



# STAFF REPORT

**MEETING DATE:** July 19, 2023

**TITLE:**

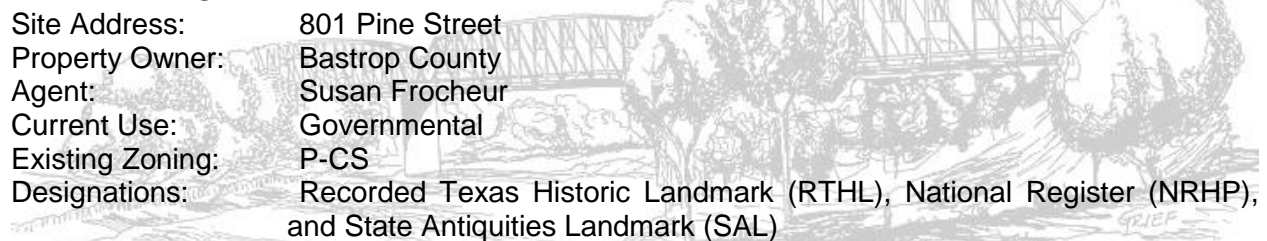
Public Hearing and consider action on a Certificate of Appropriateness for exterior repairs to the Bastrop County Jailhouse, located at 801 Pine Street, being 2.546 acres out of Building Block 7 East of Water Street, within the City Limits of Bastrop, Texas.

**STAFF REPRESENTATIVE:**

Kennedy Higgins, Planner, Development Services Department

**ITEM DETAILS:**

Site Address: 801 Pine Street  
Property Owner: Bastrop County  
Agent: Susan Frocheur  
Current Use: Governmental  
Existing Zoning: P-CS  
Designations: Recorded Texas Historic Landmark (RTHL), National Register (NRHP), and State Antiquities Landmark (SAL)



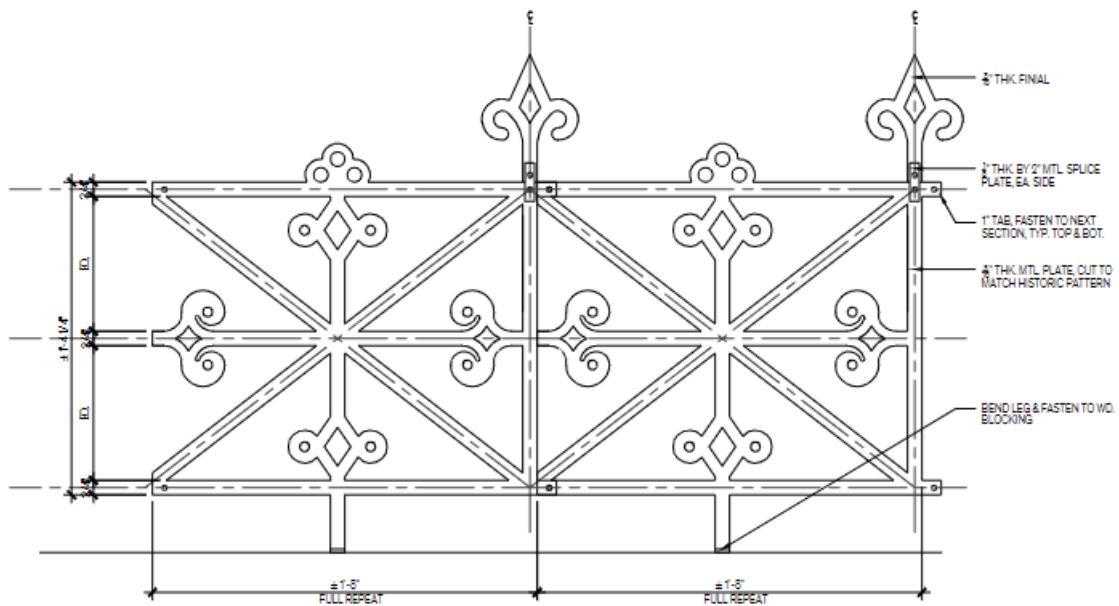
**BACKGROUND/HISTORY:**

The County Court House & Jail, occupying 801 Pine Street, is proposing repairs and restoration to the exterior façade. The landscaping upgrades will include lawn restoration, 2' concrete mow strip (at perimeter of building – slope minimum of 2% away from the face of the building), instillation of French drain around perimeter of the building, construction of concrete area wells for crawlspace ventilation, removal and replacement of concrete pavers at the perimeter of the building, removal of metal edging and planting beds at the perimeter, regrading and extending the perimeter of the building footprint east, north, and west minimum of 20 feet- slope away from the building at a minimum of 5%. The brick masonry restoration (cleaning, repointing, and brick replacements/repairs) damaged or mismatched bricks will be replaced with salvaged brick or new brick to match the existing (see page 12 of plans – general notes), door and window restoration (restoration of metal door gates and window grills), and lightning protection system restored/upgraded to meet current code requirements. Roof repairs and restorations including removal and replacement of existing gutters, hatch and downspout (all that can be salvaged will be reused) (see page 11 of plans). Adding decorative metal cresting at perimeter or roof (see page 11 of plans).

The front of the building, as it exists, is shown below;



Suggested decorative roof cresting;



## **POLICY EXPLANATION:**

When a Certificate of Appropriateness is required, no work can begin before the Historic Preservation Officer, or the Commission has first issued a Certificate of Appropriateness. The Certificate of Appropriateness shall be in addition to and not in lieu of any permits required (i.e., building, sign, alcohol, etc.). The Building Official cannot approve any application for a sign or building permit to a structure and/or site that requires but does not have a Certificate of Appropriateness.

### *Section 9.3.006 Criteria of Approval of a Certificate of Appropriateness (COA)*

- (1) In considering an application for a Certificate of Appropriateness, the commission shall be guided by any locally adopted design standards, and where applicable, the following from the *Secretary of the Interior's Standards for the Rehabilitation of Historic Buildings*. Any adopted design standards and *Secretary of the Interior's Standards* shall be made to the property owners of historic landmarks.
- (A) Every reasonable effort shall be made to adapt the property in a manner which requires minimal alteration of the building, structure, object, or site and its environment.
  - (B) The distinguishing original qualities or character of a building, structure, object, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.**
  - (C) All buildings, structures, objects, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier or later appearance shall be discouraged.
  - (D) Changes that may have taken place in the course of time are evidence of the history and development of a building, structure, object, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
  - (E) Distinctive stylistic features or examples of skilled craftsmanship which characterize, a building, structure, object, or site shall be kept to the greatest extent practical.**
  - (F) Deteriorated architectural features shall be repaired rather than replaced, wherever possible. In the event replacement is necessary, the new material should reflect the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historical, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other building or structures.**
  - (G) The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.**
  - (H) Every reasonable effort shall be made to protect and preserve archeological resources affected by, or adjacent to, any project.

- (I) Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, color, material, and character of the property, neighborhood, or environment.
- (J) **Wherever possible, new additions or alterations to buildings, structures, objects, or sites shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the building, structure, object, or site would be unimpaired.**

**RECOMMENDATION:**

Recommend approval on a Certificate of Appropriateness for exterior repairs to the Bastrop County Jailhouse, located at 801 Pine Street, being 2.546 acres out of Building Block 7 East of Water Street, within the City Limits of Bastrop, Texas.

**ATTACHMENTS:**

- Attachment 1: SOI Standards
- Attachment 2: Photos
- Attachment 3: Plans
- Attachment 4: City Manager Directive
- Attachment 5: Location Map

