneapolis, MN 55415  
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OWNER

CONSULTANTS

PROJECT INFORMATION

## PROJECT TIMBER WOLF

BAXTER, MN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

JARED B. OLSON

REGISTRATION NO. DATE  
42340 06/18/2024

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DRAWN BY CHECKED BY  
DCS ---  
JOB NO. DATE  
701676 06/18/2024

ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION
1	05/07/2024	90% CD SET
2	05/24/2024	100% CD SET
3	06/18/2024	CITY RESUBMITTAL

100% CD

COVER SHEET

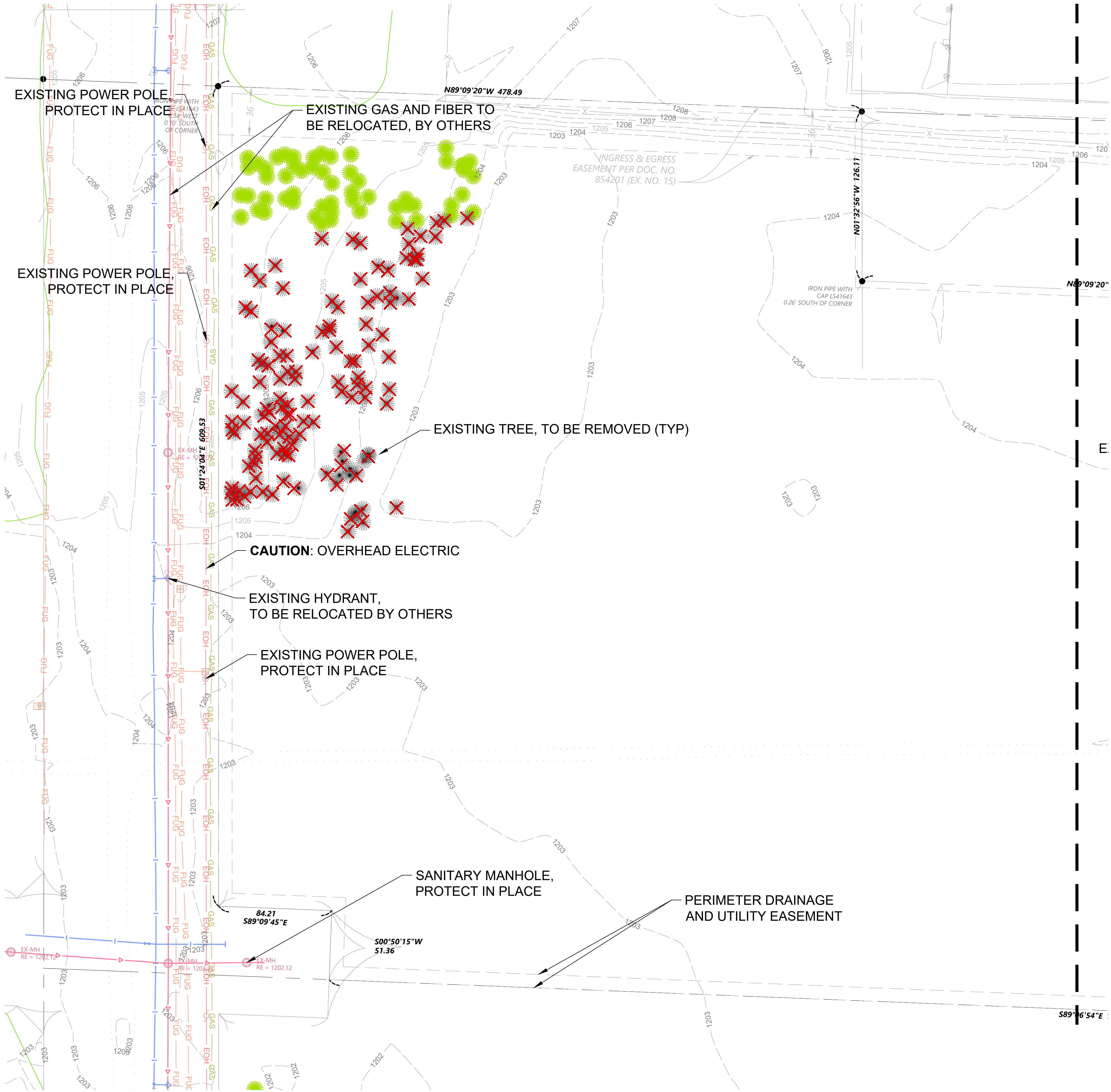
C001



# C100

PROJECT NUMBER: 0052022 | DATE: 04/15/2024

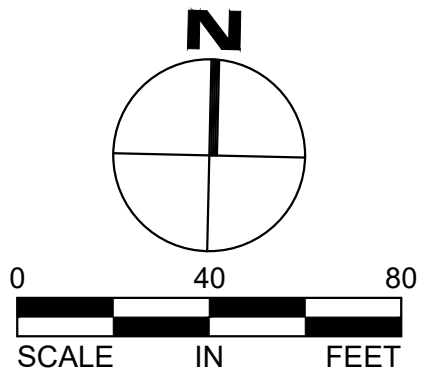




- EXISTING CONDITIONS NOTES**
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE COMMENCEMENT OF REMOVALS AND SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
  - ALL EXISTING UTILITY LOCATIONS SHOWN ARE APPROXIMATE. CONTACT "GOPHER STATE ONE CALL" (651-454-0002 OR 1-800-252-1166 OR 811) FOR UTILITY LOCATIONS, 48 HOURS PRIOR TO EXCAVATION.
  - ALL EROSION CONTROL MEASURES TO BE INSTALLED PRIOR TO REMOVALS.
  - CONTRACTOR TO REMOVE/RELOCATE EXISTING PRIVATE UTILITIES AS NECESSARY. CONTRACTOR TO COORDINATE ACTIVITIES WITH UTILITY COMPANIES.
  - CONTRACTOR IS RESPONSIBLE FOR ALL REMOVALS NOTED ON PLANS. ALL PERMITS, APPLICATIONS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
  - CONTRACTOR IS RESPONSIBLE FOR PROTECTING, OR REMOVING AND REINSTALLING ALL FENCES, SIGNS, AND OTHER MISCELLANEOUS ITEMS. SERVICE MUST BE MAINTAINED THROUGHOUT CONSTRUCTION. TEMPORARY OR PERMANENT RELOCATION OF ABOVE ITEMS MAY BE NECESSARY AND SHALL BE COORDINATED WITH THE APPROPRIATE PARTY. ALL WORK REQUIRED TO COMPLETE THE ABOVE SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
  - CARE MUST BE TAKEN DURING CONSTRUCTION AND EXCAVATION TO PROTECT ANY SURVEY MONUMENTS AND/OR PROPERTY IRONS.
  - EXISTING PAVEMENT WITHIN RIGHT-OF-WAY SHALL BE SAWCUT IN ACCORDANCE WITH CITY OF BAXTER REQUIREMENTS.
  - CONTRACTOR SHALL REMOVE ALL SITE SURFACE FEATURES WITHIN REMOVAL LIMITS UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO CLEAR AND GRUB EXISTING VEGETATION WITHIN CONSTRUCTION LIMITS UNLESS OTHERWISE NOTED. STRIP TOPSOIL, AND STOCKPILE ON-SITE. REFER TO EROSION CONTROL PLAN, GRADING PLAN AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) FOR SEDIMENT AND EROSION CONTROL REQUIREMENTS.
  - TREE PROTECTION FENCING SHALL BE INSTALLED AT THE DRIP LINE OF TREES TO REMAIN WITHIN THE LIMITS OF DISTURBANCE PRIOR TO THE START OF CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT.
  - ALL MATERIAL IDENTIFIED FOR REMOVAL SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH STATE AND LOCAL LAWS.

**LEGEND:**

REMOVAL  
X  
EACH



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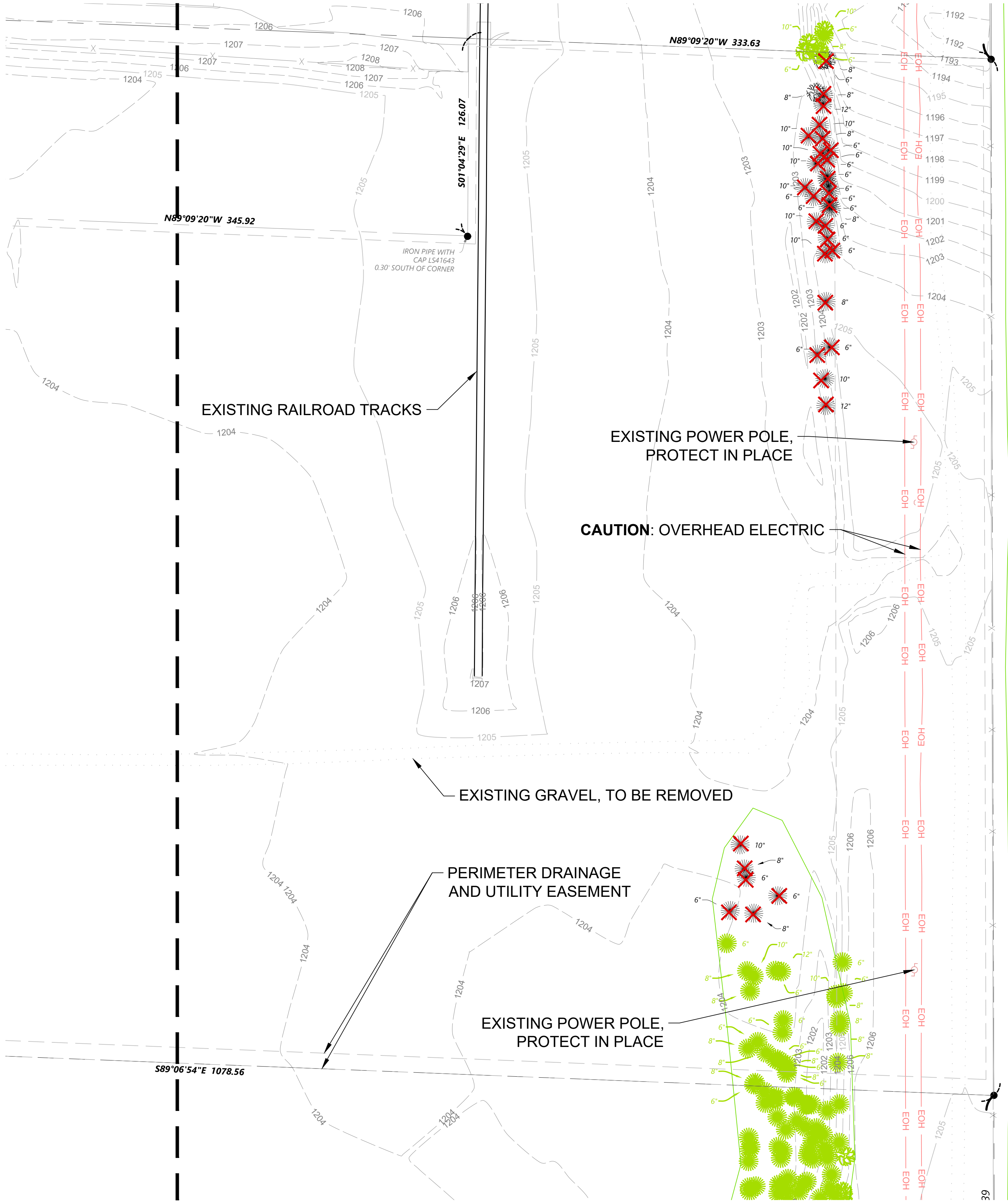
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### 100% CD

## EXISTING CONDITIONS & REMOVALS PLAN

# C101





EXISTING CONDITIONS NOTES

- CONTRACTOR SHALL FIELD VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES AND TOPOGRAPHIC FEATURES PRIOR TO THE COMMENCEMENT OF REMOVALS AND SITE GRADING. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF DISCREPANCIES OR VARIATIONS FROM THE PLANS.
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LEGEND:

REMOVAL  
X  
EACH



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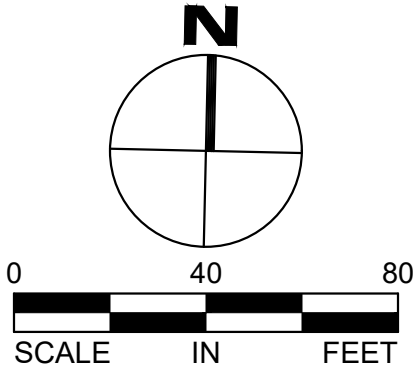
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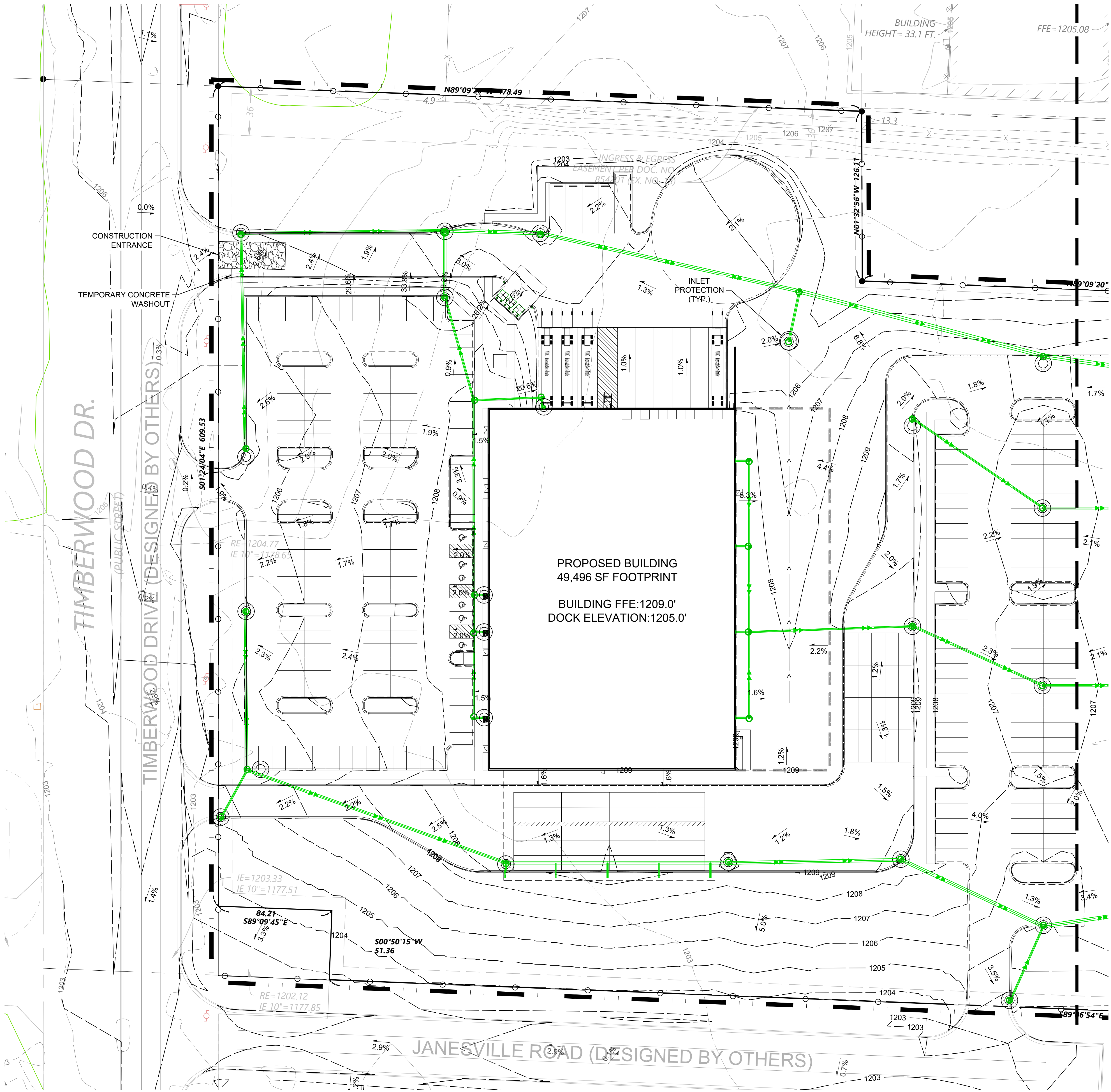
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EXISTING CONDITIONS & REMOVALS PLAN

C102







EROSION CONTROL NOTES

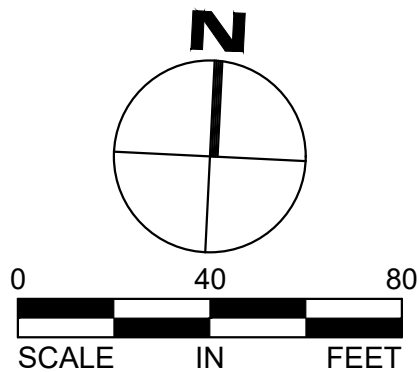
1. ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. SEE CONSTRUCTION SEQUENCING.
2. THE GRADING CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
3. INITIATED IMMEDIATELY AND COMPLETED WITHIN 7 DAYS OF SITE GRADING OR INACTIVITY, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, EROSION CONTROL BLANKET OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
4. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY, WATERSHED, COUNTY AND STATE PERMITS AS REQUIRED.
5. THE GRADING CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES, INCLUDING THE REMOVAL OF ACCUMULATED SILT IN FRONT OF SILT FENCES DURING THE DURATION OF CONSTRUCTION.
6. ANY EXCESS SEDIMENT IN PROPOSED BASINS SHALL BE REMOVED BY THE GRADING CONTRACTOR.
7. REMOVE ALL EROSION CONTROL MEASURES AFTER VEGETATION IS ESTABLISHED.
8. THE GRADING CONTRACTOR SHALL REMOVE ALL SOILS AND SEDIMENT TRACKED ONTO EXISTING STREETS AND PAVED AREAS WITHIN 24 HOURS.
9. DUST MUST BE ADEQUATELY CONTROLLED. IF BLOWING DUST BECOMES A NUISANCE, THE GRADING CONTRACTOR SHALL APPLY WATER FROM A TANK TRUCK TO ALL CONSTRUCTION AREAS.
10. CONTRACTOR TO CLEAN OUT INFILTRATION BASINS, PONDS, CATCH BASINS, AND STORMSEWER SYSTEM AT THE END OF THE PROJECT.
11. ESTIMATED QUANTITIES REFER TO INITIAL INSTALLED QUANTITIES. CONTRACTOR IS RESPONSIBLE TO MAINTAIN AND/OR REPLACE BMPS AS NEEDED.
12. STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED AND MAINTAINED. SWEEP ADJACENT STREETS IN ACCORDANCE WITH CITY REQUIREMENTS.
13. ON SLOPES 3:1 OR GREATER, MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES.
14. ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
15. TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS.
16. FINAL STABILIZATION REQUIRES THAT ALL SOIL DISTURBING ACTIVITIES HAVE BEEN COMPLETED AND THAT DISTURBED AREAS ARE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH 70% OF THE EXPECTED FINAL DENSITY, AND THAT ALL PERMANENT PAVEMENTS HAVE BEEN INSTALLED. ALL TEMPORARY BMPS SHALL BE REMOVED, DITCHES STABILIZED, AND SEDIMENT SHALL BE REMOVED FROM PERMANENT CONVEYANCES AND SEDIMENTATION BASINS IN ORDER TO RETURN THE POND TO DESIGN CAPACITY.
17. THE CITY HAS REQUIREMENTS FOR INSPECTIONS VERIFYING PROPER CONSTRUCTION OF THE BMPS. CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS.
18. REFER TO SWPPP FOR ADDITIONAL EROSION CONTROL REQUIREMENTS.
19. MAINTAIN COPY OF SWPPP ON SITE PER REQUIREMENTS OF THE NPDES STORMWATER CONSTRUCTION PERMIT FOR CONSTRUCTION ACTIVITIES.
20. INFILTRATION AREAS SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES TO AVOID COMPACTION OF SOILS. IT IS RECOMMENDED THIS AREA BE FENCED OFF AND NOT UTILIZED FOR CONSTRUCTION STAGING, STOCKPILING, OR ANY OTHER CONSTRUCTION RELATED ACTIVITY.

ESTIMATED QUANTITIES

ITEM DESCRIPTION	UNIT	QUANTITY
SILT FENCE	LF	5,577
ROCK CONSTRUCTION ENTRANCE	EA	1
INLET PROTECTION	EA	27
EROSION CONTROL BLANKET	SY	8,811
FLEXMAT	SY	70

LEGEND:

EXISTING	PROPOSED	MAJOR CONTOUR
830	830	MINOR CONTOUR
831	831	HIGH WATER LEVEL
		STORM SEWER PIPE
		SOLID DRAINTILE
		PERFORATED DRAINTILE
		STORM INLET
		STORM MANHOLE
		FLARED END SECTION
		STORM CLEANOUT
		STORM FITTINGS
		ONE-POINT PERCENT GRADE
		TWO-POINT PERCENT GRADE
		SLOPE RATIO
		CONSTRUCTION LIMITS
		SILT FENCE
		ROCK CONSTRUCTION ENTRANCE
		INLET PROTECTION
		EROSION CONTROL BLANKET
		FLEXMAT (SEE C603, DETAIL 6)



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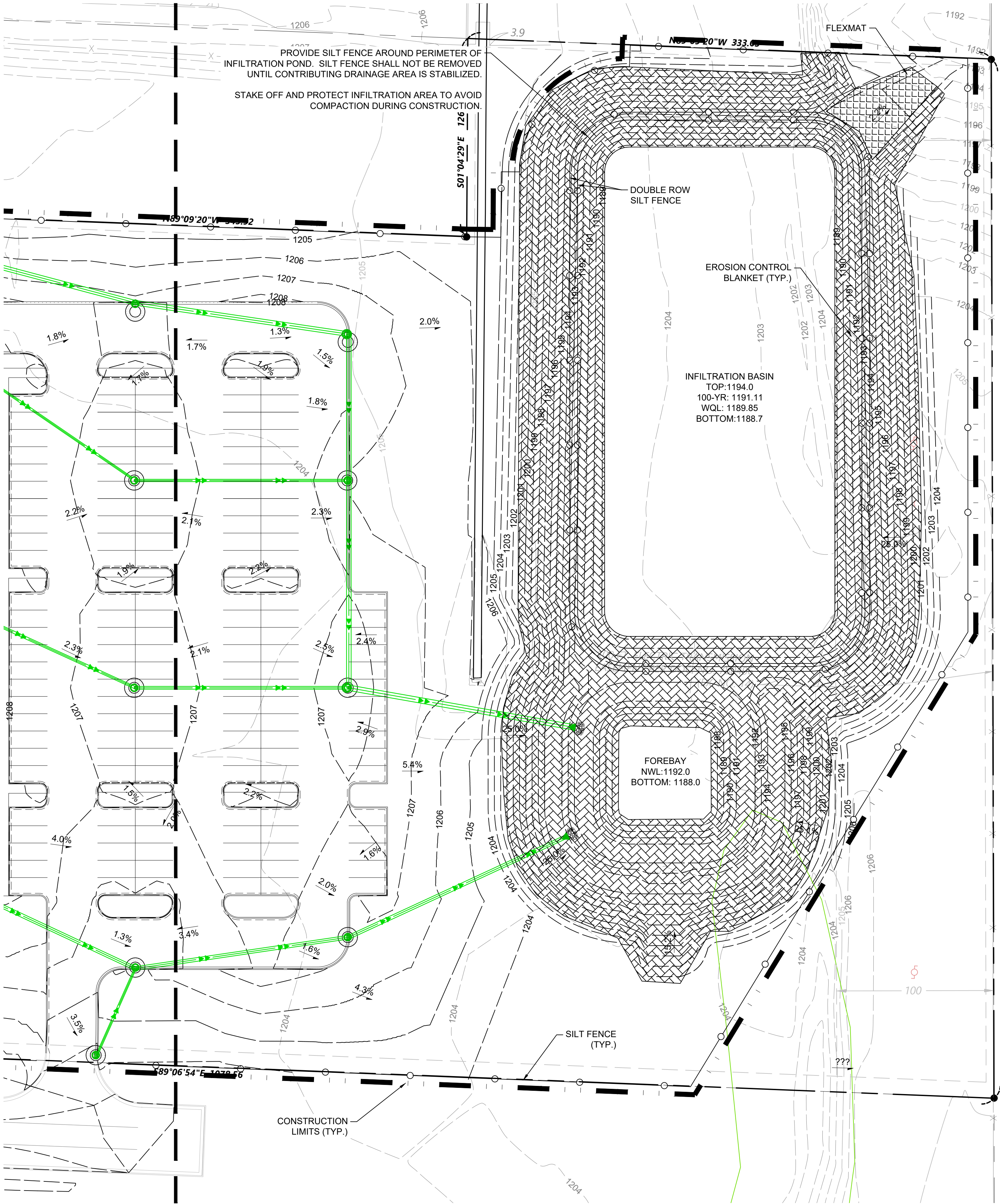
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100% CD

EROSION CONTROL PLAN

C200





N07°32'36"W 661.76

## EROSION CONTROL NOTES

1. ALL PERIMETER SILT FENCE AND ROCK CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO CONSTRUCTION. SEE CONSTRUCTION SEQUENCING.
2. THE GRADING CONTRACTOR SHALL INSTALL CATCH BASIN EROSION CONTROL MEASURES.
3. INITIATED IMMEDIATELY AND COMPLETED WITHIN 7 DAYS OF SITE GRADING OR INACTIVITY, ALL DISTURBED AREAS SHALL BE STABILIZED WITH SEED, SOD, EROSION CONTROL BLANKET OR ROCK BASE. REFER TO LANDSCAPE PLANS FOR MATERIALS.
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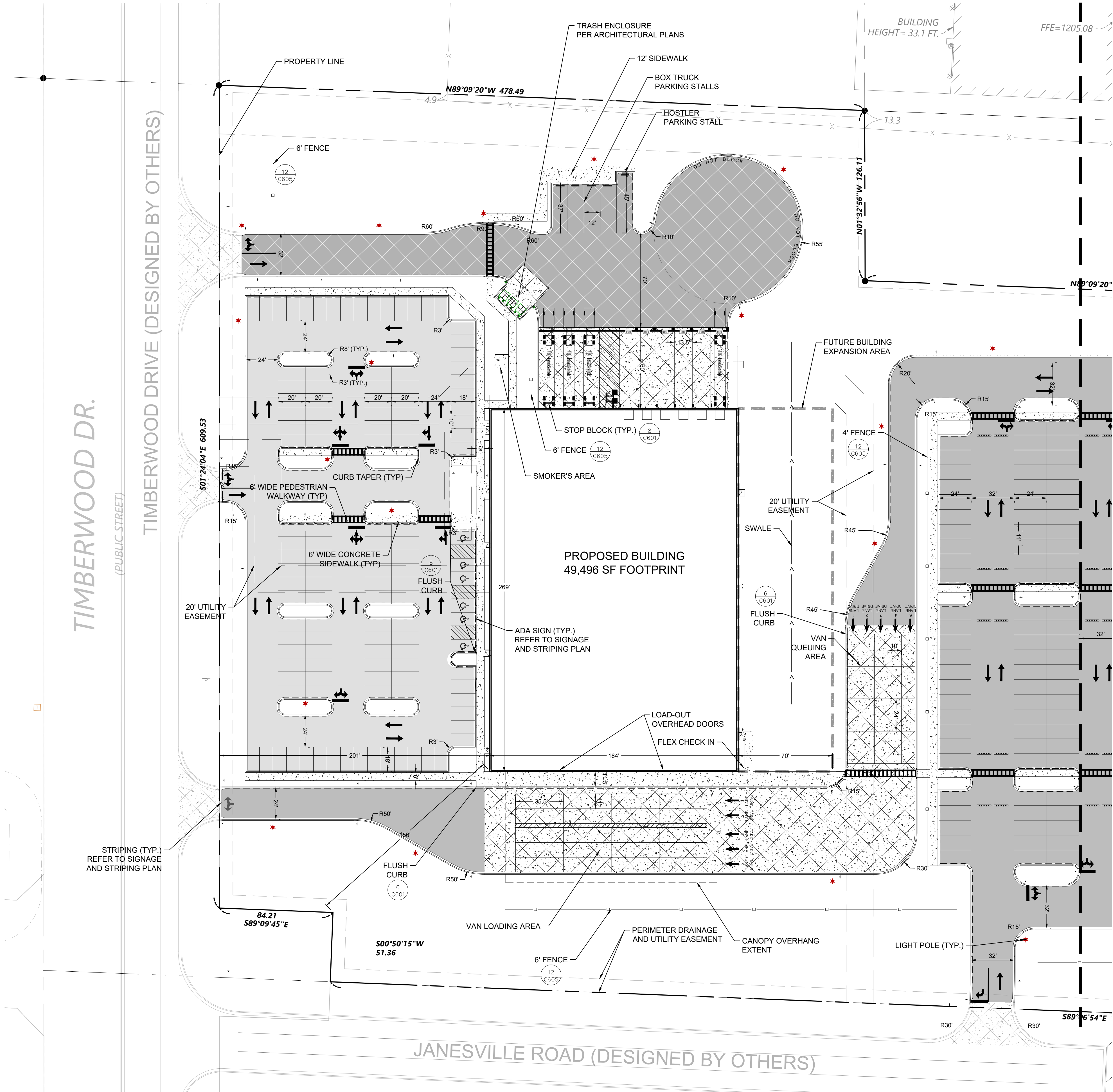
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3	06/18/2024	CITY RESUBMITTAL

100% CD

## EROSION CONTROL PLAN

C201





SITE NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING CONDITIONS. THIS WOULD INCLUDE ALL EXISTING UTILITIES AND TOPOGRAPHIC FEATURES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- 2. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, FACE OF BUILDING, EDGE OF PAVEMENT, OR TO PROPERTY LINE, UNLESS OTHERWISE NOTED.
- 3. ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE CIVIL DETAILS AND STATE/LOCAL JURISDICTION REQUIREMENTS.
- 4. ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
- 5. TYPICAL FULL SIZED PARKING STALL IS 10.0' X 20.0' UNLESS OTHERWISE NOTED.
- 6. ALL RADII ARE TO GUTTER LINE OR PAVEMENT EDGE UNLESS OTHERWISE NOTED.
- 7. ALL CONCRETE CURBS AND GUTTER RADII SHALL BE 5.0' UNLESS OTHERWISE NOTED.
- 8. ALL CURB TERMINI TO HAVE A 3.0' TAPER UNLESS OTHERWISE NOTED.
- 9. BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS. BITUMINOUS IMPREGNATED FIBER BOARD SHALL NOT BE PLACED AT PEDESTRIAN RAMPS.
- 10. SEE ELECTRICAL PLANS FOR SITE LIGHTING DESIGN.
- 11. SIGNAGE AND STRIPING BY SEPARATE PLAN, DESIGNED BY OTHERS.

	EXISTING	PROPOSED
ZONING	INDUSTRY OFFICE	INDUSTRY OFFICE
PERVIOUS AREA	15.89 AC	7.73 AC
IMPERVIOUS AREA	0.0 AC	8.16 AC
PERCENT IMPERVIOUS	0%	51%
IMPERVIOUS EXPANSION BUILDING	N/A	0.43 AC

	BUILDING SETBACK	PARKING SETBACK
FRONT YARD	35	10
SIDE YARD	10	10
REAR YARD	30	10

MAXIMUM BUILDING HEIGHT = 45 FT

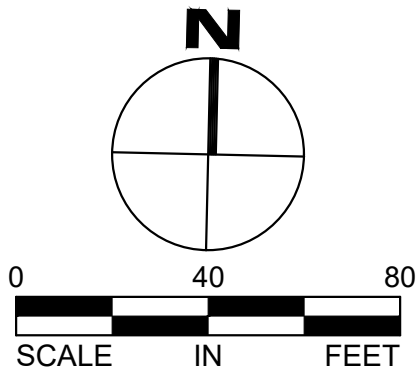
	EXISTING	PROPOSED
ASSOC. PARKING STALLS	33	110
ADA PARKING	N/A	6
VAN PARKING	N/A	150
TRAILER PARKING	N/A	3
BOX TRUCK PARKING	N/A	4

PROPOSED USE TYPE	WAREHOUSE/DISTRIBUTION
CODE REQUIRED PARKING MINIMUM	33 + 1 PER COMPANY VEHICLE

CODE REQUIREMENTS: OFFICE=1 PER 300 SF, WAREHOUSE=1 PER 2,000 SF

LEGEND:

EXISTING	PROPOSED	
		PROPERTY BOUNDARY
		EASEMENT
		LOT/TRACT LINE
		B612 CURB
		FLUSH CURB
		D412 CURB
		NORMAL DUTY BITUMINOUS
		MEDIUM DUTY BITUMINOUS
		HEAVY DUTY BITUMINOUS
		CONCRETE (SIDEWALK)
		HEAVY DUTY CONCRETE
		NORMAL WATER LEVEL
		HIGH WATER LEVEL
		STREET LIGHT



RYAN A+E, INC.  
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OWNER

CONSULTANTS

PROJECT INFORMATION

PROJECT TIMBER WOLF

BAXTER, MN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

*[Signature]*  
JARED B. OLSON

REGISTRATION NO. 42340  
DATE 06/18/2024

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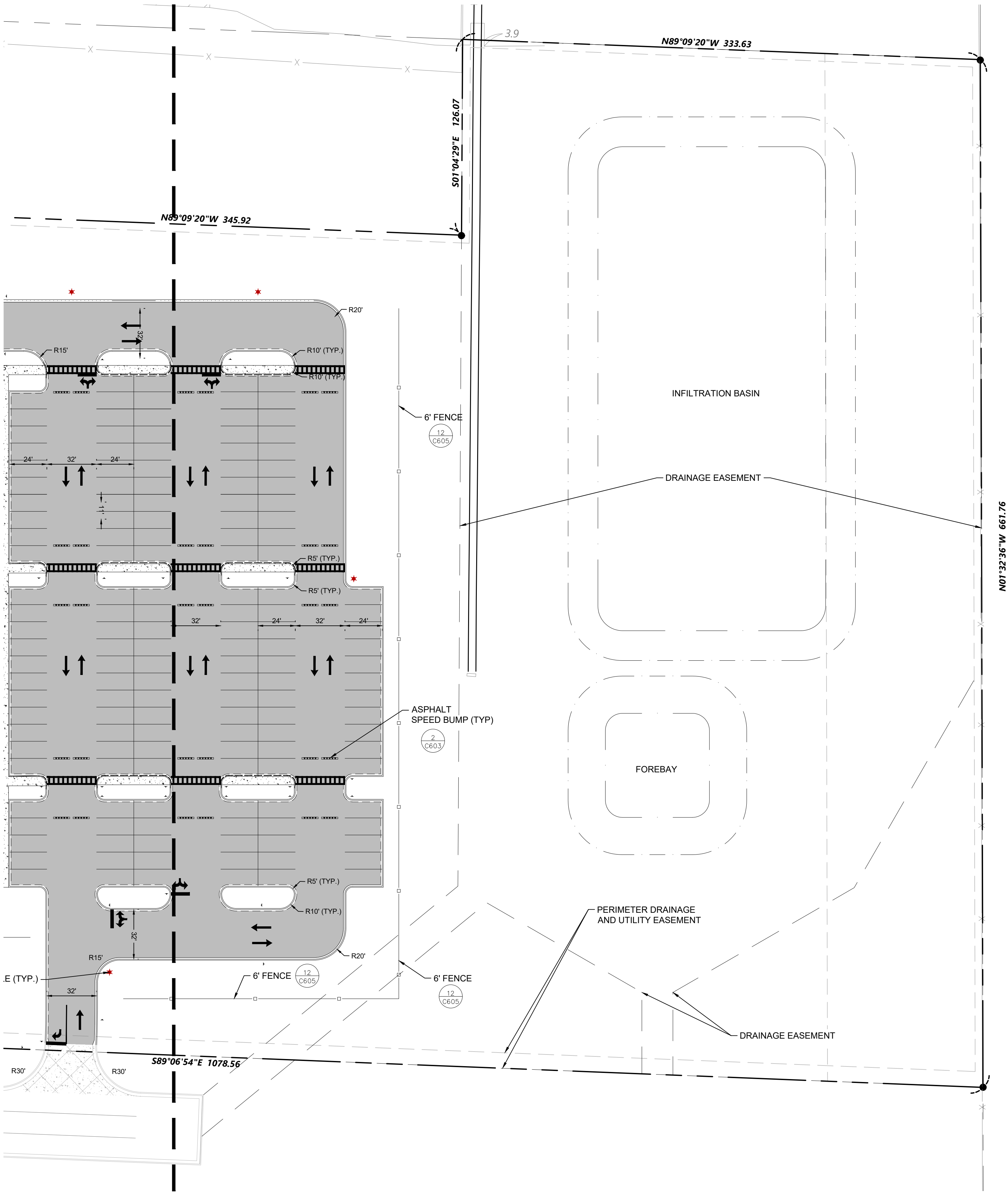
DRAWN BY DCS  
CHECKED BY ---  
JOB NO. 701676  
DATE 06/18/2024

ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION
1	05/07/2024	90% CD SET
2	05/24/2024	100% CD SET
3	06/18/2024	CITY RESUBMITTAL

100% CD  
SITE PLAN

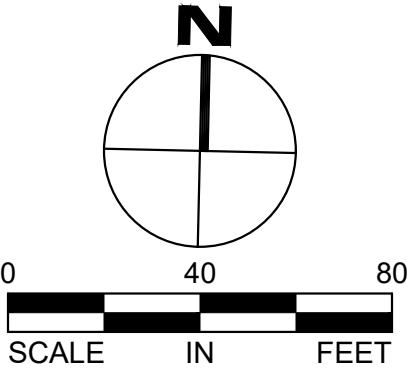
C300





SITE NOTES

1. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING CONDITIONS. THIS WOULD INCLUDE ALL EXISTING UTILITIES AND TOPOGRAPHIC FEATURES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
2. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, FACE OF BUILDING, EDGE OF PAVEMENT, OR TO PROPERTY LINE, UNLESS OTHERWISE NOTED.
3. ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE CIVIL DETAILS AND STATE/LOCAL JURISDICTION REQUIREMENTS.
4. ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
5. TYPICAL FULL SIZED PARKING STALL IS 10.0' X 20.0' UNLESS OTHERWISE NOTED.
6. ALL RADII ARE TO GUTTER LINE OR PAVEMENT EDGE UNLESS OTHERWISE NOTED.
7. ALL CONCRETE CURB AND GUTTER RADII SHALL BE 5.0' UNLESS OTHERWISE NOTED.
8. ALL CURB TERMINI TO HAVE A 3.0' TAPER UNLESS OTHERWISE NOTED.
9. BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS. BITUMINOUS IMPREGNATED FIBER BOARD SHALL NOT BE PLACED AT PEDESTRIAN RAMPS.
10. SEE ELECTRICAL PLANS FOR SITE LIGHTING DESIGN.
11. SIGNAGE AND STRIPING BY SEPARATE PLAN, DESIGNED BY OTHERS.



LEGEND:

EXISTING	PROPOSED	
		PROPERTY BOUNDARY
		EASEMENT
		LOT/TRACT LINE
		B612 CURB
		FLUSH CURB
		D412 CURB
		NORMAL DUTY BITUMINOUS
		MEDIUM DUTY BITUMINOUS
		HEAVY DUTY BITUMINOUS
		CONCRETE (SIDEWALK)
		HEAVY DUTY CONCRETE
		NORMAL WATER LEVEL
		HIGH WATER LEVEL
		STREET LIGHT



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PROJECT INFORMATION

PROJECT TIMBER WOLF

BAXTER, MN

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42340	06/18/2024

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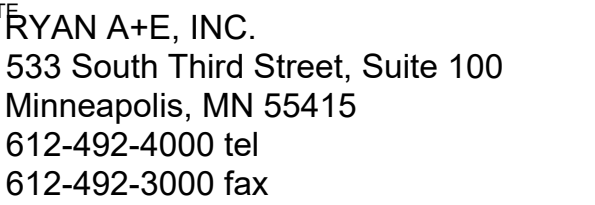
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3	06/18/2024	CITY RESUBMITTAL

100% CD

SITE PLAN

C301





OWNER

## CONSULTANTS

# PROJECT TIMBER WOLF

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JARED B. OLSON

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3	06/18/2024	CITY RESUBMITTAL

# GRADING PLAN

# C400

- SUBCONTRACTORS WHOSE WORK REQUIRES EXCAVATION SHALL CONTACT "GOPHER STATE ONE-CALL" (651-454-0002 OR 1-800-252-1166 OR 811) FOR UTILITY LOCATIONS 48 HOURS PRIOR TO EXCAVATION. HE/SHE SHALL REPAIR OR REPLACE DAMAGED UTILITIES DURING CONSTRUCTION AT NO COST TO OWNER OR GENERAL CONTRACTOR.
- EXISTING TOPOGRAPHY PER WESTWOOD, DRAFT ALTA/NSPS LAND TITLE SURVEY, DATED 04/15/2024.
- REFER TO GEOTECHNICAL EVALUATION REPORT, DATED 05/03/2024 AS PREPARED BY BRAUN INTERTEC CORPORATION FOR AN EXISTING SUBSURFACE SITE CONDITION ANALYSIS AND CONSTRUCTION RECOMMENDATIONS.
- CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING CONDITIONS. THIS WOULD INCLUDE ALL EXISTING UTILITIES AND TOPOGRAPHIC FEATURES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- SUITABLE GRADING MATERIAL SHALL CONSIST OF ALL SOIL ENCOUNTERED ON THE SITE WITH EXCEPTION OF TOPSOIL, DEBRIS, ORGANIC MATERIAL, AND OTHER UNSTABLE MATERIAL AS DIRECTED BY THE GEOTECHNICAL ENGINEER. STOCKPILE TOPSOIL AND GRANULAR FILL AT LOCATIONS DIRECTED BY GENERAL CONTRACTOR.
- SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF THE EXISTING PAVEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- PROPOSED GRADES SHOWN ARE FINISHED GRADES.
- ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE SUBCONTRACTOR AND SHALL BE DISPOSED OF BY THE CONSTRUCTION SITE.
- THE MINIMUM GRADED SLOPE FROM EDGE OF BUILDING SHALL BE 2 PERCENT UNLESS OTHERWISE NOTED.
- FINISHED GROUND AND SOD ELEVATION ADJACENT TO BUILDING SHALL BE 6" BELOW FLOOR ELEVATION UNLESS OTHERWISE NOTED.
- EARTHWORK & PAVING CONTRACTORS ARE RESPONSIBLE FOR GRADING AND SLOPING THE FINISHED GROUND SURFACE TO PROVIDE SMOOTH & UNIFORM SLOPES. PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING AND PREVENT PONDING IN LOWER AREAS. ANY DERIVATION FROM PLANS SHALL BE APPROVED BY THE PROJECT ENGINEER.
- GRADING BEHIND CURBS SHALL START AT THE TOP OF CURB.
- CONTRACTOR SHALL VERIFY THAT EXISTING UTILITIES HAVE ADEQUATE COVER TO MEET PROVIDER REQUIREMENTS IN AREAS OF GRADE REVISIONS.
- RETURN ALL TEMPORARY DIVERSIONS TO EXISTING GRADE UPON FINAL STABILIZATION.
- CONTRACTORS TO FOLLOW SAFETY GUIDELINES INSIDE ELECTRIC EASEMENT AREAS.
- RESHAPING OF POND TO BE COMPLETED WITHOUT DRAINING. IF DEWATERING IS DESIRED, SUBCONTRACTOR TO PULL APPROPRIATE PERMITS AND COORDINATE WITH ENGINEER FOR NPDES REQUIREMENTS.
- ALL RETAINING WALLS GREATER THAN FOUR FEET TO BE DESIGNED BY A STRUCTURAL ENGINEER.
- REMOVE SEDIMENT FROM EXISTING STORM SEWER IF PRESENT.
- SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.40 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
- GRADING OF THE INFILTRATION AREAS SHALL BE ACCOMPLISHED USING LOW-IMPACT EARTH-MOVING EQUIPMENT TO PREVENT COMPACTION OF THE UNDERLYING SOILS. SMALL TRACKED DOZERS AND BOBCATS WITH RUNNER TRACKS ARE RECOMMENDED.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 6 INCHES (COMPACTED) OF TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED. SEE LANDSCAPE PLAN FOR DETAILS.
- STREETS MUST BE CLEANED AND SWEEP WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
- DUST MUST BE ADEQUATELY CONTROLLED.
- ON SLOPES 4:1 OR GREATER MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES.
- ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
- TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXEMPT EX. CLEAN AGGREGATE STOCKPILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES.
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- THE CITY HAS REQUIREMENTS FOR INSPECTIONS VERIFYING PROPER CONSTRUCTION OF THE BMPs.
- SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
- SEE UTILITY PLAN FOR WATER, STORM AND SANITARY SEWER INFORMATION.
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- BASED ON GROUNDWATER ELEVATIONS ENCOUNTERED DURING GEOTECHNICAL EXPLORATION TEMPORARY DEWATERING OF EXCAVATIONS MAY BE NEEDED. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.

The figure presents a comparison between existing and proposed site plans and elevations. It includes site plans with building footprints, parking areas, and landscaping. Cross-sections show the relationship between the building, parking, and surrounding terrain. Elevation views show the building's profile and its relationship to the surrounding landscape.

**EXISTING**

**PROPOSED**

**Site Plan (Existing):** Shows the existing building footprint, parking area, and surrounding landscape. The site is bounded by 830' and 831'.

**Site Plan (Proposed):** Shows the proposed building footprint, parking area, and surrounding landscape. The site is bounded by 830' and 831'.

**Cross-Section (Existing):** Shows the existing building profile, parking area, and surrounding terrain. The building is 830' high, and the parking area is 831' high.

**Cross-Section (Proposed):** Shows the proposed building profile, parking area, and surrounding terrain. The building is 830' high, and the parking area is 831' high.

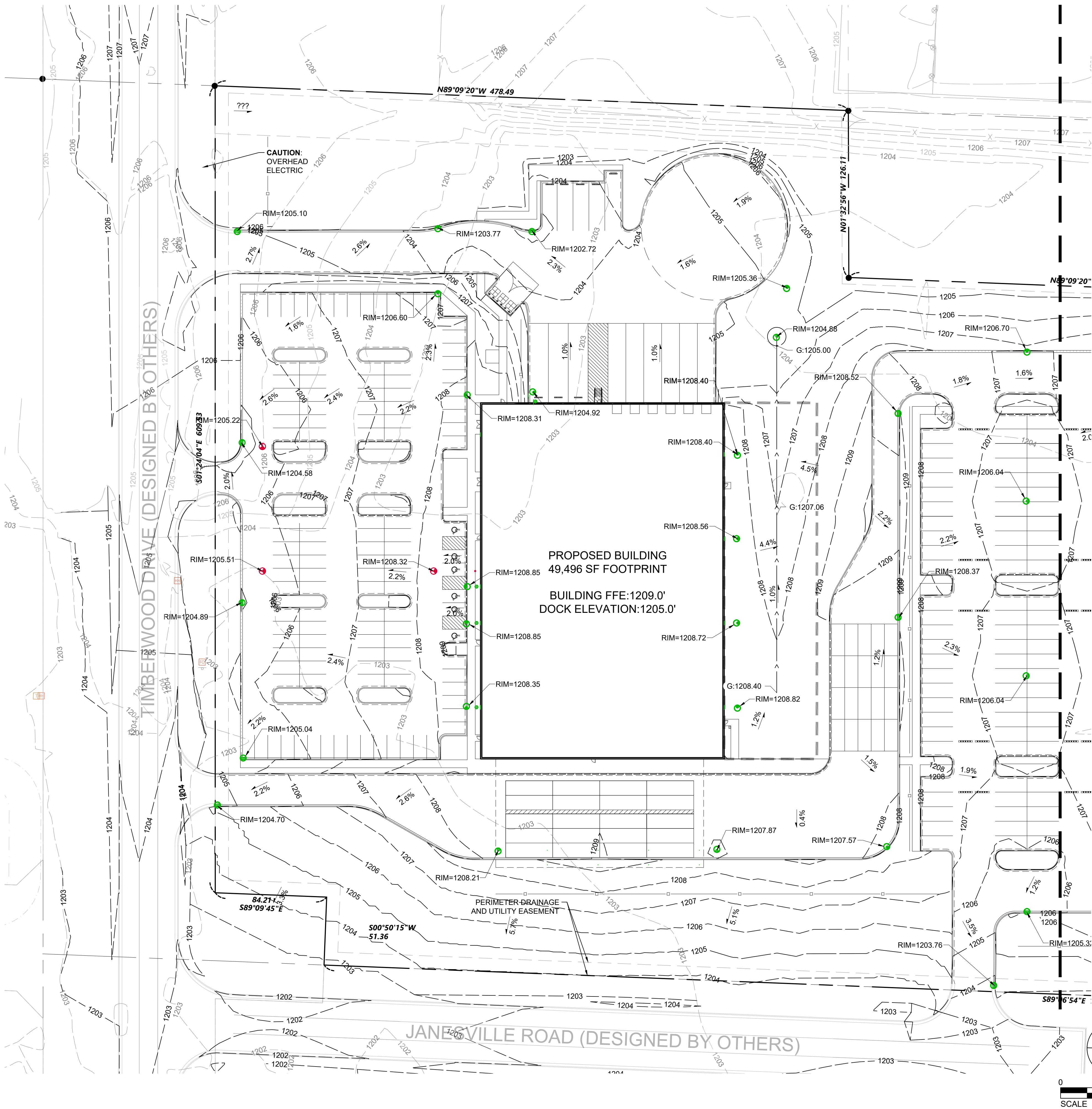
**Elevation (Existing):** Shows the existing building profile and surrounding landscape. The building is 830' high, and the surrounding landscape is 831' high.

**Elevation (Proposed):** Shows the proposed building profile and surrounding landscape. The building is 830' high, and the surrounding landscape is 831' high.

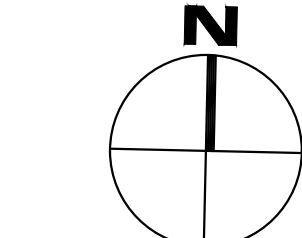
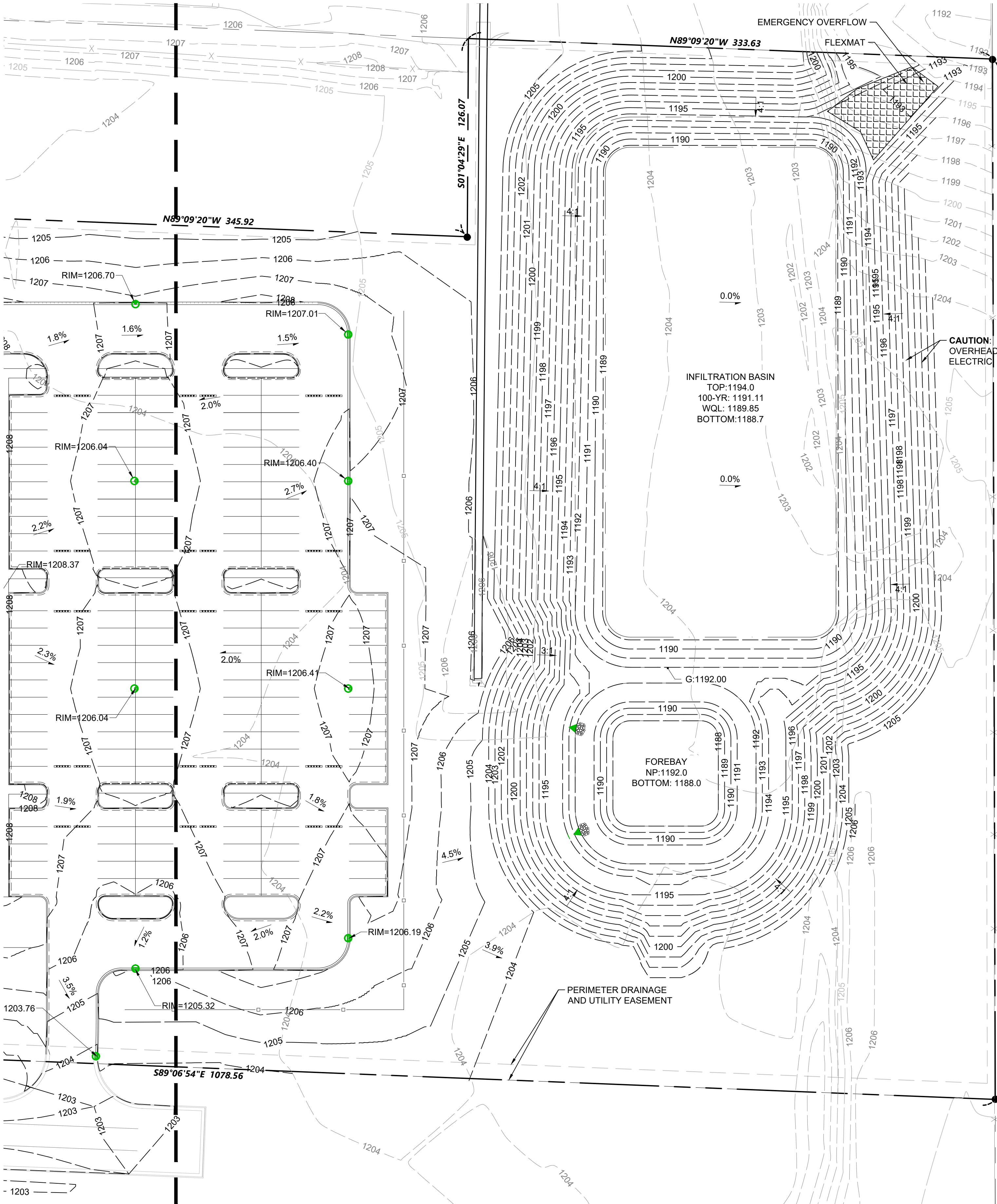
**Legend:**

- 1.00% (Slope)
- 3:1 (Slope)
- FF: 830.62 (Finish Floor)
- RI: 830.62 (Right of Way)

MAJOR CONTOUR  
MINOR CONTOUR  
HIGH WATER LEVEL  
STORM SEWER PIPE  
SOLID DRAINILE  
PERFORATED DRAIN TILE  
STORM INLET  
STORM MANHOLE  
FLARED END SECTION  
STORM CLEANOUT  
STORM FITTINGS  
ONE-POINT PERCENT GRADE  
TWO-POINT PERCENT GRADE  
SLOPE RATIO  
CUT / FILL DEPTH  
PAVEMENT ELEVATION  
CONCRETE ELEVATION  
GUTTER LINE ELEVATION  
TOP OF CURB ELEVATION  
TOP OF CURB-GUTTER LINE  
TOP OF WALL ELEVATION  
BOTTOM OF WALL ELEVATION  
GROUND ELEVATION  
NATURAL GROUND  
FINISHED FLOOR ELEVATION  
STRUCTURE RIM ELEVATION  
SOIL BORING  
BENCHMARK







GRADING NOTES

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LEGEND:

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		MINOR CONTOUR
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		STORM SEWER PIPE
		SOLID DRAINTILE
		PERFORATED DRAINTILE
		STORM INLET
		STORM MANHOLE
		STORM CLEANOUT
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		CONCRETE ELEVATION
		GUTTER LINE ELEVATION
		TOP OF CURB ELEVATION
		TOP OF CURB-GUTTER LINE
		TOP OF WALL ELEVATION
		BOTTOM OF WALL ELEVATION
		GROUND ELEVATION
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		FINISHED FLOOR ELEVATION
		STRUCTURE RIM ELEVATION
		SOIL BORING
		BENCHMARK



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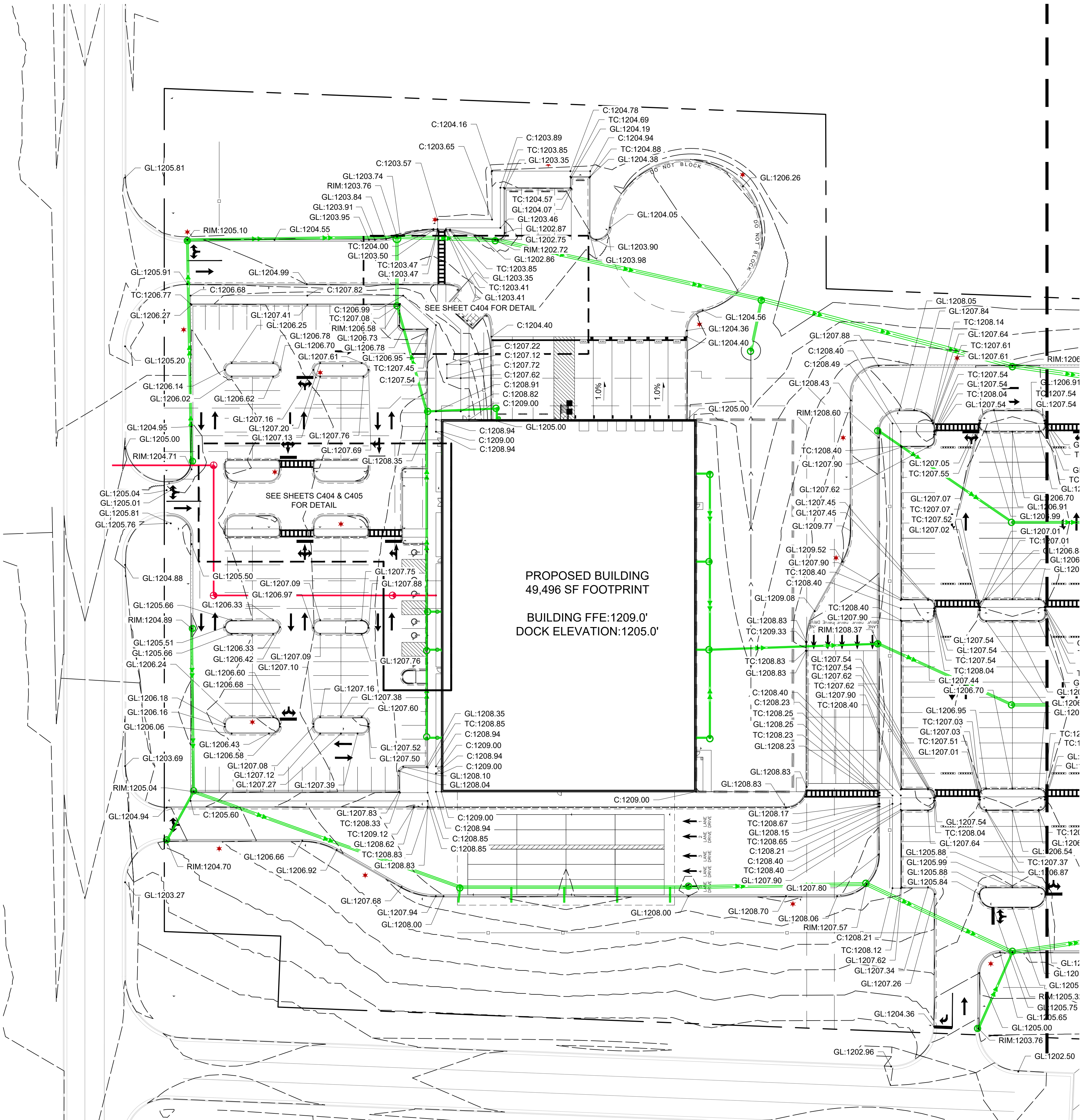
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100% CD

GRADING PLAN

C401

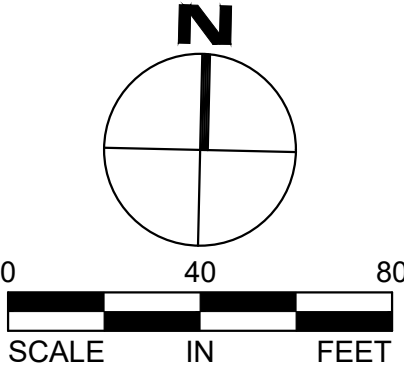




- PAVING NOTES
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  - REFER TO SITE PLAN FOR HORIZONTAL DIMENSIONS AND LAYOUT.
  - ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE DETAIL SHEET(S) AND STATE/LOCAL JURISDICTION REQUIREMENTS.
  - ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
  - ALL CURB TERMINI TO HAVE A 3:0' TAPER UNLESS OTHERWISE NOTED.
  - BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS. BITUMINOUS IMPREGNATED FIBER BOARD SHALL NOT BE PLACED AT PEDESTRIAN RAMPS.
  - SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
  - FIELD ADJUST ALL CASTINGS TO MATCH FINAL GRADES.

LEGEND:

EXISTING	PROPOSED	
		MAJOR CONTOUR
		MINOR CONTOUR
		HIGH WATER LEVEL
		STORM SEWER PIPE
		SOLID DRAIN TILE
		PERFORATED DRAIN TILE
		STORM INLET
		STORM MANHOLE
		FLARED END SECTION
		STORM CLEANOUT
		STORM FITTINGS
		ONE-POINT PERCENT GRADE
		TWO-POINT PERCENT GRADE
		SLOPE RATIO
		CUT / FILL DEPTH
		PAVEMENT ELEVATION
		CONCRETE ELEVATION
		GUTTER LINE ELEVATION
		TOP OF CURB ELEVATION
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		TOP OF WALL ELEVATION
		BOTTOM OF WALL ELEVATION
		GROUND ELEVATION
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		FINISHED FLOOR ELEVATION
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		SOIL BORING
		BENCHMARK



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PROJECT INFORMATION

## PROJECT TIMBER WOLF

BAXTER, MN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Jared B. Olson

REGISTRATION NO. 42340 DATE 06/18/2024

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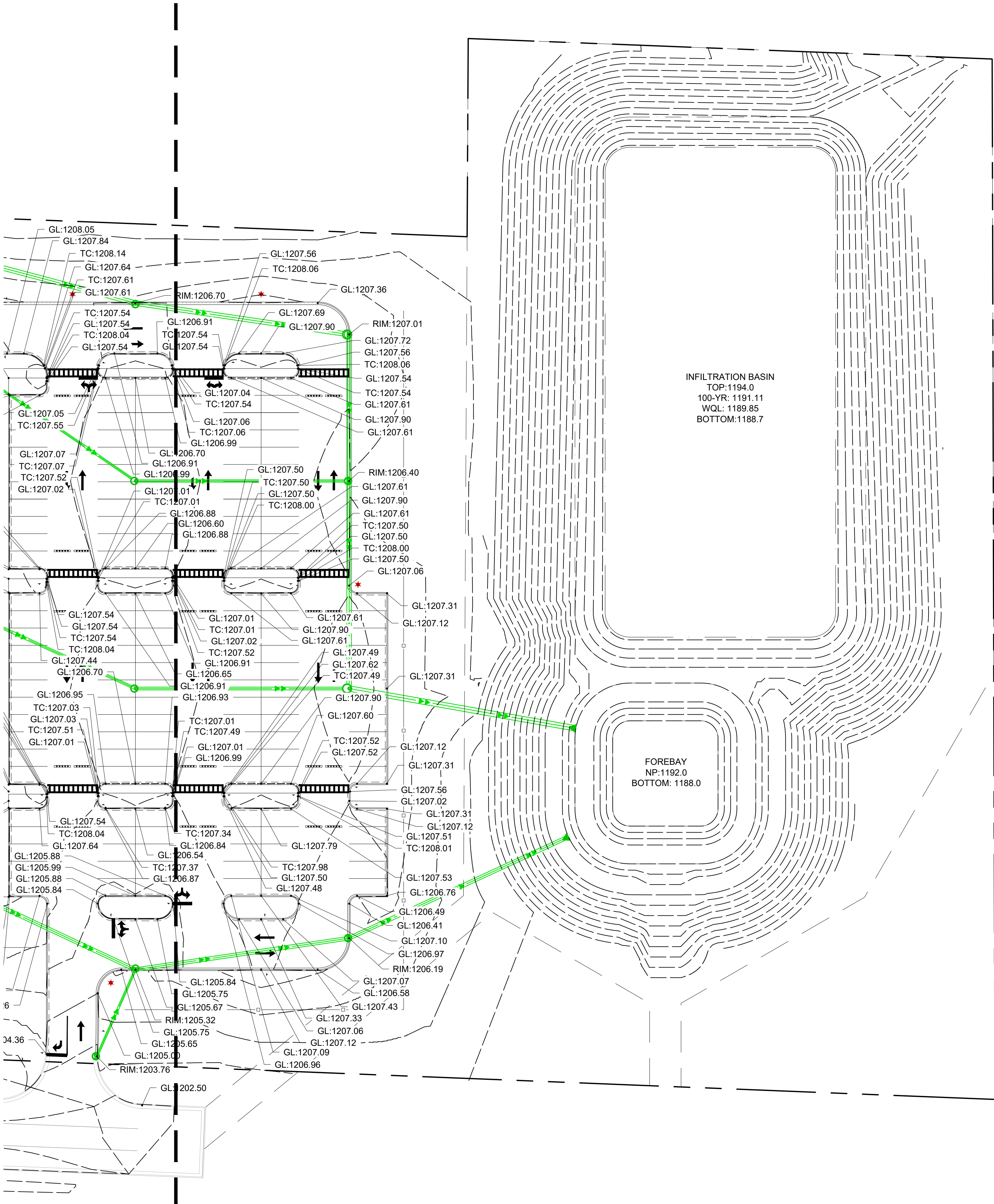
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PAVING PLAN

C402



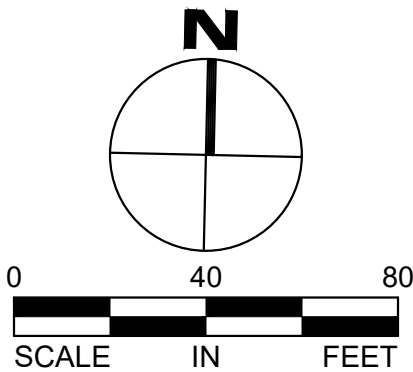


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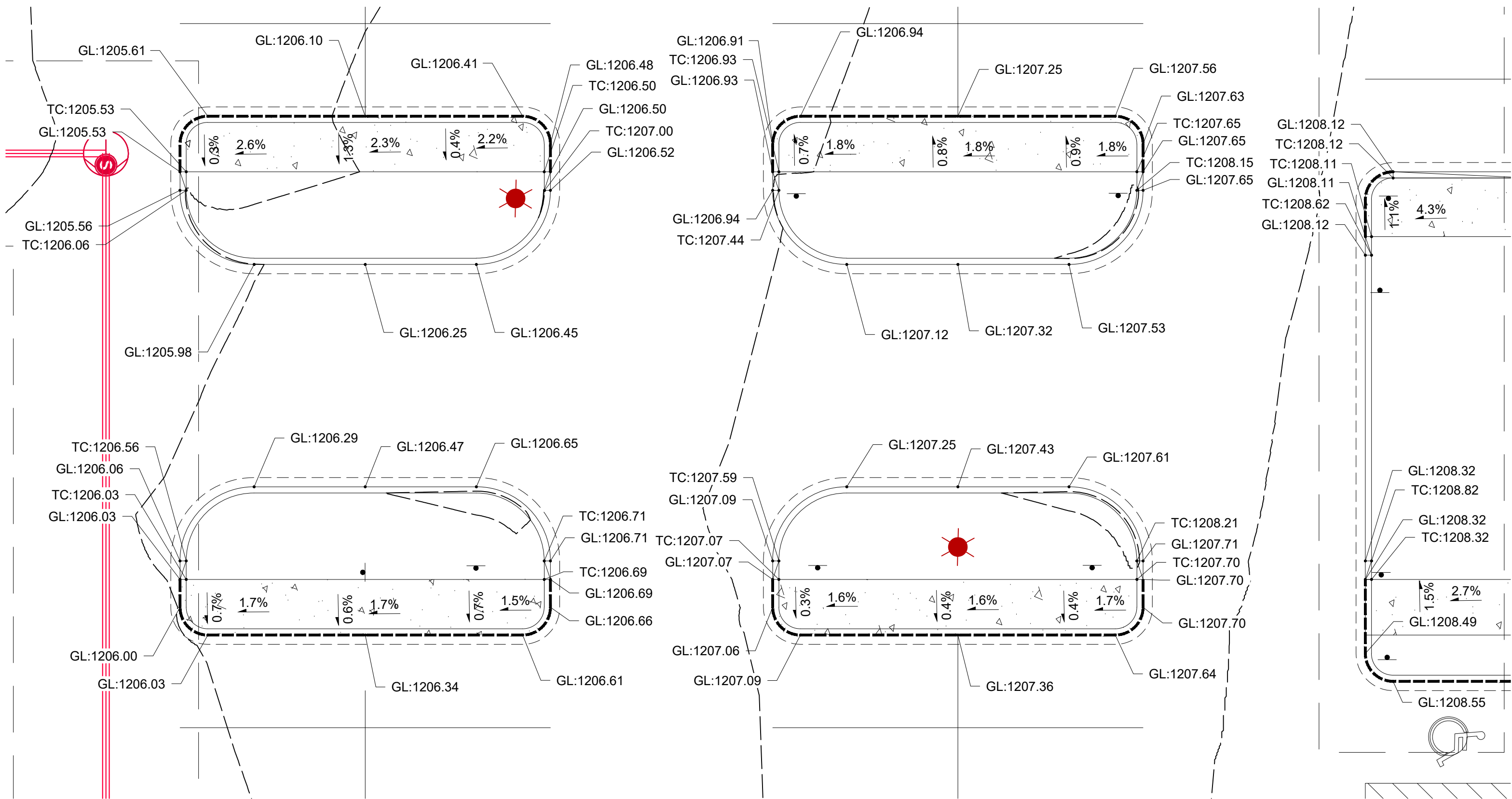
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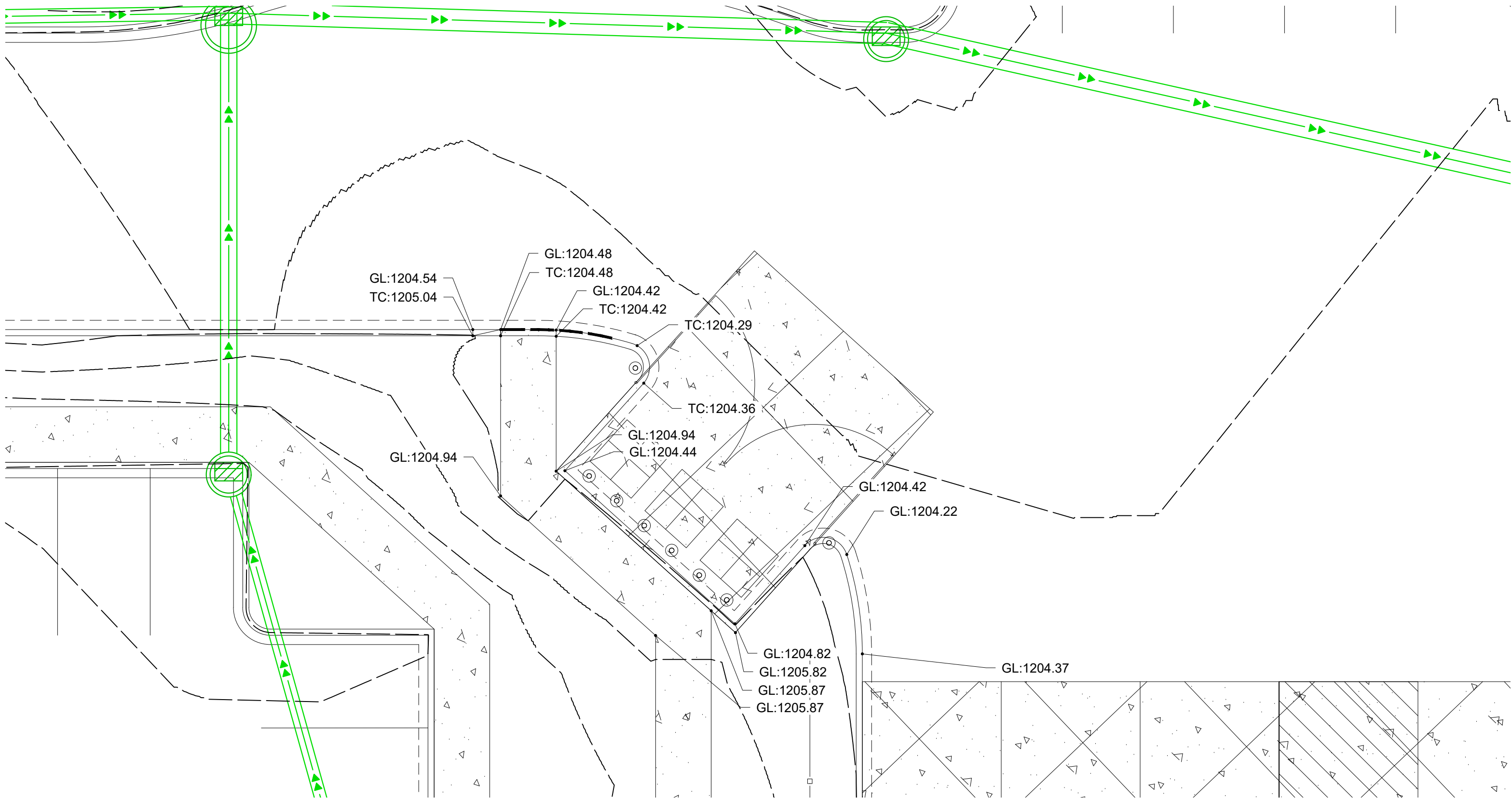
PAVING PLAN

C403

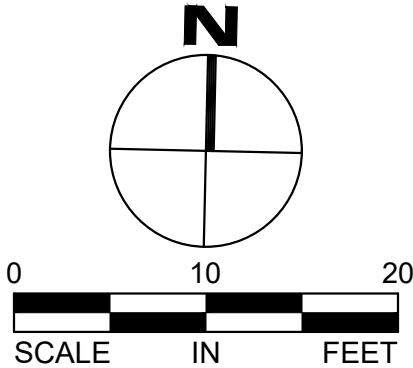




INSET A



INSET B



PAVING NOTES

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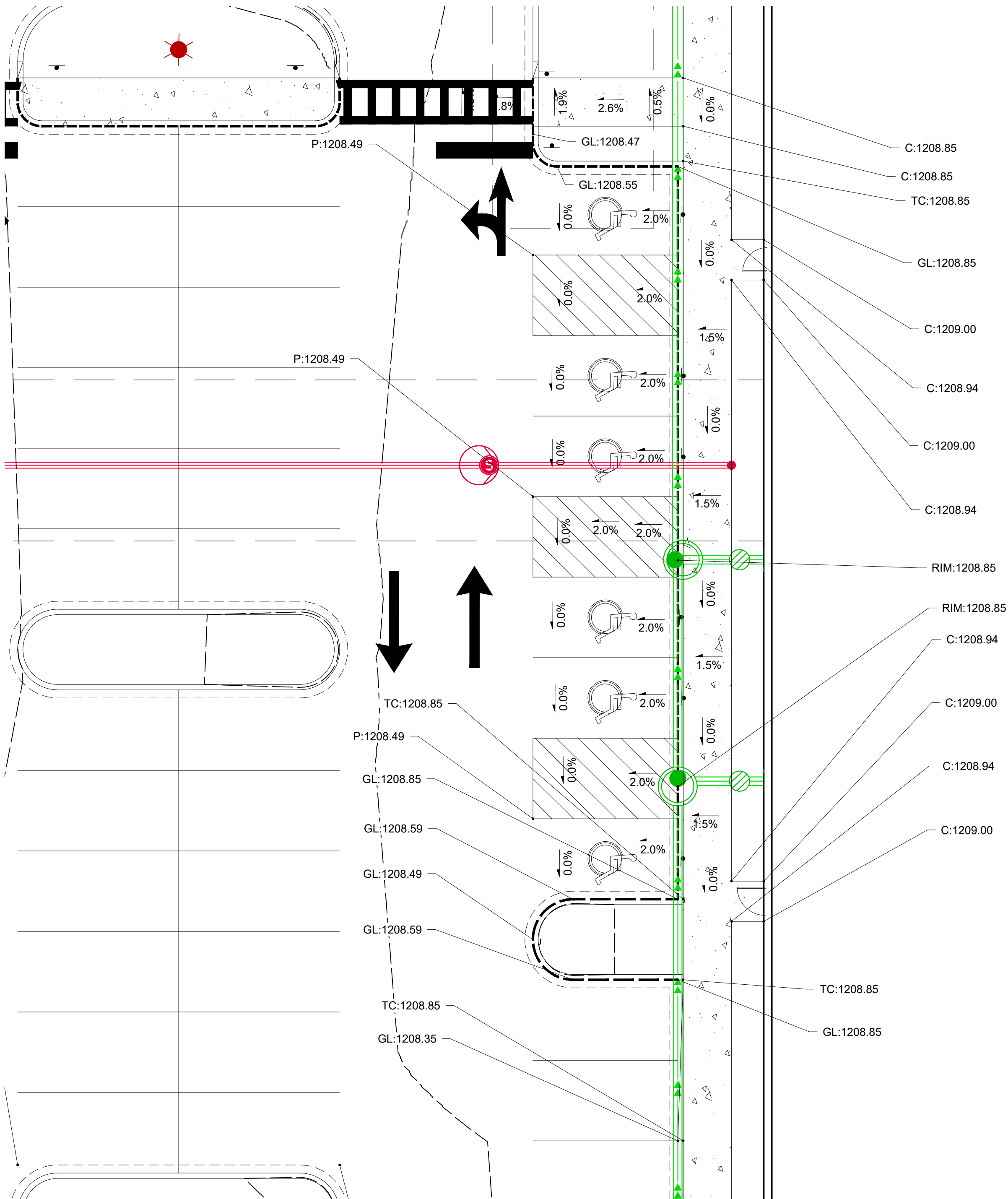
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PAVING PLAN

C404





INSET C

PAVING NOTES

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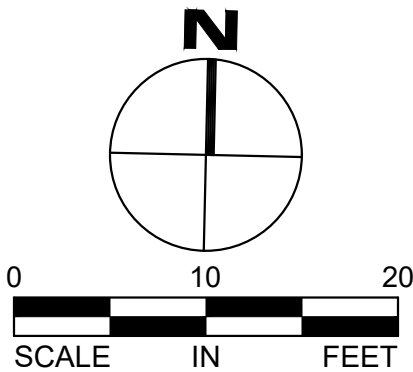
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PAVING PLAN

C405



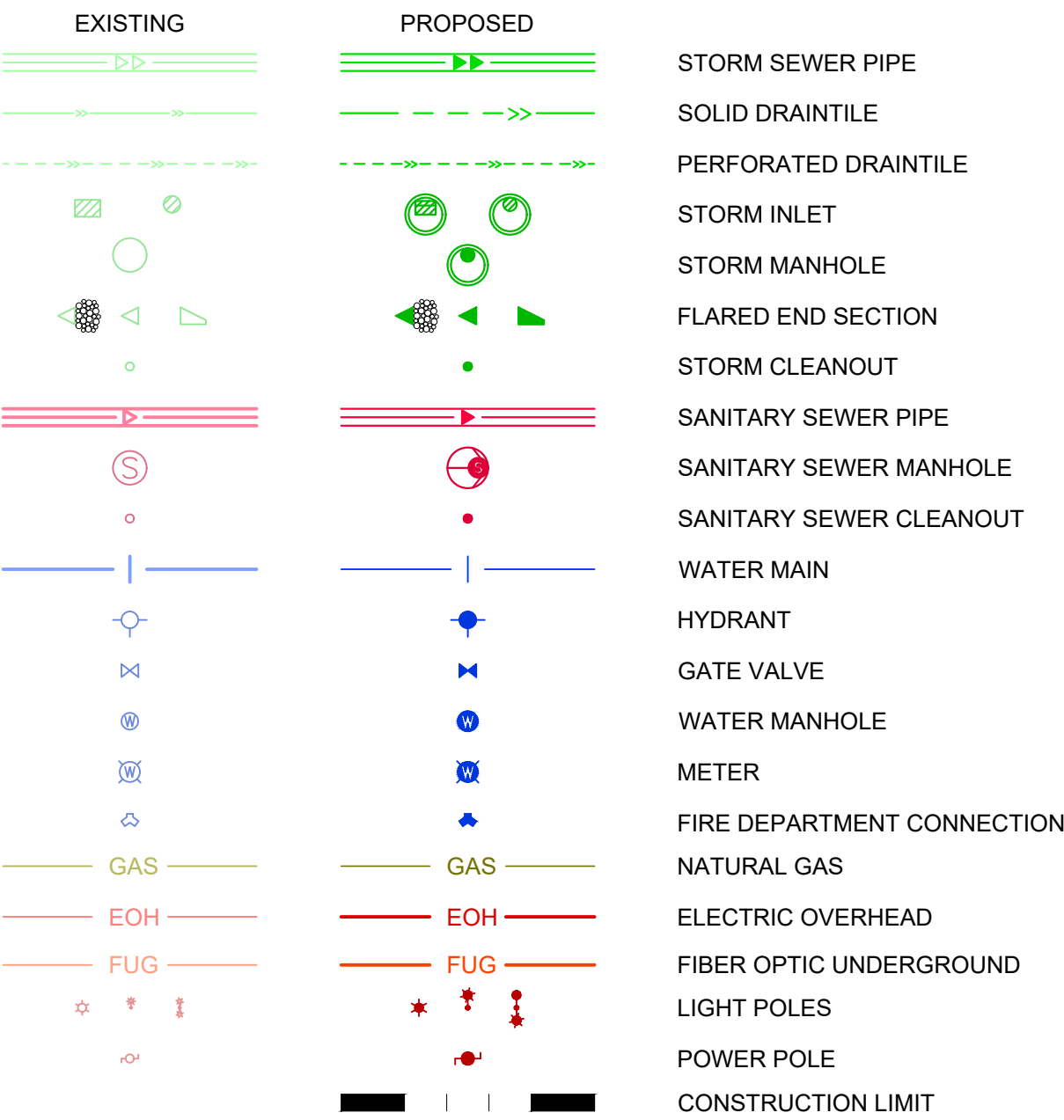




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3. ALL UTILITY WORK SHALL BE PERFORMED IN ACCORDANCE WITH CITY SPECIFICATIONS AND BUILDING PERMIT REQUIREMENTS. ALL SANITARY SEWER, STORM SEWER AND WATERMAIN UTILITIES SHALL BE FURNISHED AND INSTALLED PER THE REQUIREMENTS OF THE SPECIFICATIONS, THE MINNESOTA PLUMBING CODE, THE LOCAL GOVERNING UNIT, AND THE STANDARD UTILITIES SPECIFICATION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA (CEAM), CURRENT EDITION.
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5. ALL CONNECTIONS TO EXISTING UTILITIES SHALL BE PERFORMED PER THE REQUIREMENTS OF THE STATE AND LOCAL JURISDICTIONS. THE CITY PUBLIC WORKS DEPARTMENT MUST BE NOTIFIED AT LEAST 48 HOURS PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT OF WAY, OR WORK IMPACTING PUBLIC UTILITIES.
6. ALL STORM SEWER, SANITARY SEWER AND WATER SERVICES SHALL TERMINATE 5' FROM THE BUILDING FACE UNLESS OTHERWISE NOTED.
7. CONNECTION TO THE EXISTING SANITARY SEWER AND WATER REQUIRES OBSERVATION BY THE CITY.
8. FIELD ADJUST ALL CASTINGS TO MATCH FINAL GRADES.
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11. VERTICAL CLEARANCE BETWEEN SANITARY, STORM AND WATERMAIN TO BE 18" MINIMUM. HORIZONTAL CLEARANCE BETWEEN SEWER (SANITARY/STORM) AND WATERMAIN TO BE 10' MINIMUM.
12. ALL NEW WATERMAIN AND SERVICES MUST HAVE A MINIMUM OF 8.5' OF COVER. EXTRA DEPTH MAY BE REQUIRED TO MAINTAIN A MINIMUM 18" VERTICAL SEPARATION TO SANITARY OR STORM SEWER LINES. THE CONTRACTOR SHALL FIELD ADJUST WATERMAIN TO AVOID CONFLICTS WITH SANITARY SEWER, STORM SEWER, AND SERVICES AS REQUIRED. INSULATION OF WATER AND SANITARY SEWER LINES SHALL BE PROVIDED WHERE 8.0' MINIMUM DEPTH CAN NOT BE ATTAINED.
13. ALL FIRE HYDRANTS SHALL BE LOCATED 5 FEET BEHIND FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
14. PROPOSED PIPE MATERIALS:

WATERMAIN	C900 PVC
SANITARY SEWER	SDR 26 PVC, SCH 40 PVC
STORM SEWER	DUAL WALL HDPE (SITE DRAINAGE)
STORM SEWER	SCH 40 PVC (BUILDING SERVICES)
15. CONTRACTOR SHALL MAINTAIN AS-BUILT PLANS THROUGHOUT CONSTRUCTION AND SUBMIT THESE PLANS TO ENGINEER UPON COMPLETION OF WORK.
16. ALL PORTIONS OF THE STORM SEWER SYSTEM, INCLUDING CATCH BASINS, LOCATED WITHIN 10 FEET OF THE BUILDING OR WATER SERVICE LINE MUST BE TESTED ACCORDANCE WITH MINNESOTA RULES, PART 4715.2820.
17. ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATERTIGHT (SEE MINNESOTA RULES, PART 4715.0700). APPROVED RESILIENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCHBASINS, AND OTHER STRUCTURES.
18. HIGH-DENSITY POLYETHYLENE (HDPE) STORM DRAINS MUST COMPLY WITH MINNESOTA RULES, PART 4715.0540:
  - a) PIPES 4-INCH TO 10-INCH IN SIZE MUST COMPLY WITH AASHTO M252.
  - b) PIPES 12-INCH TO 60-INCH IN SIZE MUST COMPLY WITH ASTM F2306.
  - c) ALL FITTINGS MUST COMPLY WITH ASTM D3212.
  - d) WATER-TIGHT JOINTS MUST BE USED AT ALL CONNECTIONS INCLUDING STRUCTURES.
19. SEWERS CROSSING ABOVE OR LESS THAN 12 INCHES BELOW A WATER SERVICE MUST BE CONSTRUCTED OF MATERIALS APPROVED FOR USE WITHIN A BUILDING (SEE MN PLUMBING CODE SECTIONS 609.2, 720.1, AND TABLE 701.2). PER MN PLUMBING CODE:
  - a) THE LENGTH OF SEWER OR DRAINAGE PIPING THAT MUST BE CONSTRUCTED OF MATERIALS APPROVED FOR USE WITHIN A BUILDING SHALL SPAN THE TRENCH WIDTH OVER WATERMAIN, SEE SECTION 609.2
  - b) FOR A LIST OF MATERIALS APPROVED FOR USE WITHIN A BUILDING SEE TABLE 701.2
  - c) THE WATER SERVICE SHOULD NOT CONTAIN ANY JOINTS OR CONNECTIONS WITHIN 10 FEET OF THE CROSSING
20. REFER TO SPECIFICATIONS FOR TRACER WIRE REQUIREMENTS

**LEGEND:**



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## PROJECT INFORMATION

# PROJECT TIMBER WOLF

BAXTER, MN

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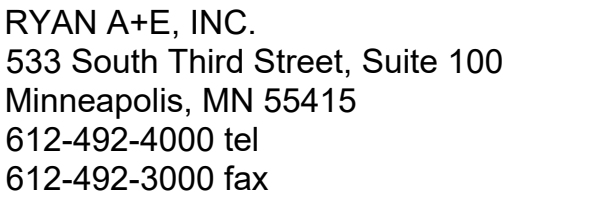
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# UTILITY PLAN

# C500





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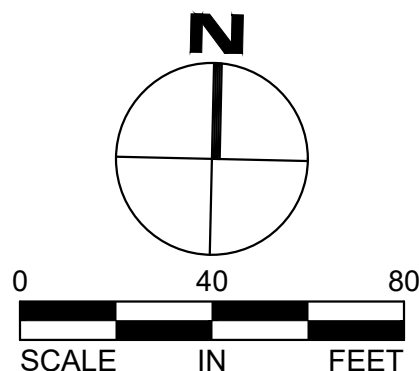
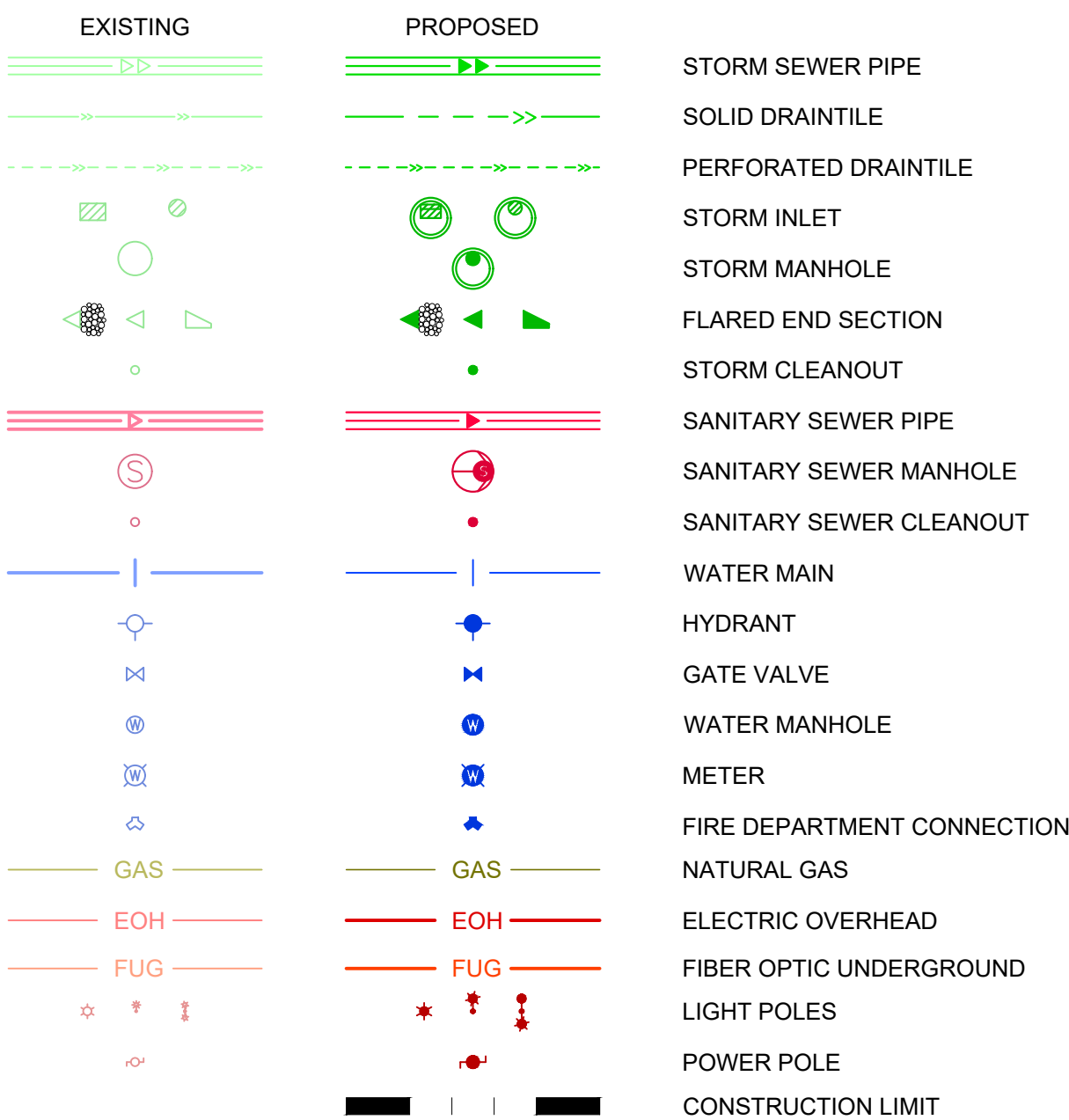
## UTILITY PLAN

## UTILITY NOTES

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  - c) ALL FITTINGS MUST COMPLY WITH ASTM D3212.
  - d) WATER-TIGHT JOINTS MUST BE USED AT ALL CONNECTIONS INCLUDING STRUCTURES.
19. SEWERS CROSSING ABOVE OR LESS THAN 12 INCHES BELOW A WATER SERVICE MUST BE CONSTRUCTED OF MATERIALS APPROVED FOR USE WITHIN A BUILDING (SEE MN PLUMBING CODE SECTIONS 609.2, 720.1, AND TABLE 701.2). PER MN PLUMBING CODE:
  - a) THE LENGTH OF SEWER OR DRAINAGE PIPING THAT MUST BE CONSTRUCTED OF MATERIALS APPROVED FOR USE WITHIN A BUILDING SHALL SPAN THE TRENCH WIDTH OVER WATERMAIN, SEE SECTION 609.2
  - b) FOR A LIST OF MATERIALS APPROVED FOR USE WITHIN A BUILDING SEE TABLE 701.2
  - c) THE WATER SERVICE SHOULD NOT CONTAIN ANY JOINTS OR CONNECTIONS WITHIN 10 FEET OF THE CROSSING
20. REFER TO SPECIFICATIONS FOR TRACER WIRE REQUIREMENTS

LEGEND:





## PROJECT TIMBER WOLF

### BAXTER, MN

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*Jared B. Olson*

JARED B. OLSON

REGISTRATION NO.	DATE
42340	06/18/2024

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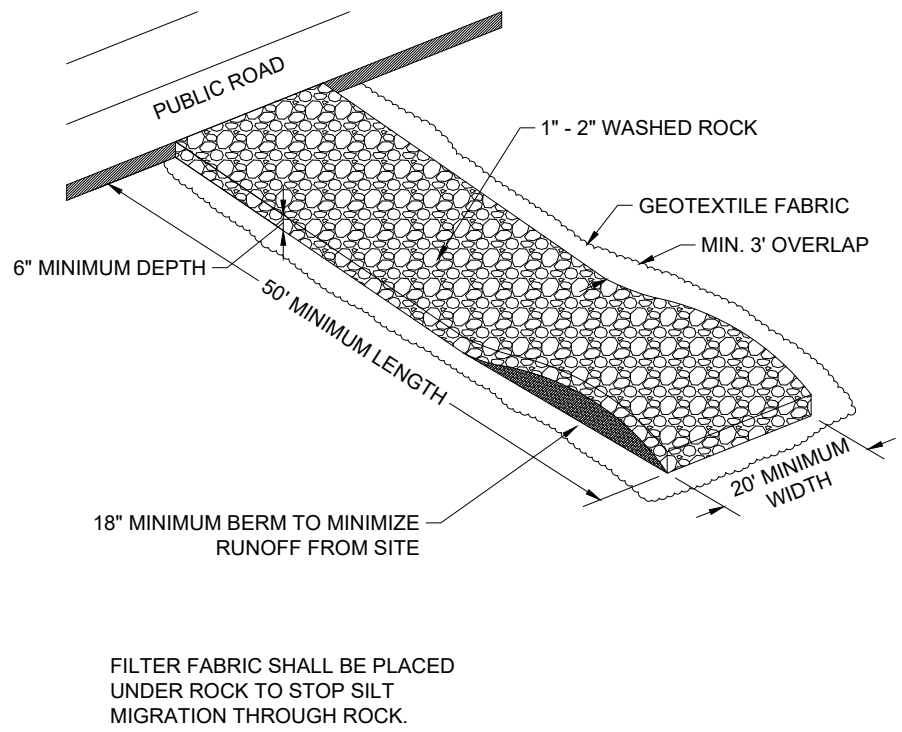
DRAWN BY	CHECKED BY
DCS	---
JOB NO.	DATE
701676	06/18/2024

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ISSUE #	DATE	DESCRIPTION
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2	05/24/2024	100% CD SET
3	06/18/2024	CITY RESUBMITTAL

100% CD

DETAILS

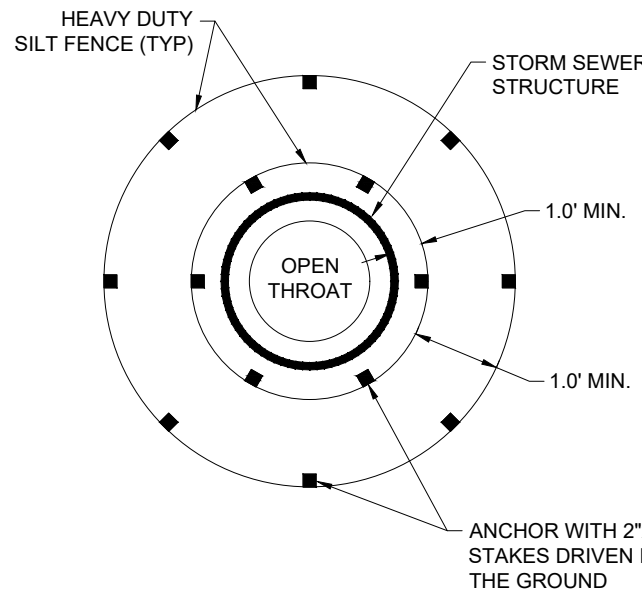
C600



ROCK CONSTRUCTION ENTRANCE

1  
C600

NTS

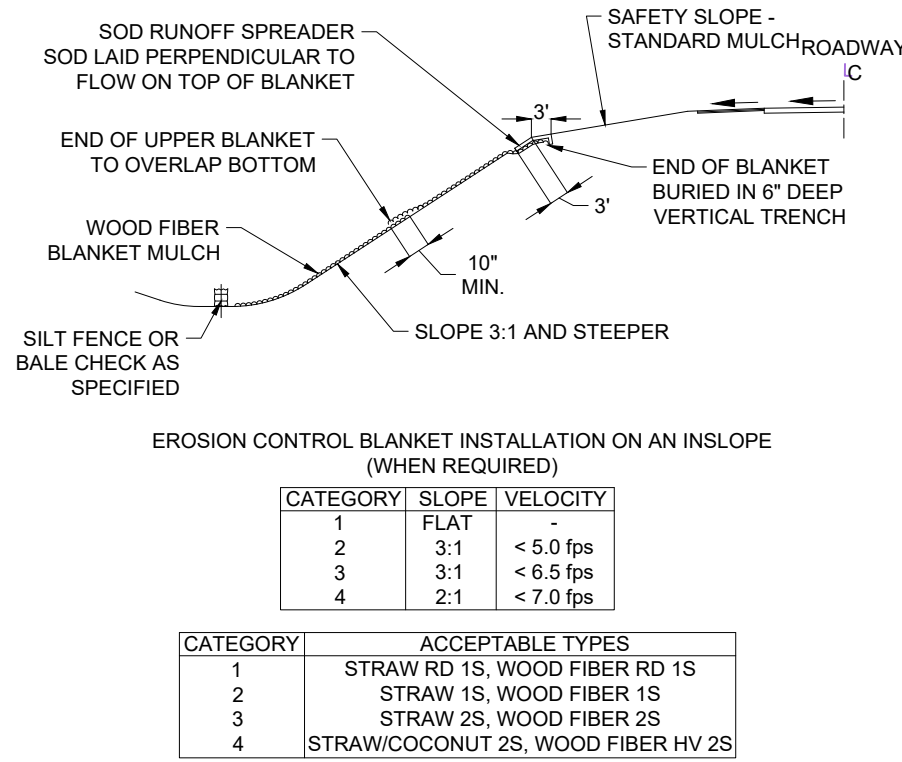


TEMPORARY BARRIER OF SILT FENCE TO PREVENT SEDIMENT-LADEN WATER FROM ENTERING THE STORM SEWER SYSTEM DURING CONSTRUCTION.

EROSION CONTROL AT CB - SILT FENCE

5  
C600

NTS

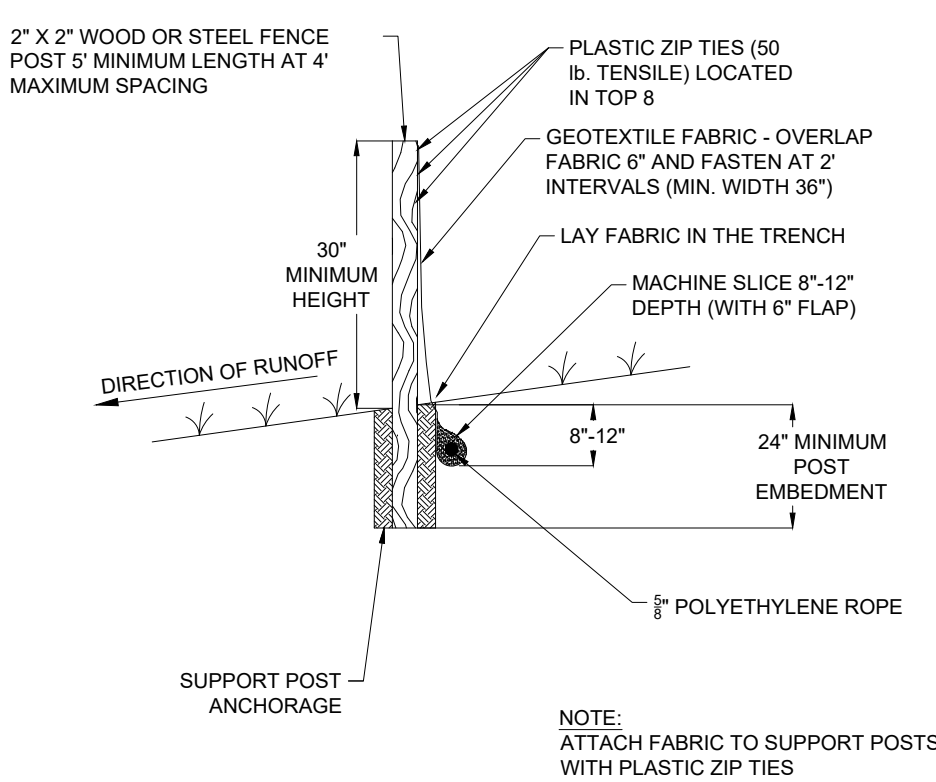


THE LETTERING DESIGNATION SHALL BE DEFINED AS FOLLOWS:  
1S - NETTING ON ONE SIDE  
RD - RAPIDLY DEGRADABLE  
2S - NETTING ON TWO SIDES  
HV - HIGH VELOCITY

EROSION CONTROL BLANKET

9  
C600

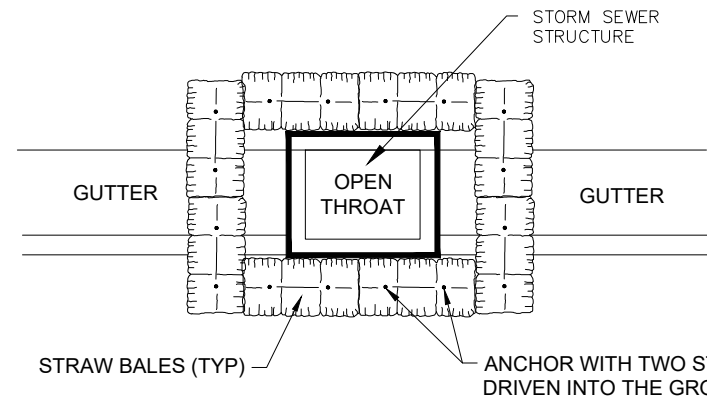
NTS



SILT FENCE - MACHINE SLICED

2  
C600

NTS

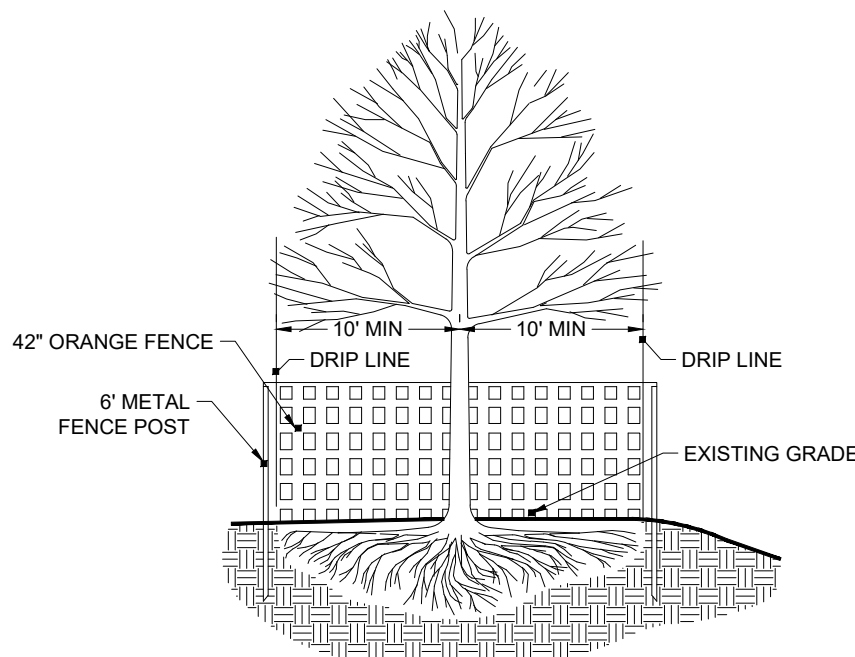


TEMPORARY BARRIER OF HAYBALES TO PREVENT SEDIMENT-LADEN WATER FROM ENTERING THE STORM SEWER SYSTEM DURING CONSTRUCTION.

EROSION CONTROL AT CB - HAY BALES

6  
C600

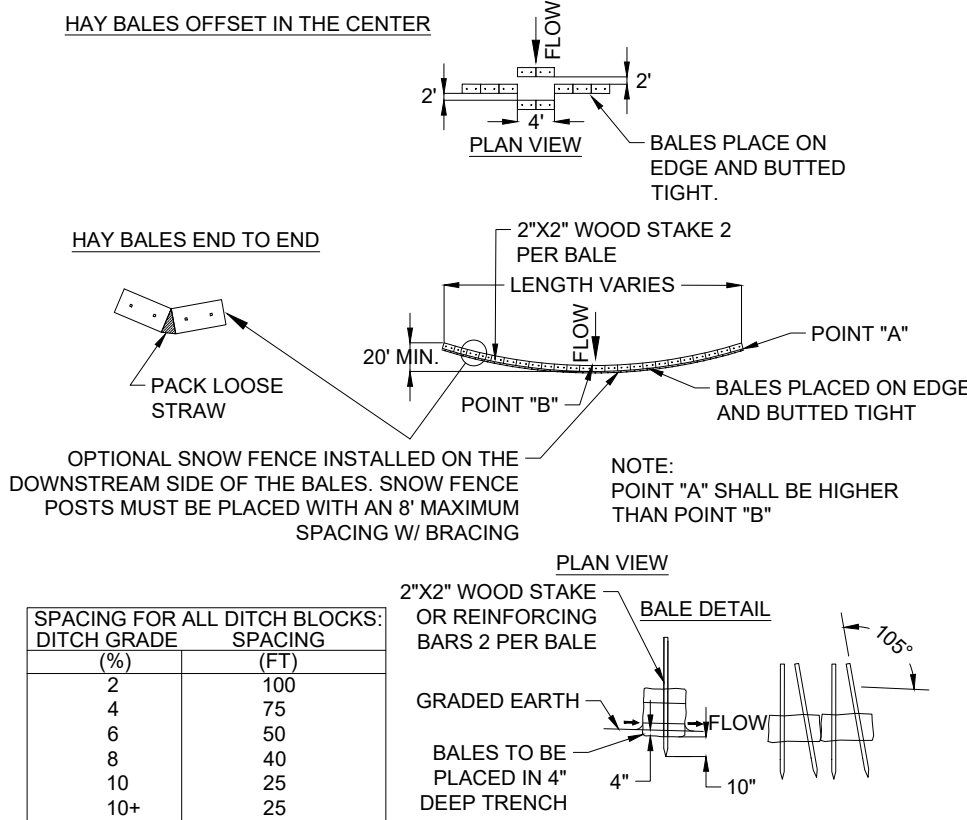
NTS



TREE PROTECTION FENCE

10  
C600

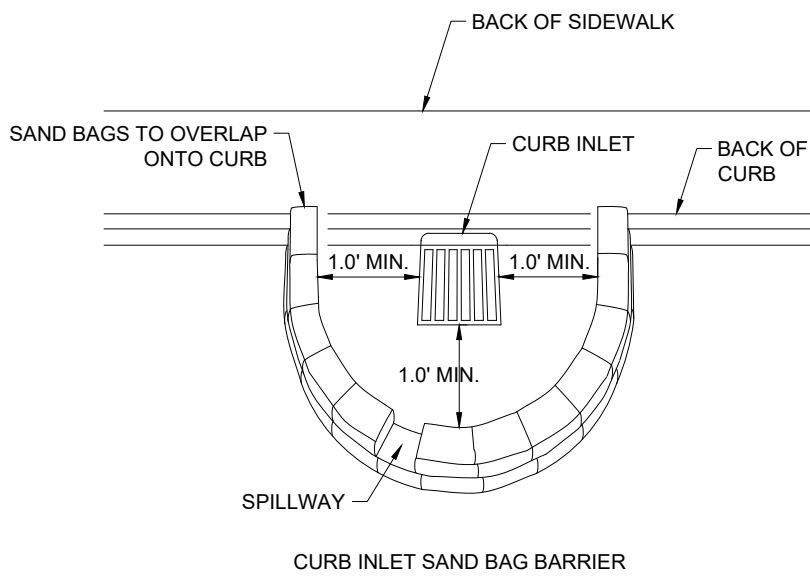
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DITCH BLOCKING - HAY BALES

3  
C600

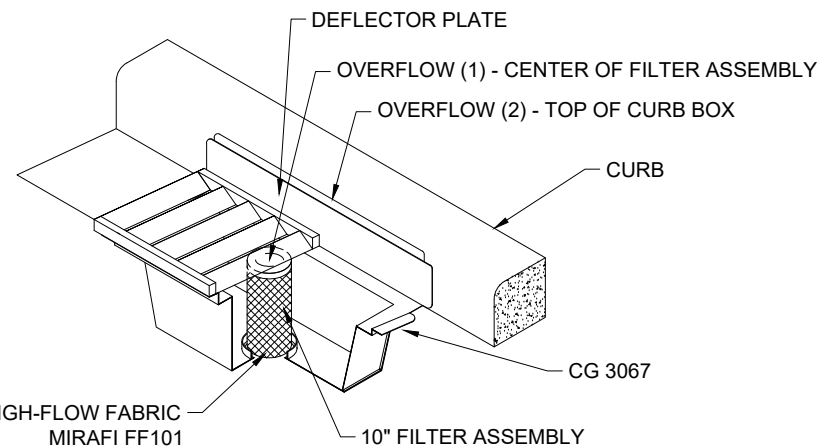
NTS



EROSION CONTROL AT CB - SAND BAG

7  
C600

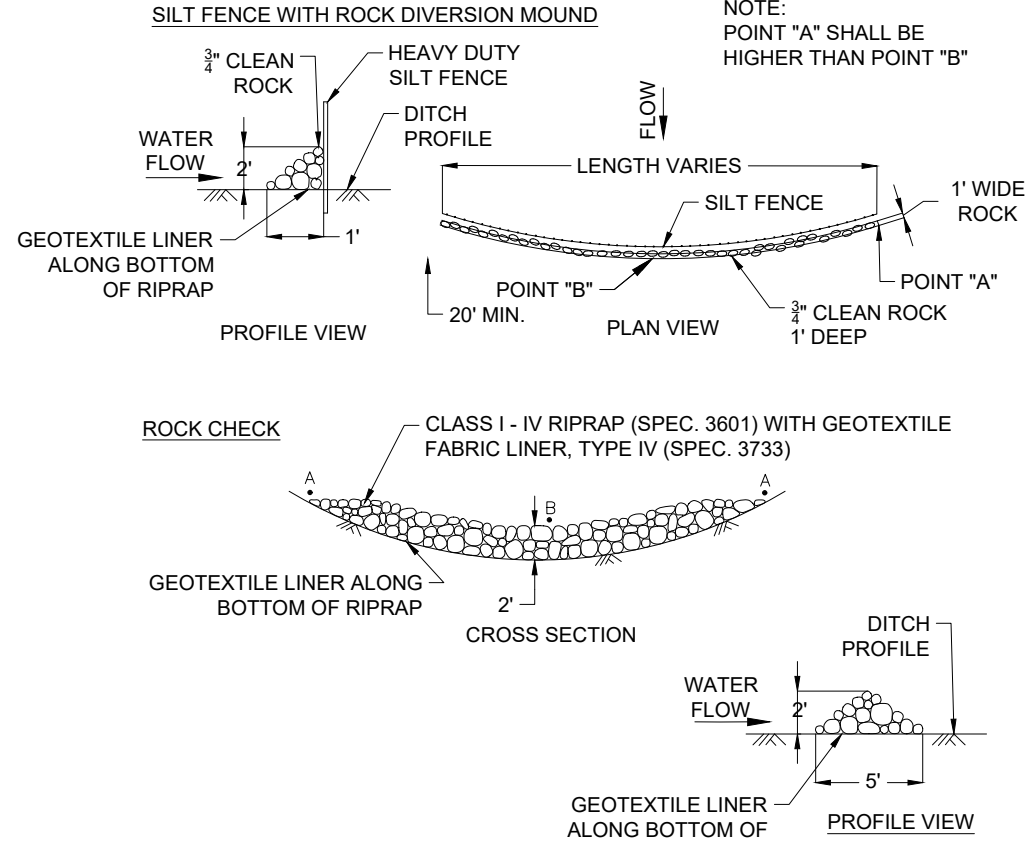
NTS



ROAD DRAIN INLET PROTECTION  
CURB AND GUTTER MODEL  
WIMCO CG 3067 OR APPROVED  
EQUAL

11  
C600

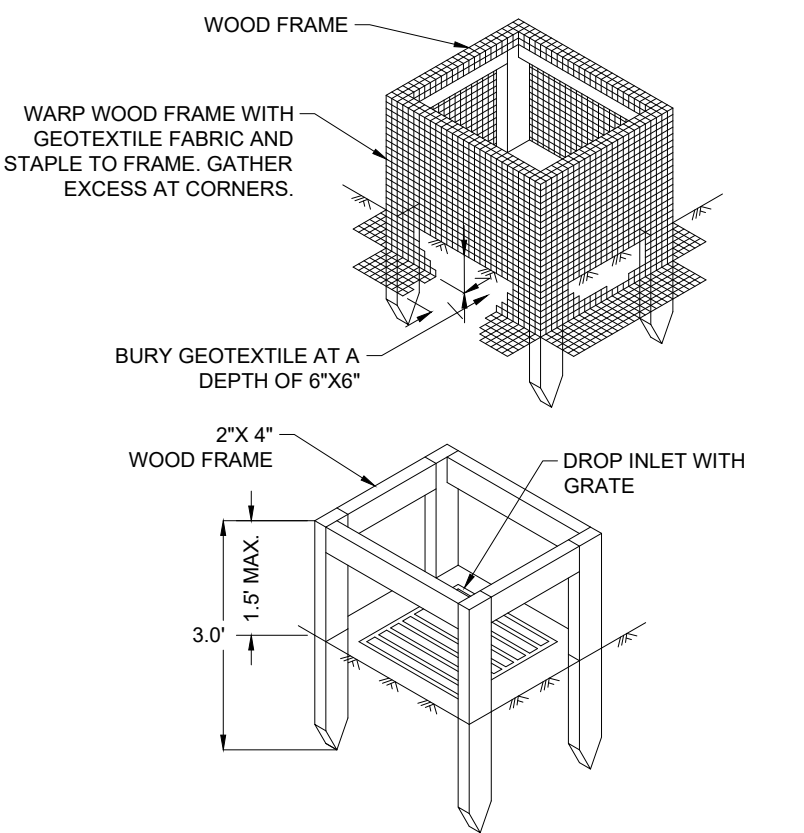
NTS



DITCH BLOCKING - ROCK MOUNDS

4  
C600

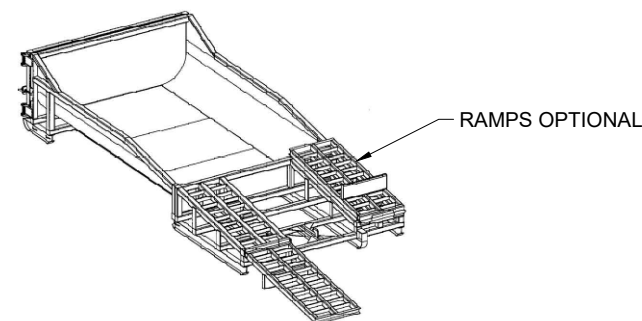
NTS



EROSION CONTROL AT CB - SILT FENCE BOX

8  
C600

NTS



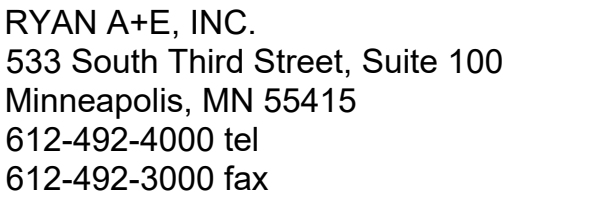
- CONTAINER MUST BE PORTABLE, TEMPORARY AND WATERTIGHT.  
- WASHOUT WATER MUST BE DISPOSED OF OR TREATED AND RECYCLED IN AN ENVIRONMENTALLY SAFE MANNER AND IN ACCORDANCE WITH FEDERAL, STATE OR LOCAL REGULATORY GUIDELINES

PORTABLE CONCRETE WASHOUT

12  
C600

NTS





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REGISTRATION NO.	DATE
42340	06/18/2024

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JOB NO. 701676      DATE 06/18/2024

ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION
1	05/07/2024	90% CD SET
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## DETAILS

# C601



~20% ORGANIC COMPOST W/ PHOSPHOROUS INDEX OF LESS THAN 30 MG/KG  
USING THE MEHLICH-3 OR EQUIVALENT METHOD

HIGH WATER LEVEL

VARIABLES

4:1 SLOPE

1:1 SLOPE

19.2'

146.6'

18.2'

30" PLANTING MEDIUM

EROSION CONTROL BLANKET (MNDOT 3885 CATEGORY 0), ANCHOR 6" INTO BACKFILL AT TERMINATION

NATIVE SEED MIX (SEE LANDSCAPE PLAN)

IN-SITU SOILS, ACHIEVE INFILTRATION RATE OF 0.80"/HOUR



NTS





## PROJECT TIMBER WOLF

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DCS	---
JOB NO.	DATE
701676	06/18/2024

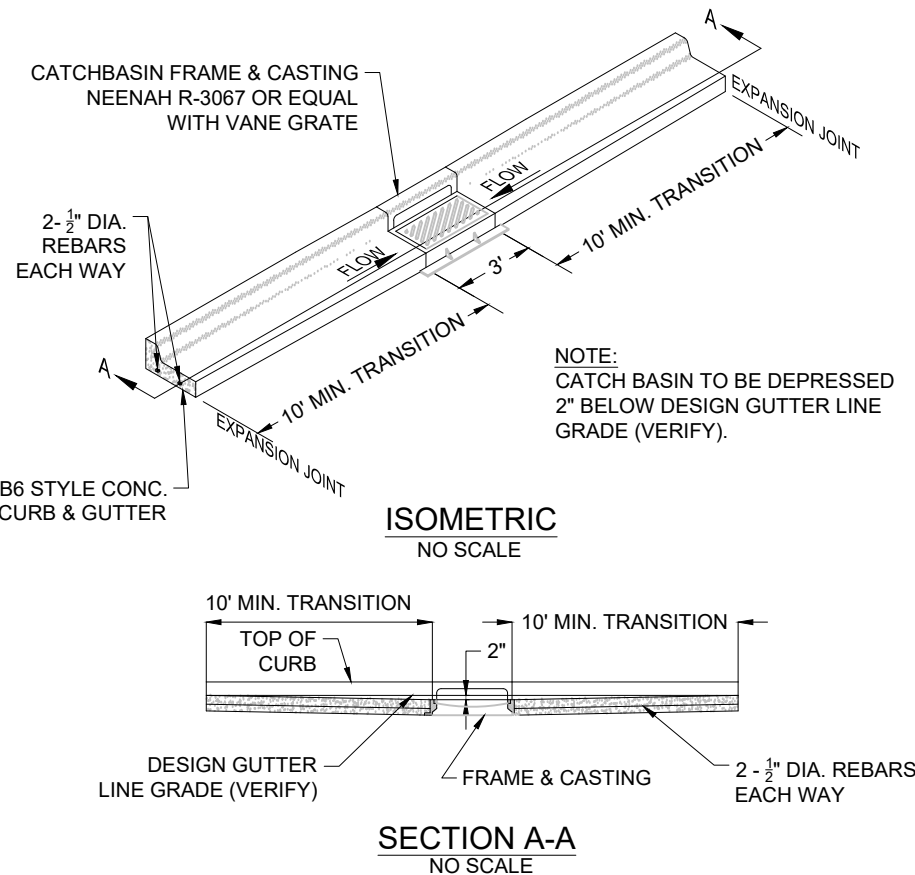
#### ISSUE RECORD

ISSUE #	DATE	DESCRIPTION
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2	05/24/2024	100% CD SET
3	06/18/2024	CITY RESUBMITTAL

## 100% CD

## DETAILS

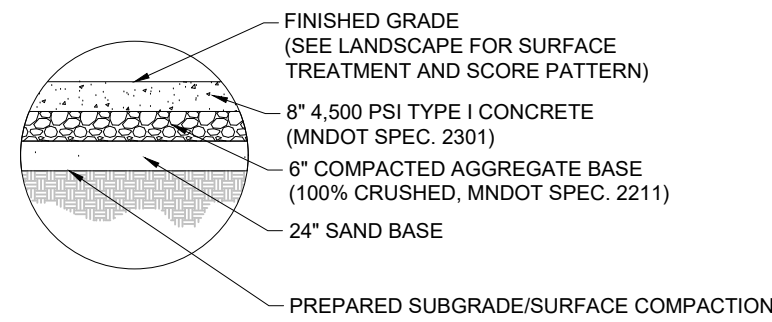
# C602



B6 STYLE CURB & GUTTER CONS. AT CATCH BASIN

1  
C602

NTS



NOTES:  
CONCRETE SHALL BE REINFORCED WITH DEFORMED NO. 3 REINFORCING BARS SPACED AT 16" O.C. IN EACH DIRECTION. TIE ALL INTERSECTIONS TO PREVENT SHIFTING AND MAINTAIN A 2" MINIMUM COVER FROM REINFORCING TO CONCRETE EDGE

SAWED OR FORMED CONTROL JOINTS SHOULD BE INCLUDED FOR EACH 225 SQUARE FEET OF AREA OR LESS (15 FEET BY 15 FEET).

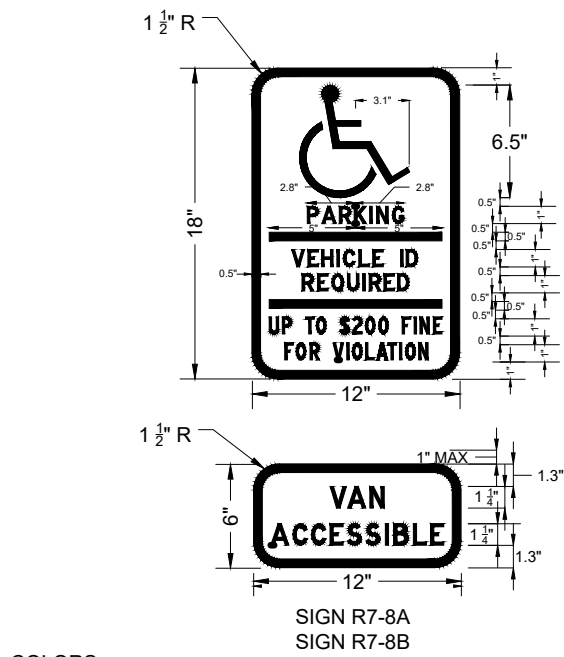
SAW CUTS SHOULD NOT CUT THROUGH THE REINFORCING STEEL AND DOWELS SHOULD BE UTILIZED AT FORMED AND/OR COLD JOINTS.

SECTION AND MIX REQUIREMENTS PER GEOTECHNICAL RECOMMENDATIONS (SEE GEOTECHNICAL EVALUATION REPORT DATED MAY 3RD, 2024)

HEAVY DUTY CONCRETE PAVEMENT SECTION

5  
C602

NTS



COLORS:  
LEGEND AND BORDER - WHITE  
WHITE SYMBOL ON BLUE BACKGROUND - BLUE

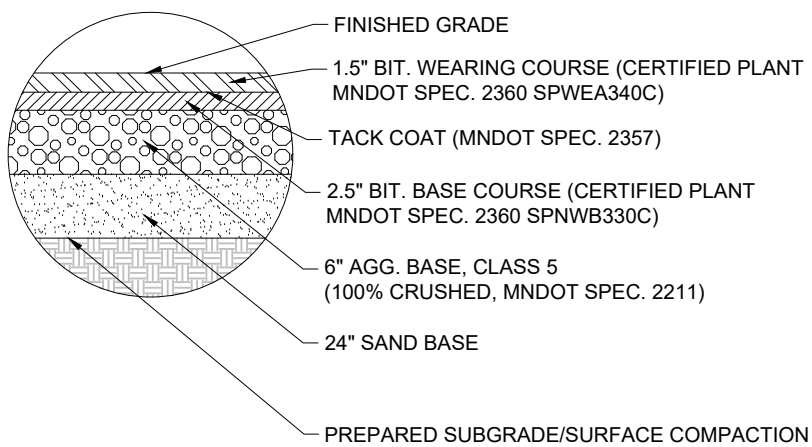
REDUCE SPACING 50%  
SEE APPENDIX "E" FOR SYMBOL PROPORTIONS

NOTE: SIGNAGE REQUIREMENTS VARY: VERIFY ALL DIMENSIONS, COLOR, AND MOUNTING HEIGHTS, ETC. WITH LOCAL AND STATE AUTHORITIES.

VAN ACCESSIBLE HANDICAP SIGN

9  
C602

NTS

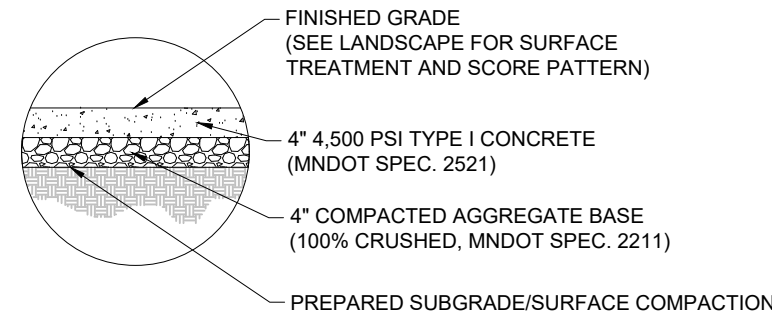


NOTES:  
SECTION AND MIX DESIGN PER GEOTECHNICAL RECOMMENDATIONS (SEE GEOTECHNICAL EVALUATION REPORT DATED MAY 3RD, 2024)

STANDARD DUTY BITUMINOUS PAVEMENT SECTION

2  
C602

NTS

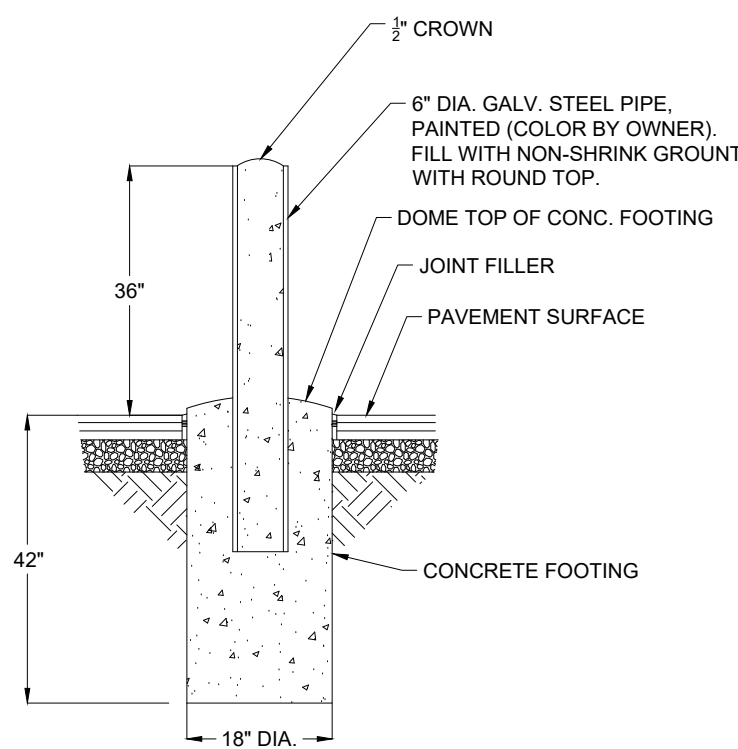


NOTES:  
2% MAX CROSS SLOPE IN PATH OF TRAVEL  
PROVIDE CONTRACTION JOINTS AT 5' SPACING (TYP.)  
PROVIDE EXPANSION JOINTS EVERY 40' OR LESS

CONCRETE SIDEWALK SECTION

6  
C602

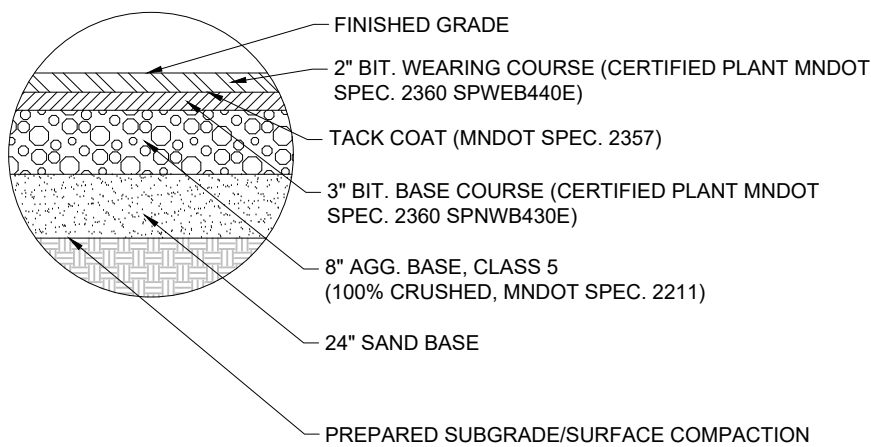
NTS



BOLLARD

10  
C602

NTS

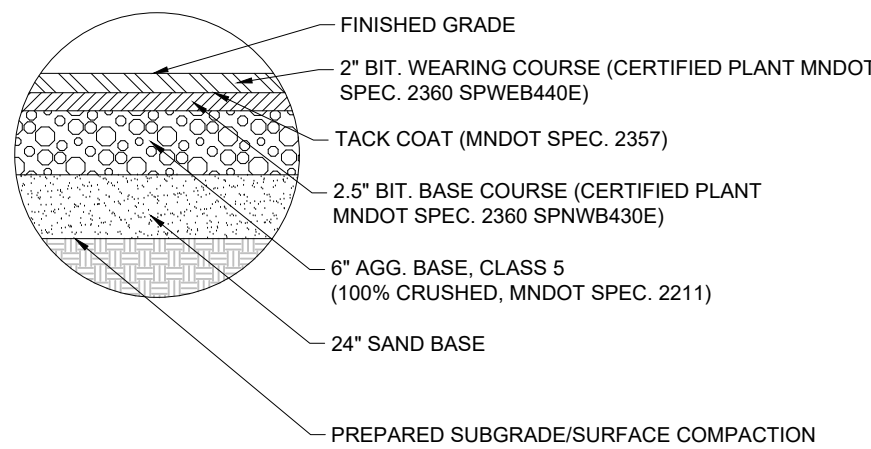


NOTES:  
SECTION AND MIX DESIGN PER GEOTECHNICAL RECOMMENDATIONS (SEE GEOTECHNICAL EVALUATION REPORT DATED MAY 3RD, 2024)

HEAVY DUTY BITUMINOUS PAVEMENT SECTION

3  
C602

NTS

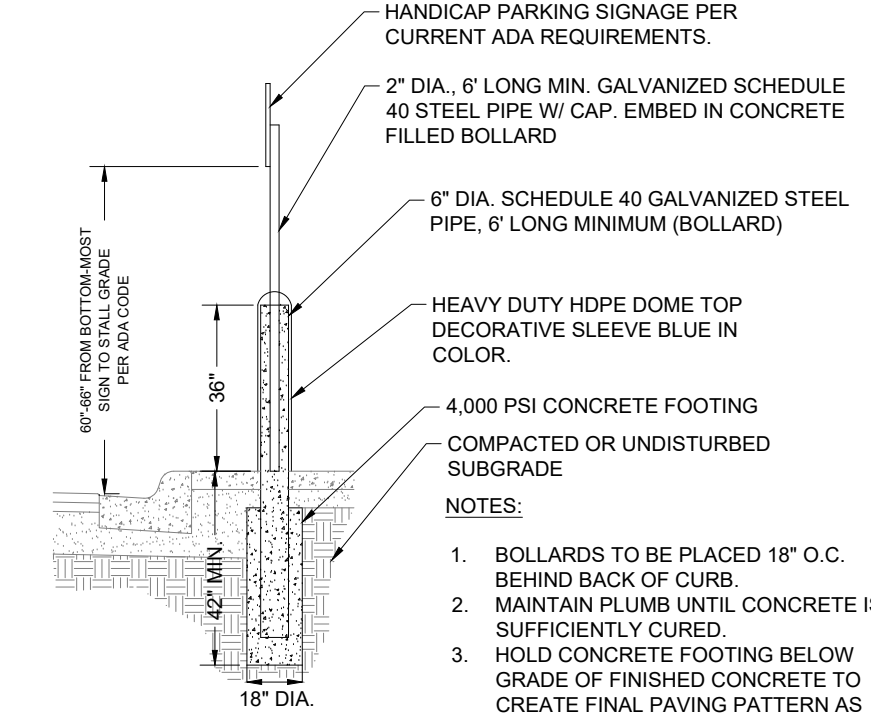


NOTES:  
SECTION AND MIX DESIGN PER GEOTECHNICAL RECOMMENDATIONS

MEDIUM DUTY BITUMINOUS PAVEMENT SECTION

7  
C602

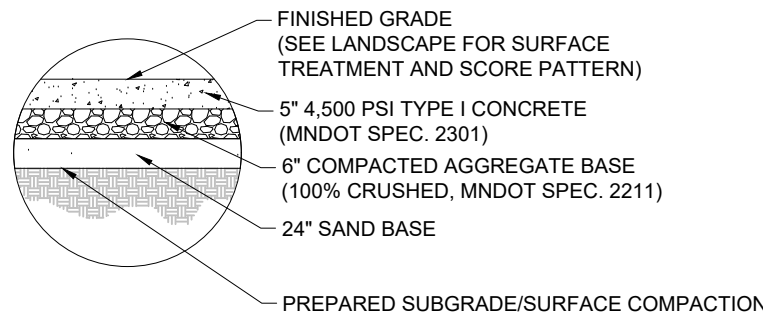
NTS



ADA PARKING SIGN W/ BOLLARD

11  
C602

NTS



NOTES:  
CONCRETE SHALL BE REINFORCED WITH DEFORMED NO. 3 REINFORCING BARS SPACED AT 16" O.C. IN EACH DIRECTION. TIE ALL INTERSECTIONS TO PREVENT SHIFTING AND MAINTAIN A 2" MINIMUM COVER FROM REINFORCING TO CONCRETE EDGE

SAWED OR FORMED CONTROL JOINTS SHOULD BE INCLUDED FOR EACH 225 SQUARE FEET OF AREA OR LESS (15 FEET BY 15 FEET).

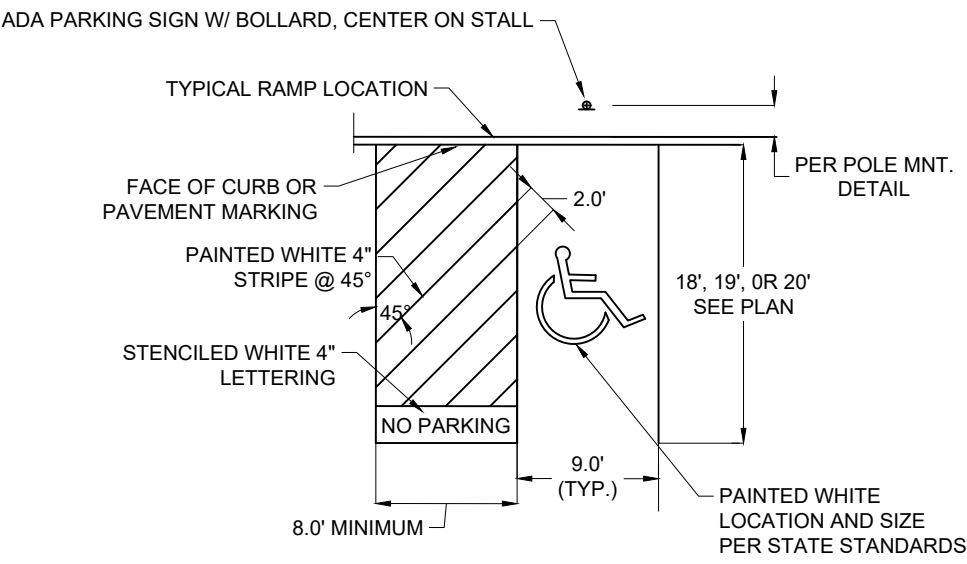
SAW CUTS SHOULD NOT CUT THROUGH THE REINFORCING STEEL AND DOWELS SHOULD BE UTILIZED AT FORMED AND/OR COLD JOINTS.

SECTION AND MIX REQUIREMENTS PER GEOTECHNICAL RECOMMENDATIONS (SEE GEOTECHNICAL EVALUATION REPORT DATED MAY 3RD, 2024)

STANDARD DUTY CONCRETE PAVEMENT SECTION

4  
C602

NTS



HANDICAP PARKING STALL LAYOUT

8  
C602

NTS





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Minneapolis, MN 55415  
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612-492-3000 fax

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PROJECT INFORMATION

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JARED B. OLSON

REGISTRATION NO. 42340 DATE 06/18/2024

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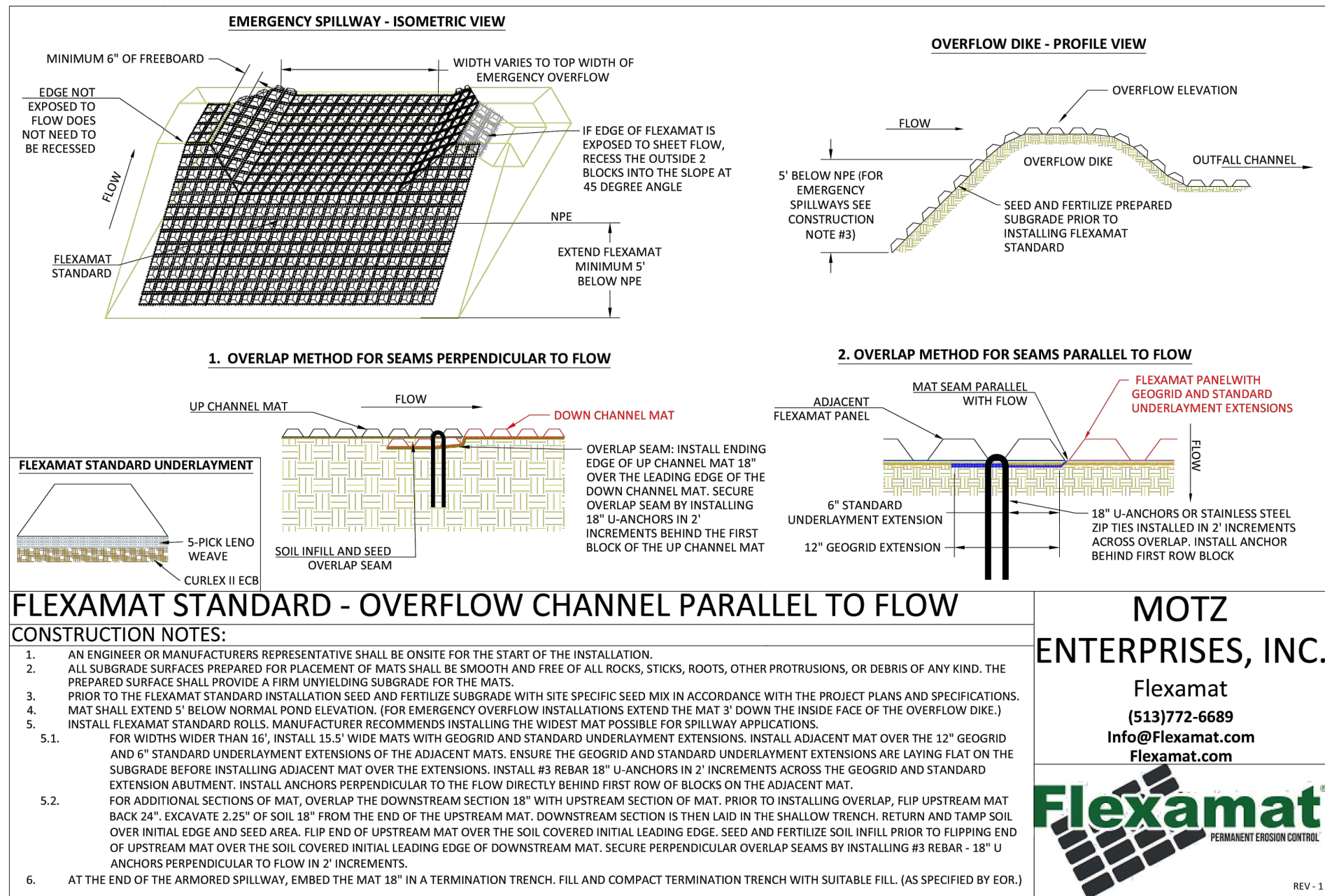
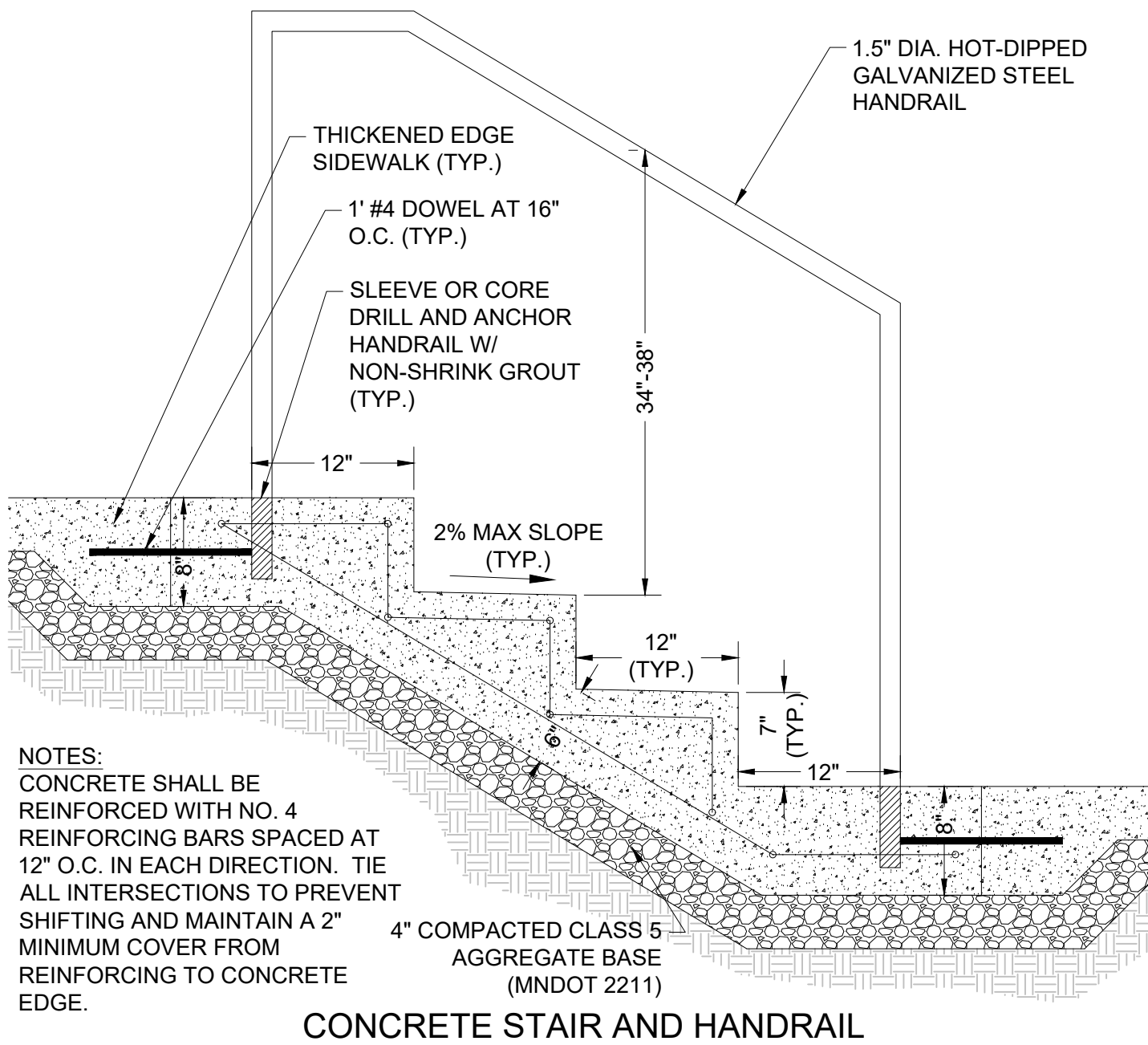
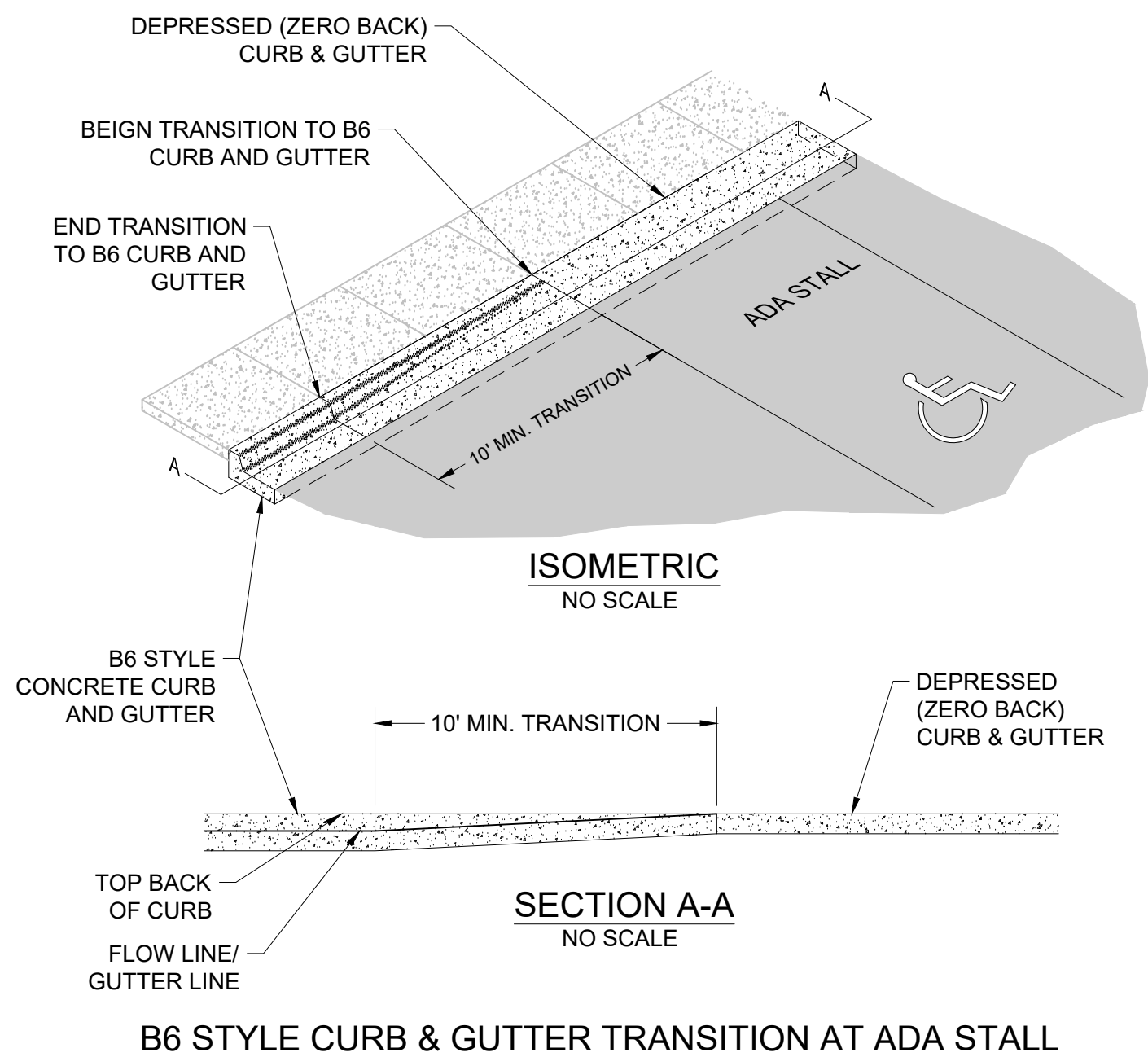
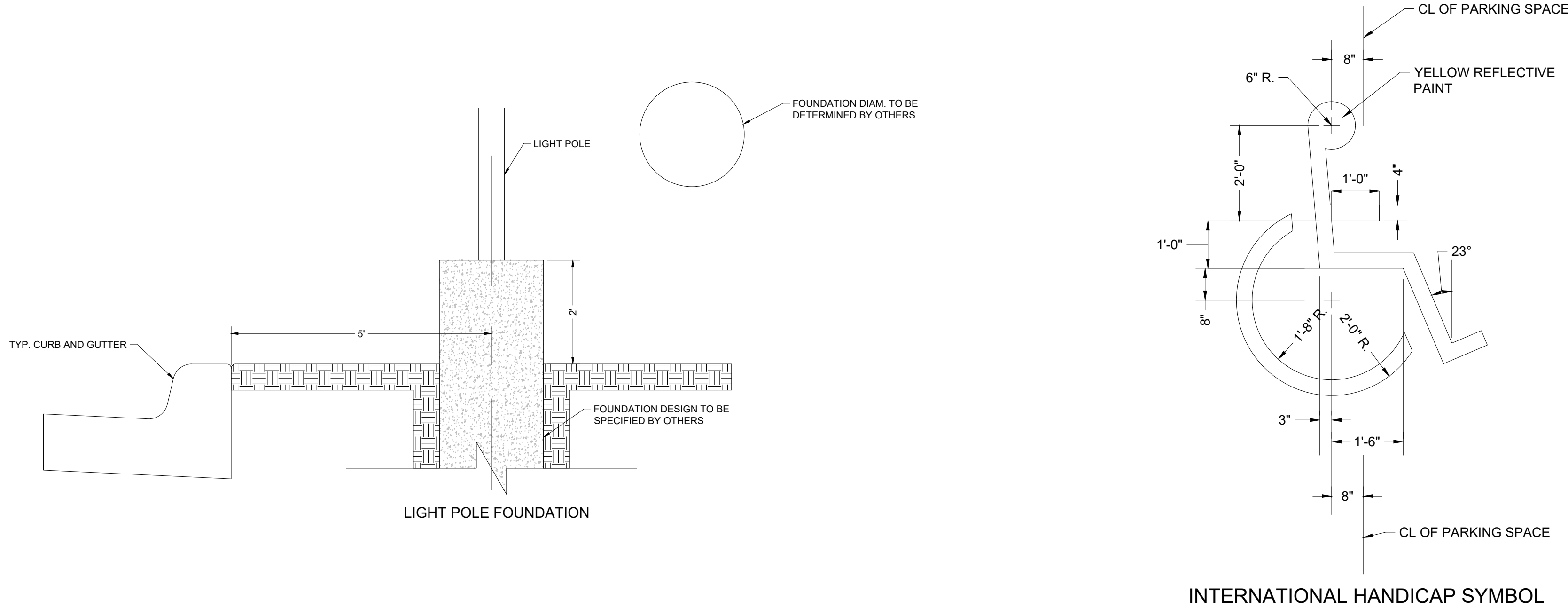
JOB NO. 701676 DATE 06/18/2024

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ISSUE #	DATE	DESCRIPTION
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2	05/24/2024	100% CD SET
3	06/18/2024	CITY RESUBMITTAL

100% CD

DETAILS

C603





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DATE 06/18/2024

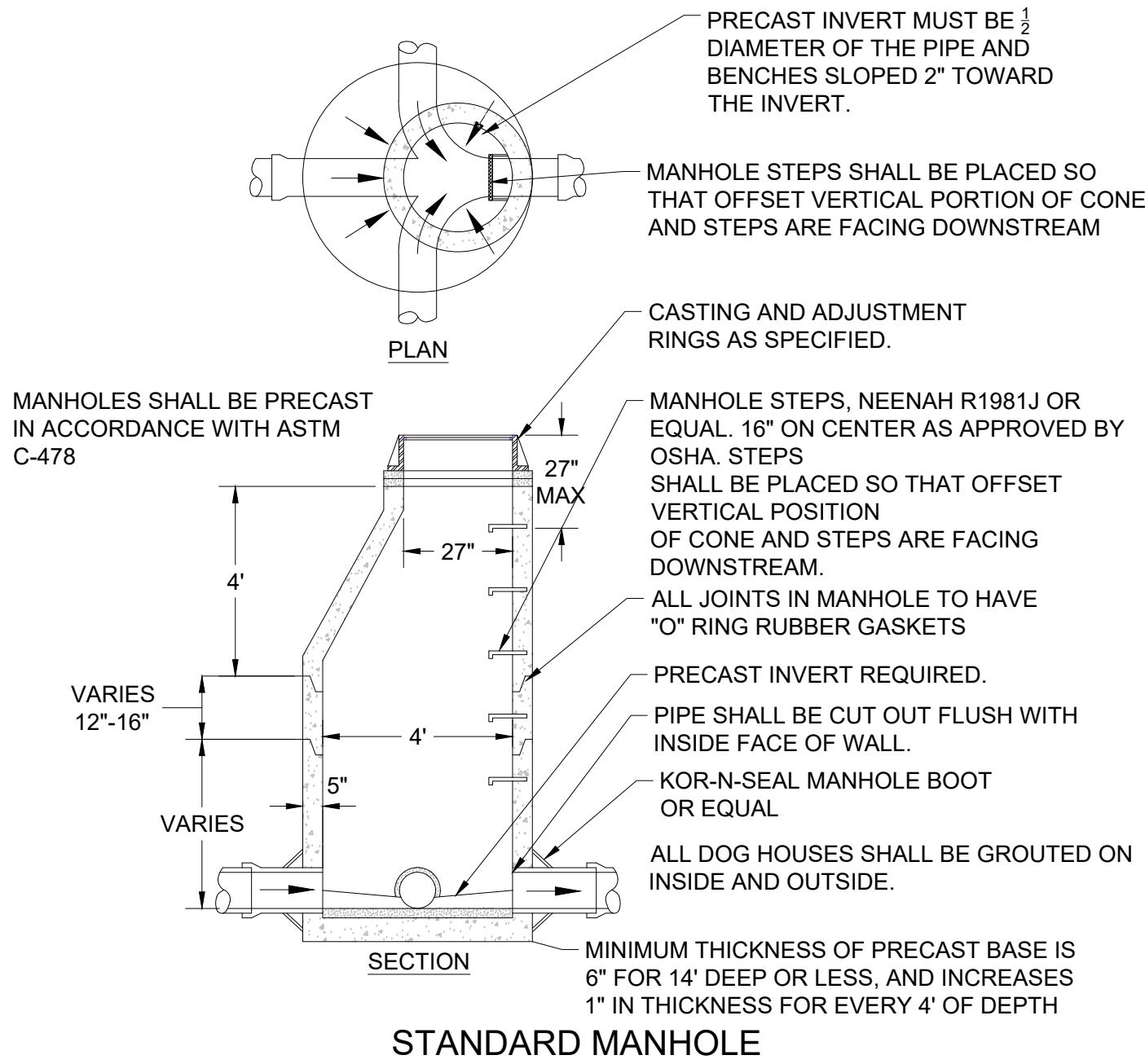
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ISSUE #	DATE	DESCRIPTION
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100% CD

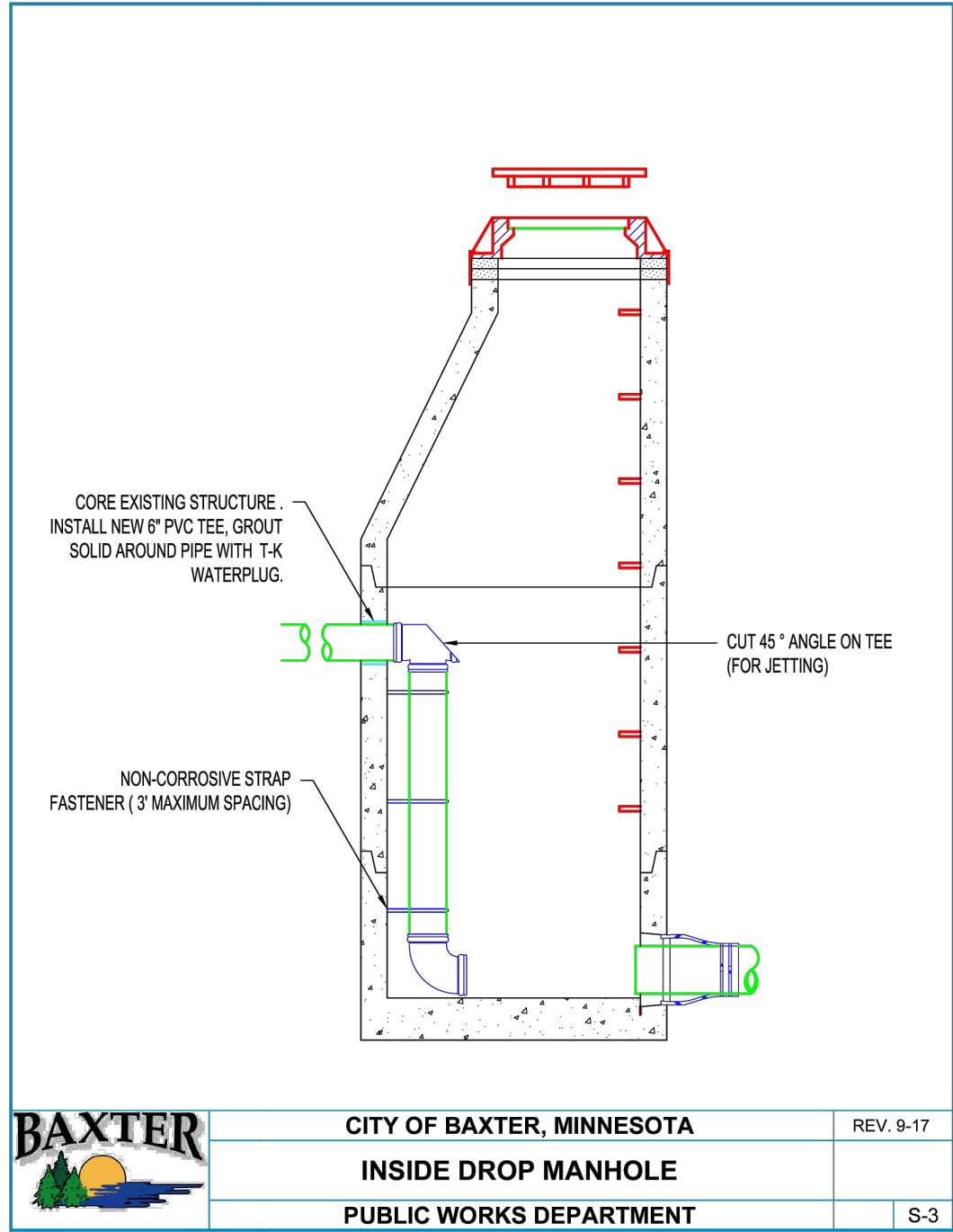
DETAILS

C604



1  
C604

NTS



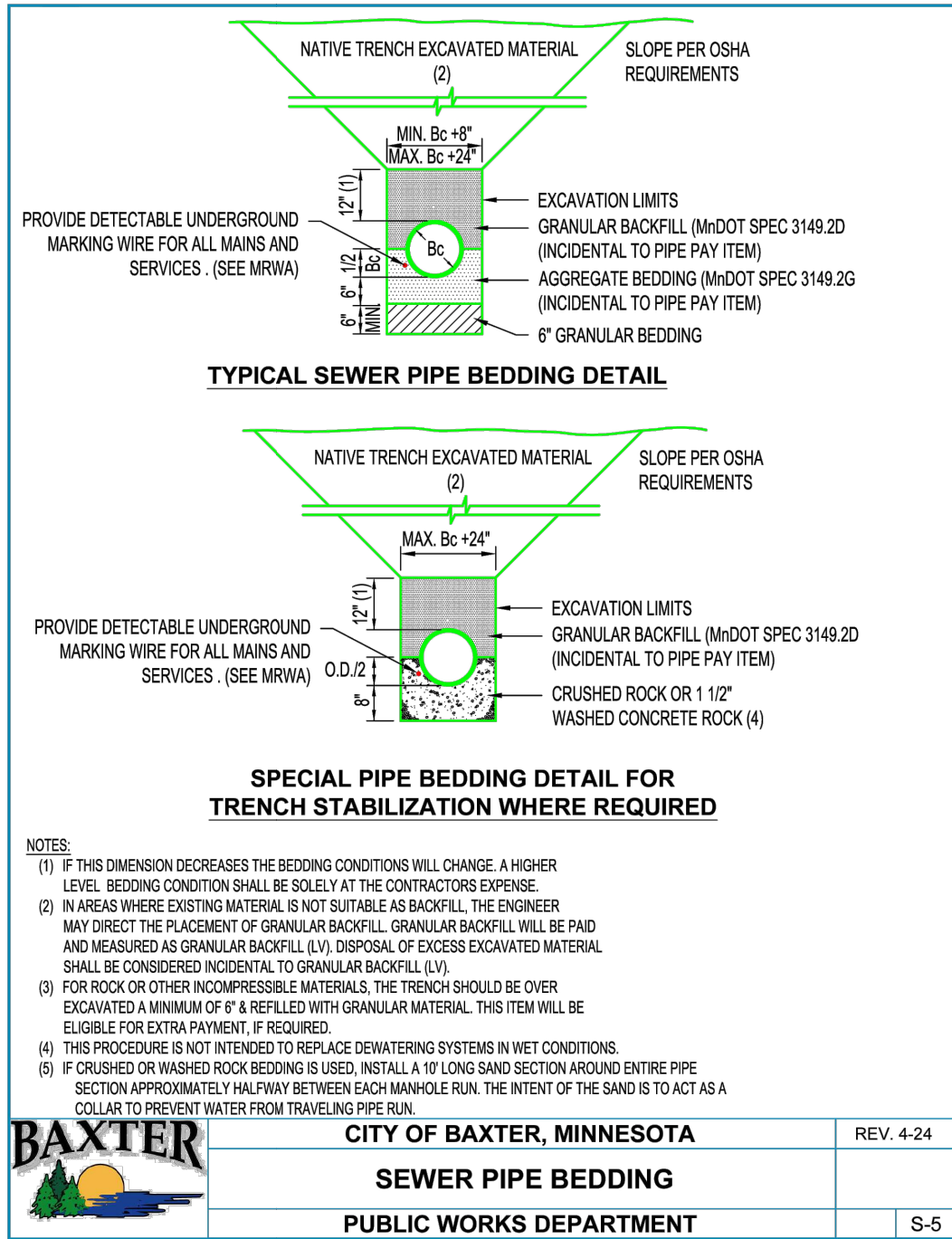
2  
C604

NTS

PVC SANITARY SEWER TRENCH DETAIL

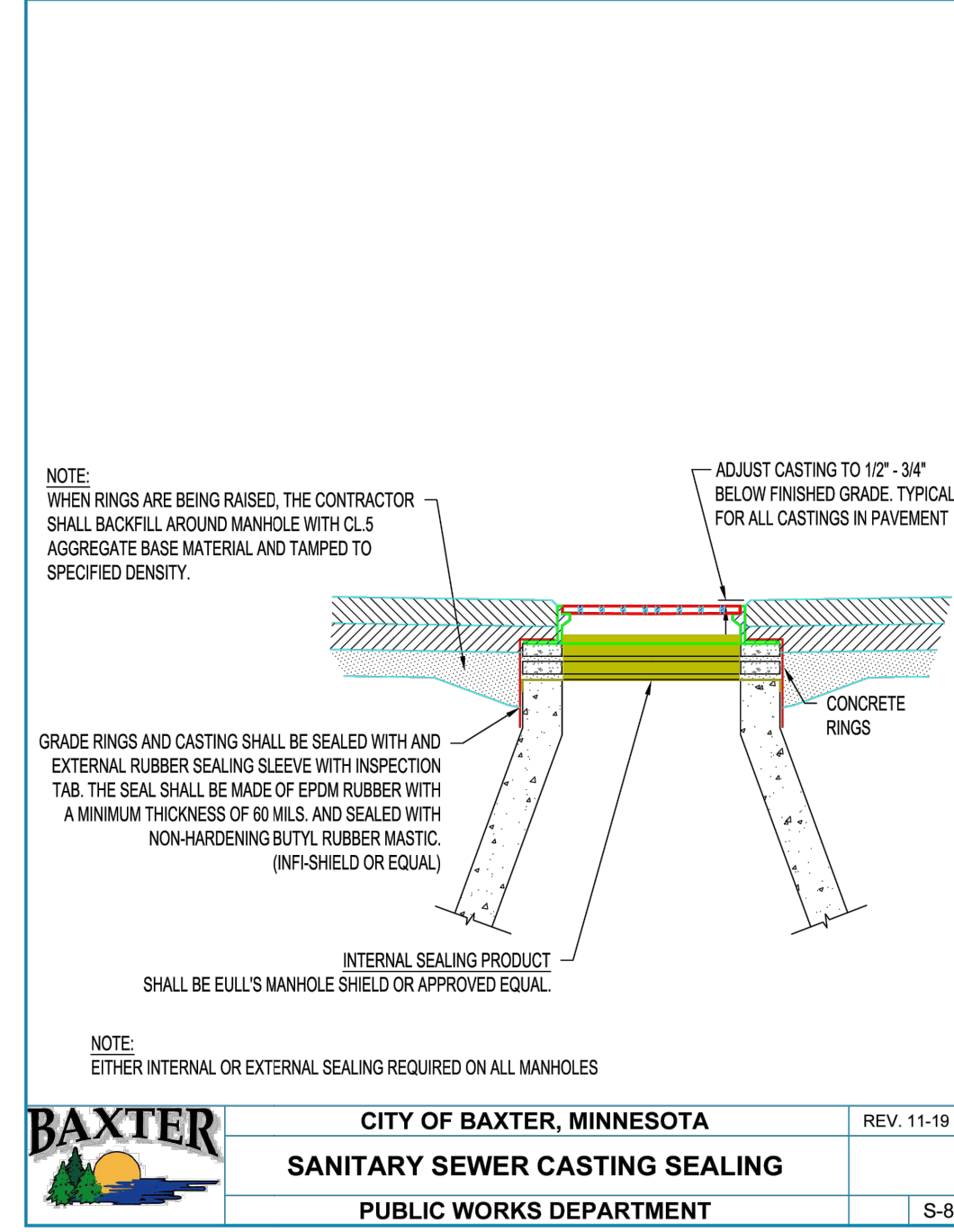
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C604

NTS



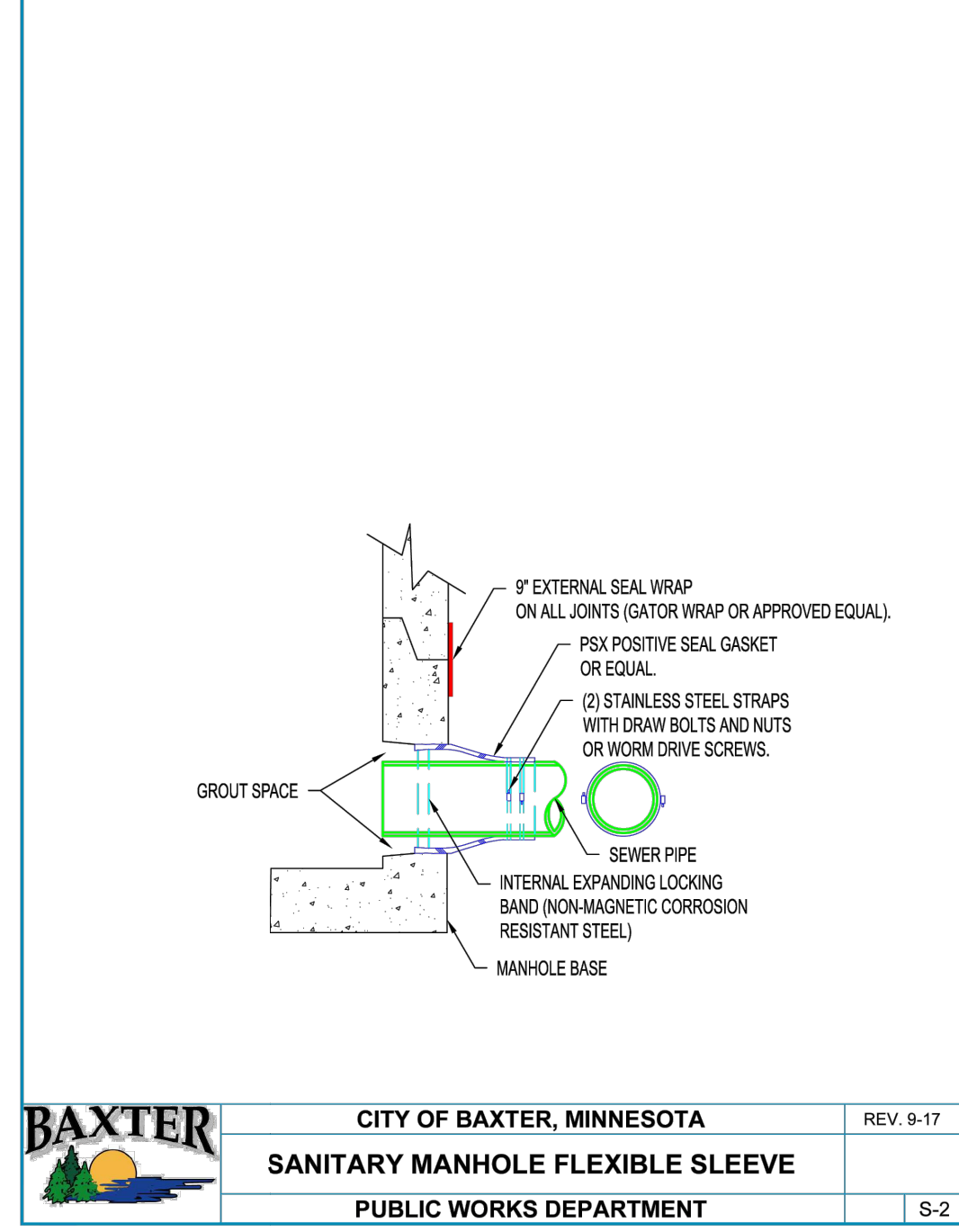
4  
C604

NTS



5  
C604

NTS



6  
C604

NTS





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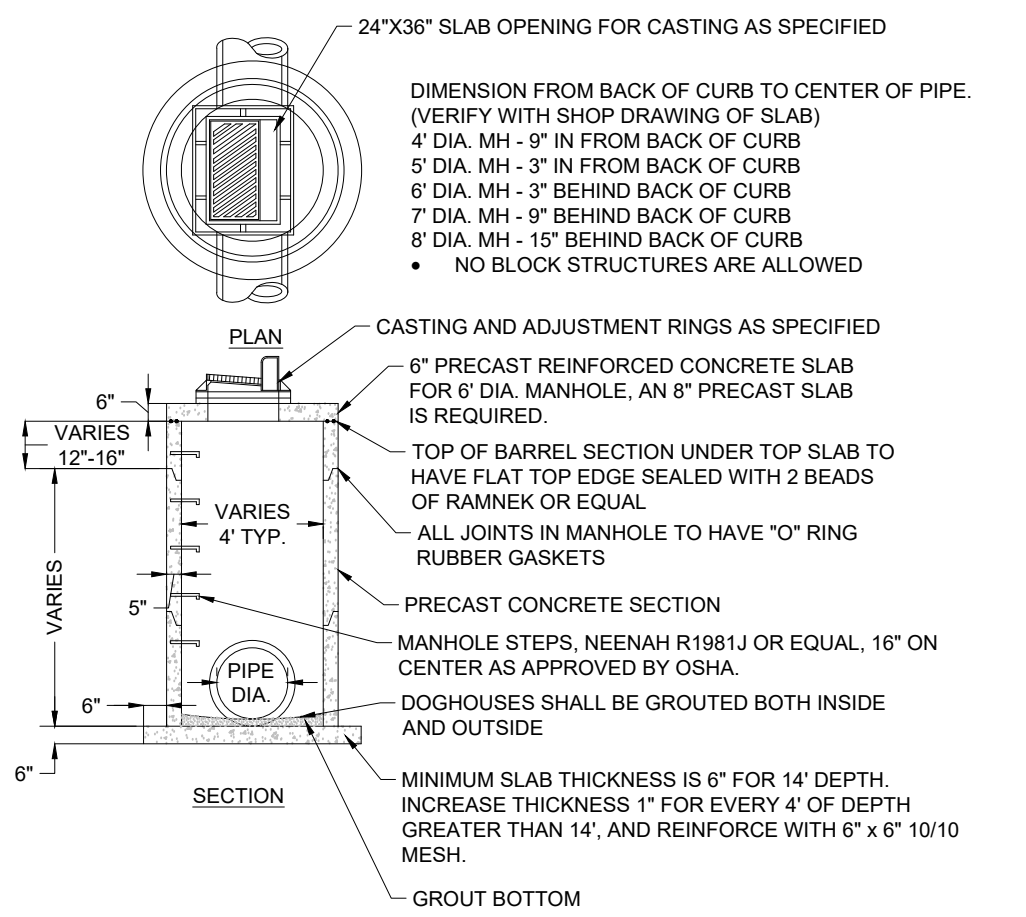
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100% CD

DETAILS

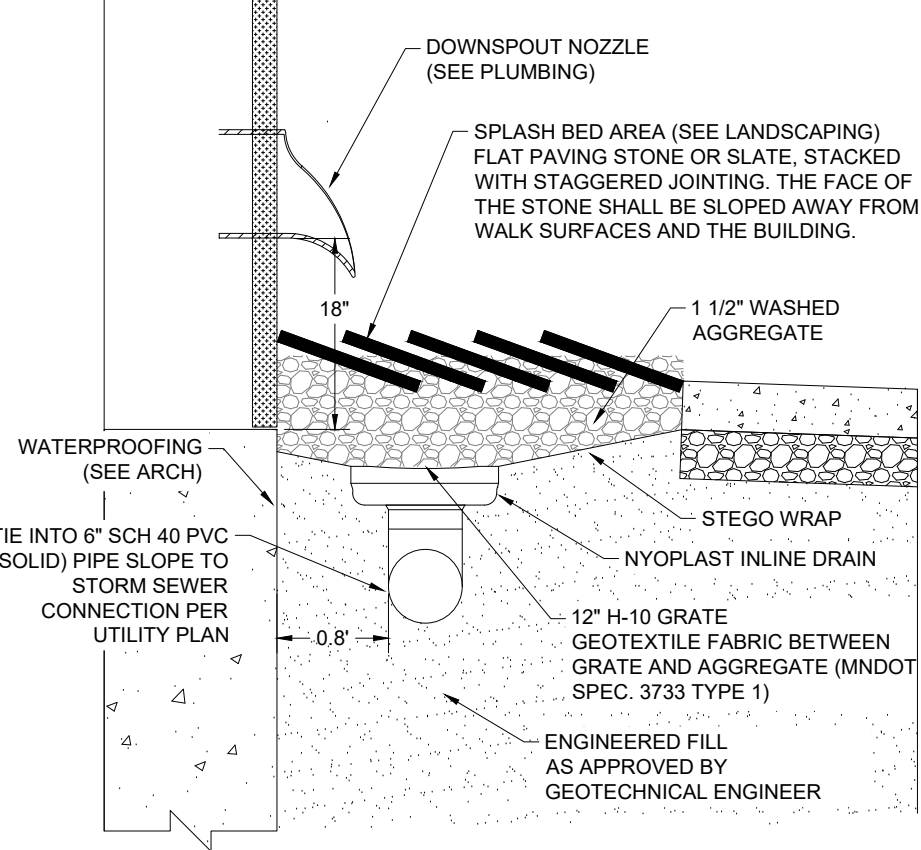
C605



CATCHBASIN MANHOLE WITH RECTANGULAR OPENING

1  
C605

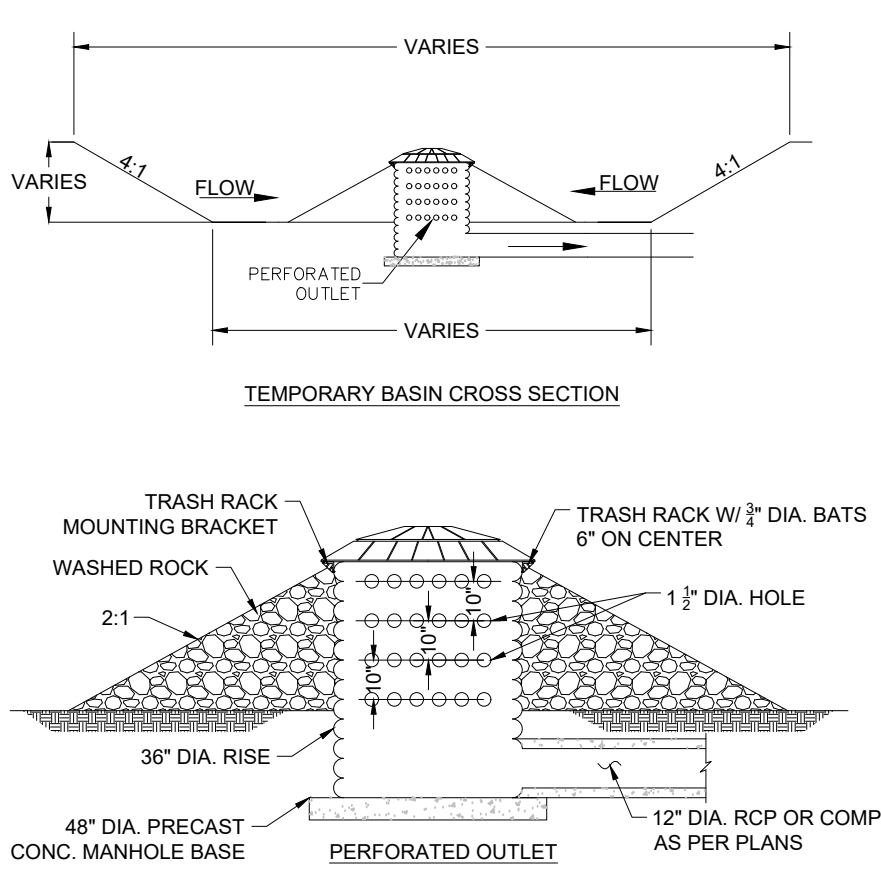
NTS



OVERFLOW DRAIN - LANDSCAPE AREAS

2  
C605

NTS

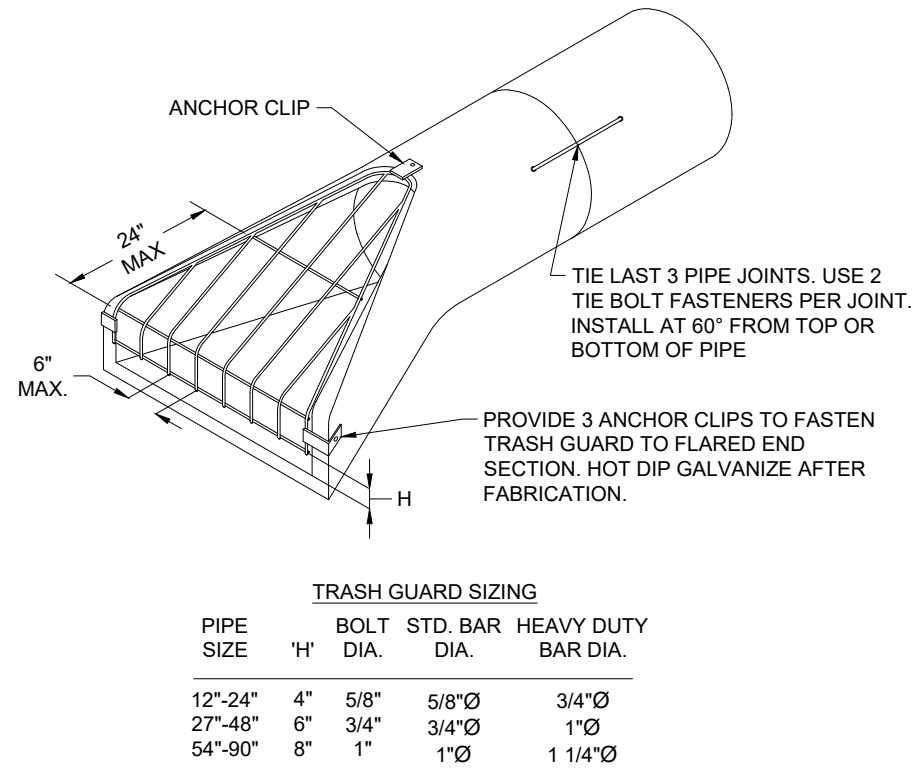


TEMPORARY SEDIMENTATION BASIN OUTLET STRUCTURE

3  
C605

NTS

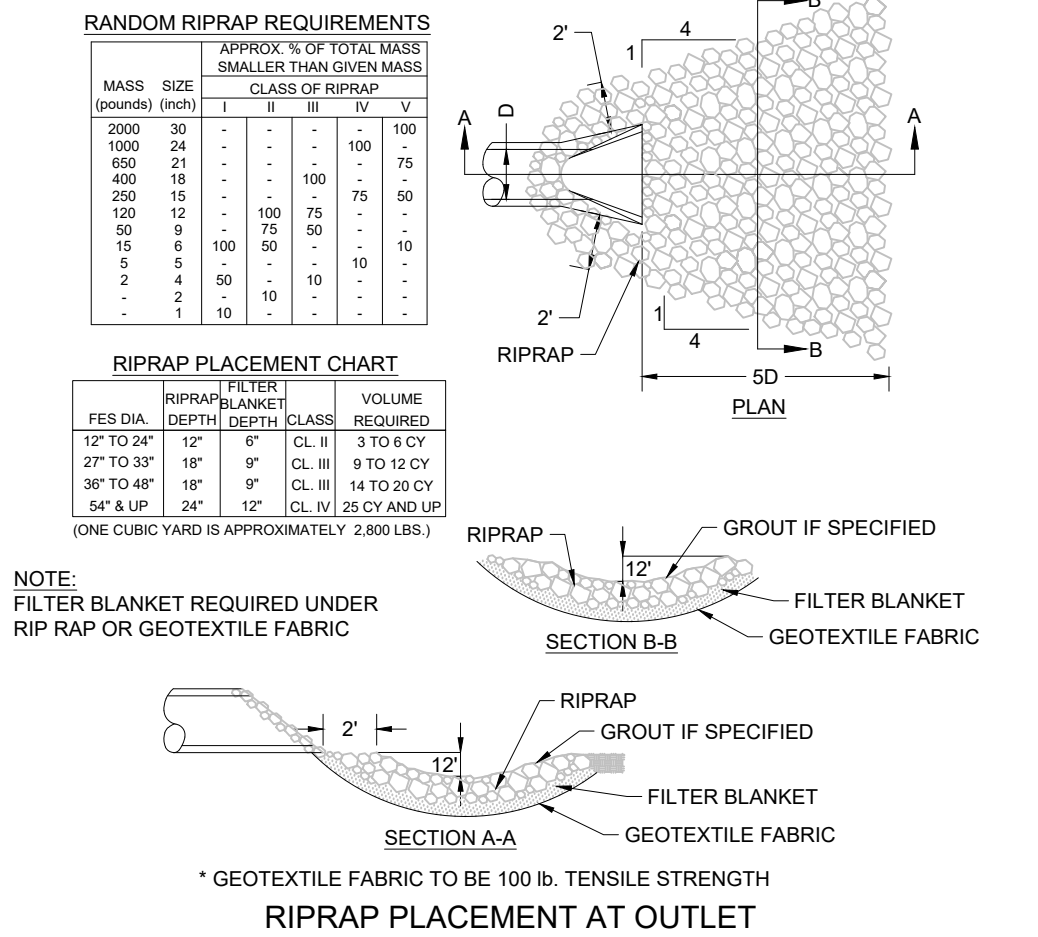
SEE PLATE NO. STM07 FOR RIPRAP PLACEMENT.



FLARED END WITH TRASH GUARD

4  
C605

NTS





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WOLF

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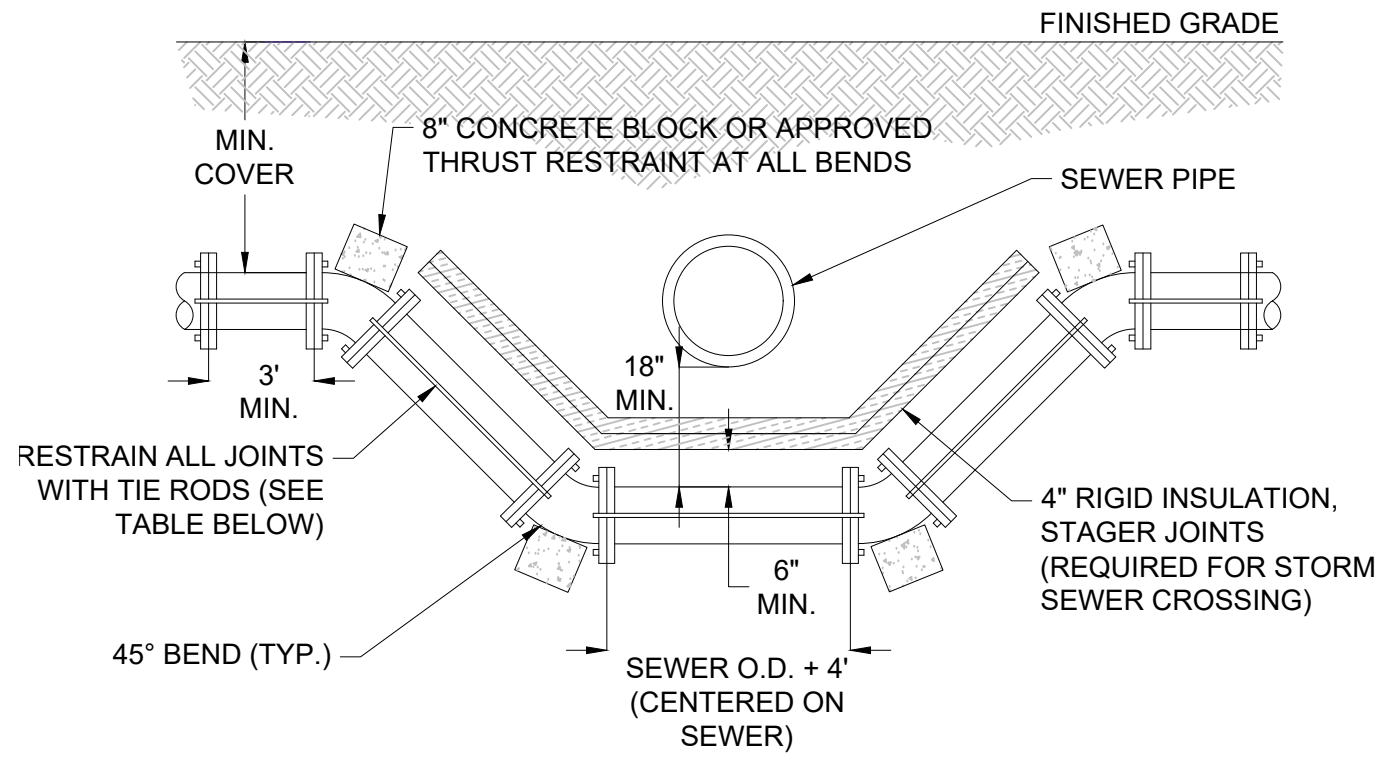
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DCS ---  
JOB NO. DATE  
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1	05/07/2024	90% CD SET
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100% CD

DETAILS

C606



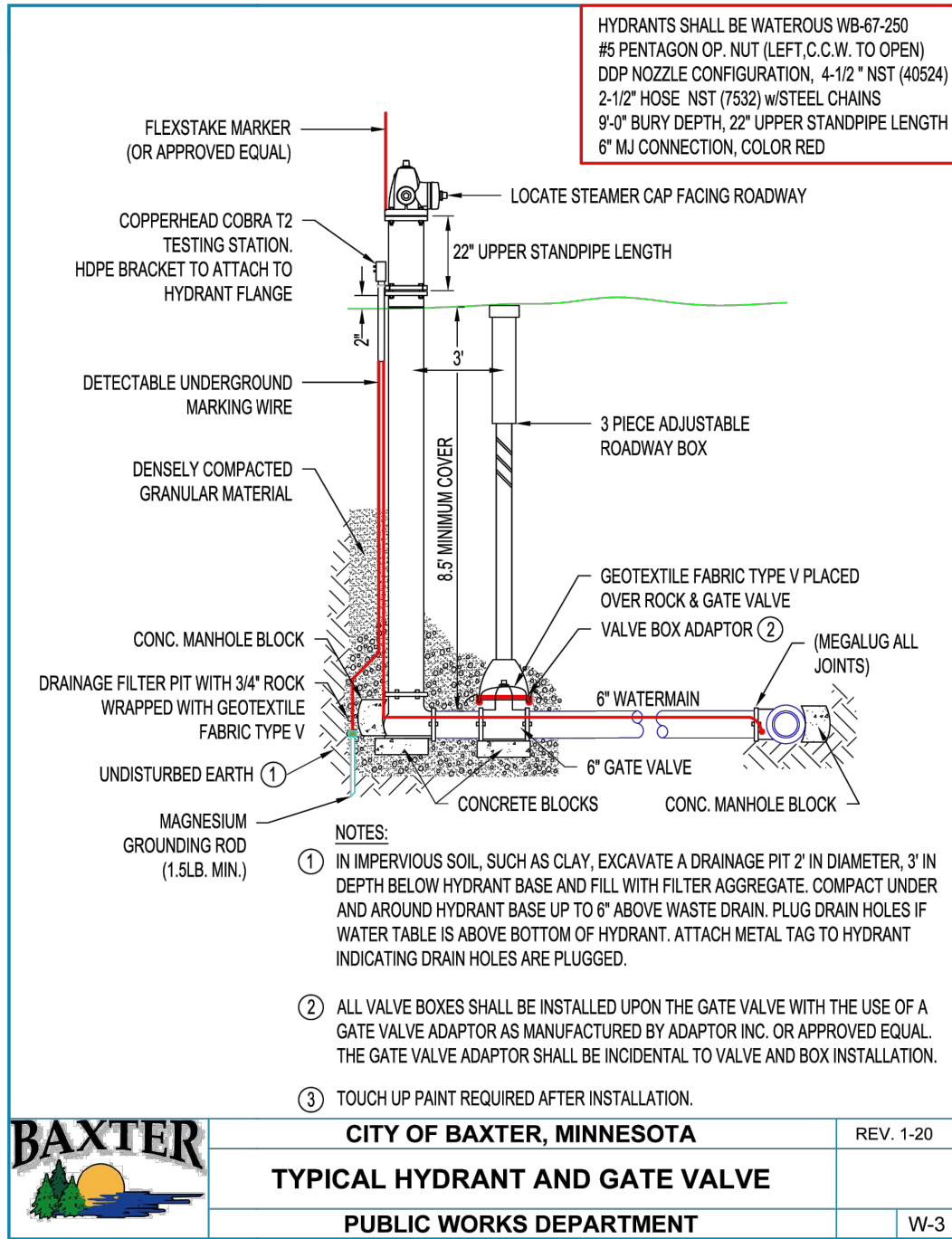
PIPE SIZE	TIE ROD DIAMETER	MIN. NUMBER OF RODS REQUIRED
6"	3/4"	2
8"	3/4"	4
12"	3/4"	6
16"	3/4"	8
20"	3/4"	10

- NOTES:
1. INSTALL MEGA LUGS OR APPROVED EQUAL AT ALL JOINTS AND BENDS
  2. COAT ALL ANCHORAGE PER MANUFACTURERS SPECIFICATIONS
  3. PROVIDE GRANULAR BEDDING MATERIAL (MNDOT 3149.2F) BETWEEN WATER MAIN AND BOTTOM OF INSULATION
  4. INSULATION SHALL BE DOW HIGHLOAD 40 (MNDOT 3760) OR APPROVED EQUAL.

TYPICAL WATER MAIN LOWERING/OFFSET

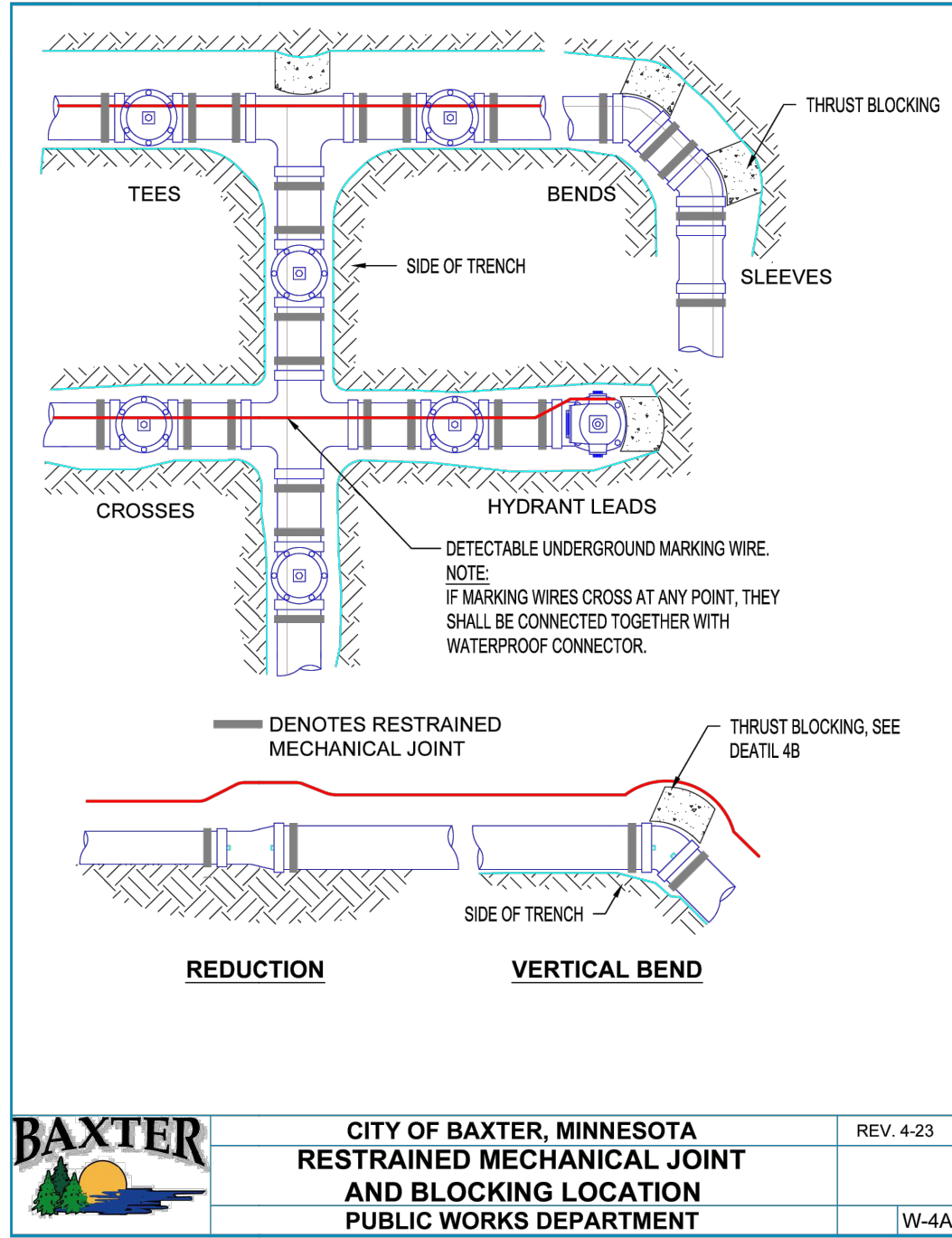
1  
C606

NTS



CITY OF BAXTER, MINNESOTA  
TYPICAL HYDRANT AND GATE VALVE  
PUBLIC WORKS DEPARTMENT

REV. 1-20  
W-3



CITY OF BAXTER, MINNESOTA  
RESTRAINED MECHANICAL JOINT  
AND BLOCKING LOCATION  
PUBLIC WORKS DEPARTMENT

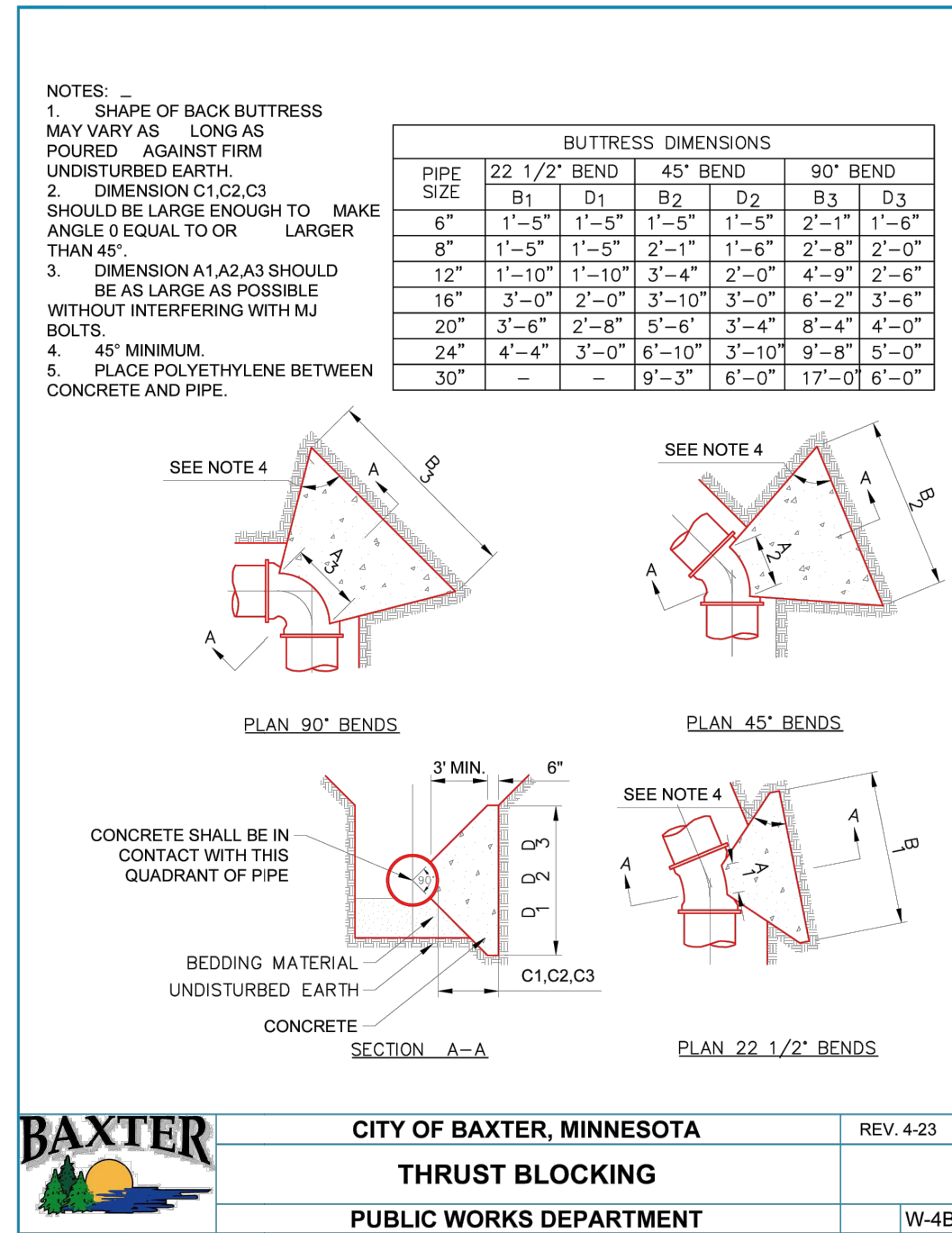
REV. 4-23  
W-4A

4  
C606

NTS

2  
C606

NTS



CITY OF BAXTER, MINNESOTA  
THRUST BLOCKING  
PUBLIC WORKS DEPARTMENT

REV. 4-23  
W-4B

5  
C606

NTS

3  
C606

NTS





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PROJECT INFORMATION

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JARED B. OLSON

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DCS ---  
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701676 06/18/2024

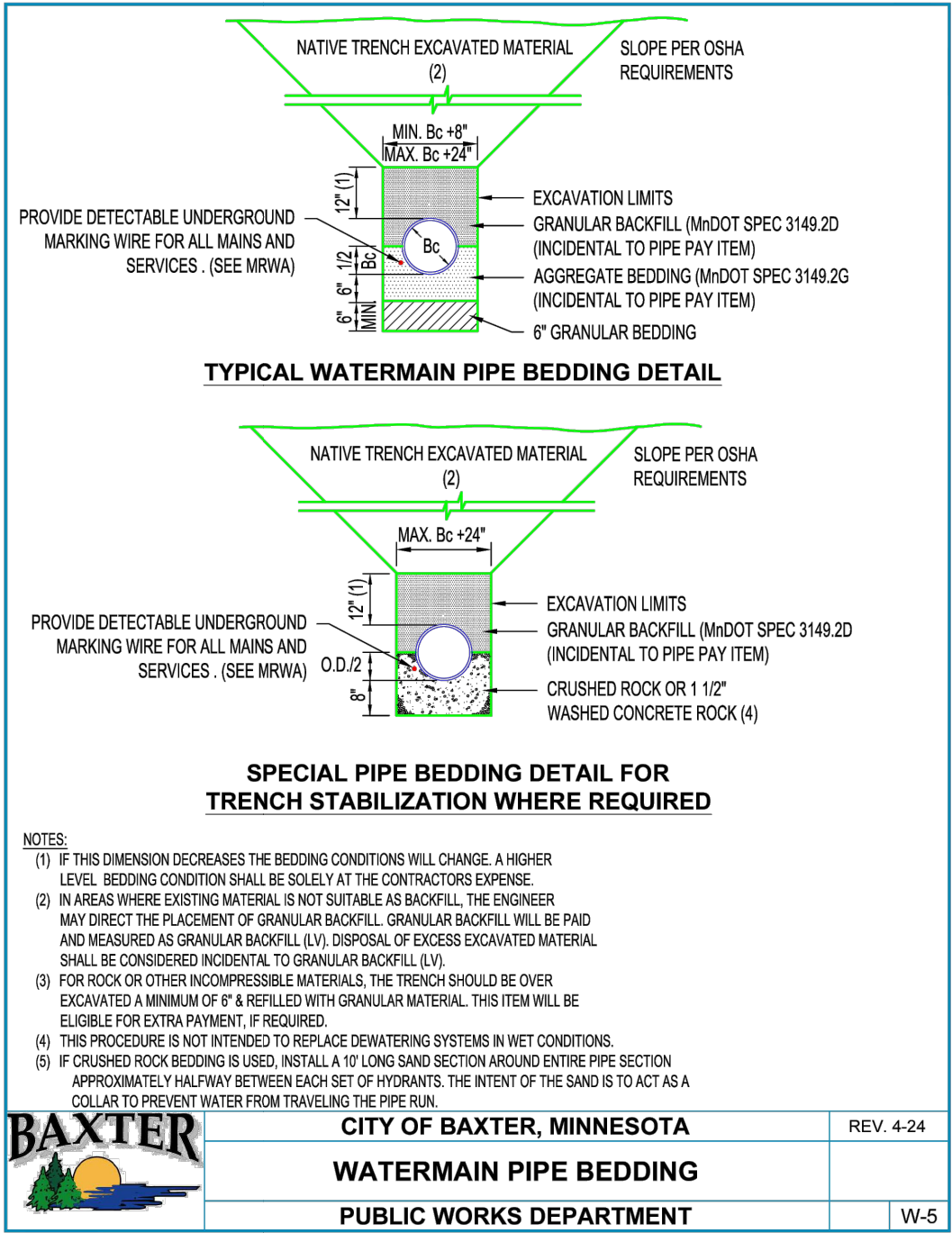
### ISSUE RECORD

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3	06/18/2024	CITY RESUBMITTAL

100% CD

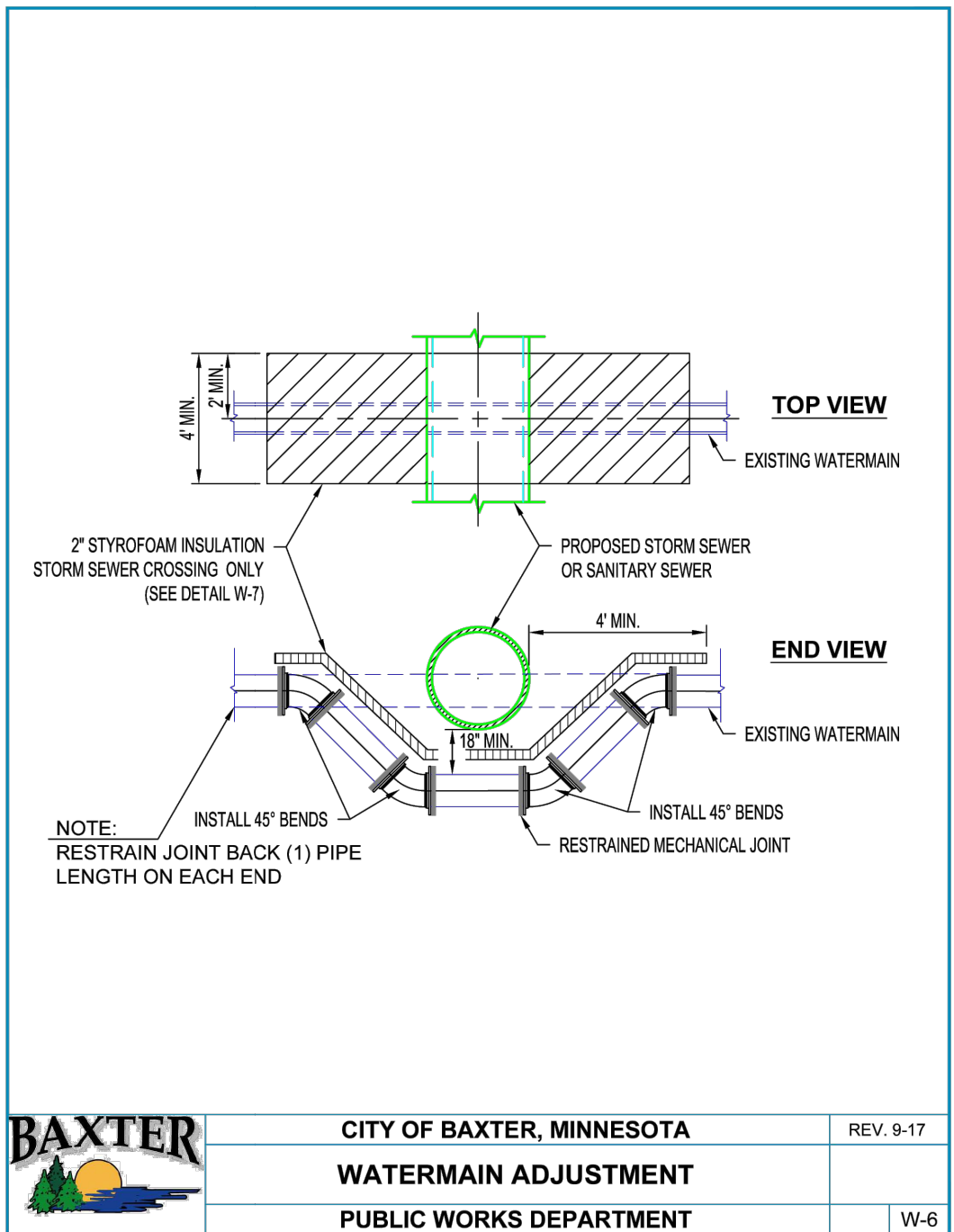
DETAILS

C607



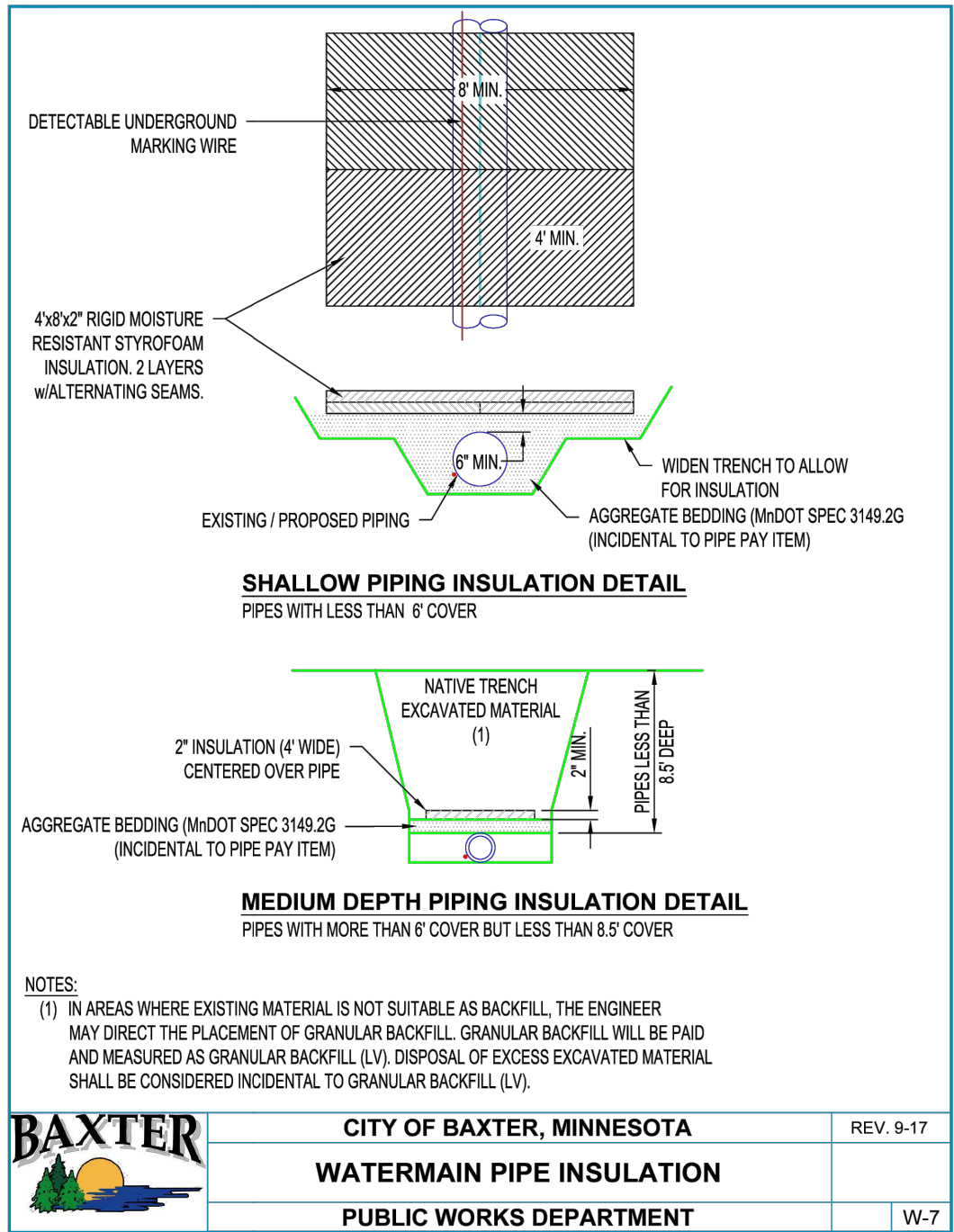
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NTS



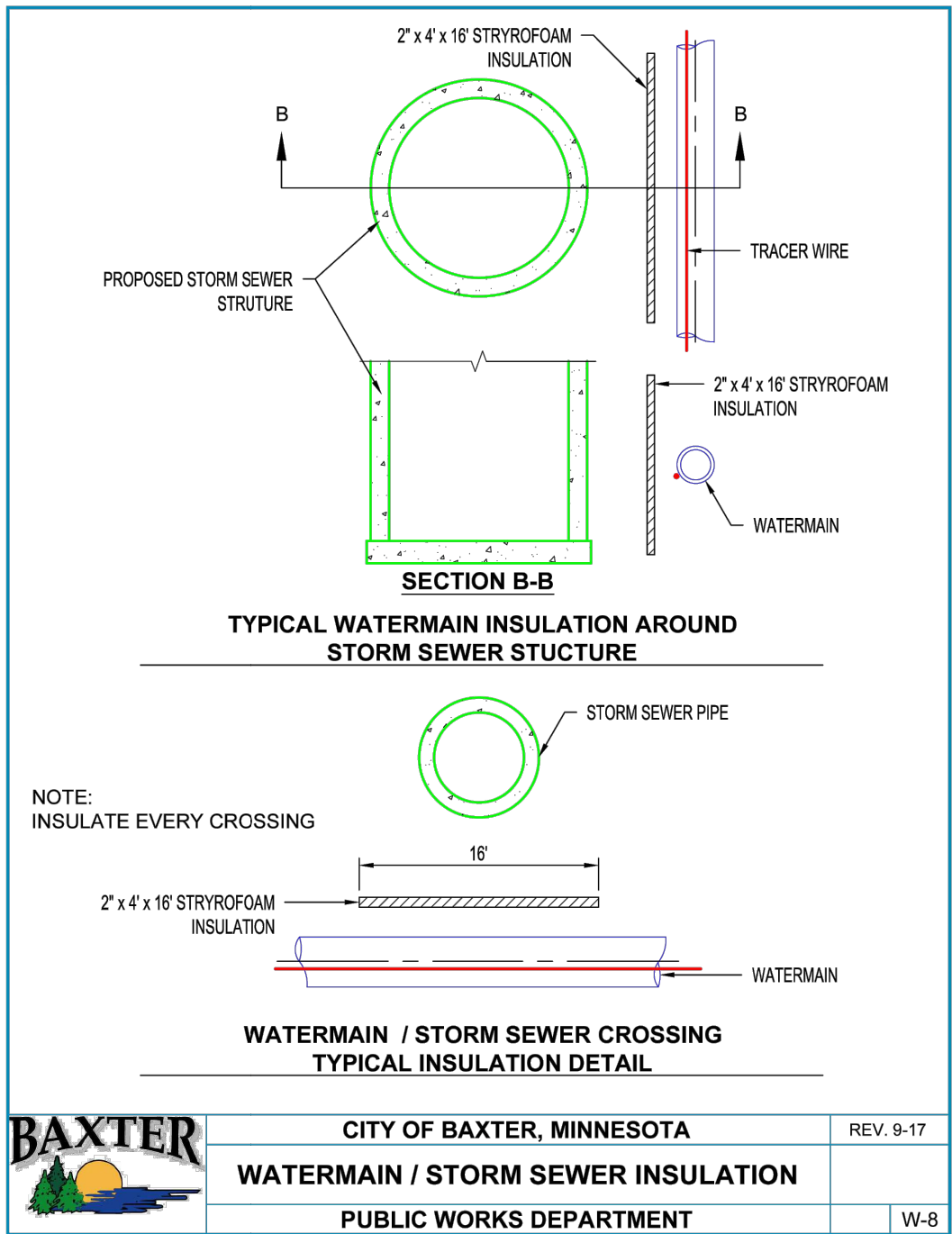
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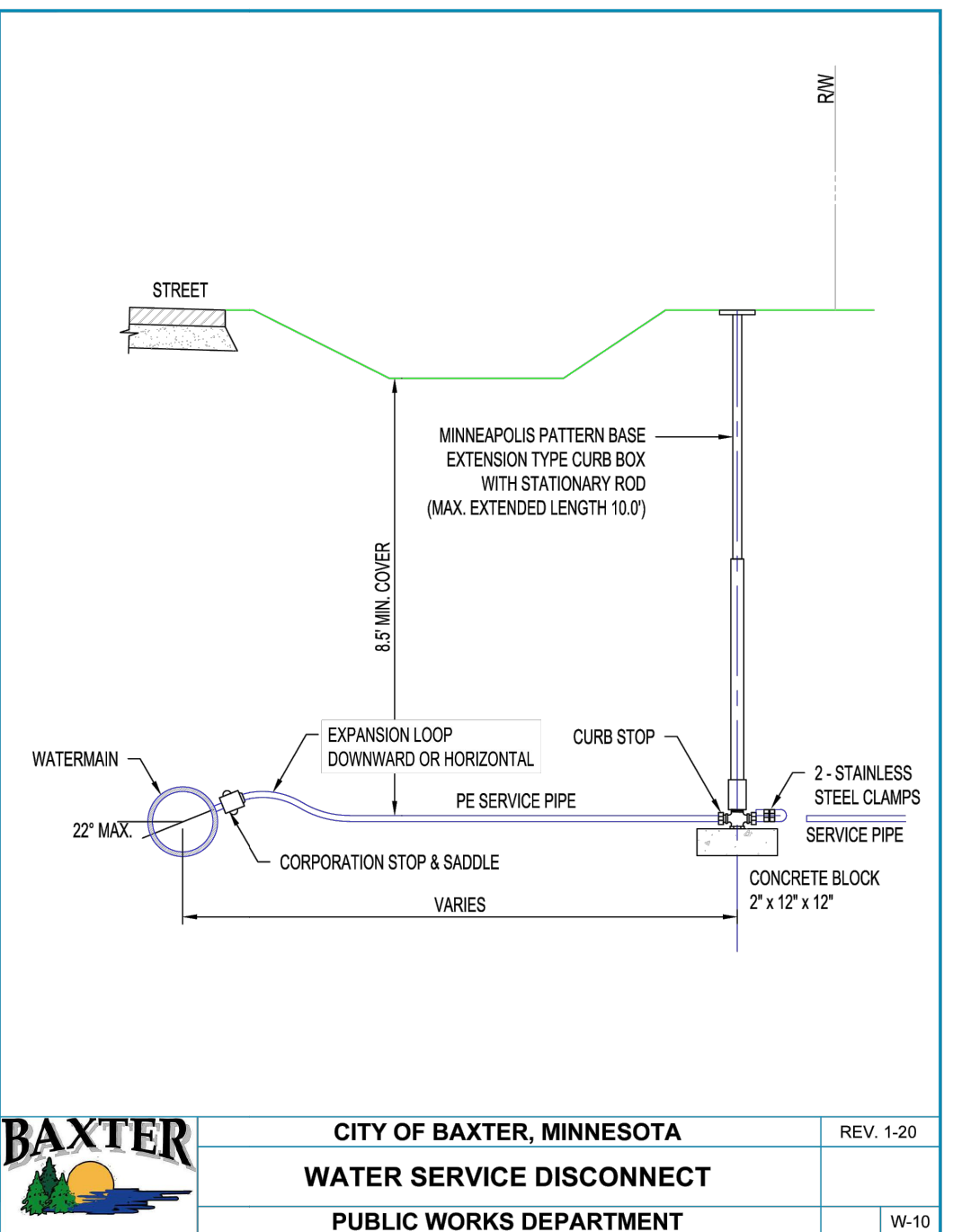
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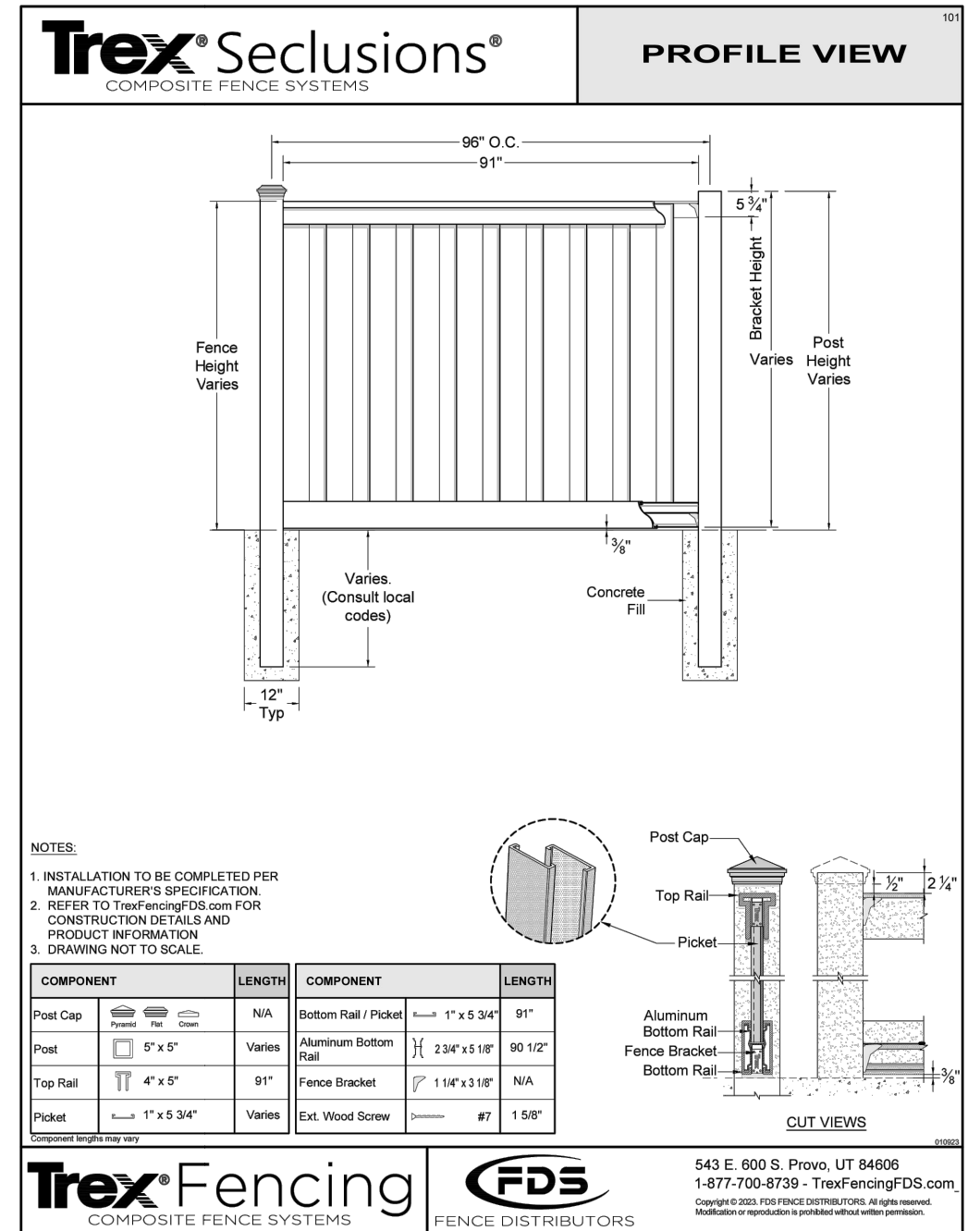
4  
C607

NTS



5  
C607

NTS



6  
C607

NTS





RYAN A+E, INC.  
533 South Third Street, Suite 100  
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612-492-4000 tel  
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OWNER

CONSULTANTS

PROJECT INFORMATION

## PROJECT TIMBER WOLF

BAXTER, MN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

  
JARED B. OLSON

REGISTRATION NO.	DATE
42340	06/18/2024

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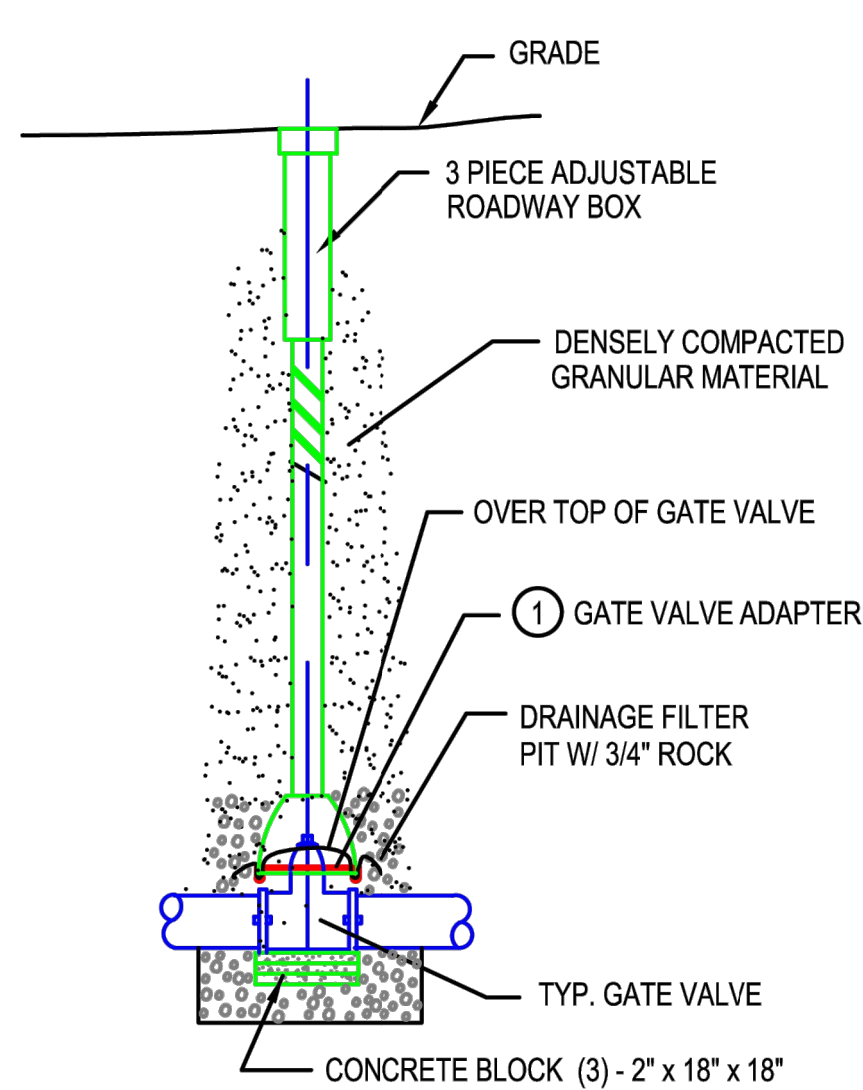
DRAWN BY	CHECKED BY
DCS	---
JOB NO.	DATE
701676	06/18/2024

ISSUE RECORD		
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2	05/24/2024	100% CD SET
3	06/18/2024	CITY RESUBMITTAL

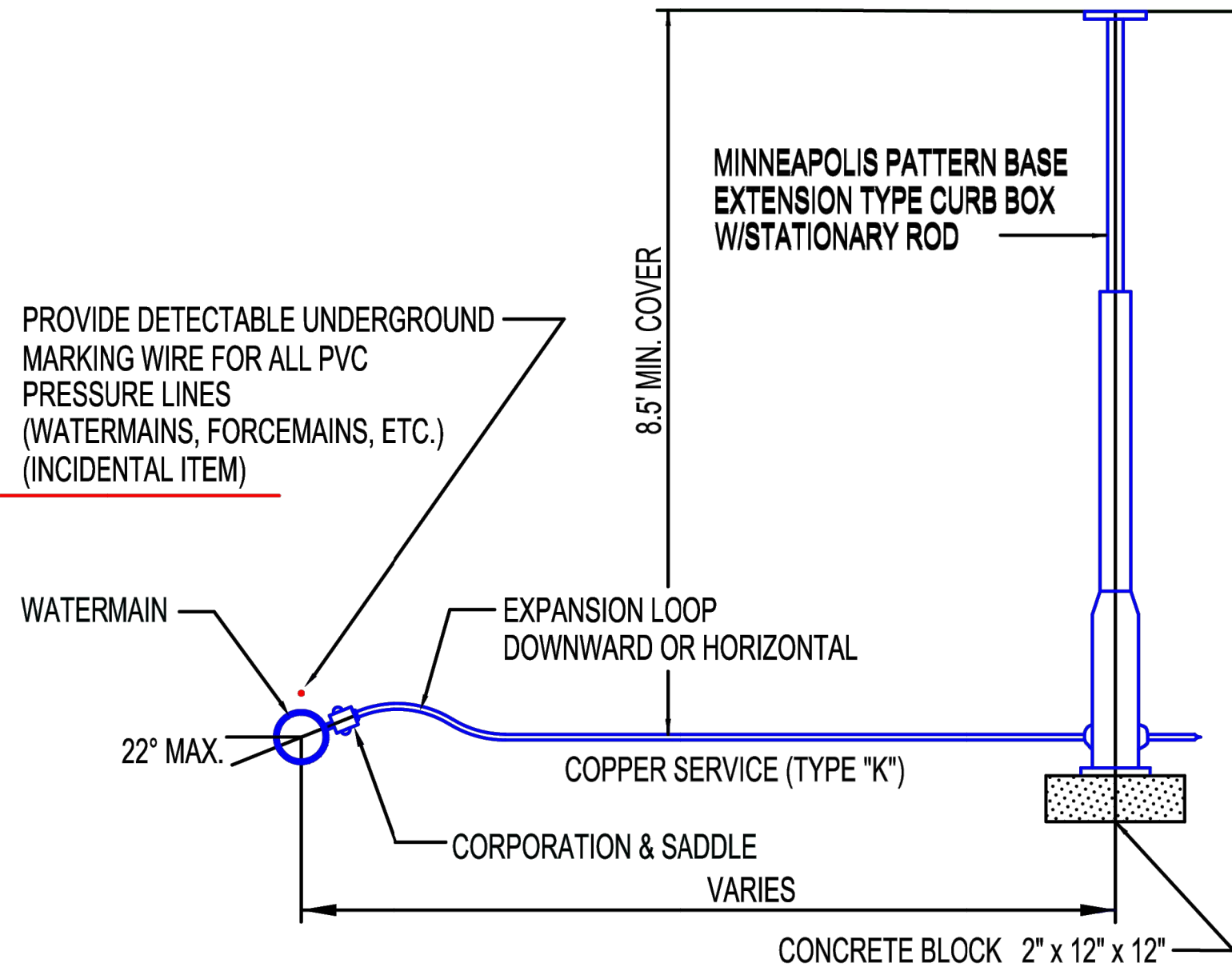
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DETAILS

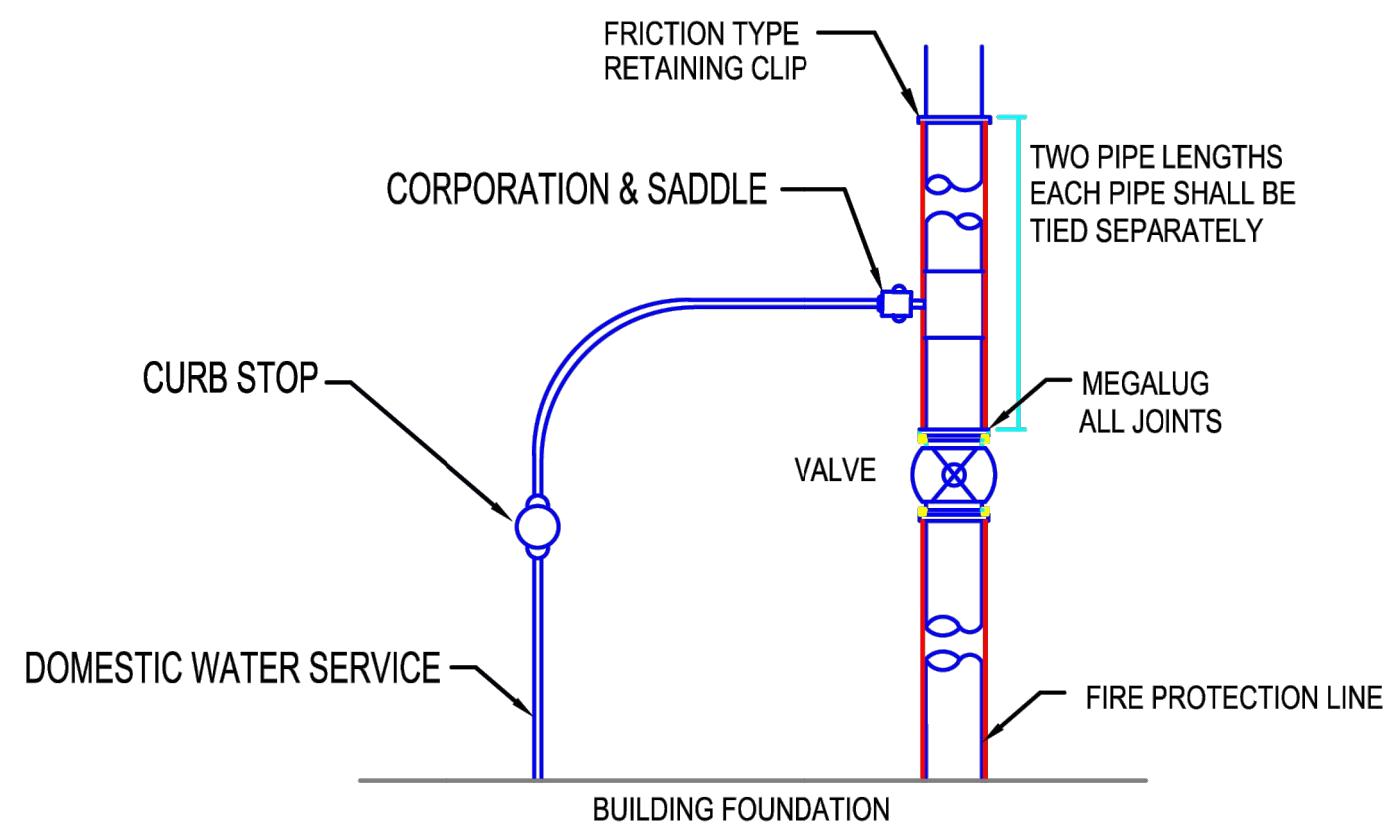
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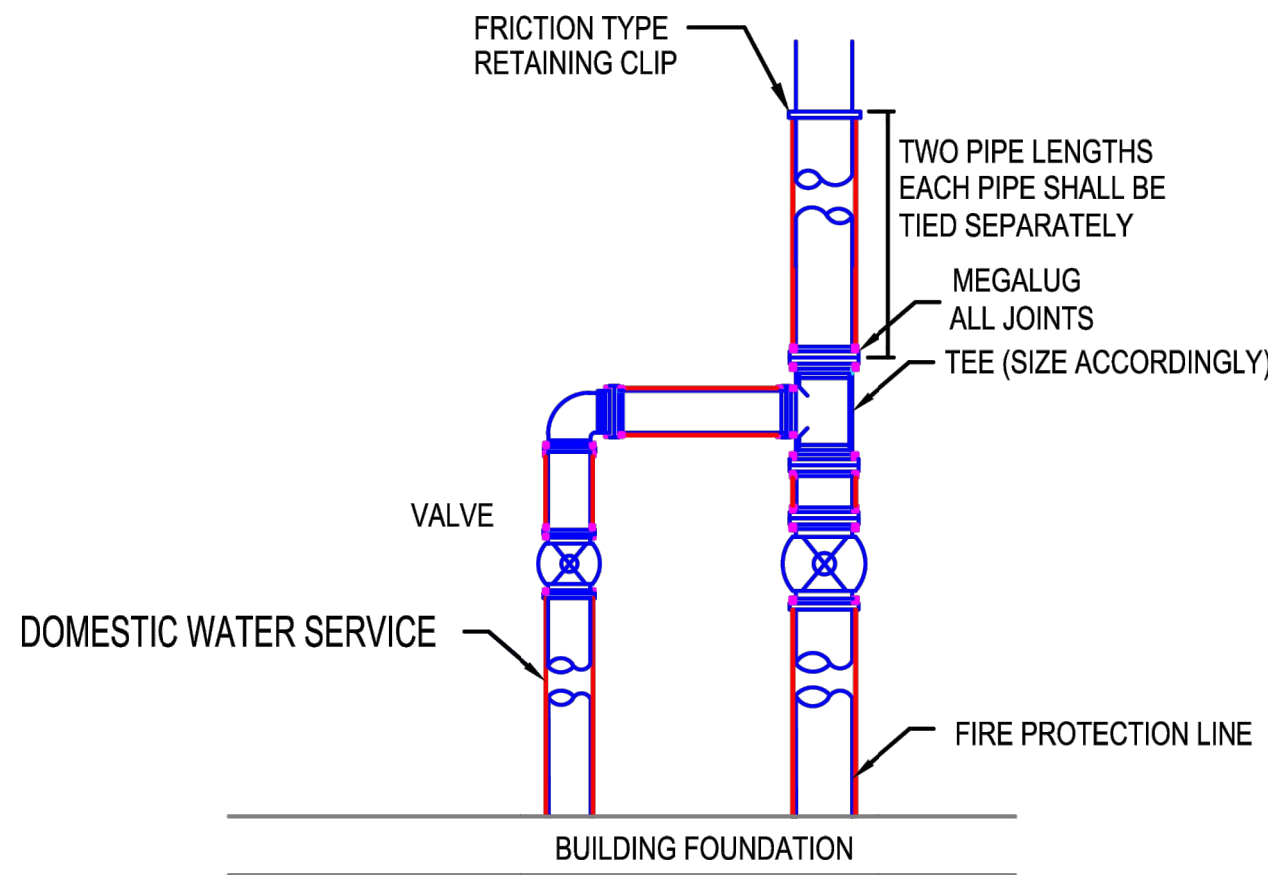
TYPICAL GATE VALVE DETAIL  
NO SCALE



TYPICAL WATER SERVICE DETAIL  
NO SCALE



TYPICAL VALVE DETAIL 2" OR LESS  
NO SCALE



TYPICAL VALVE DETAIL 4" OR LARGER  
NO SCALE

#### NOTES:

- 1 ALL VALVE BOXES SHALL BE INSTALLED UPON THE GATE VALVE WITH THE USE OF A GATE VALVE ADAPTER AS MANUFACTURED BY ADAPTER INC. OR APPROVED EQUAL.  
THE GATE VALVE ADAPTER SHALL BE INCIDENTAL TO VALVE AND BOX INSTALLATION



CITY OF BAXTER, MINNESOTA

REV. 9-17

TYPICAL FIRE & WATER SERVICE

PUBLIC WORKS DEPARTMENT

W-9

1  
C608

NTS





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## KEY PLAN



## PROJECT TIMBER WOLF

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JUSTIN C. BAGGENSTOSS

REGISTRATION NO.	DATE
LA 52753	06/18/2024

**PROJ. NO.**  
701676

ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION
B	06/18/2024	CITY RESUBMITTAL

06/18/2024








# L001

## GENERAL NOTES















## SHEET INDEX

SHEET	SHEET NAME	100% CD	CITY RESUBMITTAL					
03 - LANDSCAPE								
L001	LANDSCAPE TITLE SHEET	• •						
L100	OVERALL SITE LANDSCAPE REFERENCE PLAN	• •						
L200	SITE LANDSCAPE LAYOUT & SURFACING PLAN	• •						
L400	OVERALL SITE LANDSCAPE TREE PLANTING PLAN	• •						
L401	ENLARGED PLANTING PLAN DETAIL-NORTH	• •						
L500	LANDSCAPE DETAILS	• •						

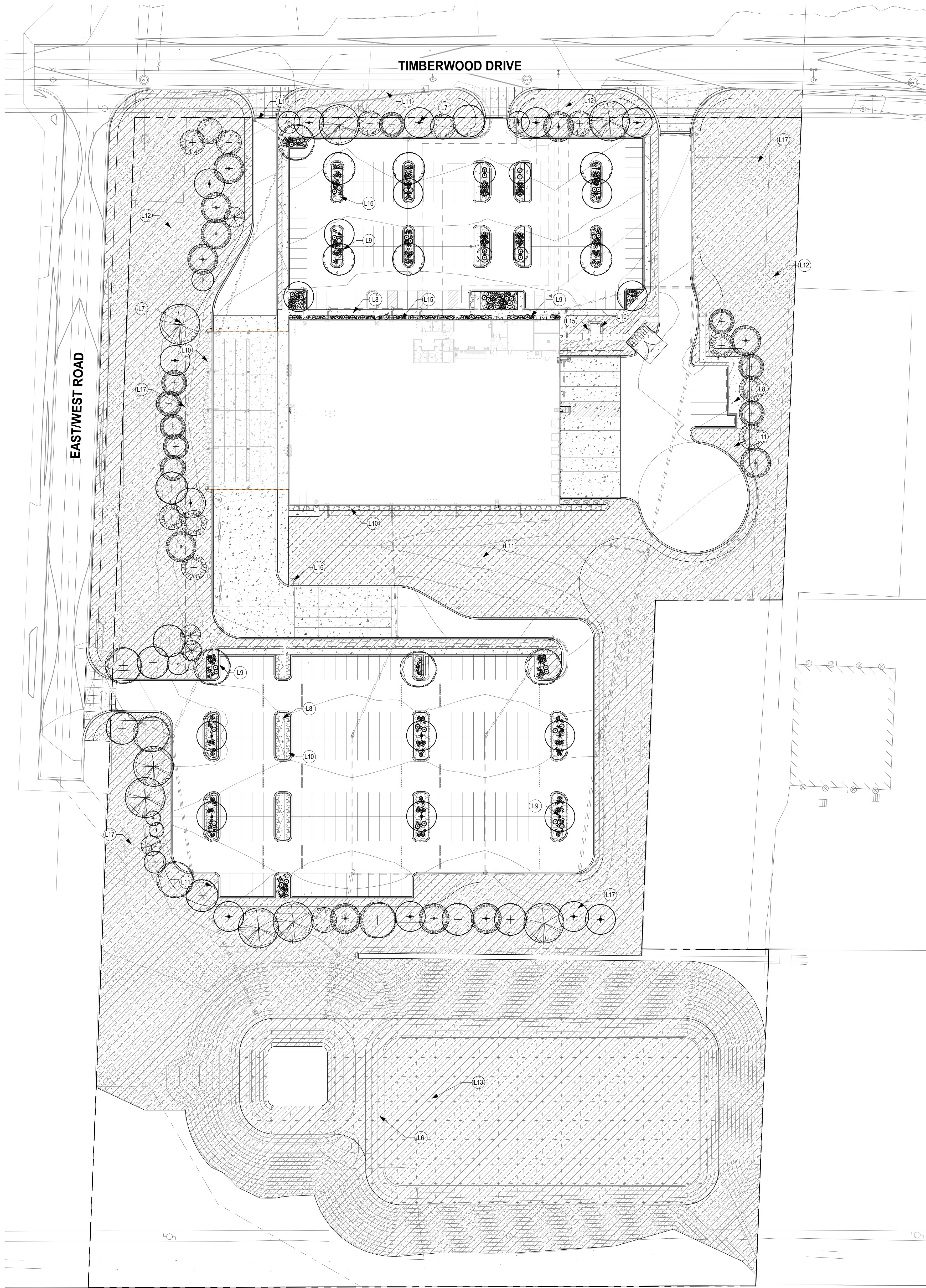
### **—SURFACE TREATMENT LEGEND—**

SURFACE TYPE	GRAPHIC ID
Concrete Drive Aprons	
Concrete Pavement	
Lawn-Low Maintenance Mix-Seeded-Hydromulch-MN DOT #25-131 2	
Native Prairie Seed Mix-MNDOT #35-241	
Native Seed-Wet Mix-MNDOT #33-261	
Planting Areas	
Rock Mulch #1	

### —PLANTING LEGEND—

SYM	COMMON NAME	SCIENTIFIC NAME
<b>TREES</b>		
<b>Coniferous Tree</b>		
	BALSAM FIR	Abies balsamea
	BALSAM FIR.1	Abies balsamea
	NORWAY SPRUCE	Picea abies
	NORWAY SPRUCE.1	Picea abies
	BLACK HILLS SPRUCE	Picea glauca densa
	BLACK HILLS SPRUCE.1	Picea glauca densa
	WHITE PINE	Pinus strobus
	WHITE PINE.1	Pinus strobus
<b>Deciduous Tree</b>		
	NORTHWOOD MAPLE	Acer rubrum 'Northwood'
	NORTHWOOD MAPLE.1	Acer rubrum 'Northwood'
	COMMON HACKBERRY	Celtis occidentalis
	COMMON HACKBERRY.1	Celtis occidentalis
	NORTHERN ACLAM HONEYLOCUST	Gleditsia triacanthos inermis 'Havne'
	NORTHERN ACLAM HONEYLOCUST.1	Gleditsia triacanthos inermis 'Havne'
	NORTHERN PIN OAK	Quercus ellipsoidalis
	NORTHERN PIN OAK.1	Quercus ellipsoidalis
<b>Understory</b>		
	SPRING FLURRY SERVICEBERRY	Ametanchier laevis JFS-Adb(RP1-304)
	THORNLESS HAWTHORN	Crataegus crus-galli var. inermis
	PINK SPIRES CRABAPPLE	Malus 'Pink Spires'





GENERAL NOTES

KEYNOTE LEGEND

- L1 MAIN ENTRY DRIVE;  
L6 STORMWATER MANAGEMENT; (SEE ELEC.);  
L7 PROPOSED TREES; PROVIDE MULCH RINGS AT ALL TREES NOT LOCATED IN PLANTING AREAS;  
L8 SURFACE TREATMENT; CONCRETE, TYP. JOINTING PER PLANS  
L9 SURFACE TREATMENT; PLANTING AREAS; SHREDDED HARDWOOD MULCH, 3" DEPTH; DRIP IRRIGATED;  
L10 SURFACE TREATMENT; ROCK MULCH; BASIS OF DESIGN: 2-6" FIELD STONE W/FABRIC UNDERLAYMENT;  
L11 SURFACE TREATMENT; LOW MAINTENANCE TURFGRASS; HYDROSEEDDED-MNDOT MIX 25-131; IRRIGATED;  
L12 SURFACE TREATMENT; NATIVE PRAIRIE MIX; SEEDDED-MODIFIED MNDOT MIX #35-241;  
L13 SURFACE TREATMENT; WET POND MIX; SEEDDED-MODIFIED MNDOT MIX #33-261;  
L15 COMMERCIAL EDGING; STEEL, 4"X 1x8", COLOR 'BLACK';  
L16 SITE LIGHTING; (SEE ELEC.);  
L17 FENCING;

SURFACE TREATMENT SCHEDULE

SURFACE TYPE	GRAPHIC ID	KEYNOTE ID (SEE KEYNOTE LEGEND, LAYOUT & SURFACING PLAN)
Concrete Drive Aprons		CDA
Concrete Pavement		C
Lawn-Low Maintenance Mix-Seedded-Hydromulch-MNDOT #25-131 2		LL
Native Prairie Seed Mix-MNDOT #35-241		NP
Native Seed-Wet Mix-MNDOT #33-261		NW
Planting Areas		PA
Rock Mulch #1		R1



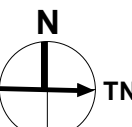
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612-492-3000 fax

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KEY PLAN



0 50' 100' 150'

PROJECT INFORMATION

PROJECT TIMBER WOLF

Baxter, MN

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Name

JUSTIN C. BAGGENSTOSS

REGISTRATION NO.

LA 52753

DATE

06/18/2024

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06/18/2024

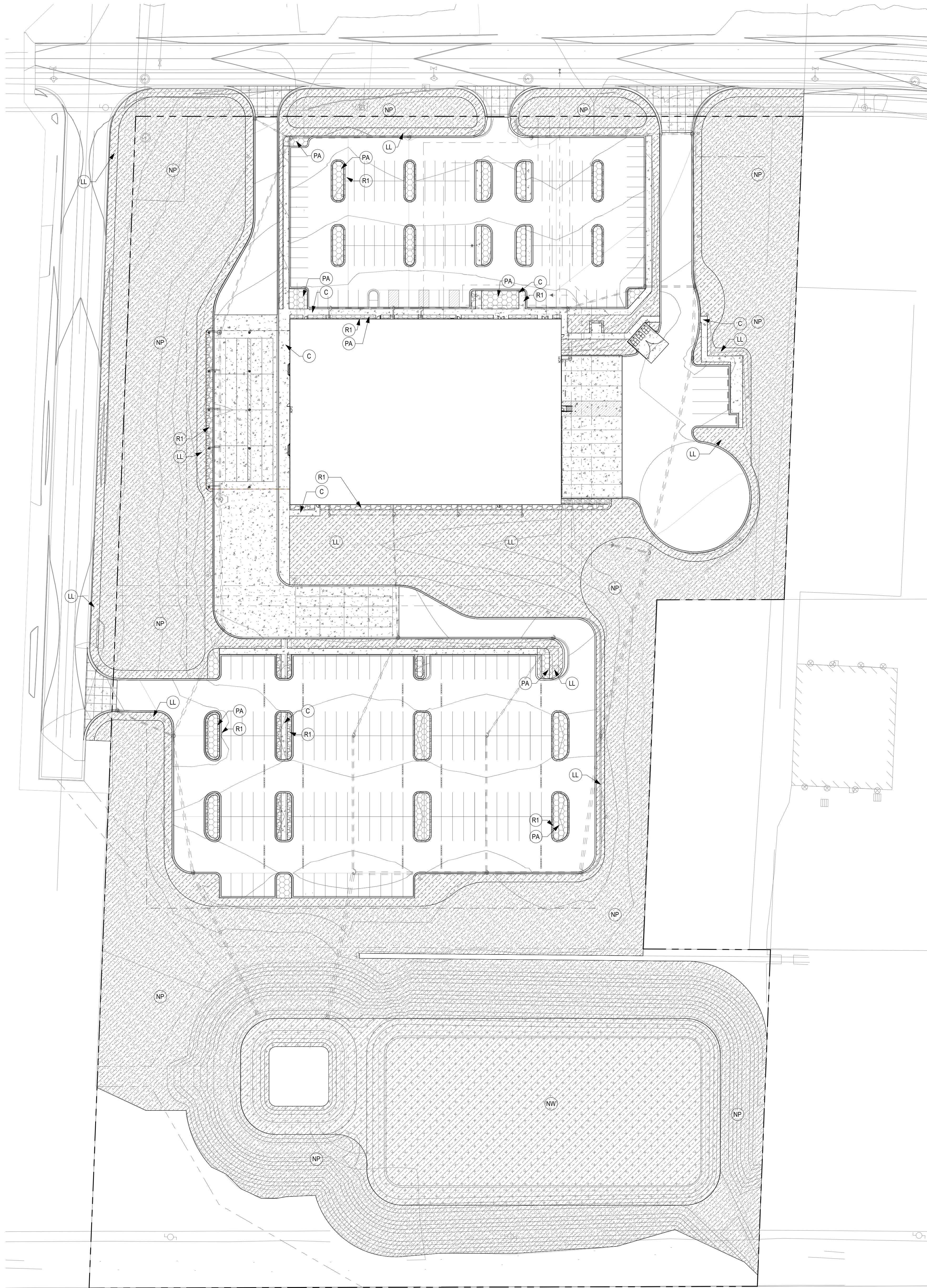
OVERALL SITE LANDSCAPE REFERENCE PLAN

L100

1 OVERALL SITE LANDSCAPE REFERENCE PLAN  
L100 1" = 50'-0"



1 OVERALL SITE LANDSCAPE LAYOUT & SURFACING PLAN  
L200 1" = 50'-0"



GENERAL NOTES



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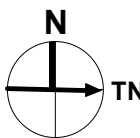
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SURFACE TREATMENT SCHEDULE

SURFACE TYPE	GRAPHIC ID	KEYNOTE ID	AREA
Concrete Drive Aprons		CDA	5820 SF
Concrete Pavement		C	48105 SF
Lawn-Low Maintenance Mix-Seeded-Hydromulch- MNDOT #25-131.2		LL	70799 SF
Native Prairie Seed Mix-MNDOT #35-241		NP	257969 SF
Native Seed-Wet Mix-MNDOT #35-261		NW	78895 SF
Planting Areas		PA	10009 SF
Rock Mulch #1		R1	6546 SF
			477741 SF

KEY PLAN



PROJECT INFORMATION

PROJECT TIMBER WOLF

Baxter, MN

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Name

Justin C. Baggenstoss

JUSTIN C. BAGGENSTOSS

REGISTRATION NO.

LA 52753

DATE

06/18/2024

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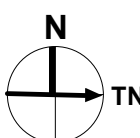
CITY RESUBMITTAL

06/18/2024

SITE LANDSCAPE LAYOUT & SURFACING PLAN

L200



PROJECT TIMBER  
WOLF

Baxter, MN

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Name

JUSTIN C. BAGGENSTOSS

REGISTRATION NO. DATE  
LA 52753 06/18/2024

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RESUBMITTAL

06/18/2024

OVERALL SITE  
LANDSCAPE  
TREE PLANTING  
PLAN

L400

## GENERAL NOTES

- SEE SHEET L401 FOR ADDITIONAL AND SUPPLEMENTAL PLANTING IDENTIFICATION
- ONLY TREES ARE IDENTIFIED ON THIS PLAN FOR GRAPHIC CLARITY

## PLANTING NOTES

- REFER TO CIVIL GRADING PLAN FOR PROPOSED GRADING AND EROSION CONTROL INFORMATION.
- REFER TO CIVIL EXISTING CONDITIONS AND REMOVALS PLAN SHEET C101 & C102 FOR EXISTING TREE REMOVAL AND PRESERVATION INFORMATION.
- REFER TO L-500 FOR LANDSCAPE NOTES AND DETAILS.
- THE LANDSCAPE PLANT SCHEDULE IS FOR THE CONVENIENCE TO THE LANDSCAPE SUBCONTRACTOR. THE LANDSCAPE SUBCONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PLANT COUNTS ON PLAN.
- THIS PLAN ILLUSTRATES THE MINIMUM PLANTINGS TO BE PROVIDED FOR CITY APPROVAL. THE OWNER RETAINS THE RIGHT TO INCREASE PLANT SIZES / QUANTITIES.
- ALL TREES AND SHRUBS SHALL RECEIVE 4" OF SHREDDED HARDWOOD MULCH.
- ALL OPEN SPACE AREAS SHALL RECEIVE PLANT MATERIALS AND IRRIGATION EXCLUDED FROM IRRIGATION AREAS IS THE BUILDING FOOTPRINT, HARDSCAPE AREAS, ROCK MULCH MAINTENANCE STRIPS AND AREAS BELOW THE NORMAL WATER LEVEL IN STORMWATER BMPs. AREAS RECEIVING NATIVE SEED SHALL BE ON A DEDICATED IRRIGATION ZONE.

## LANDSCAPE CALCULATIONS

## CODE REQUIRED TREE CALCULATIONS

## OVERSTORY TREES

By SF of Total Building Floor Area  
1 tree per 1,500 SF Total Building Area: 49,496/1,500= 33 Trees  
By Frontage Along All Roadways  
1 tree per 75 LF Frontage: 1,823.66/75= 24 Trees  
By Interior Parking Lot Landscaping  
1 tree per Parking Island: 10 Total Parking Island= 10 Trees

TOTAL TREES: 69 OVERSTORY TREES

## OVERSTORY TREE EQUIVALENCY

Up to fifty percent (50%) of the required number of overstory trees on a site may be substituted with an equivalent number of understory trees, smaller trees, or shrubs. In such cases, two (2) ornamental trees, two (2) 4-foot coniferous trees, two (2) 1.5-inch diameter overstory trees, or ten (10) shrubs shall be equivalent to one overstory tree.

100% OVERSTORY TREES: 67 Trees

50% OVERSTORY TREES: 11 Evergreen Trees (6 ft)  
23 Deciduous Trees (2.5 Cal/Inch)50% EQUIVALENCY TREES: 22 Evergreen Trees (4 ft)  
44 Deciduous Trees (Ornamental trees or 1.5 Cal/Inch Overstory)

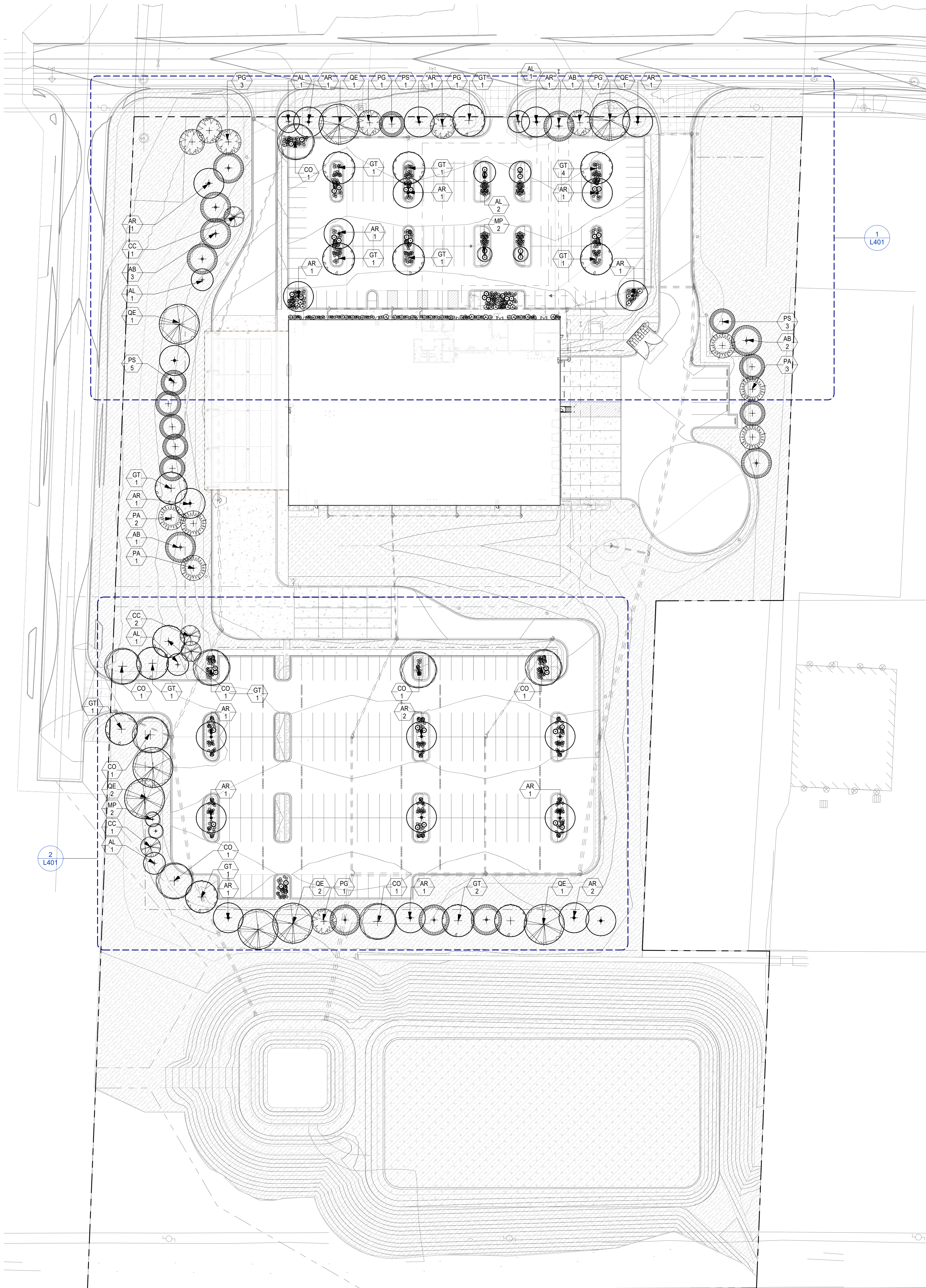
## SHRUBS

By SF of Total Building Floor Area  
1 tree per 450 SF Total Building Area: 49,496/450= 110 Shrubs

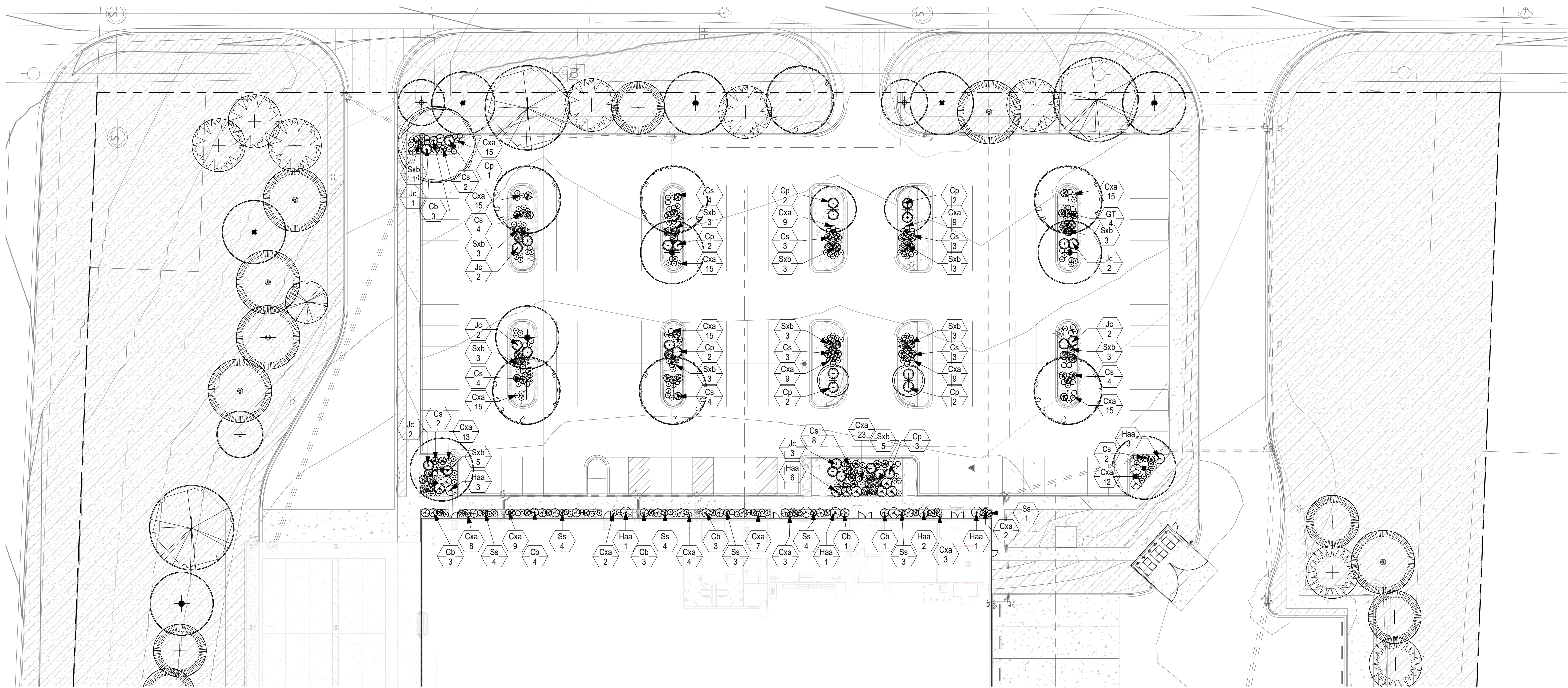
TOTAL REQUIRED TREES: 100 - Between Overstory Trees and Ornamental Trees  
TOTAL PROPOSED TREES: 100 - Between Overstory Trees and Ornamental TreesTOTAL REQUIRED SHRUBS: 110  
TOTAL PROPOSED SHRUBS: 225  
TOTAL PROPOSED PERENNIALS: 321Notes:  
33% of the proposed trees on site are coniferous trees.

## PLANT SCHEDULE

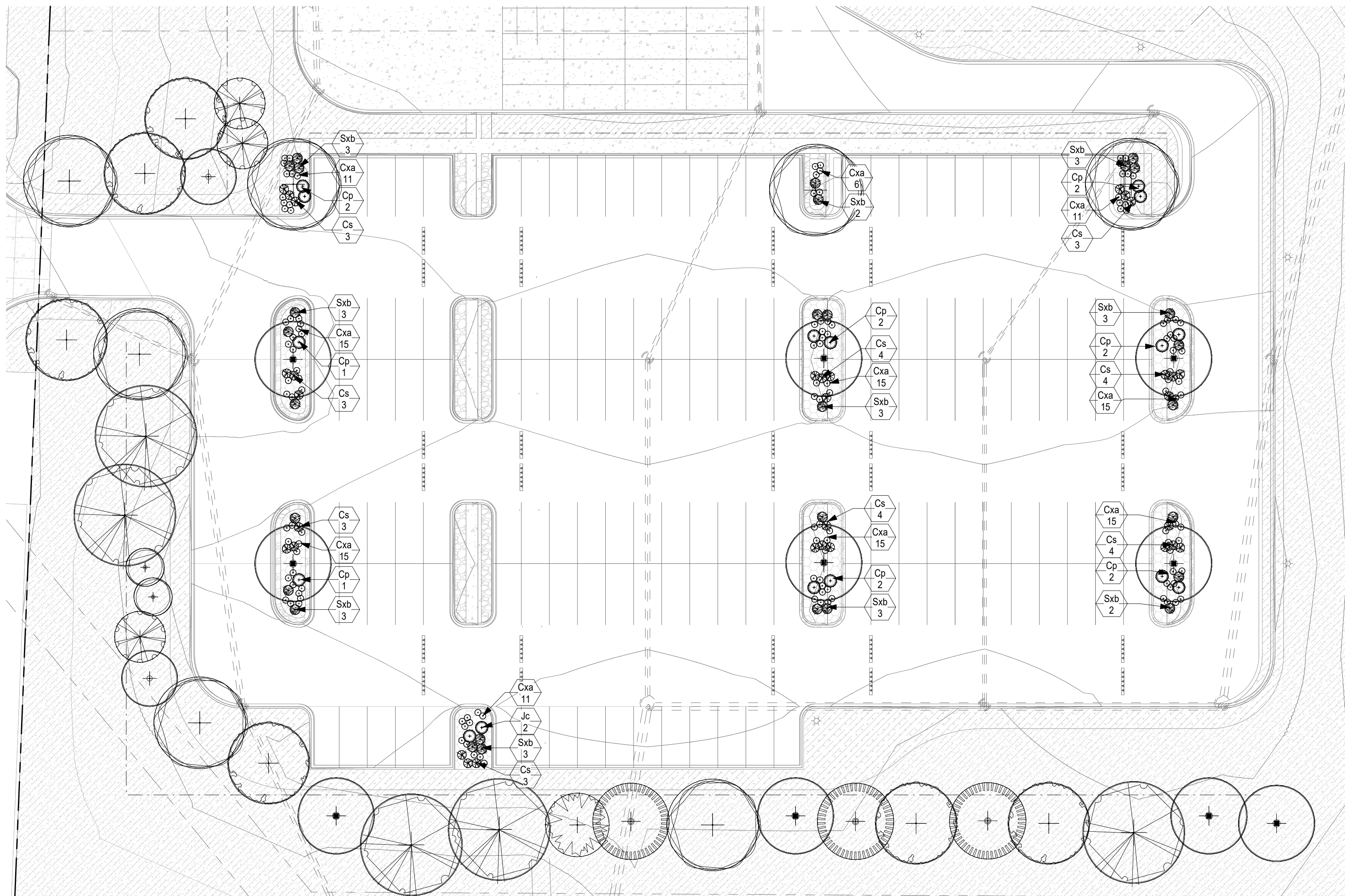
SYM	QTY	ID	COMMON NAME	SCIENTIFIC NAME	PLANTING SIZE	MATURE HEIGHT/WIDTH	COMMENTS
TREES							
Coniferous Tree							
	5	AB	BALSAM FIR	Abies balsamea	6" B&B	50/30'	PLANT PER PLAN
	6	AB	BALSAM FIR.1	Abies balsamea	4" B&B	50/30'	PLANT PER PLAN
	1	PA	NORWAY SPRUCE	Picea abies	6" B&B	60/25'	PLANT PER PLAN
	5	PA	NORWAY SPRUCE.1	Picea abies	4" B&B	60/25'	PLANT PER PLAN
	1	PG	BLACK HILLS SPRUCE	Picea glauca densata	6" B&B	35/22'	PLANT PER PLAN
	6	PG	BLACK HILLS SPRUCE.1	Picea glauca densata	4" B&B	35/22'	PLANT PER PLAN
	4	PS	WHITE PINE	Pinus strobus	6" B&B	50/30'	PLANT PER PLAN
	5	PS	WHITE PINE.1	Pinus strobus	4" B&B	50/30'	PLANT PER PLAN
Deciduous Tree							
	12	AR	NORTHWOOD MAPLE	Acer rubrum 'Northwood'	3" B&B	50/35'	PLANT PER PLAN
	10	AR	NORTHWOOD MAPLE.1	Acer rubrum 'Northwood'	2" B&B	50/35'	PLANT PER PLAN
	4	CO	COMMON HACKBERRY	Celtis occidentalis	3" B&B	55/40'	PLANT PER PLAN
	4	CO	COMMON HACKBERRY.1	Celtis occidentalis	2" B&B	55/40'	PLANT PER PLAN
	6	GT	NORTHERN ACCLAIM HONEYLOCUST	Gleditsia triacanthos inermis 'Harve'	2.5" B&B	40/30'	PLANT PER PLAN
	8	GT	NORTHERN ACCLAIM HONEYLOCUST.1	Gleditsia triacanthos inermis 'Harve'	2" B&B	40/30'	PLANT PER PLAN
	1	QE	NORTHERN PIN OAK	Quercus ellipsoidalis	2.5" B&B	50/40'	PLANT PER PLAN
	7	QE	NORTHERN PIN OAK.1	Quercus ellipsoidalis	2" B&B	50/40'	PLANT PER PLAN
Understory Deciduous Tree							
	7	AL	SPRING FLURRY SERVICEBERRY	Amelanchier laevis 'JFS-Arb'(PP15.30.4)	2" B&B	30/20'	PLANT PER PLAN
	4	CC	THORNLESS HAWTHORN	Crataegus crus-galli var. inermis	2" B&B	20/20'	PLANT PER PLAN
	4	MP	PINK SPIRES CRABAPPLE	Malus 'Pink Spires'	2" B&B	15/12'	PLANT PER PLAN
TOTAL TREES			100				

1 OVERALL SITE LANDSCAPE TREE PLANTING PLAN  
1" = 50'-0"





1  
L401 ENLARGED PLANTING PLAN DETAIL-NORTH  
1" = 30'-0"



2  
L401 ENLARGED PLANTING PLAN DETAIL-SOUTH  
1" = 30'-0"

## GENERAL NOTES

- SEE SHEET L400 FOR ADDITIONAL AND SUPPLEMENTAL PLANTING IDENTIFICATION
- ONLY SHRUBS/PERENNIALS ARE IDENTIFIED ON THIS PLAN FOR GRAPHIC CLARITY

## PLANTING NOTES

- REFER TO CIVIL GRADING PLAN FOR PROPOSED GRADING AND EROSION CONTROL INFORMATION.
- REFER TO CIVIL EXISTING CONDITIONS AND REMOVALS PLAN SHEET C101 & C102 FOR EXISTING TREE REMOVAL AND PRESERVATION INFORMATION.
- REFER TO L-500 FOR LANDSCAPE NOTES AND DETAILS.
- THE LANDSCAPE PLANT SCHEDULE IS FOR THE CONVENIENCE OF THE LANDSCAPE SUBCONTRACTOR. THE LANDSCAPE SUBCONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PLANT COUNTS ON PLAN.
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- ALL TREES AND SHRUBS SHALL RECEIVE 4" OF SHREDDED HARDWOOD MULCH.
- ALL OPEN SPACE AREAS SHALL RECEIVE PLANT MATERIALS AND IRRIGATION. EXCLUDED FROM IRRIGATION AREAS IS THE BUILDING FOOTPRINT, HARDSCAPE AREAS, ROCK MULCH MAINTENANCE STRIPS AND AREAS BELOW THE NORMAL WATER LEVEL IN STORMWATER BMPs. AREAS RECEIVING NATIVE SEED SHALL BE ON A DEDICATED IRRIGATION ZONE.

## PLANT SCHEDULE

SYM	QTY	ID	COMMON NAME	SCIENTIFIC NAME	PLANTING SIZE	MATURE HEIGHT/WIDTH	COMMENTS
TREES							
Coniferous Tree							
+	5	AB	BALSAM FIR	Abies balsamea	6' B&B	50/30'	PLANT PER PLAN
+	6	AB	BALSAM FIR.1	Abies balsamea	4' B&B	50/30'	PLANT PER PLAN
+	1	PA	NORWAY SPRUCE	Picea abies	6' B&B	60/25'	PLANT PER PLAN
+	5	PA	NORWAY SPRUCE.1	Picea abies	4' B&B	60/25'	PLANT PER PLAN
+	1	PG	BLACK HILLS SPRUCE	Picea glauca densata	6' B&B	35/22'	PLANT PER PLAN
+	6	PG	BLACK HILLS SPRUCE.1	Picea glauca densata	4' B&B	35/22'	PLANT PER PLAN
+	4	PS	WHITE PINE	Pinus strobus	6' B&B	50/30'	PLANT PER PLAN
+	5	PS	WHITE PINE.1	Pinus strobus	4' B&B	50/30'	PLANT PER PLAN
Deciduous Tree							
+	12	AR	NORTHWOOD MAPLE	Acer rubrum 'Northwood'	3' B&B	50/35'	PLANT PER PLAN
+	10	AR	NORTHWOOD MAPLE.1	Acer rubrum 'Northwood'	2' B&B	50/35'	PLANT PER PLAN
+	4	CO	COMMON HACKBERRY	Celtis occidentalis	3' B&B	55/40'	PLANT PER PLAN
+	4	CO	COMMON HACKBERRY.1	Celtis occidentalis	2' B&B	55/40'	PLANT PER PLAN
+	6	GT	NORTHERN ACCLAIM HONEYLOCUST	Gleditsia triacanthos inermis 'Harve'	2.5' B&B	40/30'	PLANT PER PLAN
+	8	GT	NORTHERN ACCLAIM HONEYLOCUST.1	Gleditsia triacanthos inermis 'Harve'	2' B&B	40/30'	PLANT PER PLAN
+	1	QE	NORTHERN PIN OAK	Quercus ellipsoidalis	2.5' B&B	50/40'	PLANT PER PLAN
+	7	QE	NORTHERN PIN OAK.1	Quercus ellipsoidalis	2' B&B	50/40'	PLANT PER PLAN
Undersory Deciduous Tree							
+	7	AL	SPRING FLURRY SERVICEBERRY	Amelanchier laevis JFS-A2/PP15.30 4)	2' B&B	30/20'	PLANT PER PLAN
+	4	CC	THORNLESS HAWTHORN	Crataegus crus-galli var. inermis	2' B&B	20/20'	PLANT PER PLAN
+	4	MP	PINK SPIRES CRABAPPLE	Malus 'Pink Spires'	2' B&B	15/12'	PLANT PER PLAN
SHRUBS							
Coniferous Shrub							
+	27	Cp	KINGS GOLD FALSE CYPRESS	Chamaecyparis pisifera 'Kings Gold'	#5 CONT.	4'x4'	
+	19	Jc	SEA GREEN JUNPER	Juniperus chinensis 'Sea Green'	#5 CONT.	5'x5'	
Deciduous Shrub							
+	22	Cb	NEON BURST DOGWOOD	Cornus alba 'ByBoughen'(PP27.956)	#5 CONT.	5'x4'	
+	81	Cs	ARTIC FIRE DOGWOOD	Cornus stolonifera 'Farrow'(PP18.523)	#5 CONT.	5'x4'	
+	18	Haa	ANABELLE SMOOTH HYDRANGEA	Hydrangea arborescens 'Annabelle'	#3 CONT.	5'x5'	
+	20	Ss	SEM FALSESPIREA	Sorbaria sorbifolia 'Sem'(PP16.336)	#5 CONT.	3'x3'	
+	70	Sb	ANTHONY WATERER SPIRAEA	Spiraea x bumalda 'Anthony Waterer'	#5 CONT.	3'x4'	
PERENNIALS/VINES/GRASSES							
Perennials							
+	357	Csa	KARL FOERSTER FEATHER REED GRASS	Calamagrostis x acutiflora 'Karl Foerster'	#5 CONT.	48"X30"	



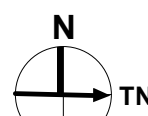
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KEY PLAN



PROJECT INFORMATION

PROJECT TIMBER WOLF

Baxter, MN

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the state of Minnesota

Name

JUSTIN C. BAGGENSTOSS

REGISTRATION NO. DATE  
LA 52753 06/18/2024

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PROJ. NO.  
701676

## ISSUE RECORD

ISSUE #	DATE	DESCRIPTION
B	06/18/2024	CITY RESUBMITTAL

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06/18/2024

ENLARGED PLANTING PLAN DETAIL-NORTH

L401



1. LANDSCAPE SUBCONTRACTOR TO VERIFY ALL UTILITY LOCATIONS WITH PROPERTY WITH THE GENERAL CONTRACTOR AND BY CALLING Gopher state ONE CALL (454-0002) PRIOR TO STAKING PLANT LOCATION.
2. COORDINATE THE PHASES OF CONSTRUCTION AND PLANTING INSTALLATIONS WITH OTHER CONTRACTORS WORKING ON SITE.
3. LANDSCAPE SUBCONTRACTOR SHALL PROTECT EXISTING ROAD SURFACES, CURBS / GUTTERS, TRAILS, TREES, GRASSED SURFACES AND OTHER INSTALLED SITE AMENITIES DURING CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED AT NO ADDITIONAL COST TO THE OWNER.
4. WHERE EXISTING TREES AND/OR SIGNIFICANT SHRUBS MASSINGS ARE FOUND ON SITE. WHETHER SHOWN ON THE DRAWING OR NOT, THEY SHALL BE PROTECTED AND SAVED. IF ANY TREES NOT TO BE SAVED OR ARE IN AN AREA TO BE GRADED, ANY QUESTION REGARDING WHETHER PLANT MATERIAL SHOULD REMAIN OR NOT SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO REMOVAL.
5. ALL EXISTING TREES WITHIN LIMITS OF CONSTRUCTION AND NOTED TO REMAIN SHALL BE FERTILIZED AND PRUNED TO REMOVE DEAD WOOD AND DAMAGED OR RUBBING BRANCHES.
6. B&B TREES AND SHRUBS ARE BALLED AND BURLAPED.
7. NO PLANT MATERIAL SUBSTITUTIONS WILL BE ACCEPTED UNLESS APPROVAL IS REQUESTED OF THE LANDSCAPE ARCHITECT BY THE LANDSCAPE SUBCONTRACTOR PRIOR TO THE SUBMISSION OF A BID AND/OR QUOTATION.
8. ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERMEN.
9. SUBCONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS. THIS INCLUDES ACCEPTANCE, AND ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE SUBCONTRACTOR.
10. LANDSCAPE SUBCONTRACTOR SHALL PROVIDE A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION.
11. WARRANTY FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE LANDSCAPE ARCHITECT AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.
12. LANDSCAPE SUBCONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH TWO FULL GROWING YEARS FROM DATE OF OWNERS ACCEPTANCE WITH ALL REPLACEMENTS TO BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.

1. PLANTING BED PREPARATION: ALL MASS PLANTING BEDS SHALL BE TILLED TO A MINIMUM DEPTH OF 10". AMENDMENTS SHALL BE APPLIED AFTER CULTIVATION.
2. BACKFILL SOIL: USE SOIL EXCAVATED FROM PLANTING HOLES AND PROVIDE AMENDMENTS REMOVE ALL DEBRIS INCLUDING ROCKS LARGER THAN 3" DIAMETER.
3. FERTILIZATION: ALL PLANT MATERIALS SHALL BE FERTILIZED, UPON INSTALLATION, WITH DRESS BONE MEAL OR OTHER SPECIFIED FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS UNLESS NOTED OTHERWISE.
4. MULCH MATERIAL: AS SPECIFIED ON THE LANDSCAPE PLANS, MASS MULCH ALL PLANTING BEDS TO 2" DEPTH OVER FIBER MAT WEED BARRIER. ALL PERENNIAL PLANTING BEDS TO RECEIVE 3" DEEP SHREDDED HARDWOOD MULCH WITH NO FIBER MAT WEED BARRIER. ALL EVERGREEN AND DECIDUOUS TREES TO RECEIVE 6" DEEP SHREDDED HARDWOOD MULCH WITH NO MULCH IN DRIFT OR CONTACT WITH THE TRUNK.
5. TREE GUARDING: IT SHALL BE THE SUBCONTRACTOR'S RESPONSIBILITY TO STAKE AND/OR GUY THE TREES ACCORDING TO THE DETAILS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO TAKE EVERY STEP NECESSARY TO MAINTAIN THE TREES AND SHRUBS IN AN UPRIGHT AND PLUMB CONDITION AT ALL TIMES UNTIL THE END OF THE PLANT GUARANTEE PERIOD OR UNTIL THERE WHERE VISIBLE CONTRACTOR DEFECTS OR A PROBLEM HAS DEVELOPED.
6. TREE WRAPPING: WRAPPING MATERIAL SHALL BE QUALITY, HEAVY WATERPROOF CREPE PAPER MANUFACTURED FOR THIS PURPOSE. WRAP ALL DECIDUOUS TREES PLANTED IN THE FALL PRIOR TO 12-1 AND REMOVE ALL WRAPPING AFTER 5-1.
7. ROBERT PROTECTION: PROVIDE ON ALL TREES, EXCEPT SPRUCE UNLESS OTHERWISE SPECIFIED.
8. PLANTING PLAN: ALL PROPOSED PLANTS SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLANS. PLAN TAKES PRECEDENCE OVER PLANT SCHEDULE IF DISCREPANCIES IN PLANTIES EXIST. SPECIFICATIONS TAKE PRECEDENCE OVER NOTES. RESPECTED STATED DIMENSIONS. DO NOT SCALE DRAWINGS.
9. EDGING SHALL BE METAL 4"X ALL MASS PLANTING BEDS SHALL HAVE EDGING PLACED BETWEEN MULCH AREA AND ANY ADJACENT TURF AREA.

1. NO PLANTING TO BE INSTALLED UNTIL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
2. ALL PLANT MATERIAL LOCATIONS MUST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY AND ALL DIGGING.
3. IF THE LANDSCAPE SUBCONTRACTOR PERCEIVES ANY DEFICIENCIES IN THE PLANT SELECTIONS, SOIL CONDITIONS, OR ANY OTHER SITE CONDITION WHICH MIGHT NEGATIVELY AFFECT THE PLANT MATERIAL ESTABLISHMENT, SURVIVAL, OR GUARANTEE, THEY SHALL BRING THESE DEFICIENCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
4. ADJUSTMENTS IN LOCATION OF PROPOSED PLANT MATERIALS MAY BE NEEDED IN FIELD. SHOULD AN ADJUSTMENT BE ADVISED, THE LANDSCAPE ARCHITECT MUST BE NOTIFIED.
5. ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS.
6. ONE SHRUB PER TYPE AND SIZE IN EACH PLANTING BED AND EVERY TREE SHALL BE CLEARLY IDENTIFIED (COMMON OR LATIN NOMENCLATURE) WITH A PLASTIC TAG WHICH SHALL NOT BE REMOVED PRIOR TO OWNER ACCEPTANCE.
7. WHERE SO/SEED ABUTS PAVED SURFACES, FINISHED GRADE OF SO/SEED SHALL BE HELD 1' BELOW SURFACE ELEVATION OF TRAIL, SLAB, CURB, ETC.
8. SO/SHALL BE LAID PARALLEL TO THE CONTOURS AND SHALL HAVE STAGGERED JOINTS. ON SLOPES STEEPER THAN 3:1 OR IN DRAINAGE SWALES, THE SO/SHALL BE STAKED TO THE GROUND.
9. SEED ALL AREAS DISTURBED DUE TO GRADING OTHER THAN THOSE AREAS NOTED TO RECEIVE SO/.
10. REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.

1. LANDSCAPE SUBCONTRACTOR SHALL WARRANT NEW PLANT MATERIAL THROUGH TWO (2) YEARS FROM DATE OF INSTALLATION. FINAL OWNER AND CITY ACCEPTANCE. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED.
2. LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ONSITE MAINTENANCE OF NEWLY PLANTED MATERIALS UNTIL THE TIME OF OWNER ACCEPTANCE. ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE RESPONSIBLE PARTY.
3. LANDSCAPE SUBCONTRACTOR SHALL PREPARE AND SUBMIT A WRITTEN REQUEST FOR THE OWNER ACCEPTANCE INSPECTION OF THE LANDSCAPE AND SITE IMPROVEMENTS PRIOR TO SUBMITTING FINAL PAY REQUEST.
4. LANDSCAPE SUBCONTRACTOR SHALL PREPARE AN AS BUILT DRAWING(S) OF LANDSCAPE INSTALLATION SITE PRIOR TO COMPLETION OF CONSTRUCTION INSTALLATION AND PRIOR TO PROJECT ACCEPTANCE.

1. LANDSCAPE SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A SHOW DRAWING ILLUSTRATING AN IRRIGATION PLAN AND SPECIFICATION AS PART OF THE SCOPE OF WORK WHICH EXISTING THESE SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ORDER.
2. VERIFY EXISTING/PROPOSED IRRIGATION SYSTEM LOCATION.
3. UNLESS OTHERWISE NOTED ALL SOODESED, PLANTING AREAS AT GRADE & RAISED, INCLUDING CONTAINER PLANTINGS INDICATED ON PLAN SHALL BE 100% IRRIGATED. THE IRRIGATION SHALL INCLUDE THE PUBLIC RIGHT OF WAY BETWEEN PROPERTY LINE AND BACK OF CURB WHERE NEW LANDSCAPE IMPROVEMENTS ARE PROPOSED.
4. IT SHALL BE THE LANDSCAPE SUBCONTRACTOR'S RESPONSIBILITY TO INSURE THAT ALL PLANTINGS ORDERED ARE PROPERLY PLANTED AND RAISED PLANTED AREAS INCLUDING CONTAINER PLANTINGS ARE IRRIGATED PROPERLY, INCLUDING THOSE AREAS DIRECTLY AROUND AND ABUTTING BUILDING FOUNDATION.
5. THE LANDSCAPE SUBCONTRACTOR SHALL PROVIDE THE OWNER WITH A WATERING/LAWN IRRIGATION SCHEDULE APPROPRIATE TO THE PROJECT SITE CONDITIONS AND TO PLANT MATERIAL GROWTH REQUIREMENTS.
6. IRRIGATION SYSTEMS SHALL COMPLY WITH ALL CITY CODES & REQUIREMENTS.
7. IRRIGATION SYSTEMS SHALL COMPLY WITH EPA GUIDELINES FOR WATERSENSE SMART CONTROLLERS AND REQUIRED SENSORS.



OWNER

## CONSULTANTS

### KEY PLAN

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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the state of Minnesota

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