

PROJECT TIMBER WOLF

BAXTER, MN

100% CD

PROJECT LOCATION

PROJECT CONTACTS

DEVELOPER

RYAN A+E, INC.
533 SOUTH THIRD STREET, SUITE 100
MINNEAPOLIS, MN 55415
EDDY WOLF
952-807-2120
eddy.wolf@ryancompanies.com

CIVIL ENGINEER

RYAN A+E, INC.
533 SOUTH THIRD STREET, SUITE 100
MINNEAPOLIS, MN 55415
JARED OLSON
612-492-4447
jared.olson@ryancompanies.com

GENERAL CONTRACTOR

RYAN COMPANIES US, INC.
533 SOUTH THIRD STREET, SUITE 100
MINNEAPOLIS, MN 55415
JORDAN DALLUGE
507-995-0712
jordan.dalluge@ryancompanies.com

LANDSCAPE ARCHITECT

RYAN A+E, INC.
533 SOUTH THIRD STREET, SUITE 100
MINNEAPOLIS, MN 55415
JUSTIN BAGGENSTOSS
952-797-6447
justin.baggenstoss@ryancompanies.com

ARCHITECT

CESSO, INC.
175 MONTROSE WEST AVE., SUITE 400
AKRON, OH 44321
JANINE NUNFIO
479-390-0544
janine.nunfio@cesscoinc.com

SURVEYOR

WESTWOOD
12701 WHITEWATER DR, SUITE 300
MINNETONKA, MN 55343
CHRIS AMBOURN
952-844-7693
chris.ambourn@westwoodps.com

STRUCTURAL

WALLACE DESIGN COLLECTIVE
123 N MARTIN LUTHER KING JR BLVD
TULSA, OK 74103
MATT GEBHARDT
918-584-5858
matt.gehardt@wallacedesign.com

MECHANICAL

HP ENGINEERING
5504 W PINNACLE POINT DR, SUITE 200
ROGERS, AR 72758
BRITTNEY PEACE
479-899-6370
bpeace@hpengineeringinc.com

Existing elevations and ground contours shown hereon are based on the NAVD88 vertical datum relative to Benchmark: WHIPPLE, which has an elevation of 1209.62 feet.

Bearings of property lines shown hereon are based on the Hennepin coordinate system, (NAD 83 - 11 Control Adjustment)



VICINITY MAP
NOT TO SCALE

CITY OFFICIALS

MAYOR:	DARRELL OLSON
CITY COUNCIL:	MARK CROSS
	CONNIE LYSCIO
	ZACH TABATT
	JEFF PHILLIPS
UTILITIES COMMISSION	ROCK YLINIEMI - CHAIR
	JACK CHRISTOFFERSON
	DOUGLAS STENBERG
	JOHN BRENNY
CITY ADMINISTRATOR	BRADLEY CHAPULIS
PUBLIC WORKS DIRECTOR / CITY ENGINEER	TREVOR WALTER

APPROVALS

RECOMMENDED FOR APPROVAL	CITY CONSULTING ENGINEER	DATE
RECOMMENDED FOR APPROVAL	PUBLIC WORKS DIRECTOR / CITY ENGINEER	DATE

SHEET INDEX

●		C001	COVER SHEET
●		C100	SURVEY
●		C101	EXISTING CONDITIONS & REMOVALS PLAN
●		C102	EXISTING CONDITIONS & REMOVALS PLAN
●		C200	EROSION CONTROL PLAN
●		C201	EROSION CONTROL PLAN
●		C300	SITE PLAN
●		C301	SITE PLAN
●		C400	GRADING PLAN
●		C401	GRADING PLAN
●		C402	PAVING PLAN
●		C403	PAVING PLAN
●		C404	PAVING PLAN
●		C405	PAVING PLAN
●		C500	UTILITY PLAN
●		C501	UTILITY PLAN
●		C600	DETAILS
●		C601	DETAILS
●		C602	DETAILS
●		C603	DETAILS
●		C604	DETAILS
●		C605	DETAILS
●		C606	DETAILS
●		C607	DETAILS
●		C608	DETAILS
●		L001	LANDSCAPE TITLE SHEET
●		L100	OVERALL SITE LANDSCAPE REFERENCE PLAN
●		L200	SITE LANDSCAPE LAYOUT & SURFACING PLAN
●		L400	OVERALL SITE LANDSCAPE TREE PLANTING PLAN
●		L401	ENLARGED PLANTING PLAN DETAIL-NORTH
●		L500	LANDSCAPE DETAILS

DRAWING INDEX LEGEND

○	-	X/XX/20XX	CX	SHEET TITLE
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RYAN A+E, INC.
533 South Third Street, Suite 100
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612-492-4000 tel
612-492-3000 fax

WWW.RYANCOMPANIES.COM

OWNER

CONSULTANTS

PROJECT INFORMATION

PROJECT TIMBER WOLF

BAXTER, MN

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

Jared B. Olson

REGISTRATION NO. 42340
DATE 06/18/2024

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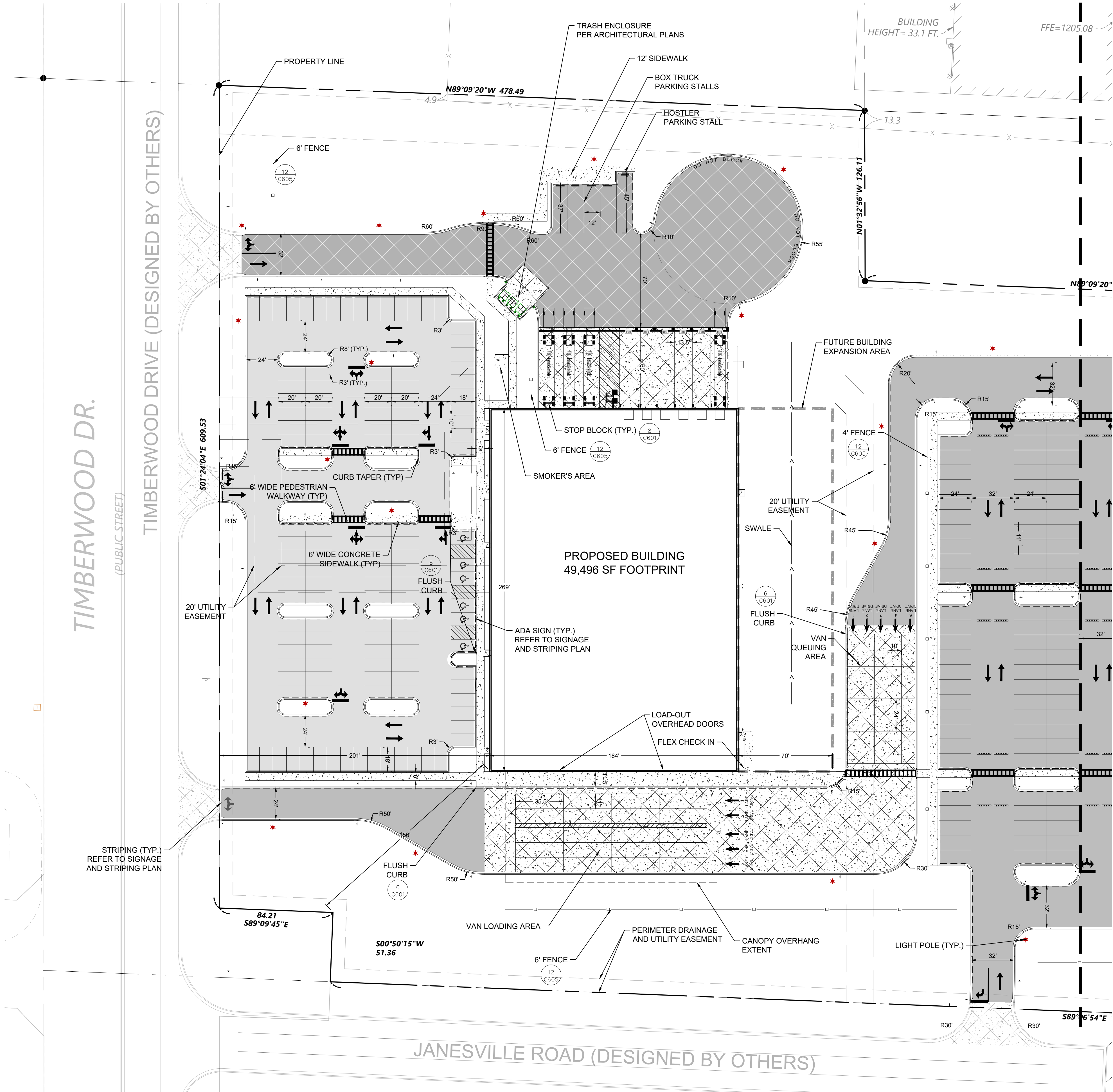
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CHECKED BY ---
JOB NO. 701676
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ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION
1	05/07/2024	90% CD SET
2	05/24/2024	100% CD SET
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100% CD

COVER SHEET

C001



SITE NOTES

- 1. CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING CONDITIONS. THIS WOULD INCLUDE ALL EXISTING UTILITIES AND TOPOGRAPHIC FEATURES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR VARIATIONS FROM THE PLANS.
- 2. ALL DIMENSIONS SHOWN ARE TO FACE OF CURB, FACE OF BUILDING, EDGE OF PAVEMENT, OR TO PROPERTY LINE, UNLESS OTHERWISE NOTED.
- 3. ALL PAVING, CONCRETE CURB, GUTTER AND SIDEWALK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE DETAILS SHOWN PER THE CIVIL DETAILS AND STATE/LOCAL JURISDICTION REQUIREMENTS.
- 4. ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
- 5. TYPICAL FULL SIZED PARKING STALL IS 10.0' X 20.0' UNLESS OTHERWISE NOTED.
- 6. ALL RADII ARE TO GUTTER LINE OR PAVEMENT EDGE UNLESS OTHERWISE NOTED.
- 7. ALL CONCRETE CURBS AND GUTTER RADII SHALL BE 5.0' UNLESS OTHERWISE NOTED.
- 8. ALL CURB TERMINI TO HAVE A 3.0' TAPER UNLESS OTHERWISE NOTED.
- 9. BITUMINOUS IMPREGNATED FIBER BOARD TO BE PLACED AT FULL DEPTH OF CONCRETE ADJACENT TO EXISTING STRUCTURES AND BEHIND CURB ADJACENT TO DRIVEWAYS AND SIDEWALKS. BITUMINOUS IMPREGNATED FIBER BOARD SHALL NOT BE PLACED AT PEDESTRIAN RAMPS.
- 10. SEE ELECTRICAL PLANS FOR SITE LIGHTING DESIGN.
- 11. SIGNAGE AND STRIPING BY SEPARATE PLAN, DESIGNED BY OTHERS.

	EXISTING	PROPOSED
ZONING	INDUSTRY OFFICE	INDUSTRY OFFICE
PERVIOUS AREA	15.89 AC	7.73 AC
IMPERVIOUS AREA	0.0 AC	8.16 AC
PERCENT IMPERVIOUS	0%	51%
IMPERVIOUS EXPANSION BUILDING	N/A	0.43 AC

	BUILDING SETBACK	PARKING SETBACK
FRONT YARD	35	10
SIDE YARD	10	10
REAR YARD	30	10

MAXIMUM BUILDING HEIGHT = 45 FT

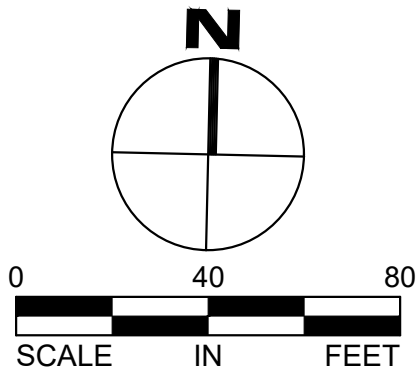
	EXISTING	PROPOSED
ASSOC. PARKING STALLS	33	110
ADA PARKING	N/A	6
VAN PARKING	N/A	150
TRAILER PARKING	N/A	3
BOX TRUCK PARKING	N/A	4

PROPOSED USE TYPE	WAREHOUSE/DISTRIBUTION
CODE REQUIRED PARKING MINIMUM	33 + 1 PER COMPANY VEHICLE

CODE REQUIREMENTS: OFFICE=1 PER 300 SF, WAREHOUSE=1 PER 2,000 SF

LEGEND:

EXISTING	PROPOSED	
		PROPERTY BOUNDARY
		EASEMENT
		LOT/TRACT LINE
		B612 CURB
		FLUSH CURB
		D412 CURB
		NORMAL DUTY BITUMINOUS
		MEDIUM DUTY BITUMINOUS
		HEAVY DUTY BITUMINOUS
		CONCRETE (SIDEWALK)
		HEAVY DUTY CONCRETE
		NORMAL WATER LEVEL
		HIGH WATER LEVEL
		STREET LIGHT



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[Signature]
JARED B. OLSON

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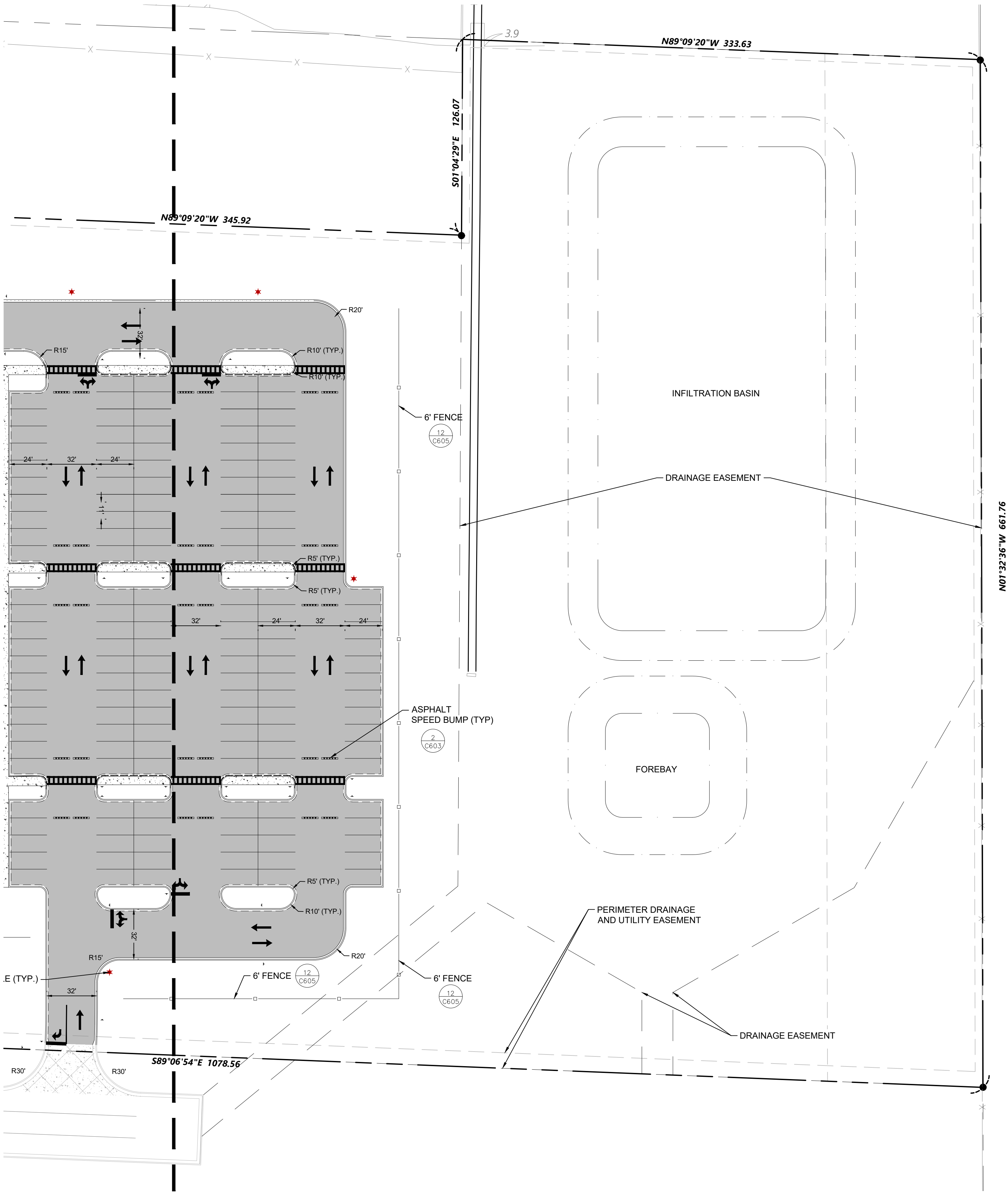
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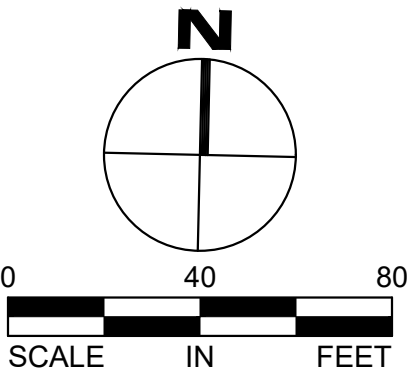
100% CD
SITE PLAN

C300



SITE NOTES

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10. SEE ELECTRICAL PLANS FOR SITE LIGHTING DESIGN.
11. SIGNAGE AND STRIPING BY SEPARATE PLAN, DESIGNED BY OTHERS.



LEGEND:

EXISTING	PROPOSED	
		PROPERTY BOUNDARY
		EASEMENT
		LOT/TRACT LINE
		B612 CURB
		FLUSH CURB
		D412 CURB
		NORMAL DUTY BITUMINOUS
		MEDIUM DUTY BITUMINOUS
		HEAVY DUTY BITUMINOUS
		CONCRETE (SIDEWALK)
		HEAVY DUTY CONCRETE
		NORMAL WATER LEVEL
		HIGH WATER LEVEL
		STREET LIGHT



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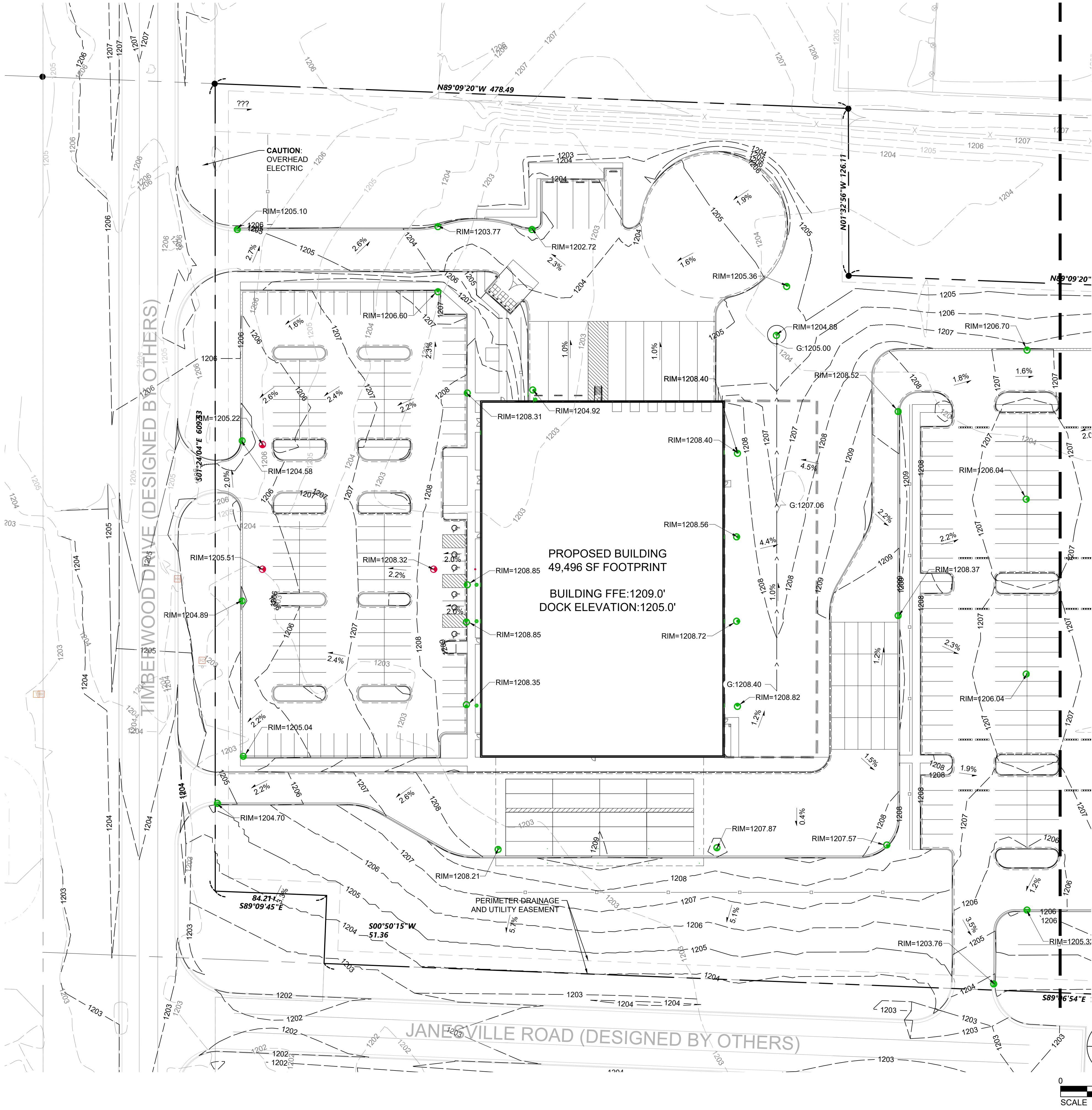
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SITE PLAN

C301



GRADING NOTES

- SUBCONTRACTORS WHOSE WORK REQUIRES EXCAVATION SHALL CONTACT "GOPHER STATE ONE-CALL" (651-454-0002 OR 1-800-252-1166 OR 811) FOR UTILITY LOCATIONS 48 HOURS PRIOR TO EXCAVATION. HE/SHE SHALL REPAIR OR REPLACE DAMAGED UTILITIES DURING CONSTRUCTION AT NO COST TO OWNER OR GENERAL CONTRACTOR.
- EXISTING TOPOGRAPHY PER WESTWOOD, DRAFT ALTA/NSPS LAND TITLE SURVEY, DATED 04/15/2024.
- REFER TO GEOTECHNICAL EVALUATION REPORT, DATED 05/03/2024 AS PREPARED BY BRAUN INTERTEC CORPORATION FOR AN EXISTING SUBSURFACE SITE CONDITION ANALYSIS AND CONSTRUCTION RECOMMENDATIONS.
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- SUITABLE GRADING MATERIAL SHALL CONSIST OF ALL SOIL ENCOUNTERED ON THE SITE WITH EXCEPTION OF TOPSOIL, DEBRIS, ORGANIC MATERIAL AND OTHER UNSTABLE MATERIAL AS DIRECTED BY THE GEOTECHNICAL ENGINEER. STOCKPILE TOPSOIL AND GRANULAR FILL AT LOCATIONS DIRECTED BY GENERAL CONTRACTOR.
- SUBGRADE EXCAVATION SHALL BE BACKFILLED IMMEDIATELY AFTER EXCAVATION TO HELP OFFSET ANY STABILITY PROBLEMS DUE TO WATER SEEPAGE OR STEEP SLOPES. WHEN PLACING NEW SURFACE MATERIAL ADJACENT TO EXISTING PAVEMENT, THE EXCAVATION SHALL BE BACKFILLED PROMPTLY TO AVOID UNDERMINING OF THE EXISTING PAVEMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL CONTROL.
- PROPOSED GRADES SHOWN ARE FINISHED GRADES.
- ALL EXCESS MATERIAL, BITUMINOUS SURFACING, CONCRETE ITEMS, ANY ABANDONED UTILITY ITEMS, AND OTHER UNSTABLE MATERIALS SHALL BECOME THE PROPERTY OF THE SUBCONTRACTOR AND SHALL BE DISPOSED OFF THE CONSTRUCTION SITE.
- THE MINIMUM GRADED SLOPE FROM EDGE OF BUILDING SHALL BE 2 PERCENT UNLESS OTHERWISE NOTED.
- FINISHED GROUND AND SOD ELEVATION ADJACENT TO BUILDING SHALL BE 6" BELOW FLOOR ELEVATION UNLESS OTHERWISE NOTED.
- EARTHWORK & PAVING CONTRACTORS ARE RESPONSIBLE FOR GRADING AND SLOPING THE FINISHED GROUND SURFACE TO PROVIDE SMOOTH & UNIFORM SLOPES, WHICH PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING AND PREVENT PONDING IN LOWER AREAS. ANY DERIVATION FROM PLANS SHALL BE APPROVED BY THE PROJECT ENGINEER.
- GRADING BEHIND CURBS SHALL START AT THE TOP OF CURB.
- CONTRACTOR SHALL VERIFY THAT EXISTING UTILITIES HAVE ADEQUATE COVER TO MEET PROVIDER REQUIREMENTS IN AREAS OF GRADE REVISIONS.
- RETURN ALL TEMPORARY DIVERSIONS TO EXISTING GRADE UPON FINAL STABILIZATION.
- CONTRACTORS TO FOLLOW SAFETY GUIDELINES INSIDE ELECTRIC EASEMENT AREAS.
- RESHAPING OF POND TO BE COMPLETED WITHOUT DRAINING. IF DEWATERING IS DESIRED, SUBCONTRACTOR TO PULL APPROPRIATE PERMITS AND COORDINATE WITH ENGINEER FOR NPDES REQUIREMENTS.
- ALL RETAINING WALLS GREATER THAN FOUR FEET TO BE DESIGNED BY A STRUCTURAL ENGINEER.
- REMOVE SEDIMENT FROM EXISTING STORM SEWER IF PRESENT.
- SPOT ELEVATIONS REPRESENT FINISHED SURFACE GRADES, GUTTER/FLOW LINE, FACE OF BUILDING, OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
- GRADING OF THE INFILTRATION AREAS SHALL BE ACCOMPLISHED USING LOW-IMPACT EARTH-MOVING EQUIPMENT TO PREVENT COMPACTION OF THE UNDERLYING SOILS. SMALL TRACKED DOZERS AND BOBCATS WITH RUNNER TRACKS ARE RECOMMENDED.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 6 INCHES (COMPACTED) OF TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED. SEE LANDSCAPE PLAN FOR DETAILS.
- STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
- DUST MUST BE ADEQUATELY CONTROLLED.
- ON SLOPES 4:1 OR GREATER MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES.
- ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
- TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXEMPT EX: CLEAN AGGREGATE STOCK PILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES.
- FINAL STABILIZATION REQUIRES THAT ALL SOIL DISTURBING ACTIVITIES HAVE BEEN COMPLETED AND THAT DISTURBED AREAS ARE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH 70% OF THE EXPECTED FINAL DENSITY, AND THAT ALL PERMANENT PAVEMENTS HAVE BEEN INSTALLED. ALL TEMPORARY BMP'S SHALL BE REMOVED, DITCHES STABILIZED, AND SEDIMENT SHALL BE REMOVED FROM PERMANENT CONVEYANCES AND SEDIMENTATION BASINS IN ORDER TO RETURN THE POND TO DESIGN CAPACITY.
- THE CITY HAS REQUIREMENTS FOR INSPECTIONS VERIFYING PROPER CONSTRUCTION OF THE BMPs.
- SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
- SEE UTILITY PLAN FOR WATER, STORM AND SANITARY SEWER INFORMATION.
- SEE PAVING PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.
- ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
- BASED ON GROUNDWATER ELEVATIONS ENCOUNTERED DURING GEOTECHNICAL EXPLORATION TEMPORARY DEWATERING OF EXCAVATIONS MAY BE NEEDED. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.

LEGEND:

EXISTING	PROPOSED	
		MAJOR CONTOUR
		MINOR CONTOUR
		HIGH WATER LEVEL
		STORM SEWER PIPE
		SOLID DRAIN TILE
		PERFORATED DRAIN TILE
		STORM INLET
		STORM MANHOLE
		FLARED END SECTION
		STORM CLEANOUT
		STORM FITTINGS
		ONE-POINT PERCENT GRADE
		TWO-POINT PERCENT GRADE
		SLOPE RATIO
		CUT / FILL DEPTH
		PAVEMENT ELEVATION
		CONCRETE ELEVATION
		GUTTER LINE ELEVATION
		TOP OF CURB ELEVATION
		TOP OF CURB-GUTTER LINE
		TOP OF WALL ELEVATION
		BOTTOM OF WALL ELEVATION
		GROUND ELEVATION
		NATURAL GROUND
		FINISHED FLOOR ELEVATION
		STRUCTURE RIM ELEVATION
		SOIL BORING
		BENCHMARK



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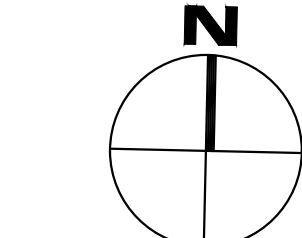
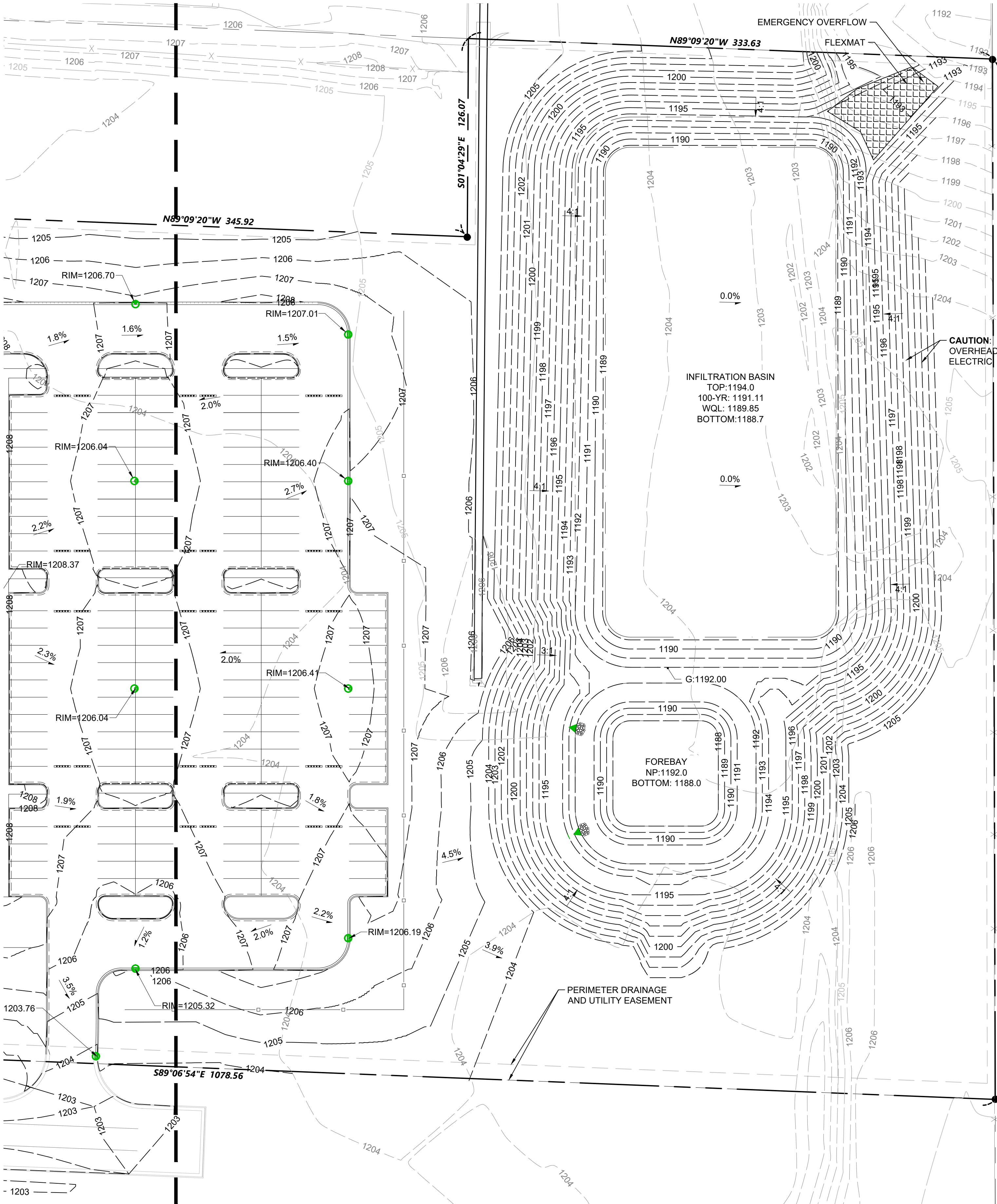
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GRADING PLAN

C400



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- CATCH BASINS AND MANHOLES IN PAVED AREAS SHALL BE SUMPED 0.04 FEET. ALL CATCH BASINS IN GUTTERS SHALL BE SUMPED 0.16 FEET. RIM ELEVATIONS SHOWN ON PLANS DO NOT REFLECT SUMPED ELEVATIONS.
- GRADING OF THE INFILTRATION AREAS SHALL BE ACCOMPLISHED USING LOW-IMPACT EARTH-MOVING EQUIPMENT TO PREVENT COMPACTION OF THE UNDERLYING SOILS. SMALL TRACKED DOZERS AND BOBCATS WITH RUNNER TRACKS ARE RECOMMENDED.
- ALL DISTURBED UNPAVED AREAS ARE TO RECEIVE MINIMUM OF 6 INCHES (COMPACTED) OF TOP SOIL AND SEED/MULCH OR SOD. THESE AREAS SHALL BE WATERED/MAINTAINED BY THE CONTRACTOR UNTIL VEGETATION IS ESTABLISHED. SEE LANDSCAPE PLAN FOR DETAILS.
- STREETS MUST BE CLEANED AND SWEEPED WHENEVER TRACKING OF SEDIMENTS OCCURS AND BEFORE SITES ARE LEFT IDLE FOR WEEKENDS AND HOLIDAYS. A REGULAR SWEEPING SCHEDULE MUST BE ESTABLISHED.
- DUST MUST BE ADEQUATELY CONTROLLED.
- ON SLOPES 4:1 OR GREATER MAINTAIN SHEET FLOW AND MINIMIZE RILLS AND/OR GULLIES.
- ALL STORM DRAINS AND INLETS MUST BE PROTECTED UNTIL ALL SOURCES OF POTENTIAL DISCHARGE ARE STABILIZED.
- TEMPORARY SOIL STOCKPILES MUST HAVE EFFECTIVE SEDIMENT CONTROL AND CAN NOT BE PLACED IN SURFACE WATERS OR STORM WATER CONVEYANCE SYSTEMS. TEMPORARY STOCKPILES WITHOUT SIGNIFICANT AMOUNT OF SILT, CLAY, OR ORGANIC COMPOUNDS ARE EXEMPT EX: CLEAN AGGREGATE STOCK PILES, DEMOLITION CONCRETE STOCKPILES, SAND STOCKPILES.
- FINAL STABILIZATION REQUIRES THAT ALL SOIL DISTURBING ACTIVITIES HAVE BEEN COMPLETED AND THAT DISTURBED AREAS ARE STABILIZED BY A UNIFORM PERENNIAL VEGETATIVE COVER WITH 70% OF THE EXPECTED FINAL DENSITY, AND THAT ALL PERMANENT PAVEMENTS HAVE BEEN INSTALLED. ALL TEMPORARY BMP'S SHALL BE REMOVED, DITCHES STABILIZED, AND SEDIMENT SHALL BE REMOVED FROM PERMANENT CONVEYANCES AND SEDIMENTATION BASINS IN ORDER TO RETURN THE POND TO DESIGN CAPACITY.
- THE CITY HAS REQUIREMENTS FOR INSPECTIONS VERIFYING PROPER CONSTRUCTION OF THE BMPs.
- SEE SWPPP FOR ADDITIONAL EROSION CONTROL NOTES AND REQUIREMENTS.
- SEE UTILITY PLAN FOR WATER, STORM AND SANITARY SEWER INFORMATION.
- SEE PAVING PLAN FOR CURB AND BITUMINOUS TAPER LOCATIONS.
- ACCESSIBLE PARKING AND ACCESSIBLE ROUTES SHALL BE PROVIDED PER CURRENT ADA STANDARDS AND LOCAL/STATE REQUIREMENTS.
- BASED ON GROUNDWATER ELEVATIONS ENCOUNTERED DURING GEOTECHNICAL EXPLORATION TEMPORARY DEWATERING OF EXCAVATIONS MAY BE NEEDED. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.

LEGEND:

EXISTING	PROPOSED	
		MAJOR CONTOUR
		MINOR CONTOUR
		HIGH WATER LEVEL
		STORM SEWER PIPE
		SOLID DRAINTILE
		PERFORATED DRAINTILE
		STORM INLET
		STORM MANHOLE
		FLARED END SECTION
		STORM CLEANOUT
		STORM FITTINGS
		ONE-POINT PERCENT GRADE
		TWO-POINT PERCENT GRADE
		SLOPE RATIO
		CUT / FILL DEPTH
		PAVEMENT ELEVATION
		CONCRETE ELEVATION
		GUTTER LINE ELEVATION
		TOP OF CURB ELEVATION
		TOP OF CURB-GUTTER LINE
		TOP OF WALL ELEVATION
		BOTTOM OF WALL ELEVATION
		GROUND ELEVATION
		NATURAL GROUND
		FINISHED FLOOR ELEVATION
		STRUCTURE RIM ELEVATION
		SOIL BORING
		BENCHMARK



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PROJECT INFORMATION

PROJECT TIMBER WOLF

BAXTER, MN

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JARED B. OLSON

REGISTRATION NO.	DATE
42340	06/18/2024

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DCS	---
JOB NO.	DATE
701676	06/18/2024

ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION
1	05/07/2024	90% CD SET
2	05/24/2024	100% CD SET
3	06/18/2024	CITY RESUBMITTAL

100% CD

GRADING PLAN

C401

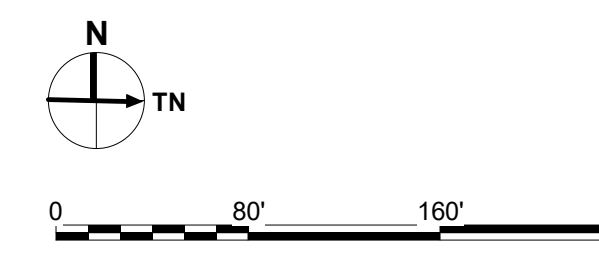


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KEY PLAN



PROJECT INFORMATION

PROJECT TIMBER WOLF

Baxter, MN

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Name

JUSTIN C. BAGGENSTOSS

REGISTRATION NO.	DATE
LA 52753	06/18/2024

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PROJ. NO.
701676

ISSUE RECORD		
ISSUE #	DATE	DESCRIPTION
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CITY
RESUBMITTAL

06/18/2024

LANDSCAPE
TITLE SHEET








L001

GENERAL NOTES


















SHEET INDEX:

SHEET	SHEET NAME	100% CD	CITY RESUBMITTAL						
03 - LANDSCAPE									
L001	LANDSCAPE TITLE SHEET	*	*						
L100	OVERALL SITE LANDSCAPE REFERENCE PLAN	*	*						
L200	SITE LANDSCAPE LAYOUT & SURFACING PLAN	*	*						
L400	OVERALL SITE LANDSCAPE TREE PLANTING PLAN	*	*						
L401	ENLARGED PLANTING PLAN DETAIL-NORTH	*	*						
L500	LANDSCAPE DETAILS	*	*						

SURFACE TREATMENT LEGEND

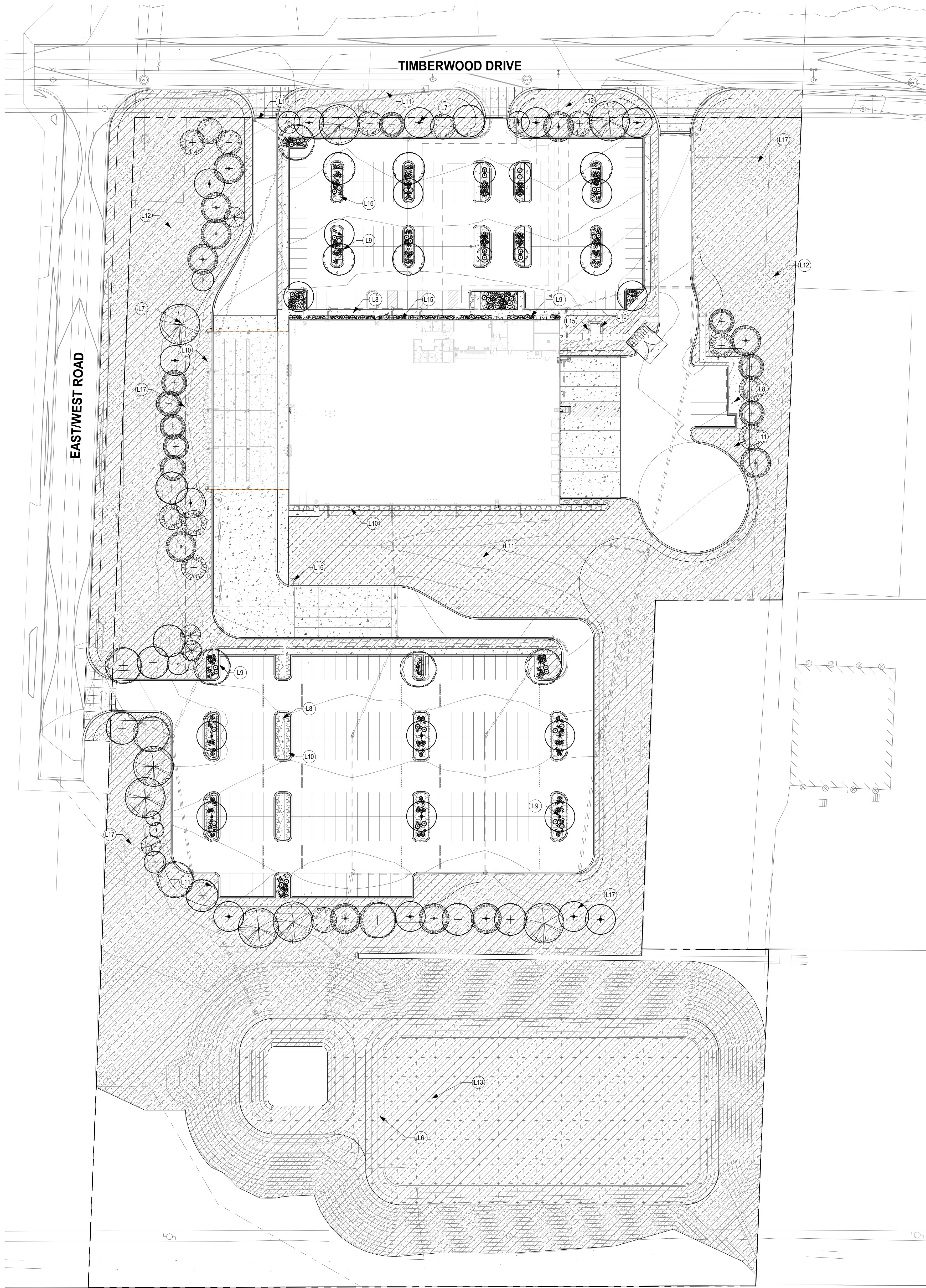
SURFACE TYPE	GRAPHIC ID
Concrete Drive Aprons	
Concrete Pavement	
Lawn-Low Maintenance Mix-Seed-Hydromulch-MN DOT #25-131 2	
Native Prairie Seed Mix-MMDOT #35-241	
Native Seed-Wet Mix-MMDOT #33-261	
Planting Areas	
Rock Mulch #1	

PLANTING LEGEND:

SYM	COMMON NAME	SCIENTIFIC NAME
Coniferous Tree		
	BALSAM FIR	Abies balsamea
	BALSAM FIR.1	Abies balsamea
	NORWAY SPRUCE	Picea abies
	NORWAY SPRUCE.1	Picea abies
	BLACK HILLS SPRUCE	Picea glauca densata
	BLACK HILLS SPRUCE.1	Picea glauca densata
	WHITE PINE	Pinus strobus
	WHITE PINE.1	Pinus strobus
Deciduous Tree		
	NORTHWOOD MAPLE	Acer rubrum Northwood
	NORTHWOOD MAPLE.1	Acer rubrum Northwood
	COMMON HACKBERRY	Celtis occidentalis
	COMMON HACKBERRY.1	Celtis occidentalis
	NORTHERN ACCLAIM HONEYLOCUST	Gleditsia triacanthos inermis 'Niane'
	NORTHERN ACCLAIM HONEYLOCUST.1	Gleditsia triacanthos inermis 'Niane'
	NORTHERN PIN OAK	Quercus ellipsoides
	NORTHERN PIN OAK.1	Quercus ellipsoides
Understory Deciduous Tree		
	SPRING FLURRY SERVICEBERRY	Amelanchier lanceolata (PF-544) (PF-304)
	THORNLESS HAWTHORN	Crataegus crus-galli var. inermis
	PINK SPIRES CRABAPPLE	Malus Pink Spire

1 OVERALL SITE LANDSCAPE CONTEXT PLAN
L001 1" = 80'-0"

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GENERAL NOTES

KEYNOTE LEGEND

- L1 MAIN ENTRY DRIVE;
L6 STORMWATER MANAGEMENT; (SEE ELEC.);
L7 PROPOSED TREES; PROVIDE MULCH RINGS AT ALL TREES NOT LOCATED IN PLANTING AREAS;
L8 SURFACE TREATMENT; CONCRETE, TYP. JOINTING PER PLANS
L9 SURFACE TREATMENT; PLANTING AREAS; SHREDDED HARDWOOD MULCH, 3" DEPTH; DRIP IRRIGATED;
L10 SURFACE TREATMENT; ROCK MULCH; BASIS OF DESIGN: 2-6" FIELD STONE W/FABRIC UNDERLAYMENT;
L11 SURFACE TREATMENT; LOW MAINTENANCE TURFGRASS; HYDROSEEDDED-MNDOT MIX 25-131; IRRIGATED;
L12 SURFACE TREATMENT; NATIVE PRAIRIE MIX; SEEDDED-MODIFIED MNDOT MIX #35-241;
L13 SURFACE TREATMENT; WET POND MIX; SEEDDED-MODIFIED MNDOT MIX #33-261;
L15 COMMERCIAL EDGING; STEEL, 4"X 1/8", COLOR 'BLACK';
L16 SITE LIGHTING; (SEE ELEC.);
L17 FENCING;

SURFACE TREATMENT SCHEDULE

SURFACE TYPE	GRAPHIC ID	KEYNOTE ID (SEE KEYNOTE LEGEND, LAYOUT & SURFACING PLAN)
Concrete Drive Aprons		CDA
Concrete Pavement		C
Lawn-Low Maintenance Mix-Seedded-Hydromulch-MNDOT #25-131 2		LL
Native Prairie Seed Mix-MNDOT #35-241		NP
Native Seed-Wet Mix-MNDOT #33-261		NW
Planting Areas		PA
Rock Mulch #1		R1



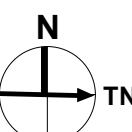
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KEY PLAN



0 50' 100' 150'

PROJECT INFORMATION

PROJECT TIMBER WOLF

Baxter, MN

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Name

JUSTIN C. BAGGENSTOSS

REGISTRATION NO.

LA 52753

DATE

06/18/2024

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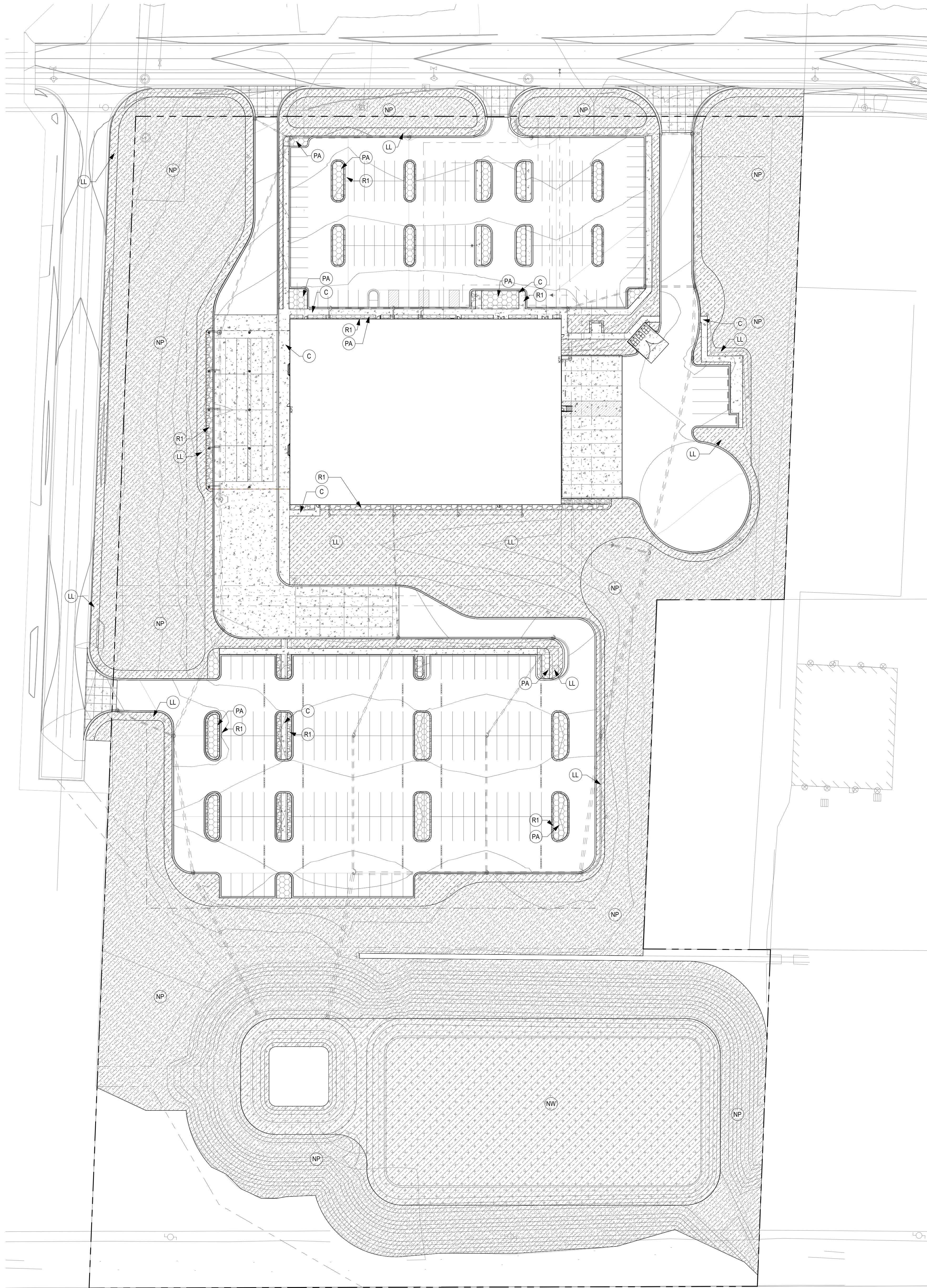
OVERALL SITE LANDSCAPE REFERENCE PLAN

L100

1 OVERALL SITE LANDSCAPE REFERENCE PLAN
L100 1" = 50'-0"

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1
L200 OVERALL SITE LANDSCAPE LAYOUT & SURFACING PLAN
1" = 50'-0"



GENERAL NOTES



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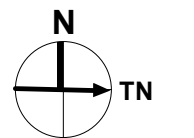
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SURFACE TREATMENT SCHEDULE

SURFACE TYPE	GRAPHIC ID	KEYNOTE ID	AREA
Concrete Drive Aprons		CDA	5820 SF
Concrete Pavement		C	48105 SF
Lawn-Low Maintenance Mix-Seeded-Hydromulch- MNDOT #25-131.2		LL	70799 SF
Native Prairie Seed Mix-MNDOT #35-241		NP	257969 SF
Native Seed-Wet Mix-MNDOT #35-261		NW	78895 SF
Planting Areas		PA	10009 SF
Rock Mulch #1		R1	6546 SF
			477741 SF

KEY PLAN



0 50' 100' 150'

PROJECT INFORMATION

PROJECT TIMBER WOLF

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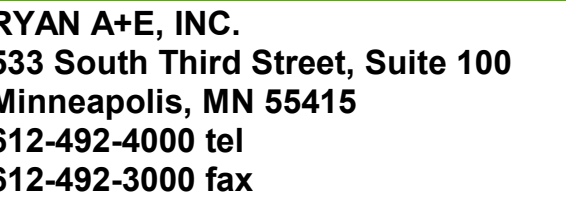
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SITE LANDSCAPE LAYOUT & SURFACING PLAN

L200



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KEY PLAN



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06/18/2024

OVERALL SITE LANDSCAPE TREE PLANTING PLAN

L400

GENERAL NOTES=

1. SEE SHEET L401 FOR ADDITIONAL AND SUPPLEMENTAL PLANTING IDENTIFICATION
2. ONLY TREES ARE IDENTIFIED ON THIS PLAN FOR GRAPHIC CLARITY

PLANTING NOTES

1. REFER TO CIVIL GRADING PLAN FOR PROPOSED GRADING AND EROSION CONTROL INFORMATION.
2. REFER TO CIVIL EXISTING CONDITIONS AND REMOVALS PLAN SHEET C101 & C102 FOR EXISTING TREE REMOVAL AND PRESERVATION INFORMATION.
3. REFER TO L-500 FOR LANDSCAPE NOTES AND DETAILS.
4. THE LANDSCAPE PLANT SCHEDULE IS FOR THE CONVENIENCE TO THE LANDSCAPE SUBCONTRACTOR. THE LANDSCAPE SUBCONTRACTOR IS RESPONSIBLE FOR VERIFYING THE PLANT COUNTS ON PLAN.
5. THIS PLAN ILLUSTRATES THE MINIMUM PLANTINGS TO BE PROVIDED FOR CITY APPROVAL. THE OWNER RETAINS THE RIGHT TO INCREASE PLANT SIZES / QUANTITIES.
6. ALL TREES AND SHRUBS SHALL RECEIVE 4" OF SHREDED HARDWOOD MULCH.
7. ALL OPEN SPACE AREAS SHALL RECEIVE PLANT MATERIALS AND IRRIGATION, EXCLUDED FROM IRRIGATION AREAS IS THE BUILDING FOOTPRINT, HARDSCAPE AREAS, ROCK MOUNTAIN STRIPS AND AREAS BELOW THE NORMAL WATER LEVEL IN STOMWATER BMPs. AREAS RECEIVING NATIVE SEED SHALL BE ON A DEDICATED IRRIGATION ZONE.

LANDSCAPE CALCULATIONS

CODE REQUIRED TREE CALCULATIONS

OVERSTORY TREES

By SF of Total Building Floor Area
1 tree per 1,500 SF Total Building Area: 49,496/1,500= **33 Trees**

By Frontage Along All Roadways

1 tree per 75 LF Frontage: $1,823.66/75= 24$ Trees
 Due Interior Garden Lot Landscaping

1 tree per Parking Island: 10 Total Parking Islands=

TOTAL TREES: 69 OVERSTORY TREES

OVERSTORY TREE EQUIVALENCY

Up to fifty percent (50%) of the required number of overstory trees on a site may be substituted with an equivalent number of understory trees, smaller trees, or shrubs. In such cases, two (2) ornamental trees, two (2) 4-foot coniferous trees, two (2) 1.5-inch diameter overstory trees, or ten (10) shrubs shall be equivalent to one overstory tree.

100% OVERSTORY TREES: 67 Trees

50% OVERSTORY TREES: 11 Evergreen Trees (6 ft)
23 Deciduous Trees (2.5 Cal/Inch)

50% EQUIVALENCY TREES: 22 Evergreen Trees (4 ft)
44 Deciduous Trees (Ornamental trees or 1.5 Cal/inch Overstory)

SHRUBS

By SF of Total Building Floor Area
1 tree per 450 SF Total Building Area: $49,496/450 = 110$ Shrubs


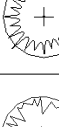







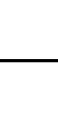
TOTAL REQUIRED TREES: 100 - Between Overstory Trees and Ornamental Trees
TOTAL PORPOSED TREES: 100 - Between Overstory Trees and Ornamental Trees

TOTAL REQUIRED SHRUBS:	110
TOTAL PROPOSED SHRUBS:	225
TOTAL PROPOSED PERENNIALS:	321

Notes:

- 33% of the proposed trees on site are coniferous trees.

REPLANT SCHEDULE

SYM	QTY	ID	COMMON NAME	SCIENTIFIC NAME	PLANTING SIZE	MATURE HEIGHT/WIDTH	COMMENTS
TREES							
Coniferous Tree							
	5	AB	BALSAM FIR	Abies balsamea	6' B&B	50/30'	PLANT PER PLAN
	6	AB	BALSAM FIR.1	Abies balsamea	4" B&B	50/30'	PLANT PER PLAN
	1	PA	NORWAY SPRUCE	Picea abies	6' B&B	60/25'	PLANT PER PLAN
	5	PA	NORWAY SPRUCE.1	Picea abies	4" B&B	60/25'	PLANT PER PLAN
	1	PG	BLACK HILLS SPRUCE	Picea glauca densata	6' B&B	35/22'	PLANT PER PLAN
	6	PG	BLACK HILLS SPRUCE.1	Picea glauca densata	4" B&B	35/22'	PLANT PER PLAN
	4	PS	WHITE PINE	Pinus strobus	6' B&B	50/30'	PLANT PER PLAN
	5	PS	WHITE PINE.1	Pinus strobus	4" B&B	50/30'	PLANT PER PLAN
Deciduous Tree							
	12	AR	NORTHWOOD MAPLE	Acer rubrum 'Northwood'	3" B&B	50/35'	PLANT PER PLAN
	10	AR	NORTHWOOD MAPLE.1	Acer rubrum 'Northwood'	2" B&B	50/35'	PLANT PER PLAN
	4	CO	COMMON HACKBERRY	Celtis occidentalis	3" B&B	55/40'	PLANT PER PLAN
	4	CO	COMMON HACKBERRY.1	Celtis occidentalis	2" B&B	55/40'	PLANT PER PLAN
	6	GT	NORTHERN ACOLAN HONEYLOCUST	Gleditsia triacanthos 'aevnis' 'Havrel'	2.5" B&B	40/30'	PLANT PER PLAN
	8	GT	NORTHERN ACOLAN HONEYLOCUST.1	Gleditsia triacanthos 'aevnis' 'Havrel'	2" B&B	40/30'	PLANT PER PLAN
	1	QE	NORTHERN PIN OAK	Quercus ellipsoidalis	2.5" B&B	50/40'	PLANT PER PLAN
	7	QE	NORTHERN PIN OAK.1	Quercus ellipsoidalis	2" B&B	50/40'	PLANT PER PLAN
Understory Deciduous Tree							
	7	AL	SPRING FLURRY SERVICEBERRY	Amelanchier laevis(JFS-Abx)(PP15.30 4)	2" B&B	30/20'	PLANT PER PLAN
	4	CC	THORNLESS HAWTHORN	Crataegus crus-galli var. inermis	2" B&B	20/20'	PLANT PER PLAN
	4	MP	PINK SPIRES CRABAPPLE	Malus 'Pink Spire'	2" B&B	15/12'	PLANT PER PLAN
TOTAL TREES	100						

TOTAL TREES	100
-------------	-----

100

1 OVERALL SITE LANDSCAPE TREE PLANTING PLAN
L400 1" = 50'-0"

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