

To: Sylvia Carrillo, City Manager
From: ___ Planning & Development
Date: October 5, 2023
Subject: Reed Ranch PDD



=====

ITEM DETAILS:

Site Address: 615 W Highway 71, Bastrop TX
Total Acreage: 24.462 acres
Acreage Rezoned: 24.462 acres
Legal Description: 24.462 acres out of the No. 98 Nancy Blakey Survey

Property Owner: Charles G. Rosanky Family Trust
Agent Contact: Charley Dorsaneo / Drenner Group

Existing Use: Vacant/Undeveloped
Existing Zoning: P2 Rural
Proposed Zoning: Planned Development District, P4 Core Base Zoning
Character District: Cattleman's
Future Land Use: Transitional Residential

BACKGROUND:

The applicant has applied for a Zoning Concept Scheme for Reed Ranch (Attachment 4). The proposal is to place a Planned Development District (PDD) with a P4 Mix base zoning to appropriately incorporate multi-family housing which coincides with Transitional Residential as defined by our Future Land Use plan.

After initial recommendation and listening to public comment, the developer has revised the associated documents to address the public concerns as follows:

- The units adjacent to the existing residential neighborhood, Bastrop Grove, be limited to a maximum height of 2 stories.
- The connection to Jessica Place be eliminated.
- The units on the west side of the development be allowed a maximum of 4 stories.
- The setbacks along the portion of the development that abuts the residential neighborhood be relieved of the B3 requirements.
- The development will have increased landscaping in the setback.

The existing land use is classified as P2 – Rural. However, the future land use map calls for “transitional residential” as defined below.

Place Type 4 – Mix is defined in the code as:

“More intense Building Types that provide more lifestyle choices. It provides for a mix of Residential Building Types. Commercial and Office uses are allowed in this

District only in House form Structures. Because P4 is a transition area, the Street Types consists of multimodal Streets, but are primarily Residential urban fabric.”

The Future Land Use Plan shows this area as Transitional Residential:

“The Transitional Residential character area is for lands to be developed with higher densities and a variety of housing types. The character area supports high density single-family detached, single-family attached (duplexes, triplexes, townhouses) and multifamily (apartments), and institutional residential uses such as nursing homes and assisted living facilities.”

Infrastructure	Available (Y/N)	Proposed
Water	Y	Line Extensions
Wastewater	Y	Line Extensions
Drainage	Y	Storm sewer, detention pond
Transportation	Y	Extension, private drive, widening
Parks and Open Space	Y	Pond with Trails

Drainage

A Zoning Concept Scheme must be accompanied by a Conceptual Drainage Plan to ensure that the proposed development is feasible. A Conceptual Drainage Plan has been reviewed and approved by the City Engineer. The site includes one central location for detention in the natural flow of the land in the southeast corner of the tract. The maximum impervious cover allowed in Place Type 4 is 70%. This development proposes 62.9%.

Utilities

Wastewater and water service (domestic and fire) will be provided the City of Bastrop via line extensions from existing infrastructure located on Settlement Drive. These lines will be designed according to the City’s construction standards, as well as the Texas Commission on Environmental Quality’s (TCEQ) requirements. The line sizes for capacity and service are 8” for water and 6” for wastewater.

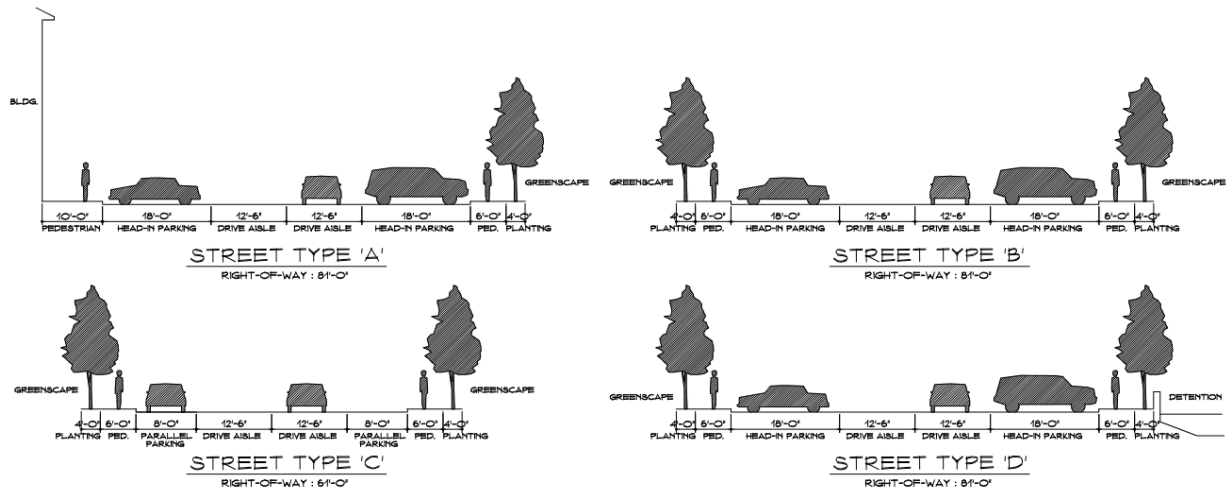
Electric service provided by Bluebonnet Electric.

Gas will be provided by Center Point Energy.

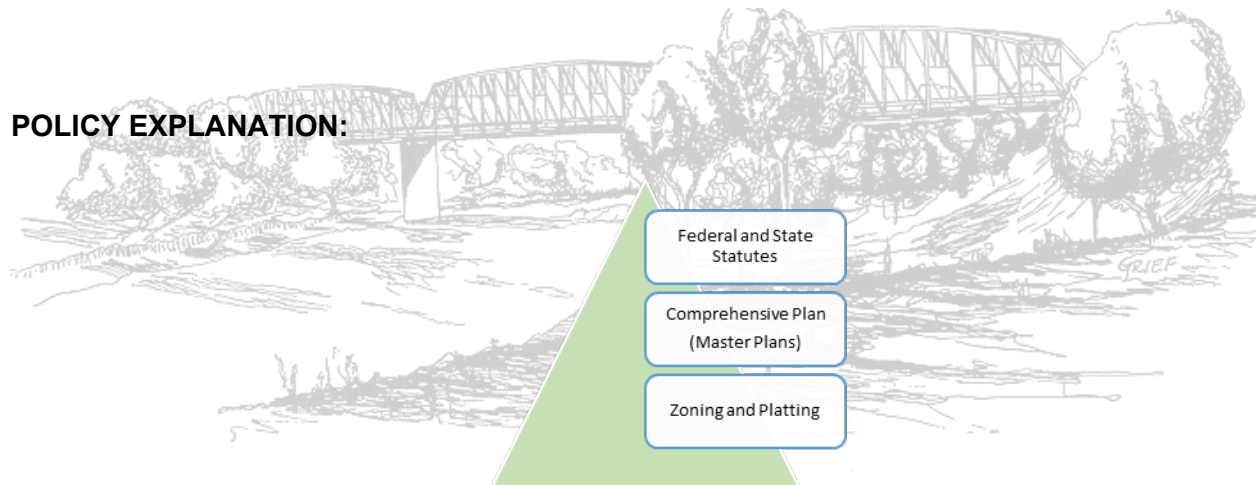
Traffic Impact and Streets

This zoning concept plan creates a series of internal private drives, connection between Settlement Road and Jessica Place, includes Right of Way dedication for an extension of Blakey Lane eastward, and creating a new street between Old Austin Highway and Blakey Lane. A private drive resembling a typical city street will run amidst the development, stretching from Settlement Road to Jessica Place. This drive will be adorned with trees, sidewalks, and construction adhering to standard guidelines, complete with appropriate lighting. Moreover, it seamlessly aligns with the master transportation plan, ensuring effective connectivity. The main access points to the development will be off Blakey Lane and future connection to Old Austin Highway. The proposed standard street cross sections being used in the design are cross sections A, B, C, and D. The street design will follow the B3 Code, Section 7.3 for design and layout. A Traffic Impact Analysis Threshold Worksheet has been conducted and completed on behalf of the Drenner Group. The TIA shows a total of 627 units with an Average Daily Trip Rate

of 6.74 and 4226 Average Daily Trips. The peak hours will be in the afternoon/evening totaling 320 trips per hour. Staff will continue to develop private street standards that meet or exceed the industry standards along with easements needed for public infrastructure.



POLICY EXPLANATION:



Texas Local Government Code

Sec. 211.006. PROCEDURES GOVERNING ADOPTION OF ZONING REGULATIONS AND DISTRICT BOUNDARIES. (a) The governing body of a municipality wishing to exercise the authority relating to zoning regulations and zoning district boundaries shall establish procedures for adopting and enforcing the regulations and boundaries. A regulation or boundary is not effective until after a public hearing on the matter at which parties in interest and citizens have an opportunity to be heard. Before the 15th day before the date of the hearing, notice of the time and place of the hearing must be published in an official newspaper or a newspaper of general circulation in the municipality.

Zoning Change signs were visibly placed in the front of the property and notice was sent to property owners within 200 feet of the property boundary.

(b) In addition to the notice required by Subsection (a), a general-law municipality that does not have a zoning commission shall give notice of a proposed change in a zoning classification to each property owner who would be entitled to notice under Section 211.007(c) if the municipality

had a zoning commission. That notice must be given in the same manner as required for notice to property owners under Section 211.007(c). The governing body may not adopt the proposed change until after the 30th day after the date the notice required by this subsection is given.

N/A. Bastrop is not a general-law municipality.

(c) If the governing body of a home-rule municipality conducts a hearing under Subsection (a), the governing body may, by a two-thirds vote, prescribe the type of notice to be given of the time and place of the public hearing. Notice requirements prescribed under this subsection are in addition to the publication of notice required by Subsection (a).

Notice of the meeting was posted at least 72 hours in advance.

(d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either:

(1) the area of the lots or land covered by the proposed change; or

(2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

(e) In computing the percentage of land area under Subsection (d), the area of streets and alleys shall be included.

At the time of this report, no protest has been received.

(f) The governing body by ordinance may provide that the affirmative vote of at least three-fourths of all its members is required to overrule a recommendation of the municipality's zoning commission that a proposed change to a regulation or boundary be denied.

If the Planning & Zoning Commission recommends denial of the zoning request, the City Council must have a minimum vote of 4 out of 5 members to approve the zoning request.

At least 5 members of the Planning & Zoning Commission must vote to make an official recommendation to the City Council. Failure to reach five vote means no official recommendation can be forwarded, but this does not impact the City Council's vote requirement to approve or deny the request.

Compliance with 2036 Comprehensive Plan:

The Transitional Residential character area is for lands to be developed with higher densities and a variety of housing types. The character area supports high density single-family detached, single-family attached (duplexes, triplexes, townhouses) and multifamily (apartments), and institutional residential uses such as nursing homes and assisted living facilities. Variation in form, scale, and density is allowed but appropriate transitions must be provided between land uses. In some cases, Transitional Residential uses may be included as part of a larger planned development within areas otherwise designated as Neighborhood Residential. Like, Transitional Residential character areas may also include associated

amenities such as parks, trails, open spaces, and public uses such as schools, fire stations, and more.

Representative land uses that are appropriate in Transitional Residential include multifamily apartments which are proposed within Reed Ranch.

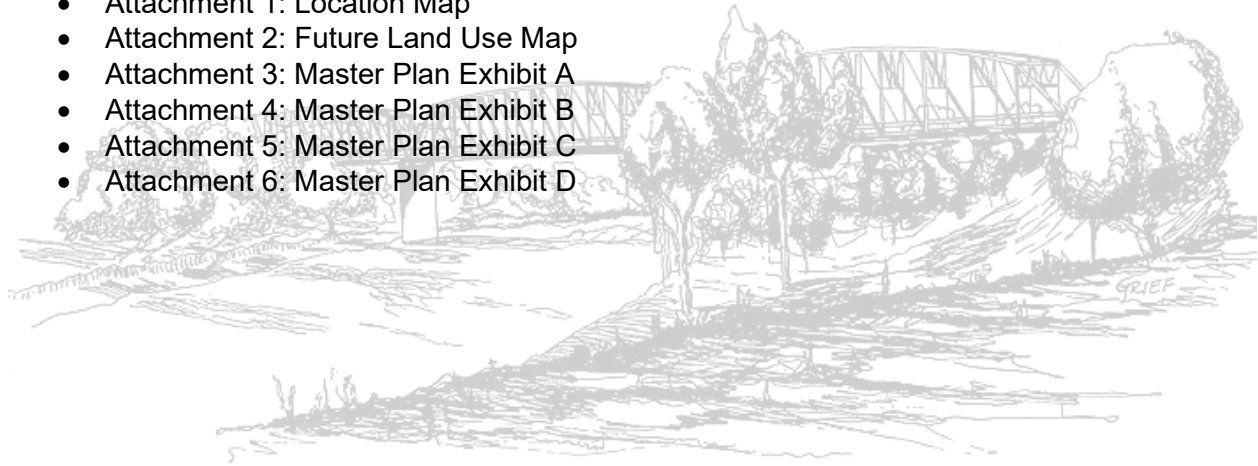
RECOMMENDATION:

The applicant has applied for a Zoning Concept Scheme for Reed Ranch (Attachment 4). The proposal is to place a Planned Development District (PDD) with a P4 Mix base zoning to appropriately incorporate multi-family housing which coincides with Transitional Residential as defined by our Future Land Use plan.

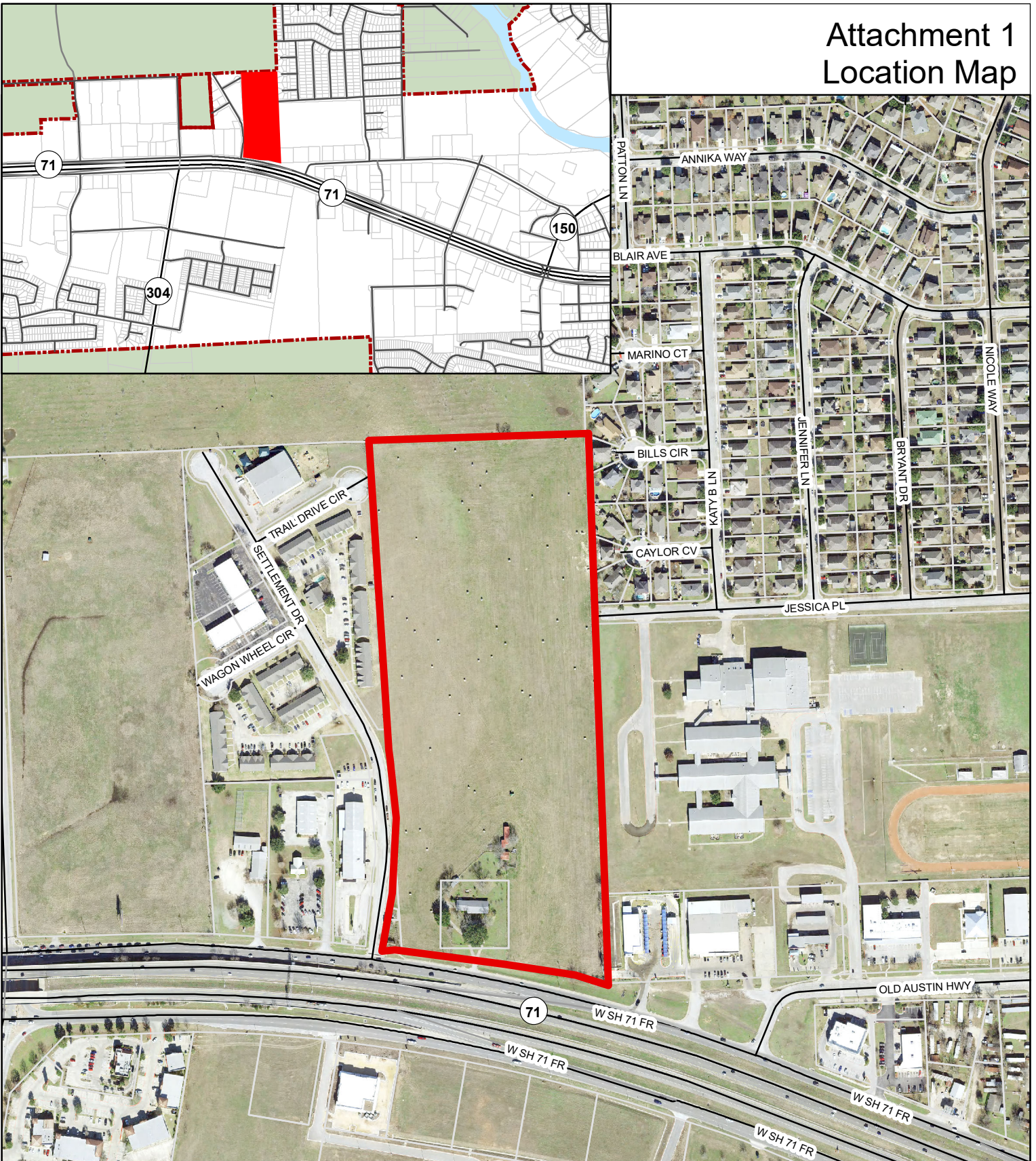
Staff will continue to develop private street standards that meet or exceed the industry standards along with easements needed for public infrastructure.

ATTACHMENTS:

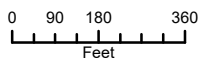
- Attachment 1: Location Map
- Attachment 2: Future Land Use Map
- Attachment 3: Master Plan Exhibit A
- Attachment 4: Master Plan Exhibit B
- Attachment 5: Master Plan Exhibit C
- Attachment 6: Master Plan Exhibit D



Attachment 1 Location Map



Reed Ranch Property Location Map



1 inch = 400 feet

Date: 10/4/2023

The accuracy and precision of this cartographic data is limited and should be used for information /planning purposes only. This data does not replace surveys conducted by registered Texas land surveyors nor does it constitute an "official" verification of zoning, land use classification, or other classification set forth in local, state, or federal regulatory processes. The City of Bastrop, nor any of its employees, do not make any warranty of merchantability and fitness for particular purpose, or assumes any legal liability or responsibility for the accuracy, completeness or usefulness of any such information, nor does it represent that its use would not infringe upon privately owned rights.



ZONING CONCEPT PLANS FOR **REED RANCH** **615 SH 71 W** **BASTROP TX, 78602**

OWNER

ROSANKY, CHARLES G
FAMILY TRUST
615 HWY 71 W
BASTROP, TX 78602

DEVELOPER

HOLT LUNSFORD HOLDINGS
5950 BERKSHIRE LANE, SUITE 900
DALLAS, TX 75225

ARCHITECT

ARCHON CORPORATION
210 N. PARK BLVD, SUITE 100
GRAPEVINE, TX 76051

ENGINEER

HOLLIS SCHEFFLER, P.E.
8701 N. MOPAC EXPY, SUITE 320
AUSTIN, TEXAS 78759
PHONE: (512) 485-0831

SURVEYOR

MICHAEL JACK NEEDHAM
8701 N. MOPAC EXPY, SUITE 320
AUSTIN, TEXAS 78759
PHONE: (512) 485-0831



LEGAL DESCRIPTION:

A98 BLAKEY, NANCY, ACRES 23.0400



VICINITY MAP
(1"=2000')

PROJECT ZONING: P-2

PROJECT ADDRESS: 615 SH 71 W

SUBMITTAL DATE: JULY 10, 2032

Sheet List Table	
Sheet Number	Sheet Title
1	COVER
2	PEDESTRIAN SHED
3	PD SITE PLAN
4	LOT AND BLOCK LAYOUT
5	EXISTING DRAINAGE AREA MAP
6	PROPOSED DRAINAGE AREA MAP
7	UTILITY PLAN 1 OF 2
8	UTILITY PLAN 2 OF 2

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TBPLS FIRM REGISTRATION NO. LS-100800-00

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NO.	DATE	DESCRIPTION

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BASTROP TX, 78602
COVER

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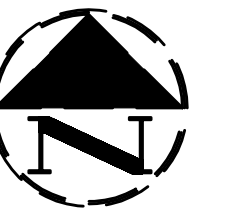
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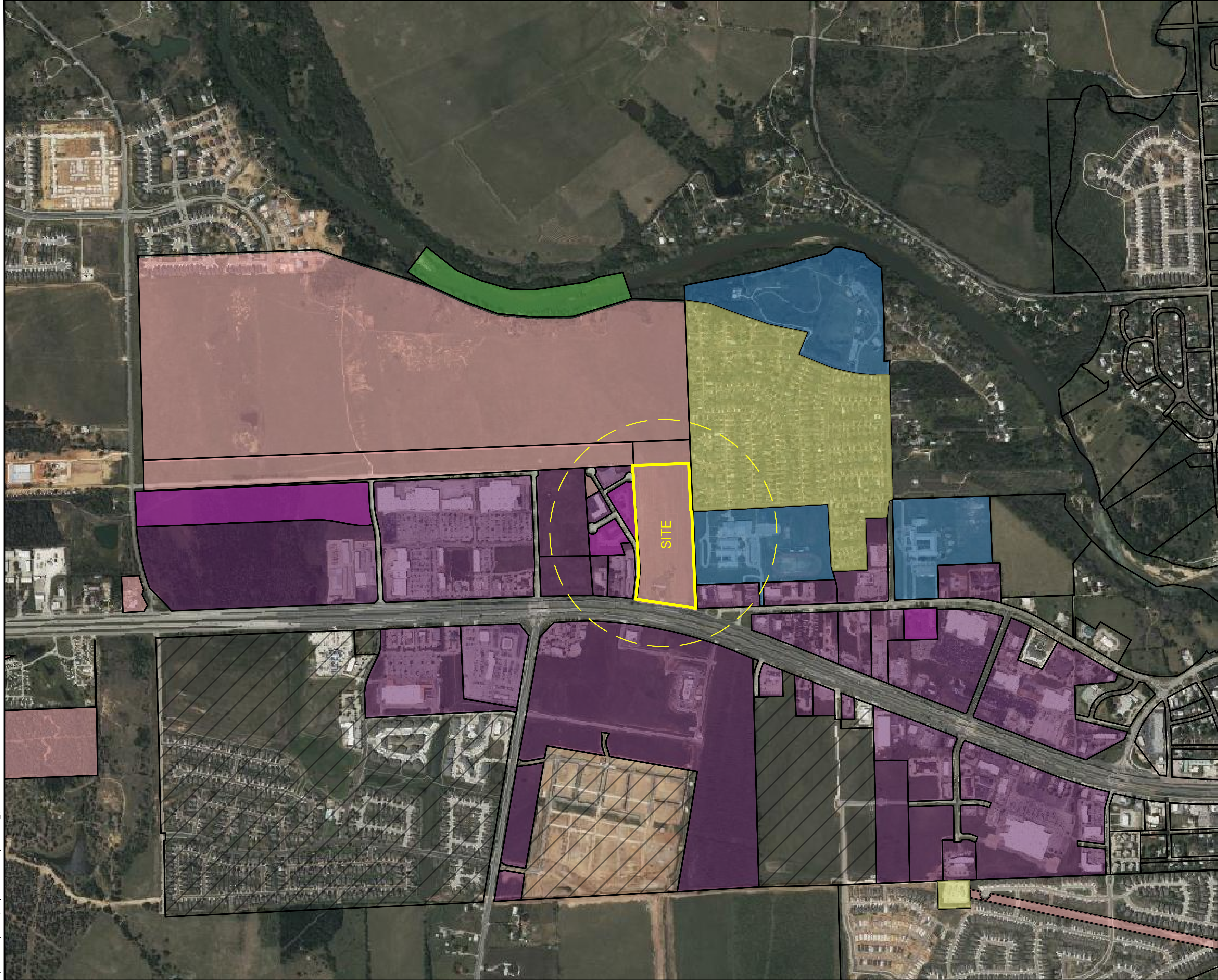
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TBPLS FIRM REGISTRATION NO. LS-10074301



0 250 500 1000 1500
GRAPHIC SCALE IN FEET



P2	P3	P4	CIVIC	P5	TOTAL
30.40%	12.35%	4.90%	14.68%	24.58%	86.91%

- PLANNED DEVELOPMENT
- NATURE
- CIVIC SPACE
- RURAL
- NEIGHBORHOOD
- MIX
- CORE

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TYPE FIRM REGISTRATION NO. F-11756
 TBPLS FIRM REGISTRATION NO. LS-10074301

PROPOSED PEDESTRIAN SHED (1/4 MILE)

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
NP	NP	5/31/2023	1"=500'			EXHB

NP0927
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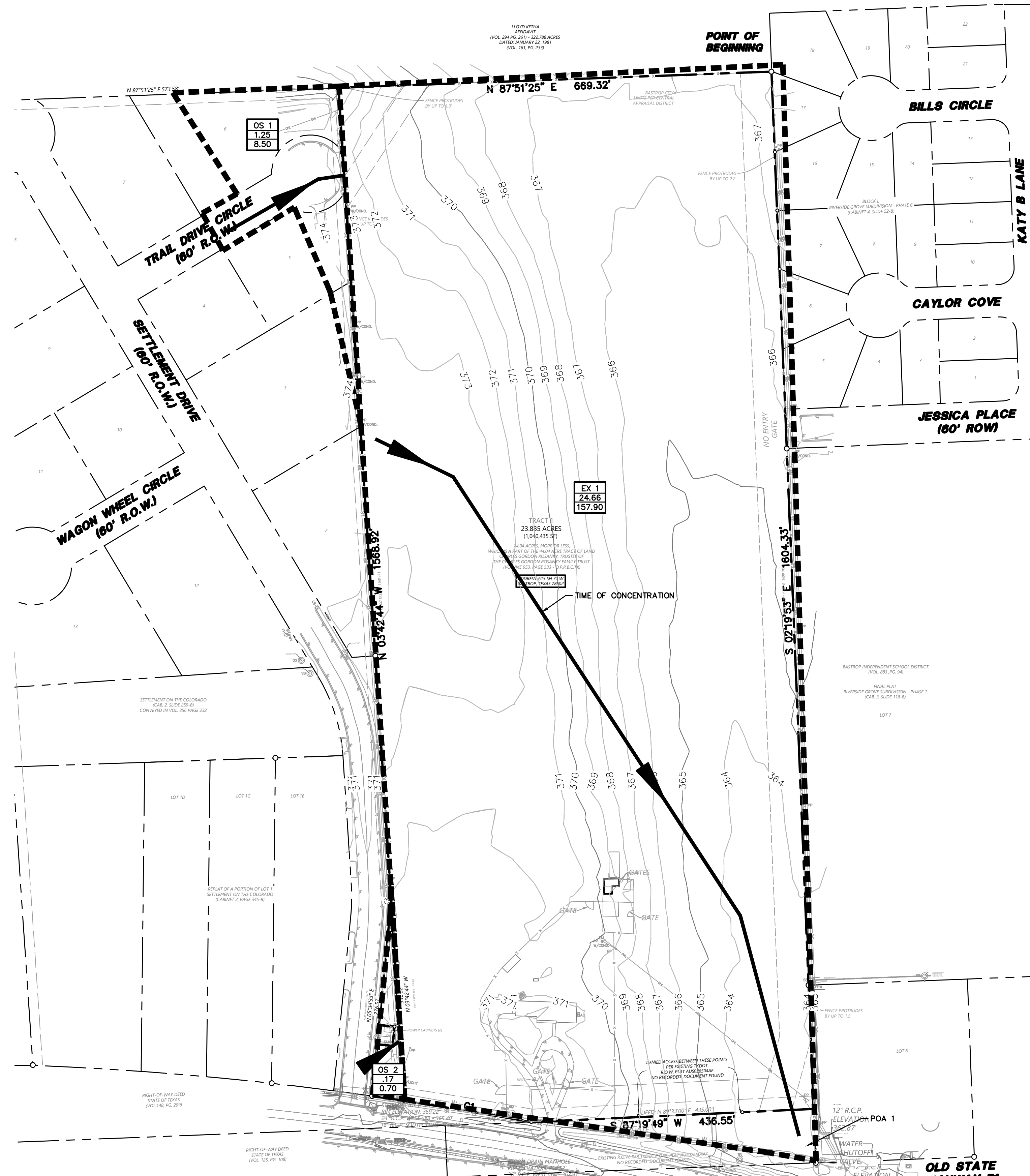
ARCHITECT:
 GARY G. WOOD #12202
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 DATE: 10 JUL 23

■ PUBLIC STREET
■ PRIVATE STREET



		LOT/BLOCK PLAN	
		PROJECT NAME: REED RANCH ACERAGE: 24.3 A. DATE: 10 JUL 23	 SCALE: 1" = 60'-0"
		ARCHON CORPORATION ARCHITECTS / PLANNERS 210 NORTH PARK BLVD. SUITE 100 - GRAPEVINE, TX 76051 214/526-0731	

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GRAPHIC SCALE IN FEET
1"=100'

LEGEND

BL	BOLLARD
EM	ELECTRIC METER
PP	POWER POLE
LS	LIGHT STANDARD
WM	WATER METER
WV	WATER VALVE
ICV	IRRIGATION CONTROL VALVE
PH	FIRE HYDRANT
CL	CLEANOUT
MH	MANHOLE
TSC	TRAFFIC SIGNAL CONTROL
TSP	TRAFFIC SIGNAL POLE
TELE	TELEPHONE BOX
FL	FLOOD LIGHT
FP	FLAG POLE
TS	TRAFFIC SIGN
---	PROPERTY LINE
- - -	FENCE
---	EXISTING CONTOUR
→	DRAINAGE FLOW DIRECTION
---	100-YR FLOODPLAIN LIMITS
---	DRAINAGE DIVIDE

EX B	EXISTING DRAINAGE AREA ID
1.00	AREA IN ACRES
7.99	Q ₁₀₀ IN CUBIC FEET PER SECOND

SHEET FLOW										SHALLOW CONCENTRATED FLOW					CHANNEL FLOW						
DRAINAGE NUMBER	INLET NUMBER	AREA (acres)	Length (ft)	Slope (ft/ft)	Surface Cover	Velocity (ft/s)	Manning's n	T _{sheet} (min)	Length (ft)	Slope (ft/ft)	Surface Type	Velocity (ft/s)	K	T _{shallow} (min)	Length (ft)	Slope (ft/ft)	Type	K (ft)	Velocity (ft/s)	T _{channel} (min)	T _c (min)
OS 1	OS 1	1.25	50.00	0.01	SHORT GRASS PRAIRIE	0.07	0.15	11.88	150.00	0.01	UNPAVED	1.61	16.13	1.55	0.00	0.01	36" RCP	94.36	9.44	0.00	13.43
OS 2	OS 2	0.17	50.00	0.01	SHORT GRASS PRAIRIE	0.03	0.15	32.22	0.00	0.01	UNPAVED	1.61	16.13	0.00	0.00	0.01	36" RCP	94.36	9.44	0.00	32.22
EX 1	EX 1	24.66	50.00	0.01	SHORT GRASS PRAIRIE	0.31	0.15	2.67	990.00	0.03	UNPAVED	2.79	16.13	5.90	0.00	0.01	36" RCP	94.36	9.44	0.00	8.58

HEC-HMS SUMMARY: EXISTING CONDITIONS												
Drainage Area Basin Designation	Drainage Area (ac)	Base Curve Number CN	Lag Time (min)	Impervious Cover %	2 YEAR STORM		10 YEAR STORM		25 YEAR STORM		100 YEAR STORM	
					Runoff Per Drainage Area (cfs)	Routed Cumulative Runoff (cfs)	Runoff Per Drainage Area (cfs)	Routed Cumulative Runoff (cfs)	Runoff Per Drainage Area (cfs)	Routed Cumulative Runoff (cfs)	Runoff Per Drainage Area (cfs)	Routed Cumulative Runoff (cfs)
OS 1	1.25	61	8.06	34.64%	2.50	5.50	6.10	8.50				
OS 1	1.25	61	19.33	0.00%	0.10	0.40	0.50	0.70				
EX 1	24.66	61	5.15	1.32%	27.40	86.20	103.80	157.90				
POA 1					27.40	86.20	103.80	157.90				

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REVISIONS	
NO.	DESCRIPTION

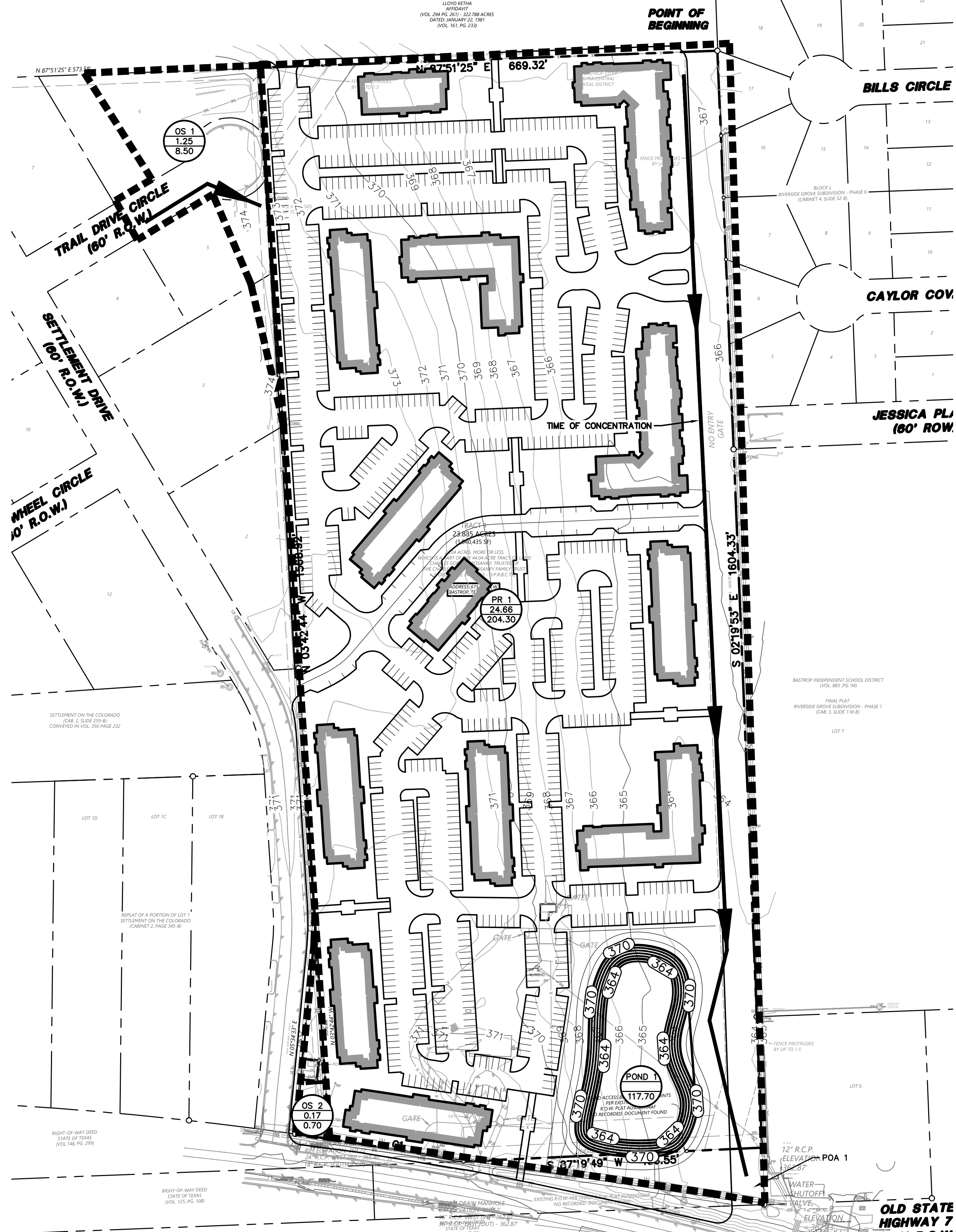
REED RANCH
615 SH 71 W
BASTROP TX, 78602
EXISTING DRAINAGE AREA MAP

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 PLANS PREPARED UNDER THE DIRECT REGISTRATION AND SUPERVISION OF THE REGISTERED PROFESSIONAL ENGINEER.
 DATE: 07/10/2023

DESIGN	DRAWN	DATE
JDW	CAH	JULY 2023

SHEET NO. **5**

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GRAPHIC SCALE IN FEET
 1"=100'
 LEGEND

BL	BOLLARD
EM	ELECTRIC METER
PP	POWER POLE
LS	LIGHT STANDARD
WM	WATER METER
WV	WATER VALVE
ICV	IRRIGATION CONTROL VALVE
FW	FIRE HYDRANT
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TS	TRAFFIC SIGN
PL	PROPERTY LINE
F	FENCE
X	EXISTING CONTOUR
613	PROPOSED CONTOUR
→	DRAINAGE FLOW DIRECTION
450	100-YR FLOODPLAIN LIMITS
---	DRAINAGE DIVIDE
U 8	PROPOSED DRAINAGE AREA ID
1.00	AREA IN ACRES
7.99	Q ₁₀₀ IN CUBIC FEET PER SECOND

DRAINAGE NUMBER	INLET NUMBER	AREA (acres)	SHEET FLOW					SHALLOW CONCENTRATED FLOW					CHANNEL FLOW								
			Length (ft)	Slope (ft/ft)	Surface Cover	Velocity (ft/s)	Manning's n	T _{sheet} (min)	Length (ft)	Slope (ft/ft)	Surface Type	Velocity (ft/s)	K	T _{shallow} (min)	Length (ft)	Slope (ft/ft)	Type	K (ft)	Velocity (ft/s)	T _{channel} (min)	T _c (min)
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OS2	0.17	61	19.33	0.00		0.10		0.40		0.50		0.70	
PR 1	24.66	61	3.08	62.90		78.00		149.00		155.70		204.30	
POND 1						27.20		27.20		82.50		82.50	
POA 1						27.20		82.50		91.00		117.70	

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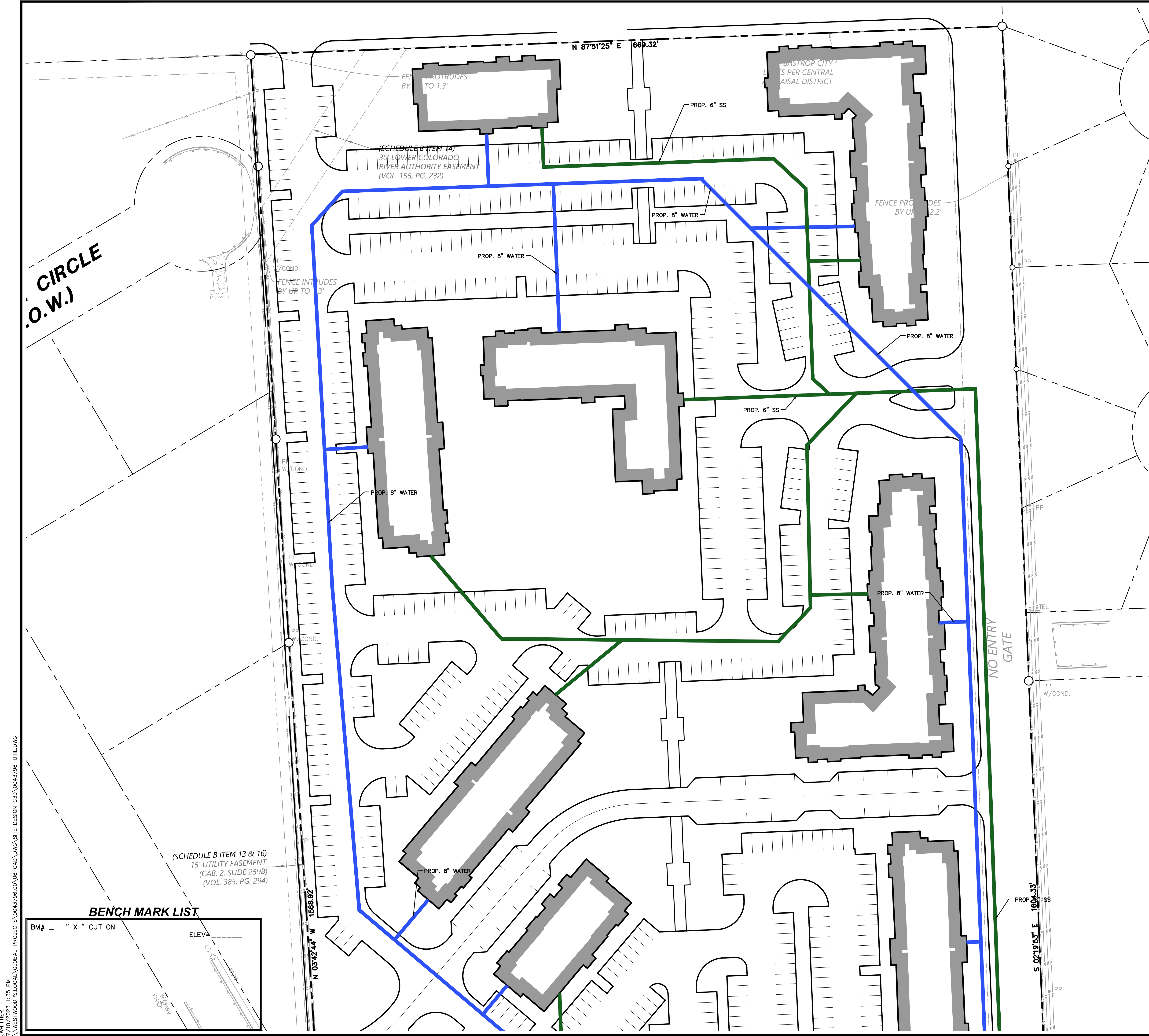
REVISIONS	
NO.	DESCRIPTION

REED RANCH
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PROPOSED DRAINAGE AREA MAP

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 REGISTRATION NO. 13580-06.
 DATE: 07/10/2023

DESIGN	DRAWN	DATE
JDW	CAH	JULY 2023

SHEET NO. **6**



0 20 40 80 120
GRAPHIC SCALE IN FEET
1"=40'

LEGEND

BL	BOLLARD
EM	ELECTRIC METER
PP	POWER POLE
LS	LIGHT STANDARD
WM	WATER METER
WV	WATER VALVE
ICV	IRRIGATION CONTROL VALVE
FH	FIRE HYDRANT
CO	CLEANOUT
MH	MANHOLE
TSC	TRAFFIC SIGNAL CONTROL
TSP	TRAFFIC SIGNAL POLE
TE	TELEPHONE BOX
FL	FLOOD LIGHT
TR	TRAFFIC SIGN
IR	1/2-INCH IRON ROD
W/P	W/ "PACHCO KOCH" CAP SET
IRS	CONTROLLING MONUMENT
(C.M.)	PROPERTY LINE
X	FENCE
OH	OVERHEAD UTILITY LINE
UE	UNDERGROUND ELECTRIC LINE
UC	UNDERGROUND CABLE LINE
6"W	UNDERGROUND WATER LINE
6"SS	UNDERGROUND SANITARY SEWER LINE
PP	PROP. FDC LOCATION
PP	PROP. WATER VALVE
PP	PROP. FIRE HYDRANT
PP	PROP. WATER LINE W/ BEND
PP	PROP. SANITARY SEWER LINE
PP	PROP. SANITARY SEWER MANHOLE
PP	PROP. SANITARY SEWER CLEANOUT

- WATER & SANITARY SEWER GENERAL NOTES**
- ALL CONCRETE SHALL BE CLASS "A" (3000 PSI), UNLESS OTHERWISE NOTED.
 - ALL WATER MAINS SHALL BE PVC C900, DR 18, CLASS 235, FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 14, CLASS 305 AND INSTALLED IN ACCORDANCE WITH THE DESIGN AND SPECIFICATIONS OF THE FIRE PROTECTION PLANS TO BE PREPARED BY A LICENSED FIRE PROTECTION CONTRACTOR.
 - WATER AND SANITARY SEWER SERVICES SHALL MEET PLUMBING CODE REQUIREMENTS.
 - ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 48 INCHES BELOW IMPROVED FINISHED GRADE, UNLESS OTHERWISE NOTED.
 - SANITARY SEWER PIPE SHALL BE PVC SDR-35.
 - WHEN WATER AND SANITARY SEWER MAINS, SERVICES, AND LATERALS ARE INSTALLED, THEY SHALL BE INSTALLED NO CLOSER TO EACH OTHER THAN NINE FEET IN ALL DIRECTIONS AND PARALLEL LINES MUST BE INSTALLED IN SEPARATE TRENCHES, WHERE THE NINE FOOT SEPARATION DISTANCE CANNOT BE ACHIEVED, THE FOLLOWING TCEQ CHAPTERS SHALL APPLY:
 - TCEQ CHAPTER 217.53 PIPE DESIGN, SECTION (d) SEPARATION DISTANCES.
 - TCEQ CHAPTER 290.44 WATER DISTRIBUTION, SECTION (e) LOCATION OF WATERLINES.
 - CONTRACTOR TO VERIFY ALL EXISTING SEWER FLOW LINES BEFORE BEGINNING CONSTRUCTION.
 - CONTRACTOR SHALL TIE A ONE INCH WIDE PIECE OF RED PLASTIC FLAGGING TO THE END OF SEWER SERVICE AND SHALL LEAVE A MINIMUM OF 36 INCHES OF FLAGGING EXPOSED AFTER BACKFILL. AFTER CURB AND PAVING IS COMPLETED, CONTRACTOR SHALL MARK THE LOCATION OF THE SEWER SERVICE ON THE CURB OR ALLEY IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS.
 - ALL SANITARY SEWER LINES SHALL BE TESTED IN ACCORDANCE WITH THE STANDARD CITY SPECIFICATIONS.
 - THE UTILITY CONTRACTOR SHALL INSTALL THE WATER SERVICES TO A POINT TWO FEET BACK OF THE CURB LINE AT A DEPTH OF 12 INCHES. THE METER BOX SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR AFTER THE PAVING CONTRACTOR HAS COMPLETED THE FINE GRADING BEHIND THE BACK OF THE CURB. EACH SERVICE LOCATION SHALL BE MARKED ON THE CURB WITH A BLUE LETTER "W" BY THE UTILITY CONTRACTOR AND TIED TO PROPERTY CORNERS ON THE "RECORD DRAWINGS."
 - ALL METER BOXES SHALL BE LOCATED IN NON-TRAFFIC AREAS.
 - TRENCH BACKFILL MATERIAL SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.2 AND SHALL BE MECHANICALLY COMPACTED IN 6-INCH LIFTS TO THE TOP OF SUBGRADE TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY IN ACCORDANCE WITH NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
 - EMBEDMENT SHALL CONFORM TO THE REQUIREMENTS OF NCTCOG ITEM 504.5 UNLESS OTHERWISE SHOWN ON THESE PLANS OR STATED IN THE STANDARD CITY SPECIFICATIONS.
 - VALVE BOXES SHALL BE FURNISHED AND SET ON EACH GATE VALVE. AFTER THE FINAL CLEAN-UP AND ALIGNMENT HAS BEEN COMPLETED, THE UTILITY CONTRACTOR SHALL POUR A 24"x24"x6" CONCRETE BLOCK AROUND ALL VALVE BOX TOPS LEVEL WITH THE FINISHED GRADE.
 - CONTRACTOR SHALL RECONNECT ALL EXISTING SERVICES AND MAINTAIN EXISTING SERVICES THROUGHOUT CONSTRUCTION.
 - IF REQUIRED DUE TO CONSTRUCTION, POWER POLES TO BE BRACED OR RELOCATED AT CONTRACTOR'S EXPENSE.

BENCH MARK LIST

BM#	" X " CUT ON	ELEV.
1568.82	N 03°42'44" W	1568.82
1604.33	S 02°19'53" E	1604.33

Phone (512) 485-0831 8701 N. Mopac Expy, Suite 320
Toll Free (866) 937-5150 Austin, TX 78759
westwoodpa.com
Westwood Professional Services, Inc.
TBPB FIRM REGISTRATION NO. P-469
TBPB FIRM REGISTRATION NO. LS-100080-00

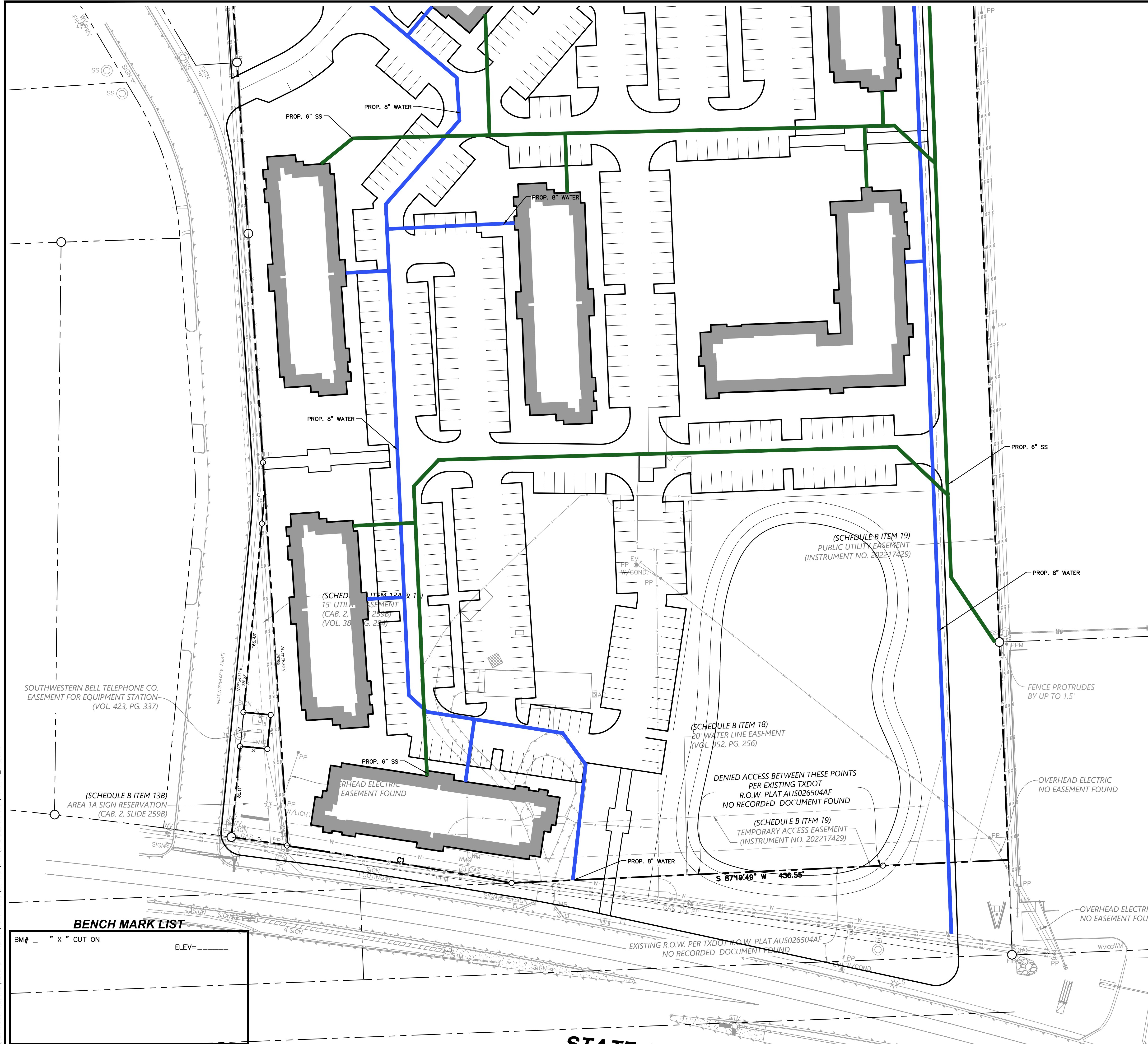
REVISIONS	
NO.	DESCRIPTION

REED RANCH
615 SH 71 W
BASTROP TX, 78602

UTILITY PLAN 1 OF 2

DESIGN	DRAWN	DATE
JDW	CAH	JULY 2023
SHEET NO. 7		
7 OF 8		

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 PK-0043796_UTIL.DWG



0 20 40 80 120
GRAPHIC SCALE IN FEET
1"=40'

LEGEND

EM	BOLLARD
PP	ELECTRIC METER
LS	POWER POLE
LS*	LIGHT STANDARD
WM	WATER METER
WV	WATER VALVE
ICV	IRRIGATION CONTROL VALVE
FM	FIRE HYDRANT
CO	CLEANOUT
MH	MANHOLE
TSC	TRAFFIC SIGNAL CONTROL
TSP	TRAFFIC SIGNAL POLE
TELE	TELEPHONE BOX
FL	FLOOD LIGHT
TR	TRAFFIC SIGN
SIG	1/2-INCH IRON ROD
IRS	W/"PACHCO KOCH" CAP SET
(C.M.)	CONTROLLING MONUMENT
---	PROPERTY LINE
X	FENCE
DHL	OVERHEAD UTILITY LINE
---	UNDERGROUND ELECTRIC LINE
-T-	UNDERGROUND TELEPHONE LINE
---	UNDERGROUND CABLE LINE
---	UNDERGROUND WATER LINE
6"W	UNDERGROUND SANITARY SEWER LINE
6"SS	PROP. FDC LOCATION
○	PROP. WATER VALVE
○	PROP. FIRE HYDRANT
○	PROP. WATER LINE W/ BEND
○	PROP. SANITARY SEWER LINE
○	PROP. SANITARY SEWER MANHOLE
○	PROP. SANITARY SEWER CLEANOUT

- WATER & SANITARY SEWER GENERAL NOTES**
- ALL CONCRETE SHALL BE CLASS "A" (3000 PSI), UNLESS OTHERWISE NOTED.
 - ALL WATER MAINS SHALL BE PVC C900, DR 15, CLASS 235. FIRE PROTECTION SERVICES SHALL BE PVC C900, DR 14, CLASS 305 AND INSTALLED IN ACCORDANCE WITH THE DESIGN AND SPECIFICATIONS OF THE FIRE PROTECTION PLANS TO BE PREPARED BY A LICENSED FIRE PROTECTION CONTRACTOR.
 - WATER AND SANITARY SEWER SERVICES SHALL MEET PLUMBING CODE REQUIREMENTS.
 - ALL WATER MAINS SHALL HAVE A MINIMUM COVER OF 48 INCHES BELOW IMPROVED FINISHED GRADE, UNLESS OTHERWISE NOTED.
 - SANITARY SEWER PIPE SHALL BE PVC SDR-35.
 - WHEN WATER AND SANITARY SEWER MAINS, SERVICES, AND LATERALS ARE INSTALLED, THEY SHALL BE INSTALLED NO CLOSER TO EACH OTHER THAN NINE FEET IN ALL DIRECTIONS AND PARALLEL LINES MUST BE INSTALLED IN SEPARATE TRENCHES. WHERE THE NINE FOOT SEPARATION DISTANCE CANNOT BE ACHIEVED, THE FOLLOWING TCEQ CHAPTERS SHALL APPLY:
 - TCEQ CHAPTER 217.53 PIPE DESIGN, SECTION (d) SEPARATION DISTANCES.
 - TCEQ CHAPTER 290.44 WATER DISTRIBUTION, SECTION (e) LOCATION OF WATERLINES.
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 TBPE FIRM REGISTRATION NO. F-489
 TBPLS FIRM REGISTRATION NO. LS-100080-00

NO.	DATE	DESCRIPTION

REED RANCH
615 SH 71 W
BASTROP TX, 78602
UTILITY PLAN 2 OF 2

DESIGN	DRAWN	DATE
JDW	CAH	JULY 2023

SHEET NO. **8**
 8 OF 8

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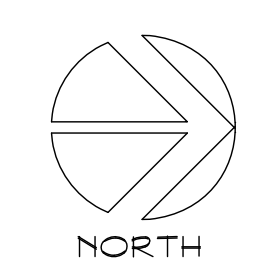
Exhibit C – Warrant List

B3 Code Section	Description	Development Issue	Proposed Alternative & Reasoning
7.1.002(k)	To prevent future conflicts regarding Street maintenance, private Streets are prohibited, except where justified by special considerations.	Dedication requirement does not permit developer to manage and maintain streets.	Allowing for streets to be privately owned, managed, and maintained is fiscally sustainable.
7.2.003	Street right-of-way . . . must be dedicated		
7.3.004	Traffic Lanes: Two lanes at 10 feet each Parking Lanes: Both sides parallel at 8 feet, marked	Complying with health/safety codes requires lanes to be wider. Only parallel parking does not allow for a financially feasible amount of parking spaces.	Permitting 12.5' lanes such that the street can meet fire lane requirements meets the intent of the code and is fiscally sustainable. Allowing for head-in parking to be 18' is fiscally sustainable.
7.5.002(d)	Storm Drainage Facilities, if equipped to provide Civic Space, may be counted toward the 10% Civic Place Type allocations requirement by warrant.	Drainage requires a large portion of the project to be a pond. Not allocating this space toward the Civic Space requirement makes project fiscally infeasible.	An amenitized wet pond with a trail meets the intent of code, is fiscally sustainable, and authentically Bastrop.
7.1.002(h)	Dead-end Streets must be avoided.	Proposed design does not show dead-end streets. Rather, internal drives culminate into left and right parking aisles for buildings or walkway plazas in line with 5.2.002(d).	For avoidance of doubt, internal drives culminating into 20' walkway easement places as generally shown in the Conceptual PD Master Plan meets the intent of code.
5.2.002	Preferred block size is 330' by 330' and max block perimeter of 1,320'	Drainage block is large due to odd shape of site and need for a large pond. Treating private streets/driveways as block boundaries for this measurement results in an urban fabric of slow	Allowing for a single larger block complies with intent of code. Permitting private drives as shown on the Conceptual PD Master Plan is fiscally sustainable and meets the intent of code.

		streets, with the plazas acting as traffic calming devices.	
5.2.002(f)	In the P4 Mix, a minimum Residential mix of three Building Types (not less than 20%) shall be required.	Proposed design elects only apartment buildings with amenity and civic spaces. A variety of building types is not fiscally sustainable.	As the project is unlikely to move forward if a variety of building types are required, allowing for a warrant is fiscally sustainable.
6.5.003	-70 percent max lot coverage; -60% minimum buildout at build-to-line; -Build-to-line is 5-15 ft	Conceptual PD Master Plan generally meets build-to-line requirements of P4 but may not meet all façade buildout or lot coverage requirements. Specifically, the 60% buildout line is doable along the publicly dedicated streets but not interior privately owned and maintained streets.	Permitting lot occupation as shown in Conceptual PD Master Plan is fiscally sustainable.
7.5.002	Plazas not permitted in P4 and require a minimum size of ½ acres.	Walkway/paseos as shown on Conceptual PD Master Plan allow for improved site design/walkability.	Allowing warrant meets the intent of code in that it improves walkability.



- PUBLIC STREET
- CIVIC SPACE
- PRIVATE STREET
- MIXED USE SPACE
 - CO-WORK
 - FITNESS
 - POOL



ARCHITECT:
 GARY G. WOOD #12202
 PRELIMINARY - NOT TO BE USED FOR
 REGULATORY APPROVAL, PERMITTING,
 OR CONSTRUCTION
 DATE: 10 JUL 23

STREET TYPES

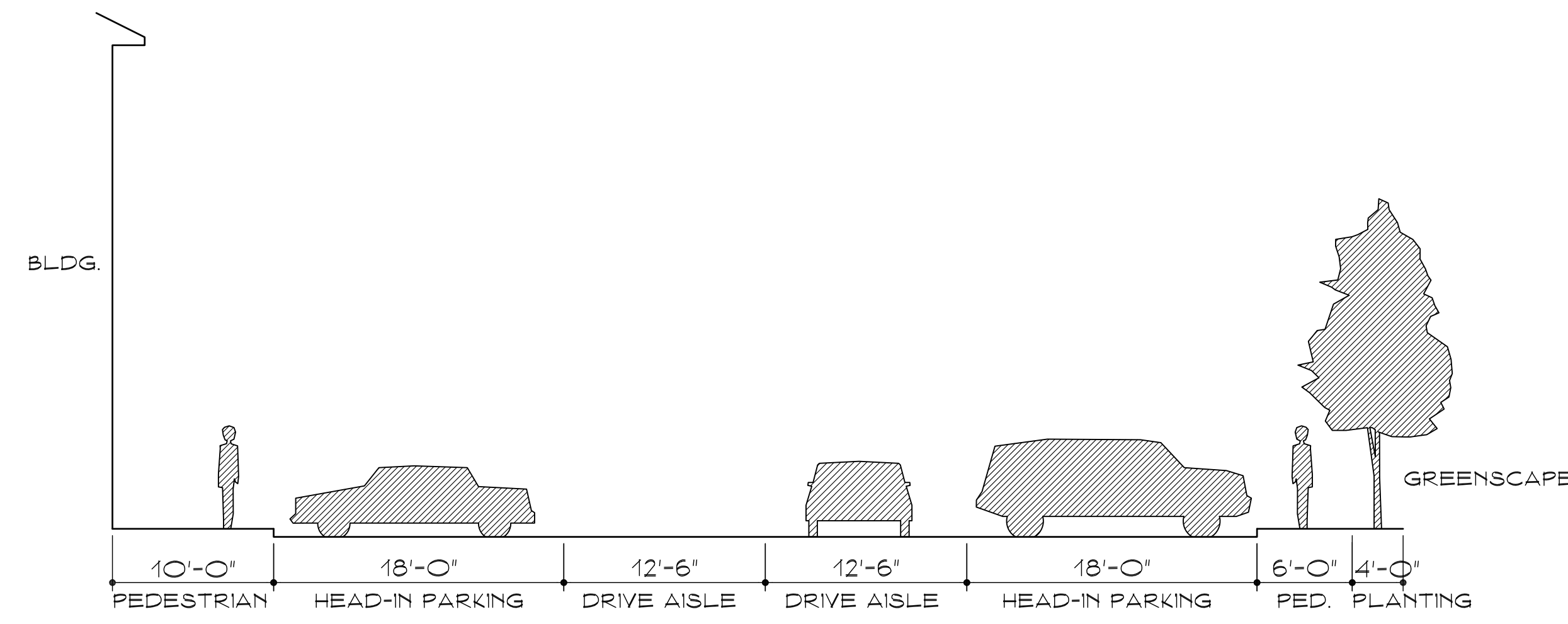
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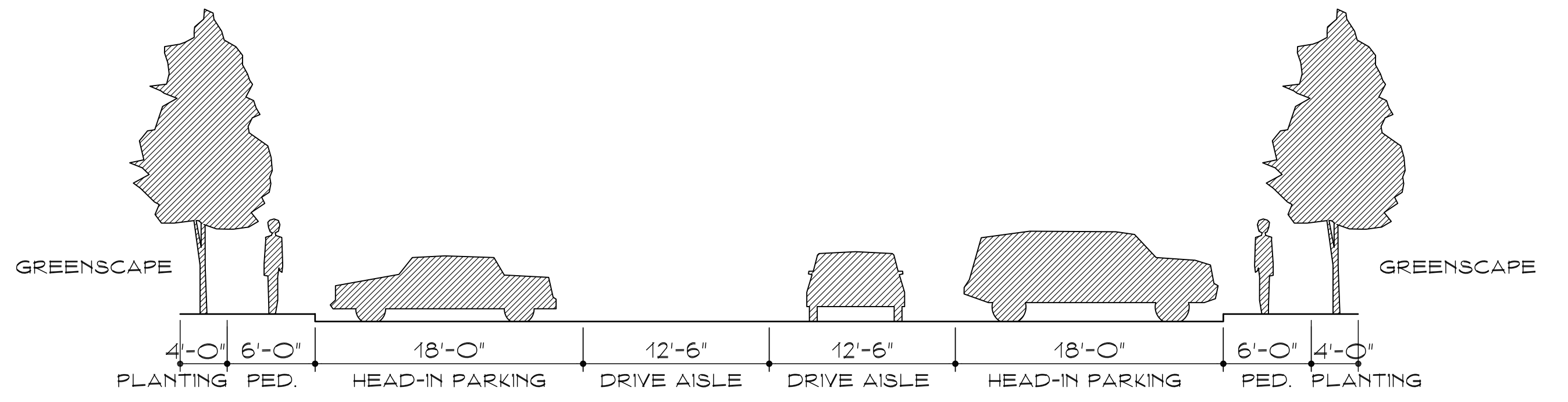
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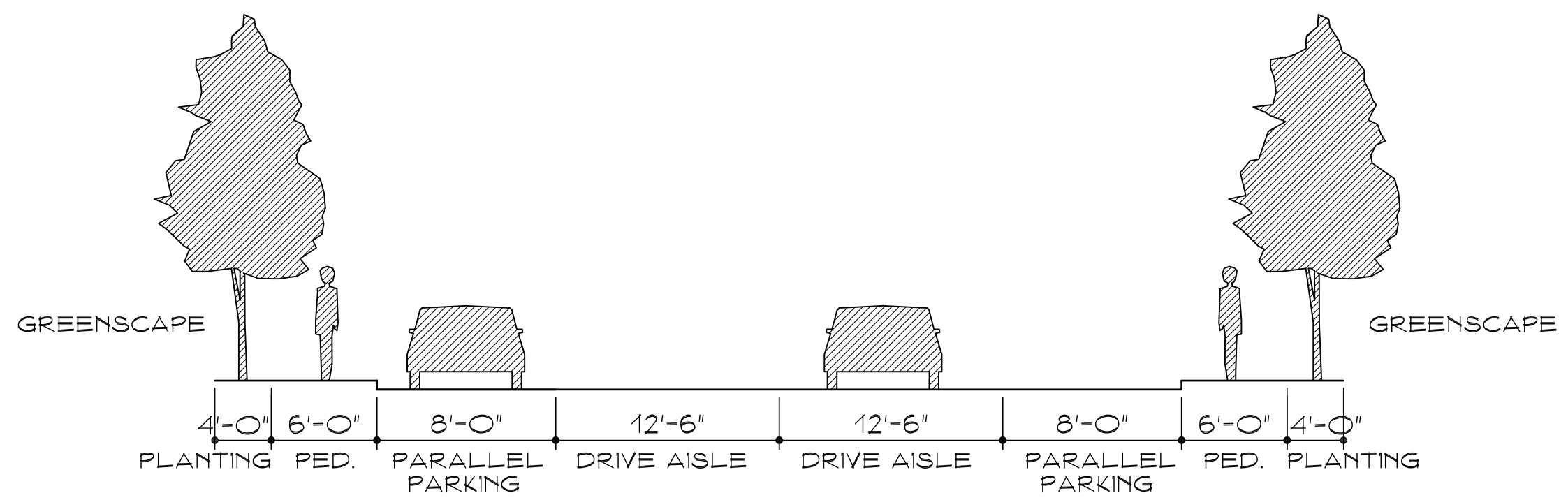
ARCHON CORPORATION
 ARCHITECTS / PLANNERS
 210 NORTH PARK BLVD.
 SUITE 100 - GRAPEVINE, TX
 76051 214/526-0731



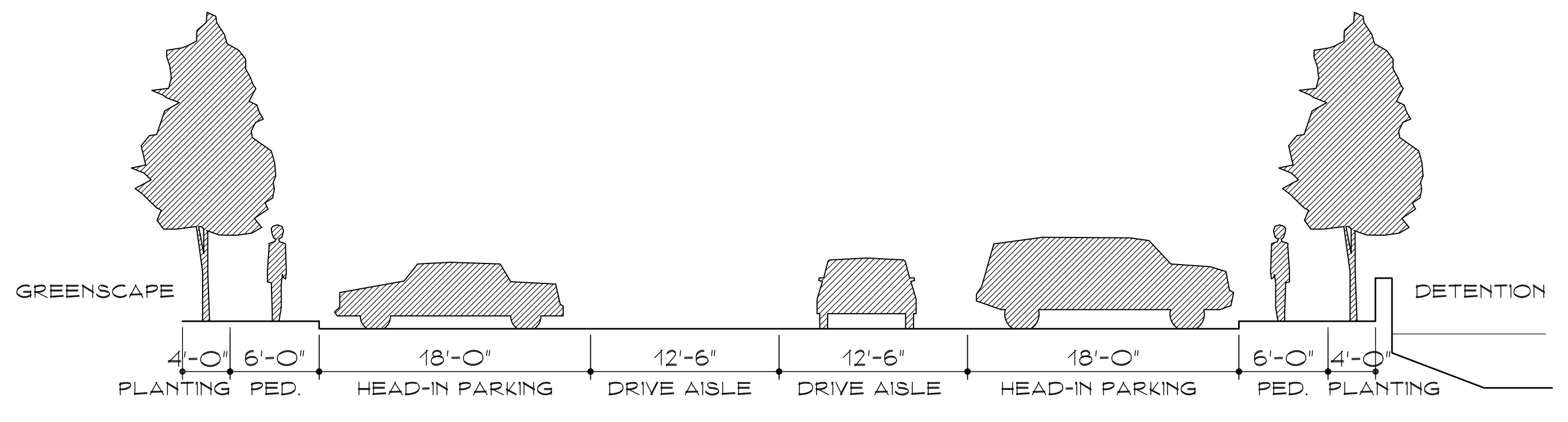
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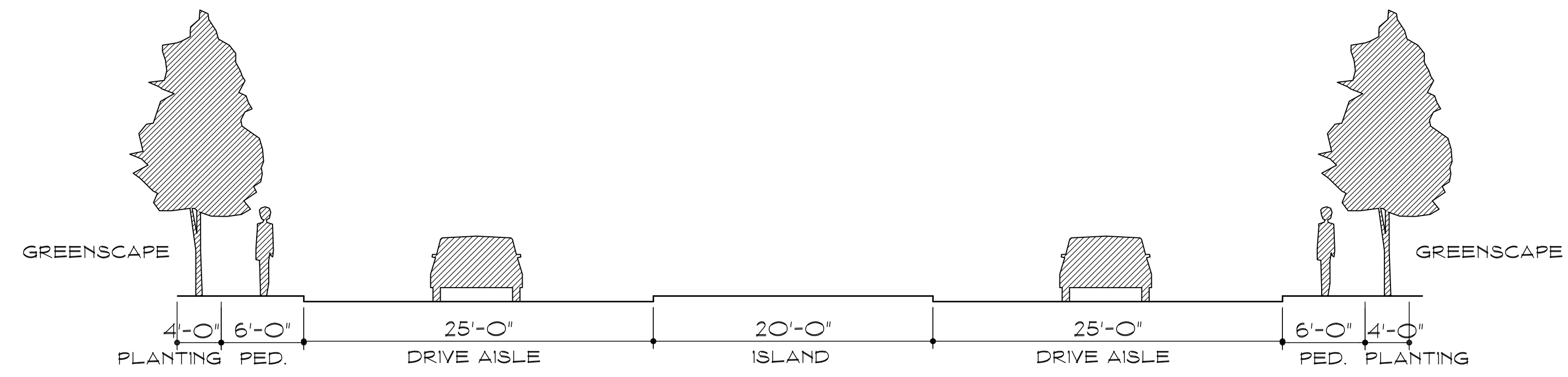
STREET TYPE 'B'
RIGHT-OF-WAY : 81'-0"



STREET TYPE 'C'
RIGHT-OF-WAY : 61'-0"



STREET TYPE 'D'
RIGHT-OF-WAY : 81'-0"



STREET TYPE 'E'
RIGHT-OF-WAY : 110'-0"

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		STREET TYPES	
		PROJECT NAME: REED RANCH	
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		ARCHON CORPORATION ARCHITECTS / PLANNERS 210 NORTH PARK BLVD. SUITE 100 - GRAPEVINE, TX 76051 214/526-0731	