

HISTORIC BASTROP COUNTY JAIL

INTERIOR AND EXTERIOR RESTORATION

Bastrop, Texas

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STRUCTURAL ENGINEER

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Austin, TX 78756
phone: 512.472.2111 x1007

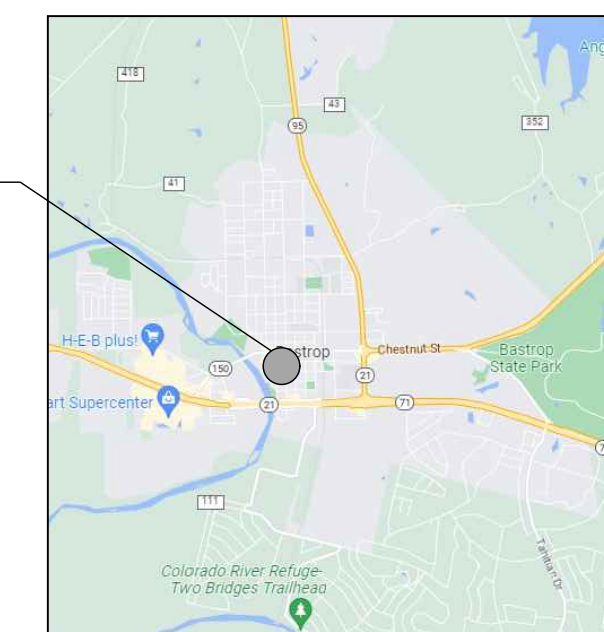
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2500 S HWY 183, Suite 500
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TEXAS HISTORICAL COMMISSION

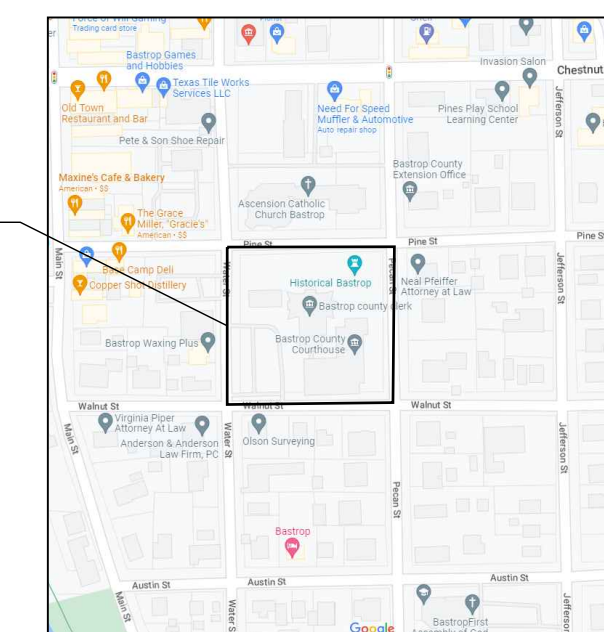
108 W. 16th St. - Second Floor
Austin, TX 78701
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AREA MAP



MAP COURTESY OF GOOGLE.COM

LOCATOR MAP



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PROJECT LOCATION

SITE LOCATION



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GENERAL NOTES

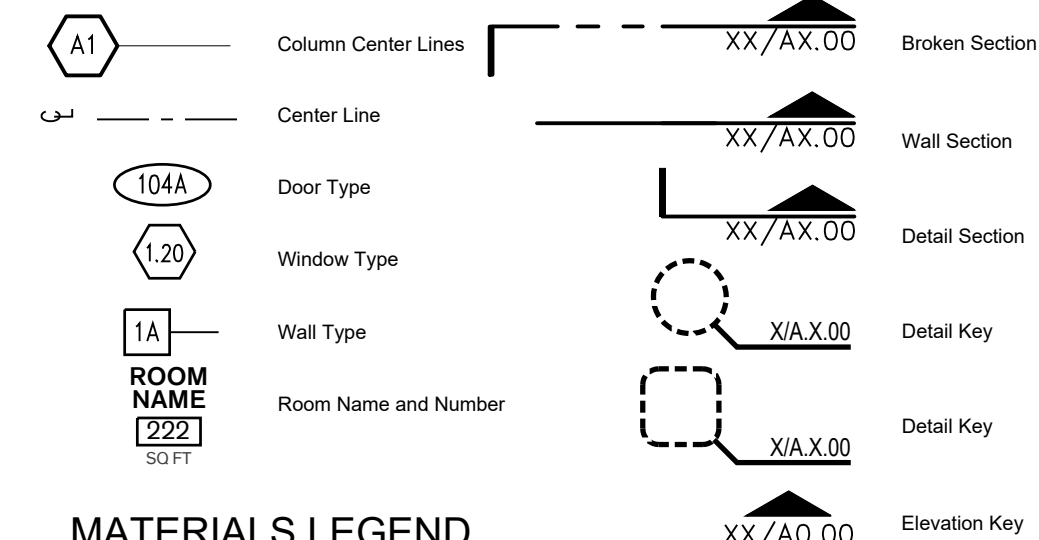
- Existing Conditions:
 - Information contained on these drawings with regard to existing conditions for construction in no way releases the Contractor from the responsibility for verifying completely all field conditions relating to and affecting the execution of the work, as described in these Contract Documents. Cease work, notify Architect, and await instructions if materials or conditions encountered at the site are not as indicated by the Contract Documents.
 - Field verification of existing conditions relating to specific portions of the work shall be undertaken in advance to allow for the timely identification of existing conditions that may affect the scheduled installation of new work as designed and detailed, and to avoid undue and unreasonable delays to the project should such conditions be discovered. Timely identifications of such conditions shall provide for a reasonable period of time during which the Architect will evaluate the conditions and make recommendations for accommodating new work.
 - Assist the Architect in making their evaluations and recommendations by providing in a timely manner, at no additional cost to the Owner, accurate and complete drawings, sketches, and photographs sufficient to clearly describe discrepancies, conflicts, and concealed or otherwise unanticipated existing conditions affecting new construction. Assist the Architect by providing in a timely manner prepared solutions to unanticipated existing conditions.
 - The Architect has endeavored to identify as completely as possible in the drawings and specifications existing items that are required to be removed or otherwise demolished so as to allow the execution of new work. This information is provided for the convenience of the Contractor, and is in no way intended to mean that demolition is limited only to those items specifically identified. Execute demolition work as required to allow the execution of new work.
 - Areas and items indicating limits of work and lines of demarcation are shown for the convenience of the Contractor, and are not to be taken literally. Actual contract limits are to be determined prior to bid openings by field verification.
 - Original elements removed are to be re-installed in their original location, unless noted otherwise.
- Blocking and Framing
 - Some general assumptions have been made on existing blocking, framing, and existing masonry profiles where conditions have not been uncovered. Re-secure existing blocking as necessary and provide new blocking as needed at door frames, door casings, windows, window casing, baseboards, chair rail, and other millwork areas.
- Dimension of original materials:
 - Dimensions indicated in Construction Documents for original materials are approximate and are to be field verified prior to submittal of shop drawings. Match exact sizes and profiles of original elements, unless noted otherwise.
- Sealants
 - Remove existing sealants and replace with specified sealants, typical.
- Masonry infill:
 - Masonry infill is to match adjacent material type, size, coursing, color, mortar, etc.
- Photographs
 - Photographs of existing building conditions are included on portions of these drawings. Information contained on these photographs is provided for the convenience of the Contractor. Existing conditions may vary from what these photographs show. It shall be the responsibility of the Contractor to verify field conditions prior to the time of the bid and alert the Architect to any discrepancies between the existing conditions and the photographs.
- Exterior:
 - Existing construction shown to remain shall not be damaged during the demolition process. Provide temporary protection as necessary. If surfaces of wall are damaged, damaged areas shall be repaired with masonry to match existing and restore the full structural capacity of the walls.
 - Shoring drawings and associated structural calculations sealed by a Professional Engineer licensed in the State of Texas shall be submitted to the Architect's file and shall not be returned approved to the Contractor. The Contractor is solely responsible for the design and installation of all shoring necessary to accomplish the work.
 - All shoring shall transfer loading directly to existing masonry structure. Shoring shall be designed to support the full anticipated loading with no benefit from the existing structural framing.
 - The maximum allowable loading on the existing floor structures shall be 100 psf. All areas of the building which may have greater loading imposed on it by the Contractor's demolition procedure shall be shored.

GENERAL MEP & AUDIO VISUAL NOTES

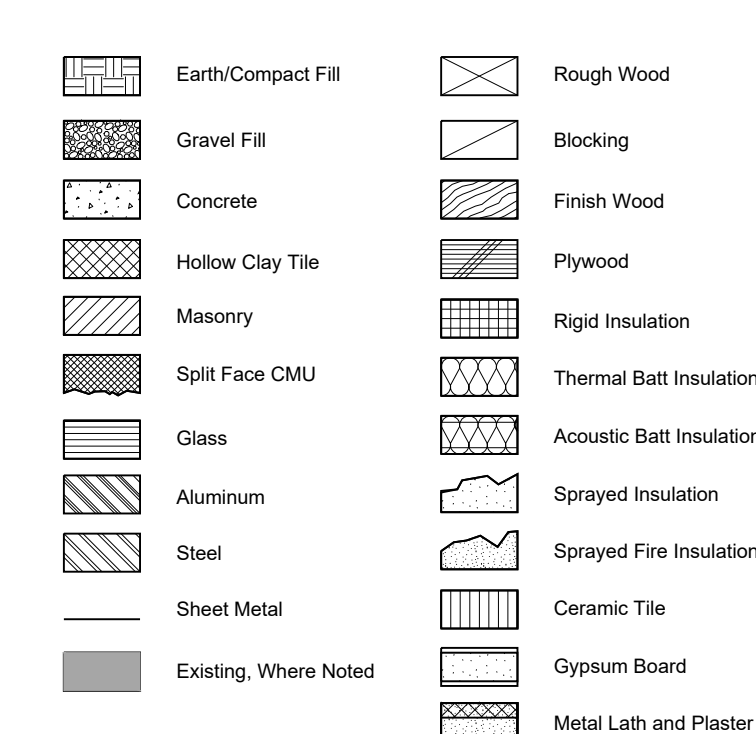
- Concealment of conduit, piping, and devices, general:
 - Conduit, piping, and devices are not to be exposed in any location unless approved by Architect.
 - Electrical boxes and associated elements must be recessed into walls, floors, or baseboards so that cover plates are flush with the finish surface.
- Concealment of conduit, piping, and devices at walls:
 - Conduit, wiring, and piping are to be concealed behind finish face of plaster walls unless noted otherwise.
 - Route conduit into the plaster and masonry so that a full application of lath and plaster system is installed over the material and conduit and piping is concealed in walls behind the plaster.
- Concealment of conduit, piping, and devices at concrete floors:
 - Conduit cannot be embedded in the existing concrete slab. Install conduit, piping, and devices in clear space between the concrete and suspended or finished ceiling. Contractor to verify floor/ceiling assembly and the direction of the joists/beams prior to the start of the work.
- Concealment of conduit, piping, and devices at concrete columns and beams:
 - Routing is not permitted unless approved by Structural Engineer.
 - Conduit and piping is to be concealed behind furr-outs at column face and around beams as detailed.
- Exposed conduit, piping, and devices at ceilings:
 - Wherever possible make every effort to run conduit and piping concealed within scheduled furr-downs or between existing floor/ceiling joists. Where not possible run conduit and piping in the most direct and shortest route and return to closest furr-down following the criteria listed under item 9 and related architectural details.
- Exposed conduit, piping, and devices:
 - Run parallel to walls and beams.
 - Gang piping and conduit in parallel groups where possible and equidistant to each other. When ganged piping is bent, it must remain equidistant to each other.
- New fasteners:
 - Attachment to stone, brick, terra cotta (i.e. conduit, metal framing, wood furring, etc. .) must be attached into masonry joints unless noted otherwise. Do not drill through, penetrate or alter in any way the original materials or structure unless noted otherwise.
 - Refer to structural for attachment requirements of MEP equipment to structure.
- Penetration at masonry walls:
 - Cut/core plaster and masonry walls as necessary to accommodate new materials, components, and systems including conduit, wiring, piping, ducts, and all other items required for installation and operation of electrical, mechanical, and plumbing systems. See structural drawings for penetration details at masonry load bearing walls.
- MEP Shop Drawings:
 - Mechanical ductwork and piping shop drawings are to include spot elevations to the bottom of these systems above finish floor to verify clearances at suspended ceilings and furr-downs.

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SYMBOLS LEGEND



MATERIALS LEGEND



ABBREVIATIONS

±	PLUS/MINUS
Ø	DIAMETER
A/C	AIR CONDITIONER
ACM	ASBESTOS CONTAINING MATERIAL
AHU	AIR HANDLING UNIT
CABS.	CABINETS
CLC.	CEILING
CONC.	CONCRETE
DN.	DOWN
ELEV.	ELEVATOR
EQ.	EQUAL
EQUIP.	EQUIPMENT
EXIST.	EXISTING
FIX.	FIXTURES
FLR.	FLOOR
F.R.	FIRE RATED
GYP.	GYPSON
HIST.	HISTORIC
MECH.	MECHANICAL
MISC.	MISCELLANEOUS
MTL.	METAL
OC	ON CENTER
ORIG.	ORIGINAL
QTR.	QUARTER
REF.	REFERENCE
REQ'D	REQUIRED
STRUCT.	STRUCTURAL
T.B.D.	TO BE DETERMINED
TYP.	TYPICAL
U.O.N	UNLESS OTHERWISE NOTED
VIF	VERIFY IN FIELD
W/	WITH
WD.	WOOD

NOTE: CONTRACTOR SHALL VERIFY WITH ARCHITECT FOR ANY ABBREVIATION NOT LISTED.



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REVISION HISTORY

- SD Submission 14 February 2023
- DD Submission 4 April 2023
- 95% CD Submission 30 May 2023

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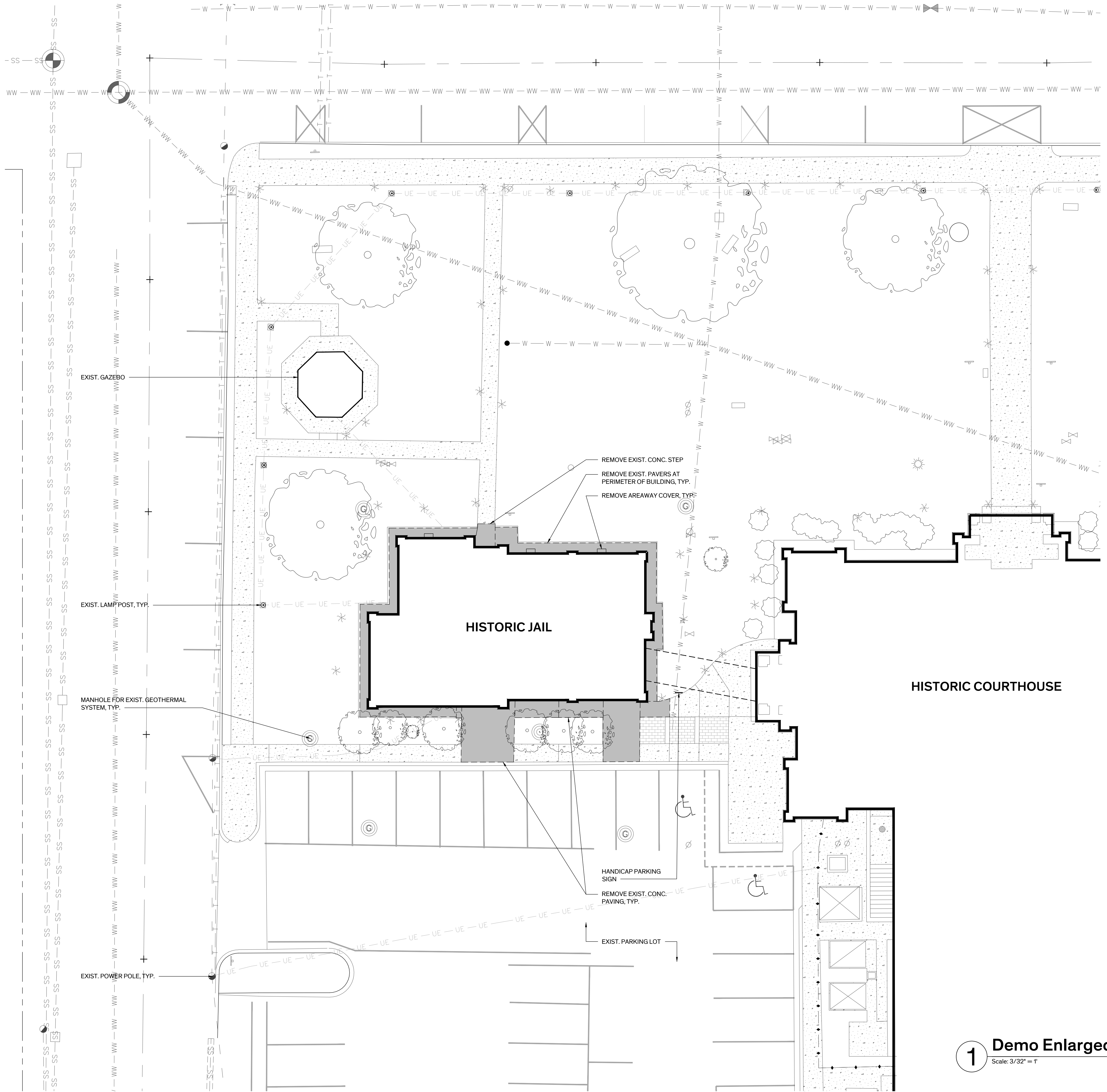
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SUSAN FROCHEUR, 5/30/23

Architexas No. 2251 Date May 30th, 2023

Sheet Name

Cover Sheet

Sheet Number



GENERAL NOTES - SITE DEMO

- 1. GENERAL SITE WORK**
 - A. UTILITY LOCATIONS ARE APPROXIMATE, V.I.F. LOCATE GAS, WATER, ELECTRICAL & OTHER MISC. UTILITY LINES PRIOR TO TRENCHING.
 - B. REFERENCE MEP DRAWINGS FOR SCOPE OF SITE UTILITY WORK.
 - C. INFORMATION FOR SITE PLAN WAS TAKEN FROM SURVEY PREPARED BY JAMES E. GARON & ASSOC., DATED MARCH 20, 2023, COURTHOUSE SQUARE BUILDING BLOCK 7
- 2. MONUMENTS, MARKERS:** PROVIDE TEMPORARY PROTECTION FOR EXIST. MONUMENTS & RTHL MARKERS DURING CONSTRUCTION ACTIVITIES ON SITE.
- 3. TREE PROTECTION:** PROTECT EXIST. TREES & ROOT SYSTEMS DURING EXCAVATING & BACKFILLING OPERATIONS. IF TREES ARE DAMAGED BY CONSTRUCTION OPERATIONS, CONTRACTOR SHALL OBTAIN THE SERVICES OF A CERTIFIED ARBORIST TO PERFORM REPAIRS AT NO ADDITIONAL COST TO THE OWNER.
- 4. SITE RESTORATION:**
 - A. RESTORE DAMAGE TO EXIST. LANDSCAPING SCHEDULED TO REMAIN ADJACENT TO AREA OF WORK INCLUDING BUT NOT LIMITED TO SIDEWALKS, PLANTING BEDS, CURBS, LAWN, ETC...
- 5. DEMOLITION:**
 - A. REMOVE CONCRETE PAVERS AT THE PERIMETER OF THE BUILDING.
 - B. REMOVE METAL EDGING & PLANTING BEDS AT THE PERIMETER OF THE BUILDING INCLUDING PLANTINGS.
- 6. SITE WORK:**
 - A. PROVIDE CONCRETE AREAWAY WITH DRAIN COINCIDING WITH LOCATION OF EACH CRAWLSPACE GRILLE TO REVITALIZE CROSS VENTILATION OF CRAWLSPACE. PROVIDE METAL BAR GRATING AT TOP OF AREAWAY FLUSH WITH CONCRETE MOW STRIP.
 - B. EXCAVATE SOIL AT PERIMETER OF JAIL BUILDING TO INSTALL PERIMETER FOUNDATION DRAIN. CAREFULLY EXCAVATE TO PREVENT DAMAGE TO EXIST. BELOW GRADE PIPING TO REMAIN.
 - C. PROVIDE FRENCH DRAIN AT PERIMETER OF BUILDING.
 - D. PROVIDE 2 FOOT WIDE CONCRETE MOW STRIP AT PERIMETER OF BUILDING. SLOPE MINIMUM 2% AWAY FROM FACE OF BUILDING.
 - E. RE-GRADE AT PERIMETER OF BUILDING FOOTPRINT EXTENDING IN EAST, NORTH, & WEST DIRECTIONS MINIMUM 2'-0". SLOPE AWAY FROM BUILDING MINIMUM 5%.
 - F. INVESTIGATE TYING ROOF DOWNSPOUTS TO STORM SEWER OR SUBSURFACE DRAINAGE PIPE TO BUBBLERS IN YARD AWAY FROM BUILDING FOUNDATION.
- 6. IRRIGATION:**
 - A. THE SITE HAS AN EXIST. IRRIGATION SYSTEM THAT IS TO REMAIN IN PLACE. MODIFY VALVES, HEADS, & PIPING AT PERIMETER OF JAIL AT REMOVED PLANTING BEDS FOR NEW LAWN.
 - B. RESTORE DAMAGE TO THE EXISTING IRRIGATION SYSTEM CAUSED BY THE WORK OF THIS CONTRACT.

LEGEND

	ELEMENTS TO BE REMOVED
	EXIST. CONCRETE PAVING & PAVERS TO BE REMOVED
	EXCAVATION AREA FOR FOUNDATION WATERPROOFING
	EXIST. CONCRETE PAVING TO REMAIN
	EXIST. BRICK PAVERS TO REMAIN
	SUBGRADE DOWNSPOUT LEADERS
	FOUNDATION DRAIN
	PROPERTY LINE
	EXIST. SUBGRADE DOWNSPOUT LEADERS
	EXIST. SUBGRADE TELECOMMUNICATIONS SERVICE
	EXIST. ELECTRICAL SERVICE
	EXIST. SUBGRADE ELECTRICAL SERVICE
	EXIST. STORM SEWER
	EXIST. SANITARY
	EXIST. WATER
	EXIST. WASTE WATER
	EXIST. GAS
	EXIST. CHAIN LINK FENCE
	EXIST. LAMP POST
	EXIST. STREET LAMP TO REMAIN
	EXIST. STREET SIGN
	EXIST. GROUND LIGHT
	EXIST. VALVE
	EXIST. CLEAN OUT
	EXIST. SPRINKLER
	EXIST. POWER POLE
	EXIST. MANHOLE FOR GEOTHERMAL SYSTEM
	EXIST. WASTE WATER MANHOLE
	EXIST. STORM SEWER MANHOLE
	EXIST. AT&T FIBER OPTICS MANHOLE

1 Demo Enlarged Site Plan
Scale: 3/32" = 1'



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REVISION HISTORY

1. SD Submission	14 February 2023
2. DD Submission	4 April 2023
3. 95% CD Submission	30 May 2023

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SUSAN FROCHEUR, 5/30/23

Architexas No. 2251
Date May 30th, 2023
Sheet Name Demo, Enlarged Site Plan
Sheet Number



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Architexas No. 2251 Date May 30th, 2023

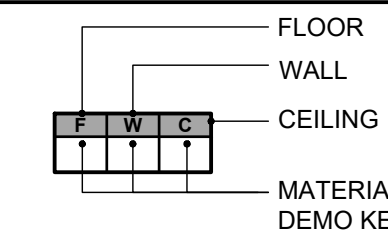
Sheet Name Demo. Plans - First & Second Floor

Sheet Number D-2.01

GENERAL NOTES - DEMO

- GENERAL:**
 - ITEMS NOT MARKED FOR REUSE ARE TO BE SALVAGED FOR THE OWNER OR ARE TO BE REMOVED FROM THE SITE & PROPERLY DISPOSED OF PER LOCAL CODE. COORDINATE ITEMS TO BE SALVAGED WITH OWNER.
- PROTECTION:**
 - PRIOR TO THE START OF WORK PROTECT INTERIOR FINISHES & ELEMENTS SCHEDULED TO REMAIN DURING DEMOLITION & CONSTRUCTION PROCEDURES. DAMAGE TO EXISTING FINISH SURFACES & ELEMENTS BY THE CONTRACTOR SHALL BE CORRECTED AT NO ADDITIONAL EXPENSE TO THE OWNER.
 - PROVIDE PROTECTION FOR FLOOR ASSEMBLIES INCLUDING STAIR TREADS & FINISHES SCHEDULED TO REMAIN ADJACENT TO DEMOLITION ACTIVITY.
 - REMOVE DEBRIS FROM DEMOLITION AT THE END OF EACH WORK DAY, & MAINTAIN BUILDING IN A SAFE MANNER CLEAR OF DEMOLITION & CONSTRUCTION DEBRIS AND EQUIPMENT.
 - WHERE FLOOR ASSEMBLIES ARE SCHEDULED TO BE REMOVED, PROVIDE OSHA COMPLIANT TEMPORARY 2X4 WOOD RAILING AT PERIMETER OF FLOOR OPNG. DO NOT DAMAGE EXIST. FINISHES SCHEDULED TO REMAIN.
- FLOORS:**
 - GENERAL: REMOVE MISC. PIPES, CONDUIT, FASTENERS, ETC. OR CUT DOWN MIN. 1" BELOW FINISH FLOOR SURFACE AS REQUIRED TO PREP. SURFACES FOR SCHEDULED REPAIRS.
 - WOOD:
 - 1ST FLOOR: CAREFULLY REMOVE EXIST. WOOD FLOORING THROUGHOUT TO EXPOSE FLOOR FRAMING & SALVAGE FOR REINSTALLATION, INCLUDING WOOD SHOE MOLD & THRESHOLDS.
 - 2ND FLOOR: FULLY PROTECT WOOD FLOORING SCHEDULED TO REMAIN.
 - CARPET & RESILIENT TILE: REMOVE UNDERLAYMENT, ADHESIVES & ACCESSORIES INCLUDING CARPET PAD, PLYWOOD DECKING, TACK STRIPS, EDGING STRIPS, ETC., TO EXPOSE ORIGINAL OR EARLY WOOD OR CONCRETE FLOORING.
 - CONCRETE:
 - CONCRETE SCHEDULED TO REMAIN EXPOSED: REMOVE LEVELING COMPOUNDS, PAINT COATINGS, MASTIC, WAXES, ETC., TO EXPOSE UNFINISHED CONCRETE FINISH.
 - REMOVE CONCRETE FLOOR ASSEMBLY WHERE INDICATED FOR NEW LIFT. REF. FLOOR PLAN SHEET, A2.01.
- WALLS:**
 - REMOVE & DISCARD WALLS & ASSOCIATED FASTENERS WHERE INDICATED ON THE DRAWINGS.
 - PLASTER: REMOVE DAMAGED, DETERIORATED OR DETACHED PLASTER FINISH TO SOUND SUBSTRATE INCLUDING SKIM COAT. REMOVE POOR PRIOR PATCHES & NON-ORIGINAL WALL TEXTURE.
 - REMOVE & SALVAGE WOOD BEAD BOARD SIDING FOR REUSE.
 - FIBER BOARD WAINSCOT: CAREFULLY REMOVE WAINSCOT 100% TO LIMIT DAMAGE TO PLASTER FINISH BEHIND.
- CEILING:**
 - REMOVE & DISCARD GYPSUM BOARD CEILING ASSEMBLY INCLUDING ASSOCIATED SUPPORTS, BLOCKING, & FASTENERS WHERE INDICATED TO EXPOSE ORIGINAL CORRUGATED ARCHED CEILING STRUCTURE
 - REMOVE & DISCARD SUSPENDED ACOUSTIC TILE CEILING ASSEMBLY INCLUDING ASSOCIATED GRID, SUPPORTS, BLOCKING, & FASTENERS WHERE INDICATED TO EXPOSE ORIGINAL CORRUGATED ARCHED CEILING STRUCTURE
- DOORS:**
 - REMOVE & DISCARD NON-ORIGINAL DOORS & ASSOCIATED FRAME, CASINGS, & TRIM WHERE INDICATED U.O.N. REMOVE ALL HARDWARE & SALVAGE FOR OWNER. PLACE HARDWARE SET FOR EACH DOOR IN SEPARATE PLASTIC BAG. PLACE BAGS IN BOX, LABEL, & RETURN TO OWNER.
- MEP:**
 - REMOVE EXIST. MEP SYSTEMS ENTIRELY, REF. MEP. (AT CONFIRM WITH ENGINEER WHAT WILL REMAIN)
 - MECHANICAL: REMOVE EXIST. MECHANICAL EQUIPMENT, RELATED DEVICES, & DISTRIBUTION LINES
 - ELECTRICAL: REMOVE EXIST. LIGHT FIXTURES, RELATED DEVICES, & EXPOSED DISTRIBUTION LINES.
 - PLUMBING: REMOVE EXIST. PLUMBING FIXTURES & RELATED PLUMBING LINES.
 - FIRE ALARM:
 - REMOVE ANY LINES THAT WILL BE ABANDONED RESULTING FROM THE WORK OF THIS CONTRACT.
 - DEMO & REINFORCE EXIST. CONSTRUCTION FOR INSTALLATION OF MEP SYSTEMS. REF. MEP & STRUCTURAL DWGS.
 - EXACT LOCATION OF FLOOR & CEILING GRILLES/REGISTERS ARE TO BE MARKED IN-SITU BY THE CONTRACTOR & APPROVED BY THE ARCHITECT PRIOR TO CUTTING OF STRUCTURAL FRAMING & FINISH SURFACES.
- RESTROOMS:** REMOVE EXIST. FIXTURES & TOILET ACCESSORIES ENTIRELY.
- ROOFING:** REFER TO SHT. A-2.10 FOR EXTENT OF DEMOLITION
- HAZARDOUS MATERIALS ABATEMENT:** ABATEMENT CONTRACTOR TO REMOVE ACM MATERIALS, INCLUDING BUT NOT LIMITED TO MASTIC BENEATH RESILIENT TILE FLOORING, PLASTER FINISH AT WALLS, & ROOFING MATERIALS. REFER TO ASBESTOS & LEAD ABATEMENT SPECIFICATIONS IN THE APPENDIX OF THE PROJECT MANUAL FOR FULL DESCRIPTION OF WORK

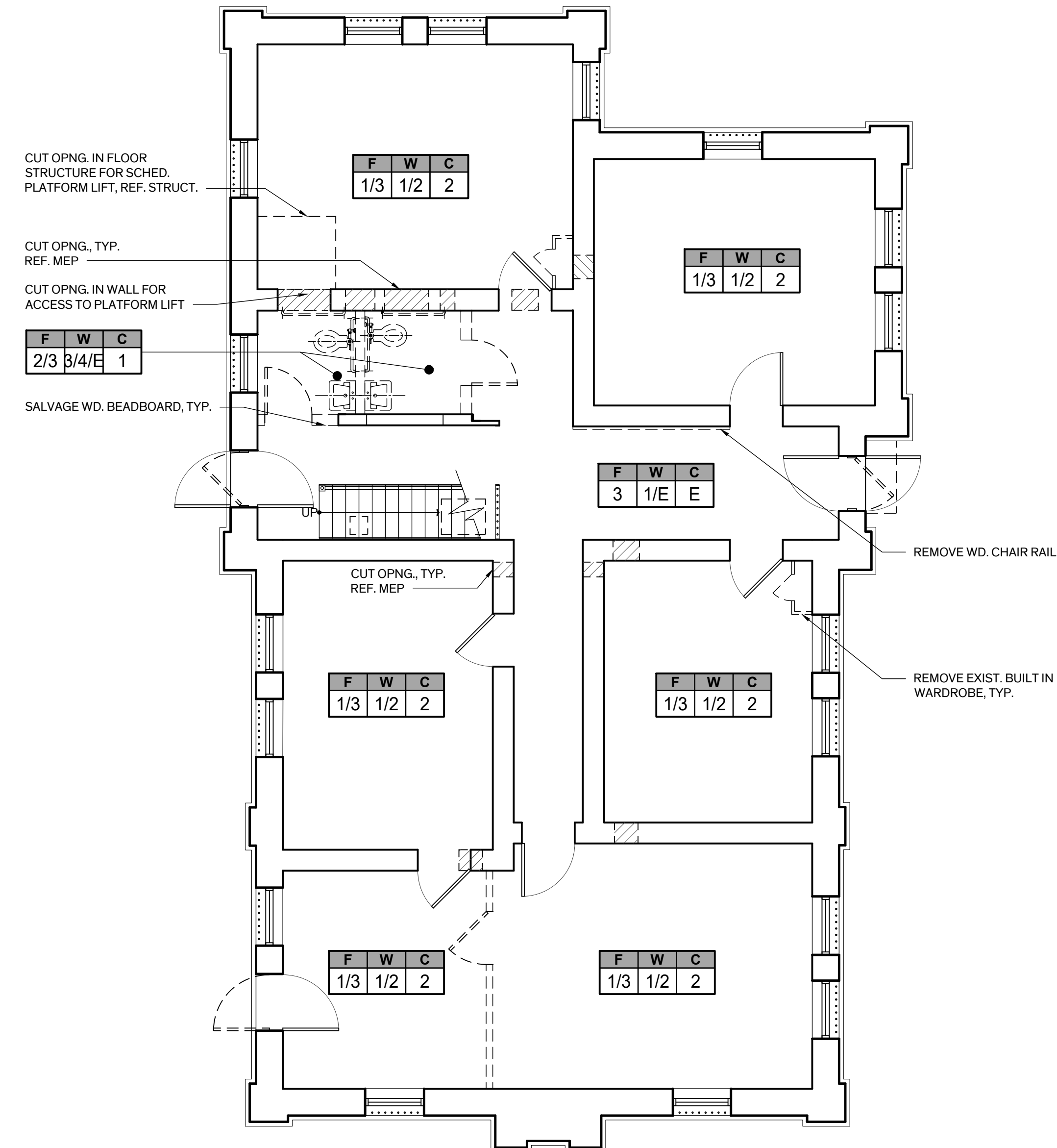
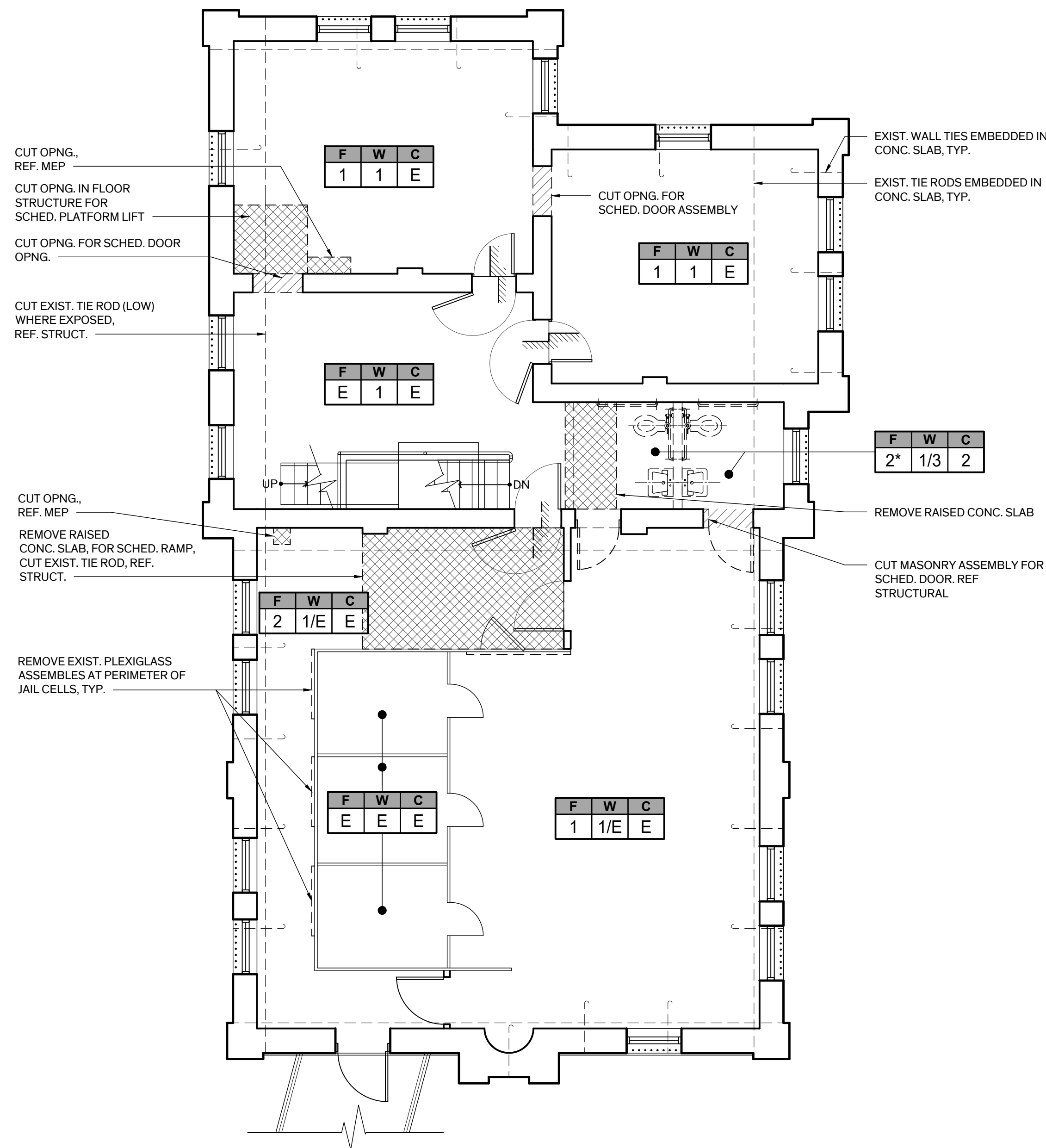
MATERIAL DEMO LEGEND



KEYS

FLOORS	WALLS	CEILING
1 CARPET	1 PLASTER*	1 SUSPENDED ACOUSTIC TILE
2 RESILIENT TILE*	2 FIBER BOARD WAINSCOT	2 GYPSUM BOARD
3 WOOD (SALVAGE)	3 GYPSUM BOARD	E EXIST. TO REMAIN
E EXIST. TO REMAIN	4 WOOD BEAD BOARD (SALVAGE)	
	E EXIST. TO REMAIN	

*MASTIC BENEATH RESILIENT TILE CONTAINS ASBESTOS; REPAIRED AREAS OF PLASTER FINISH CONTAINS ASBESTOS. REF. ABATEMENT SPECIFICATION FOR EXTENT AND PROCEDURES FOR REMOVAL.



DEMOLITION LEGEND

- ELEMENT TO BE REMOVED
- ==== EXIST. WALLS TO REMAIN
- WALLS TO BE REMOVED
- Concrete floor slab to be removed
- Brick masonry wall to be removed



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Architexas No. 2251 Date May 30th, 2023

Sheet Name Demo, Plan - Mezzanine

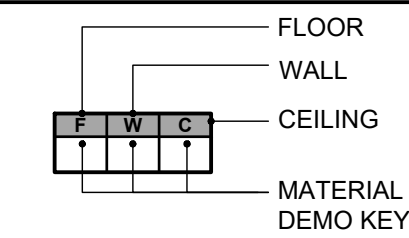
Sheet Number

D-2.02

GENERAL NOTES - DEMO

- GENERAL:**
 - ITEMS NOT MARKED FOR REUSE ARE TO BE SALVAGED FOR THE OWNER OR ARE TO BE REMOVED FROM THE SITE & PROPERLY DISPOSED OF PER LOCAL CODE. COORDINATE ITEMS TO BE SALVAGED WITH OWNER.
- PROTECTION:**
 - PRIOR TO THE START OF WORK PROTECT INTERIOR FINISHES & ELEMENTS SCHEDULED TO REMAIN DURING DEMOLITION & CONSTRUCTION PROCEDURES. DAMAGE TO EXISTING FINISH SURFACES & ELEMENTS BY THE CONTRACTOR SHALL BE CORRECTED AT NO ADDITIONAL EXPENSE TO THE OWNER.
 - PROVIDE PROTECTION FOR FLOOR ASSEMBLIES INCLUDING STAIR TREADS & FINISHES SCHEDULED TO REMAIN ADJACENT TO DEMOLITION ACTIVITY.
 - REMOVE DEBRIS FROM DEMOLITION AT THE END OF EACH WORK DAY, & MAINTAIN BUILDING IN A SAFE MANNER CLEAR OF DEMOLITION & CONSTRUCTION DEBRIS AND EQUIPMENT.
 - WHERE FLOOR ASSEMBLIES ARE SCHEDULED TO BE REMOVED, PROVIDE OSHA COMPLIANT TEMPORARY 2X4 WOOD RAILING AT PERIMETER OF FLOOR OPNG. DO NOT DAMAGE EXIST. FINISHES SCHEDULED TO REMAIN.
- FLOORS:**
 - GENERAL:** REMOVE MISC. PIPES, CONDUIT, FASTENERS, ETC. OR CUT DOWN MIN. 1" BELOW FINISH FLOOR SURFACE AS REQUIRED TO PREP SURFACES FOR SCHEDULED REPAIRS.
 - WOOD:**
 - 1ST FLOOR: CAREFULLY REMOVE EXIST. WOOD FLOORING THROUGHOUT TO EXPOSE FLOOR FRAMING & SALVAGE FOR REINSTALLATION, INCLUDING WOOD SHOE MOLD & THRESHOLDS.
 - 2ND FLOOR: FULLY PROTECT WOOD FLOORING SCHEDULED TO REMAIN.
 - CARPET & RESILIENT TILE:** REMOVE UNDERLAYMENT, ADHESIVES & ACCESSORIES INCLUDING CARPET PAD, PLYWOOD DECKING, TACK STRIPS, EDGING STRIPS, ETC., TO EXPOSE ORIGINAL OR EARLY WOOD OR CONCRETE FLOORING.
 - CONCRETE:**
 - CONCRETE SCHEDULED TO REMAIN EXPOSED: REMOVE LEVELING COMPOUNDS, PAINT COATINGS, MASTIC, WAXES, ETC., TO EXPOSE UNFINISHED CONCRETE FINISH.
 - REMOVE CONCRETE FLOOR ASSEMBLY WHERE INDICATED FOR NEW LIFT. REF. FLOOR PLAN SHEET, A2.01.
- WALLS:**
 - REMOVE & DISCARD WALLS & ASSOCIATED FASTENERS WHERE INDICATED ON THE DRAWINGS.
 - PLASTER: REMOVE DAMAGED, DETERIORATED OR DETACHED PLASTER FINISH TO SOUND SUBSTRATE INCLUDING SKIM COAT. REMOVE POOR PRIOR PATCHES & NON-ORIGINAL WALL TEXTURE.
 - REMOVE & SALVAGE WOOD BEAD BOARD SIDING FOR REUSE.
 - FIBER BOARD WAINSCOT: CAREFULLY REMOVE WAINSCOT 100% TO LIMIT DAMAGE TO PLASTER FINISH BEHIND.
- CEILING:**
 - REMOVE & DISCARD GYPSUM BOARD CEILING ASSEMBLY INCLUDING ASSOCIATED SUPPORTS, BLOCKING, & FASTENERS WHERE INDICATED TO EXPOSE ORIGINAL CORRUGATED ARCHED CEILING STRUCTURE
 - REMOVE & DISCARD SUSPENDED ACOUSTIC TILE CEILING ASSEMBLY INCLUDING ASSOCIATED GRID, SUPPORTS, BLOCKING, & FASTENERS WHERE INDICATED TO EXPOSE ORIGINAL CORRUGATED ARCHED CEILING STRUCTURE
- DOORS:**
 - REMOVE & DISCARD NON-ORIGINAL DOORS & ASSOCIATED FRAME, CASINGS, & TRIM WHERE INDICATED U.O.N. REMOVE ALL HARDWARE & SALVAGE FOR OWNER. PLACE HARDWARE SET FOR EACH DOOR IN SEPARATE PLASTIC BAG. PLACE BAGS IN BOX, LABEL, & RETURN TO OWNER.
- MEP:**
 - REMOVE EXIST. MEP SYSTEMS ENTIRELY, REF. MEP. (AT CONFIRM WITH ENGINEER WHAT WILL REMAIN)
 - MECHANICAL: REMOVE EXIST. MECHANICAL EQUIPMENT, RELATED DEVICES, & DISTRIBUTION LINES
 - ELECTRICAL: REMOVE EXIST. LIGHT FIXTURES, RELATED DEVICES, & EXPOSED DISTRIBUTION LINES
 - PLUMBING: REMOVE EXIST. PLUMBING FIXTURES & RELATED PLUMBING LINES.
 - FIRE ALARM:
 - REMOVE ANY LINES THAT WILL BE ABANDONED RESULTING FROM THE WORK OF THIS CONTRACT.
 - DEMO & REINFORCE EXIST. CONSTRUCTION FOR INSTALLATION OF MEP SYSTEMS. REF. MEP & STRUCTURAL DWGS.
 - EXACT LOCATION OF FLOOR & CEILING GRILLES/REGISTERS ARE TO BE MARKED IN-SITU BY THE CONTRACTOR & APPROVED BY THE ARCHITECT PRIOR TO CUTTING OF STRUCTURAL FRAMING & FINISH SURFACES.
- RESTROOMS:** REMOVE EXIST. FIXTURES & TOILET ACCESSORIES ENTIRELY.
- ROOFING:** REFER TO SHT. A-2.10 FOR EXTENT OF DEMOLITION
- HAZARDOUS MATERIALS ABATEMENT:** ABATEMENT CONTRACTOR TO REMOVE ACM MATERIALS, INCLUDING BUT NOT LIMITED TO MASTIC BENEATH RESILIENT TILE FLOORING, PLASTER FINISH AT WALLS, & ROOFING MATERIALS. REFER TO ASBESTOS & LEAD ABATEMENT SPECIFICATIONS IN THE APPENDIX OF THE PROJECT MANUAL FOR FULL DESCRIPTION OF WORK

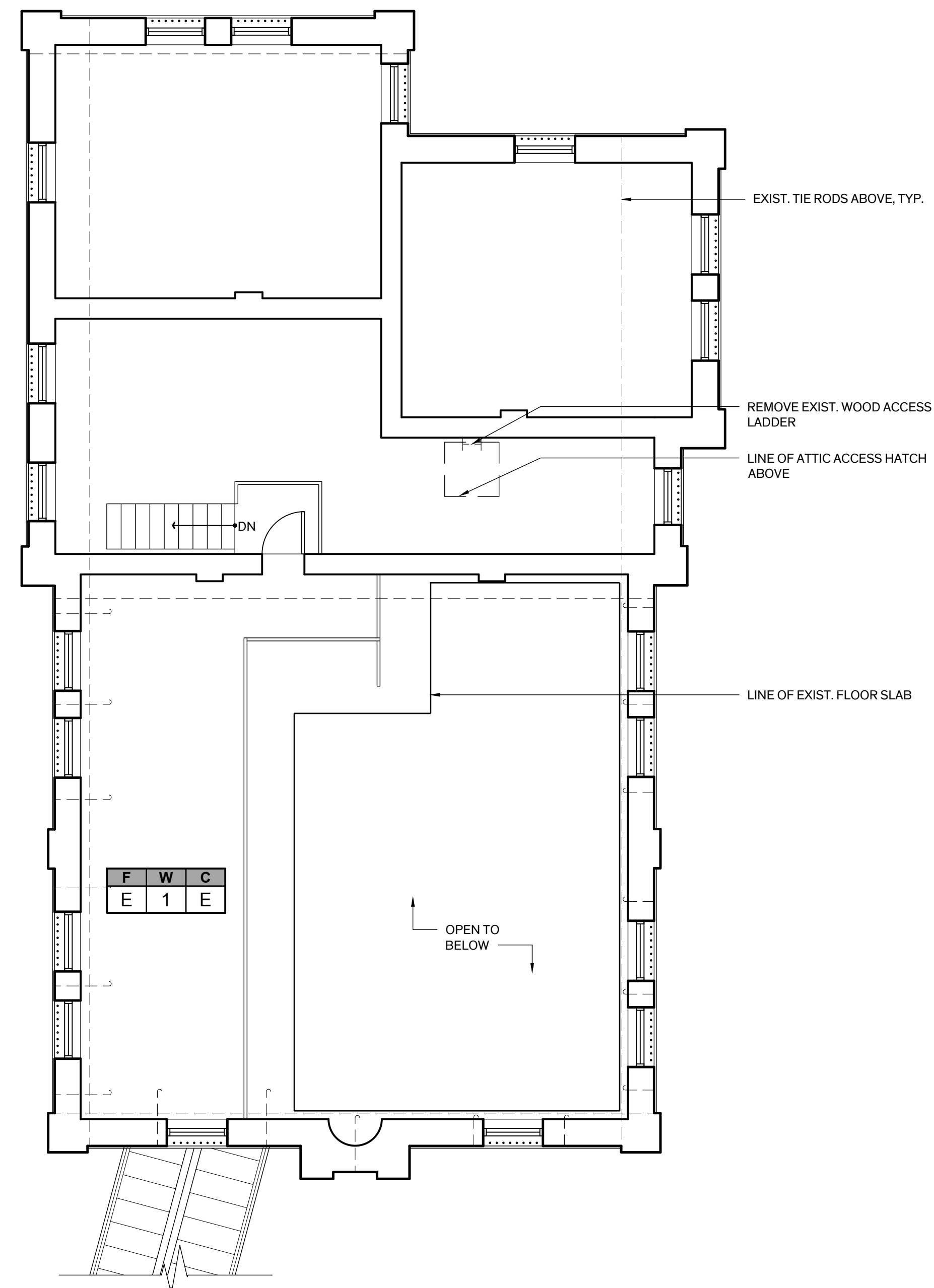
MATERIAL DEMO LEGEND



KEYS

FLOORS		WALLS		CEILING	
1	CARPET	1	PLASTER*	1	SUSPENDED ACOUSTIC TILE
2	RESILIENT TILE*	2	FIBER BOARD WAINSCOT	2	GYPSUM BOARD
3	WOOD (SALVAGE)	3	GYPSUM BOARD	3	WOOD BEAD BOARD (SALVAGE)
E	EXIST. TO REMAIN	4	WOOD BEAD BOARD (SALVAGE)	E	EXIST. TO REMAIN
		E	EXIST. TO REMAIN		

*MASTIC BENEATH RESILIENT TILE CONTAINS ASBESTOS; REPAIRED AREAS OF PLASTER FINISH CONTAINS ASBESTOS. REF. ABATEMENT SPECIFICATION FOR EXTENT AND PROCEDURES FOR REMOVAL.



1 Mezzanine - Demolition Plan

Scale: 3/16" = 1'-0"



DEMOLITION LEGEND

- ELEMENT TO BE REMOVED
- ==== EXIST. WALLS TO REMAIN
- WALLS TO BE REMOVED
- [Cross-hatched] CONCRETE FLOOR SLAB TO BE REMOVED
- [Diagonal lines] BRICK MASONRY WALL TO BE REMOVED

GENERAL NOTES - SITE PLAN

- GENERAL SITE WORK**
 - UTILITY LOCATIONS ARE APPROXIMATE, V.I.F. LOCATE GAS, WATER, ELECTRICAL & OTHER MISC. UTILITY LINES PRIOR TO TRENCHING.
 - REFERENCE MEP DRAWINGS FOR SCOPE OF SITE UTILITY WORK.
 - INFORMATION FOR SITE PLAN WAS TAKEN FROM SURVEY PREPARED BY JAMES E. GARON & ASSOC., DATED MARCH 20, 2023, COURTHOUSE SQUARE BUILDING BLOCK 7
 - REFER TO MEP-1 SITE PLAN IN THE APPENDIX OF THE PROJECT MANUAL FOR ADDITIONAL BELOW GRADE MEP PIPING & GEOTHERMAL DESIGN. PROVIDED FOR REFERENCE ONLY.
- MONUMENTS, MARKERS:** PROVIDE TEMPORARY PROTECTION FOR EXIST. MONUMENTS & RTHL MARKERS DURING CONSTRUCTION ACTIVITIES ON SITE.
- TREE PROTECTION:** PROTECT EXIST. TREES & ROOT SYSTEMS DURING EXCAVATING & BACKFILLING OPERATIONS. IF TREES ARE DAMAGED BY CONSTRUCTION OPERATIONS, CONTRACTOR SHALL OBTAIN THE SERVICES OF A CERTIFIED ARBORIST TO PERFORM REPAIRS AT NO ADDITIONAL COST TO THE OWNER.
- SITE RESTORATION:**
 - RESTORE DAMAGE TO EXIST. LANDSCAPING SCHEDULED TO REMAIN ADJACENT TO AREA OF WORK INCLUDING BUT NOT LIMITED TO SIDEWALKS, PLANTING BEDS, CURBS, LAWN, ETC...
- DEMOLITION:**
 - REMOVE CONCRETE PAVERS AT THE PERIMETER OF THE BUILDING.
 - REMOVE METAL EDGING & PLANTING BEDS AT THE PERIMETER OF THE BUILDING INCLUDING PLANTINGS.
- SITE WORK:**
 - PROVIDE CONCRETE AREAWAY WITH DRAIN COINCIDING WITH LOCATION OF EACH CRAWLSPACE GRILLE TO REVITALIZE CROSS VENTILATION OF CRAWLSPACE. PROVIDE METAL BAR GRATING AT TOP OF AREAWAY FLUSH WITH CONCRETE MOW STRIP.
 - PROVIDE FRENCH DRAIN AT PERIMETER OF BUILDING.
 - PROVIDE 2 FOOT WIDE CONCRETE MOW STRIP AT PERIMETER OF BUILDING. SLOPE MINIMUM 2% AWAY FROM FACE OF BUILDING.
 - RE-GRADE AT PERIMETER OF BUILDING FOOTPRINT EXTENDING IN EAST, NORTH, & WEST DIRECTIONS MINIMUM 20'-0". SLOPE AWAY FROM BUILDING MINIMUM 5%.
 - INVESTIGATE TYING ROOF DOWNSPOUTS TO STORM SEWER OR SUBSURFACE DRAINAGE PIPE TO BUBBLERS IN YARD AWAY FROM BUILDING FOUNDATION.
- IRRIGATION:**
 - THE SITE HAS AN EXIST. IRRIGATION SYSTEM THAT IS TO REMAIN IN PLACE. MODIFY VALVES, HEADS, & PIPING AT PERIMETER OF JAIL AT REMOVED PLANTING BEDS FOR NEW LAWN.
 - RESTORE DAMAGE TO THE EXISTING IRRIGATION SYSTEM CAUSED BY THE WORK OF THIS CONTRACT.



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SITE PLAN LEGEND

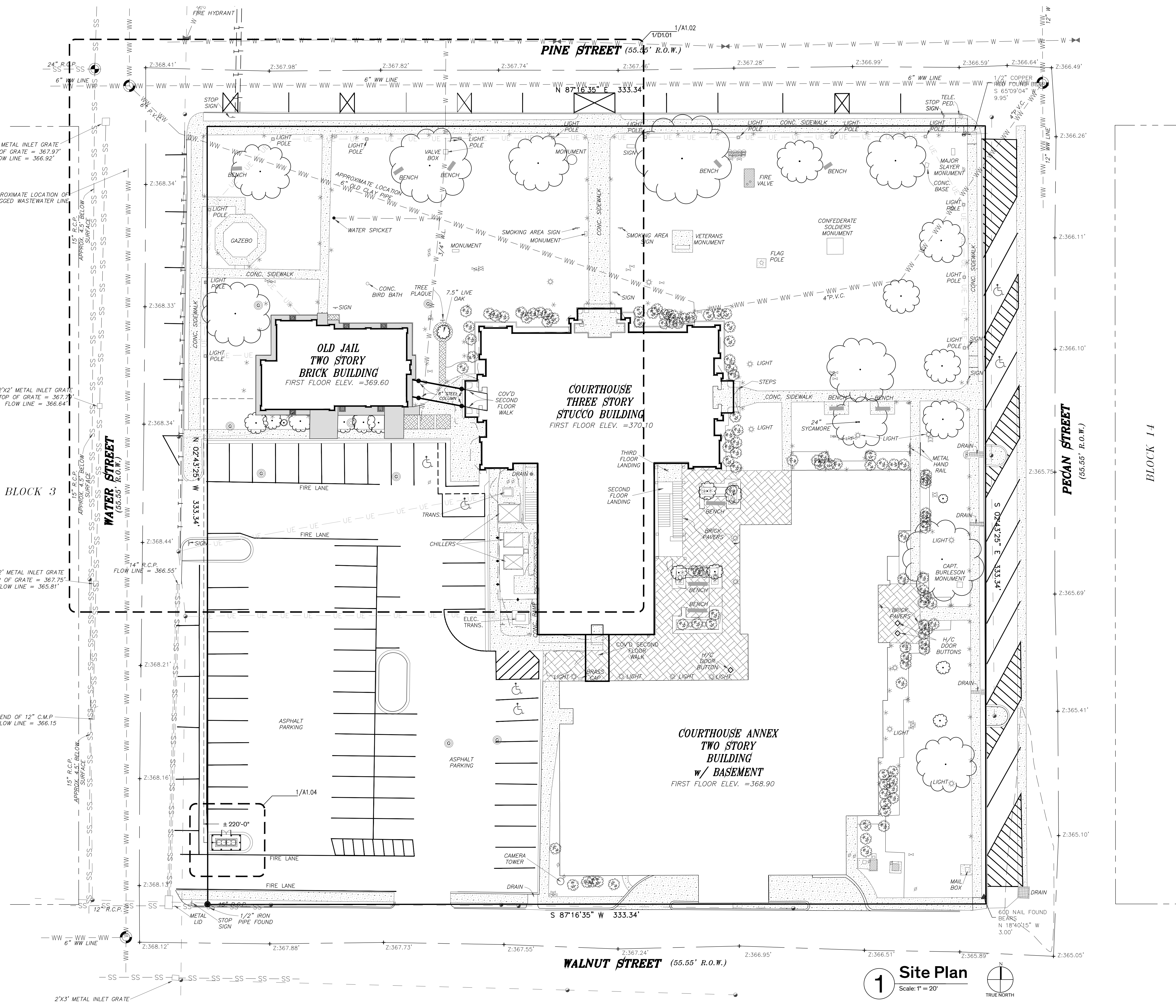
	EXIST. CONCRETE PAVING
	EXIST. BRICK PAVERS
	NEW CONCRETE PAVING
	DOWNSPOUT LOCATIONS
	SUBGRADE DOWNSPOUT LEADERS
	FOUNDATION DRAIN
	PROPERTY LINE
	EXIST. SUBGRADE DOWNSPOUT LEADERS
	EXIST. SUBGRADE TELECOMMUNICATIONS SERVICE
	EXIST. ELECTRICAL SERVICE
	EXIST. SUBGRADE ELECTRICAL SERVICE
	EXIST. STORM SEWER
	EXIST. SANITARY
	EXIST. WATER
	EXIST. WASTE WATER
	EXIST. GAS
	EXIST. CHAIN LINK FENCE
	EXIST. LAMP POST
	EXIST. STREET LAMP TO REMAIN
	EXIST. STREET SIGN
	EXIST. GROUND LIGHT
	EXIST. VALVE
	EXIST. CLEAN OUT
	EXIST. SPRINKLER
	EXIST. POWER POLE
	EXIST. MANHOLE FOR GEOTHERMAL SYSTEM
	EXIST. WASTE WATER MANHOLE
	EXIST. STORM SEWER MANHOLE
	EXIST. AT&T FIBER OPTICS MANHOLE

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REVISION HISTORY

1.	SD Submission	14 February 2023
2.	DD Submission	4 April 2023
3.	95% CD Submission	30 May 2023

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 SUSAN FROCHEUR, 5/30/23

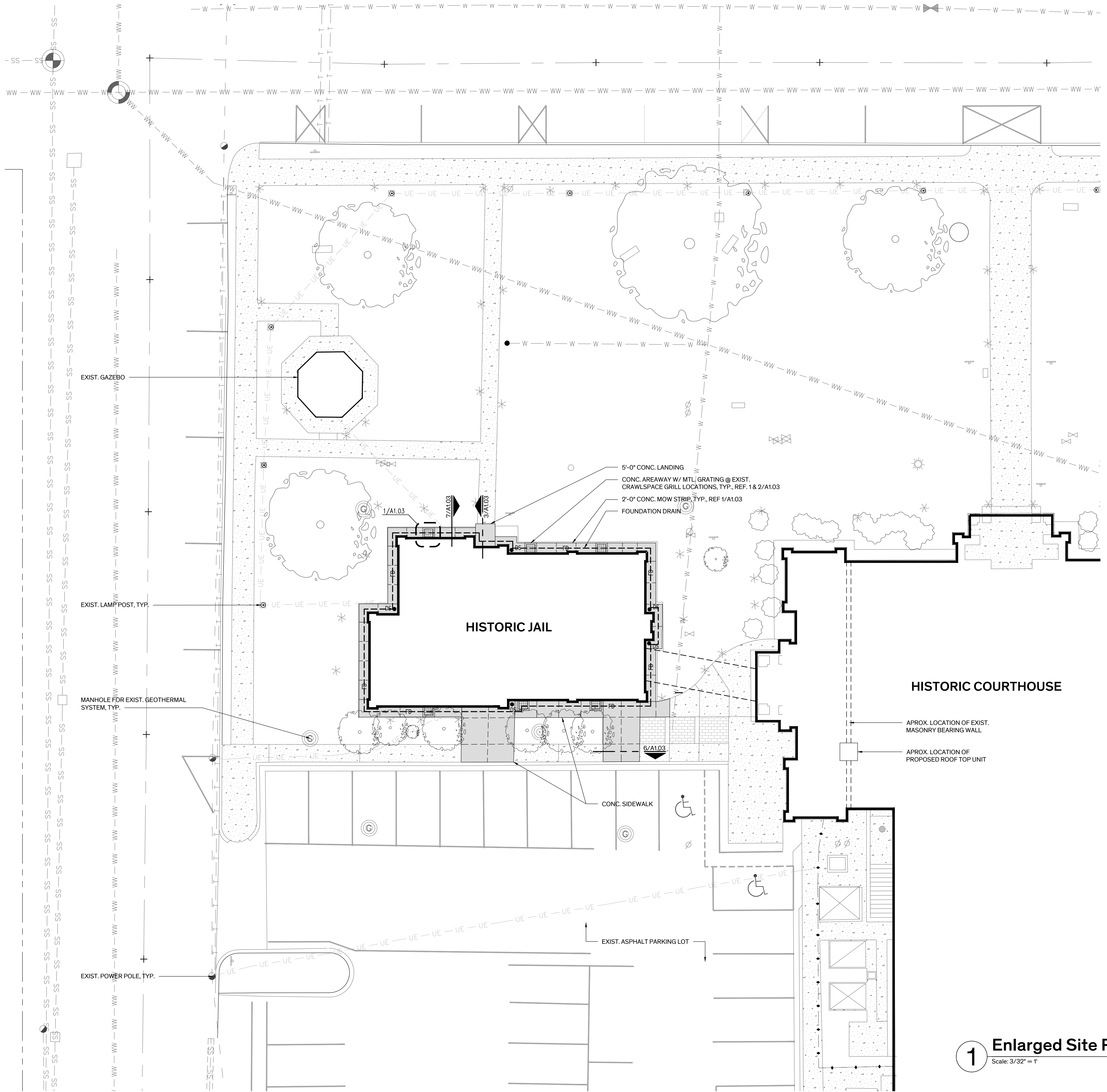


1 Site Plan
 Scale: 1" = 20'

BLOCK 2

BLOCK 6

BLOCK 15



1 Enlarged Site Plan
Scale: 3/32" = 1'

GENERAL NOTES - SITE PLAN

- 1. GENERAL SITE WORK**
 - A. UTILITY LOCATIONS ARE APPROXIMATE, V.I.F. LOCATE GAS, WATER, ELECTRICAL & OTHER MISC. UTILITY LINES PRIOR TO TRENCHING.
 - B. REFERENCE MEP DRAWINGS FOR SCOPE OF SITE UTILITY WORK.
 - C. INFORMATION FOR SITE PLAN WAS TAKEN FROM SURVEY PREPARED BY JAMES E. GARON & ASSOC., DATED MARCH 20, 2023, COURTHOUSE SQUARE BUILDING BLOCK 7
 - D. REFER TO MEP-1 SITE PLAN IN THE APPENDIX OF THE PROJECT MANUAL FOR ADDITIONAL BELOW GRADE MEP PIPING & GEOTHERMAL DESIGN. PROVIDED FOR REFERENCE ONLY.
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- 3. TREE PROTECTION:** PROTECT EXIST. TREES & ROOT SYSTEMS DURING EXCAVATING & BACKFILLING OPERATIONS. IF TREES ARE DAMAGED BY CONSTRUCTION OPERATIONS, CONTRACTOR SHALL OBTAIN THE SERVICES OF A CERTIFIED ARBORIST TO PERFORM REPAIRS AT NO ADDITIONAL COST TO THE OWNER.
- 4. SITE RESTORATION:**
 - C. RESTORE DAMAGE TO EXIST. LANDSCAPING SCHEDULED TO REMAIN ADJACENT TO AREA OF WORK INCLUDING BUT NOT LIMITED TO SIDEWALKS, PLANTING BEDS, CURBS, LAWN, ETC...
- 5. DEMOLITION:**
 - A. REMOVE CONCRETE PAVERS AT THE PERIMETER OF THE BUILDING.
 - B. REMOVE METAL EDGING & PLANTING BEDS AT THE PERIMETER OF THE BUILDING INCLUDING PLANTINGS.
- 6. SITE WORK:**
 - A. PROVIDE CONCRETE AREAWAY WITH DRAIN COINCIDING WITH LOCATION OF EACH CRAWLSPACE GRILLE TO REVITALIZE CROSS VENTILATION OF CRAWLSPACE. PROVIDE METAL BAR GRATING AT TOP OF AREAWAY FLUSH WITH CONCRETE MOW STRIP.
 - B. PROVIDE FRENCH DRAIN AT PERIMETER OF BUILDING.
 - C. PROVIDE 2 FOOT WIDE CONCRETE MOW STRIP AT PERIMETER OF BUILDING. SLOPE MINIMUM 2% AWAY FROM FACE OF BUILDING.
 - D. RE-GRADE AT PERIMETER OF BUILDING FOOTPRINT EXTENDING IN EAST, NORTH, & WEST DIRECTIONS MINIMUM 20'-0". SLOPE AWAY FROM BUILDING MINIMUM 5%.
 - E. INVESTIGATE TYING ROOF DOWNSPOUTS TO STORM SEWER OR SUBSURFACE DRAINAGE PIPE TO BUBBLERS IN YARD AWAY FROM BUILDING FOUNDATION.
- 6. IRRIGATION:**
 - A. THE SITE HAS AN EXIST. IRRIGATION SYSTEM THAT IS TO REMAIN IN PLACE. MODIFY VALVES, HEADS, & PIPING AT PERIMETER OF JAIL AT REMOVED PLANTING BEDS FOR NEW LAWN.
 - B. RESTORE DAMAGE TO THE EXISTING IRRIGATION SYSTEM CAUSED BY THE WORK OF THIS CONTRACT.

SITE PLAN LEGEND

	EXIST. CONCRETE PAVING
	EXIST. BRICK PAVERS
	NEW CONCRETE PAVING
	DS DOWNSPOUT LOCATIONS
	DS SUBGRADE DOWNSPOUT LEADERS
	FD FOUNDATION DRAIN
	PROPERTY LINE
	DS EXIST. SUBGRADE DOWNSPOUT LEADERS
	T EXIST. SUBGRADE TELECOMMUNICATIONS SERVICE
	UE EXIST. ELECTRICAL SERVICE
	UE EXIST. SUBGRADE ELECTRICAL SERVICE
	SS EXIST. STORM SEWER
	S EXIST. SANITARY
	WW EXIST. WATER
	W EXIST. WASTE WATER
	G EXIST. GAS
	CF EXIST. CHAIN LINK FENCE
	LP EXIST. LAMP POST
	SLP EXIST. STREET LAMP TO REMAIN
	SS EXIST. STREET SIGN
	GL EXIST. GROUND LIGHT
	V EXIST. VALVE
	CO EXIST. CLEAN OUT
	S EXIST. SPRINKLER
	PP EXIST. POWER POLE
	GM EXIST. MANHOLE FOR GEOTHERMAL SYSTEM
	WM EXIST. WASTE WATER MANHOLE
	SM EXIST. STORM SEWER MANHOLE
	AM EXIST. AT&T FIBER OPTICS MANHOLE



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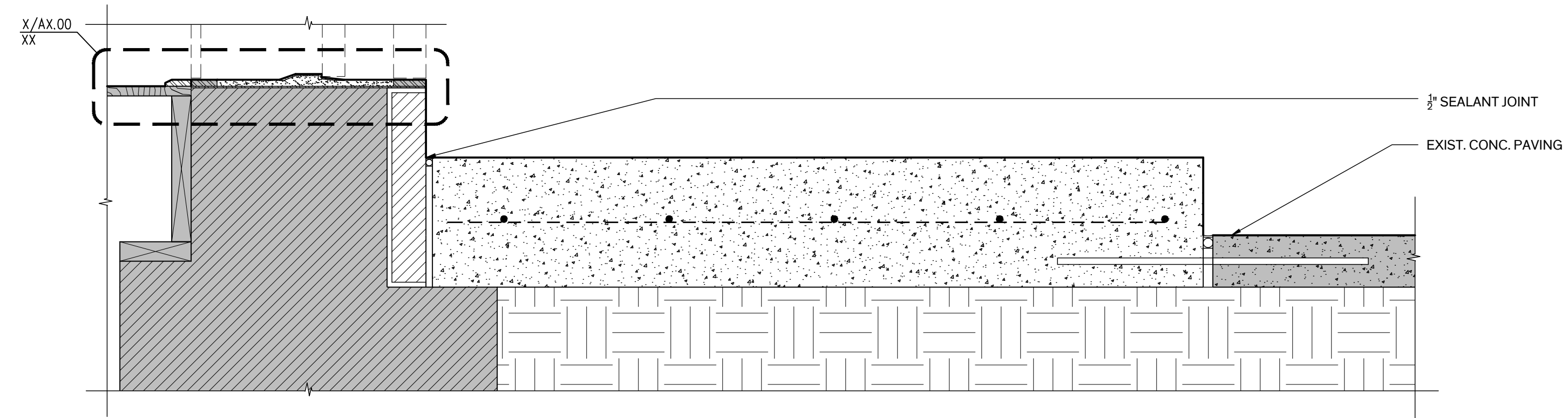
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Architexas No. 2251 Date May 30th, 2023

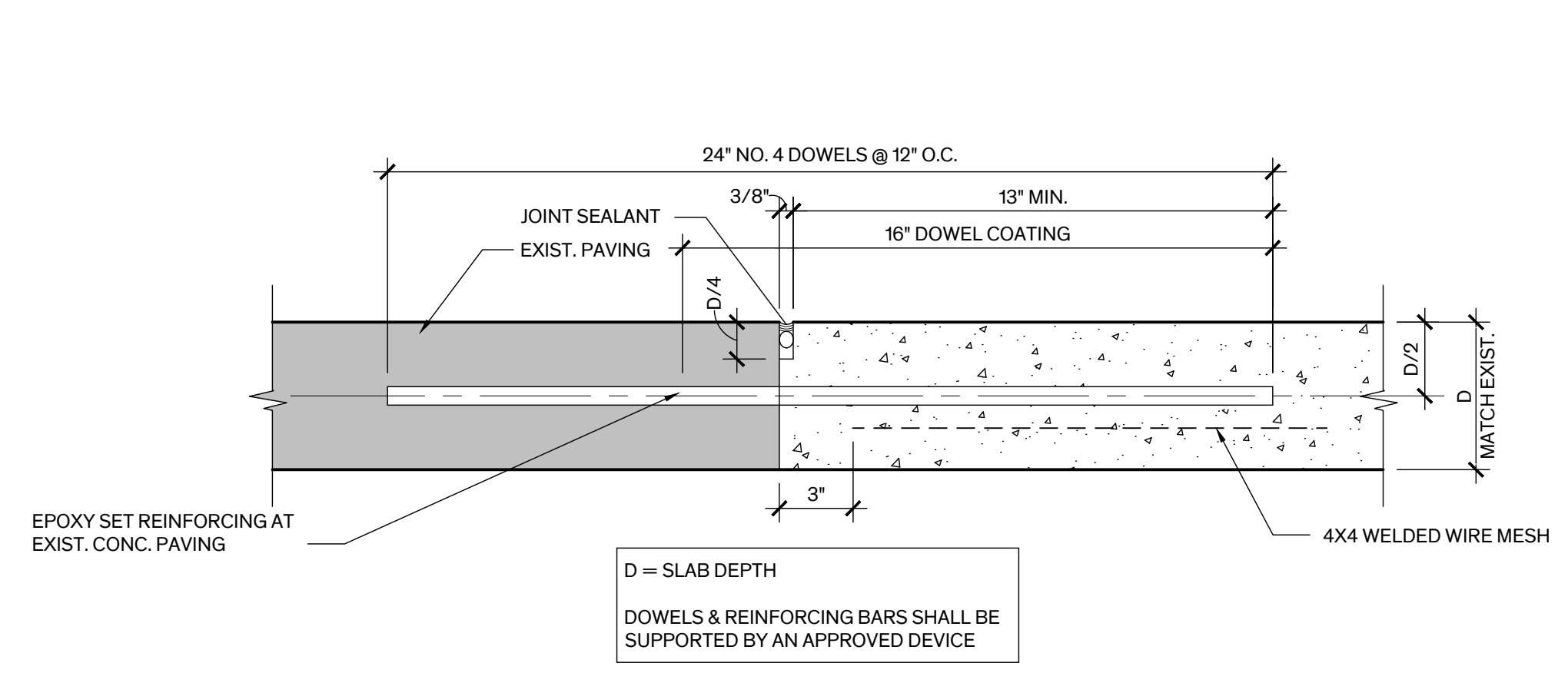
Sheet Name
Enlarged Site Plan

Sheet Number
A-1.02

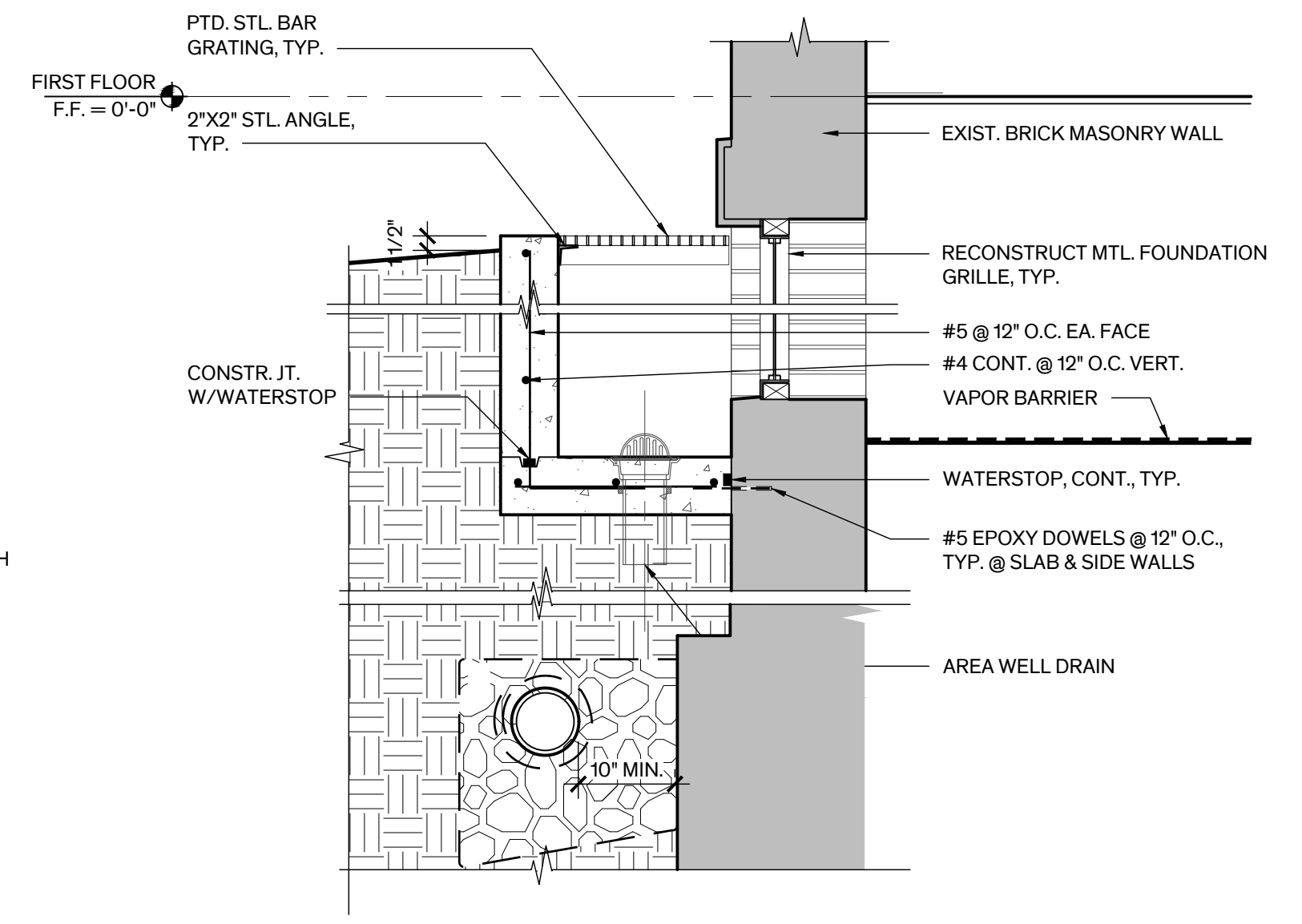
LEGEND	
	EXIST. CONSTRUCTION



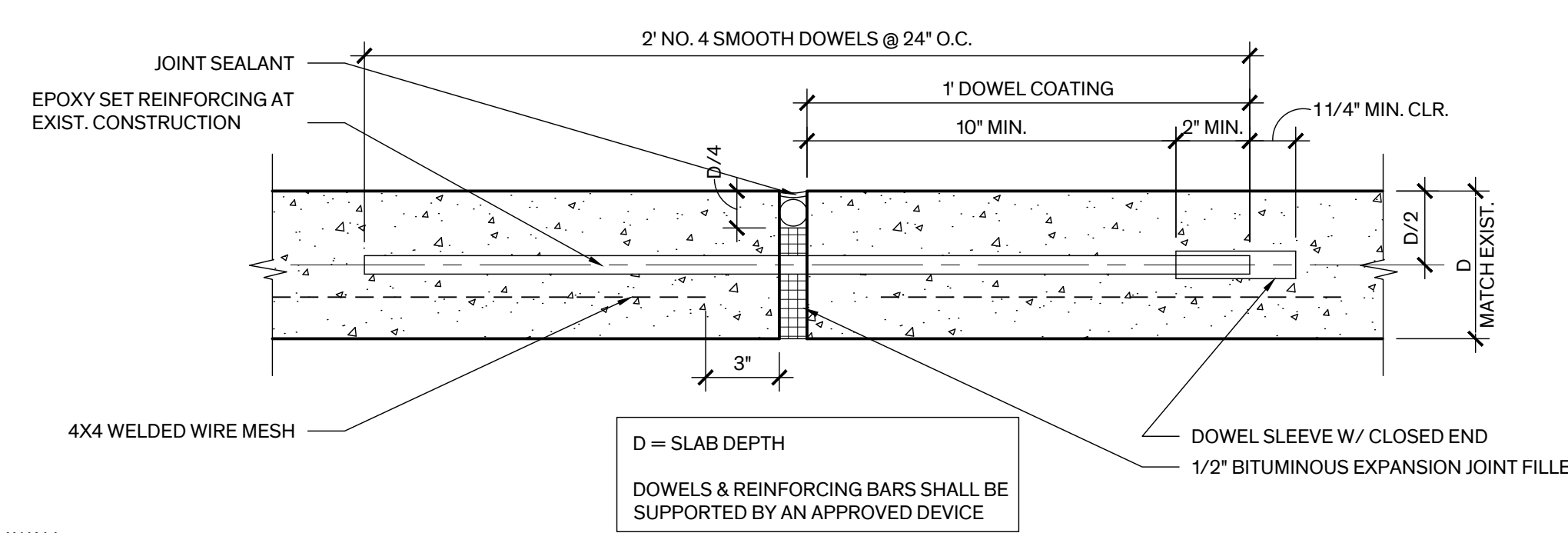
3 Section Through North Landing
Scale: 1 1/2" = 1'-0"



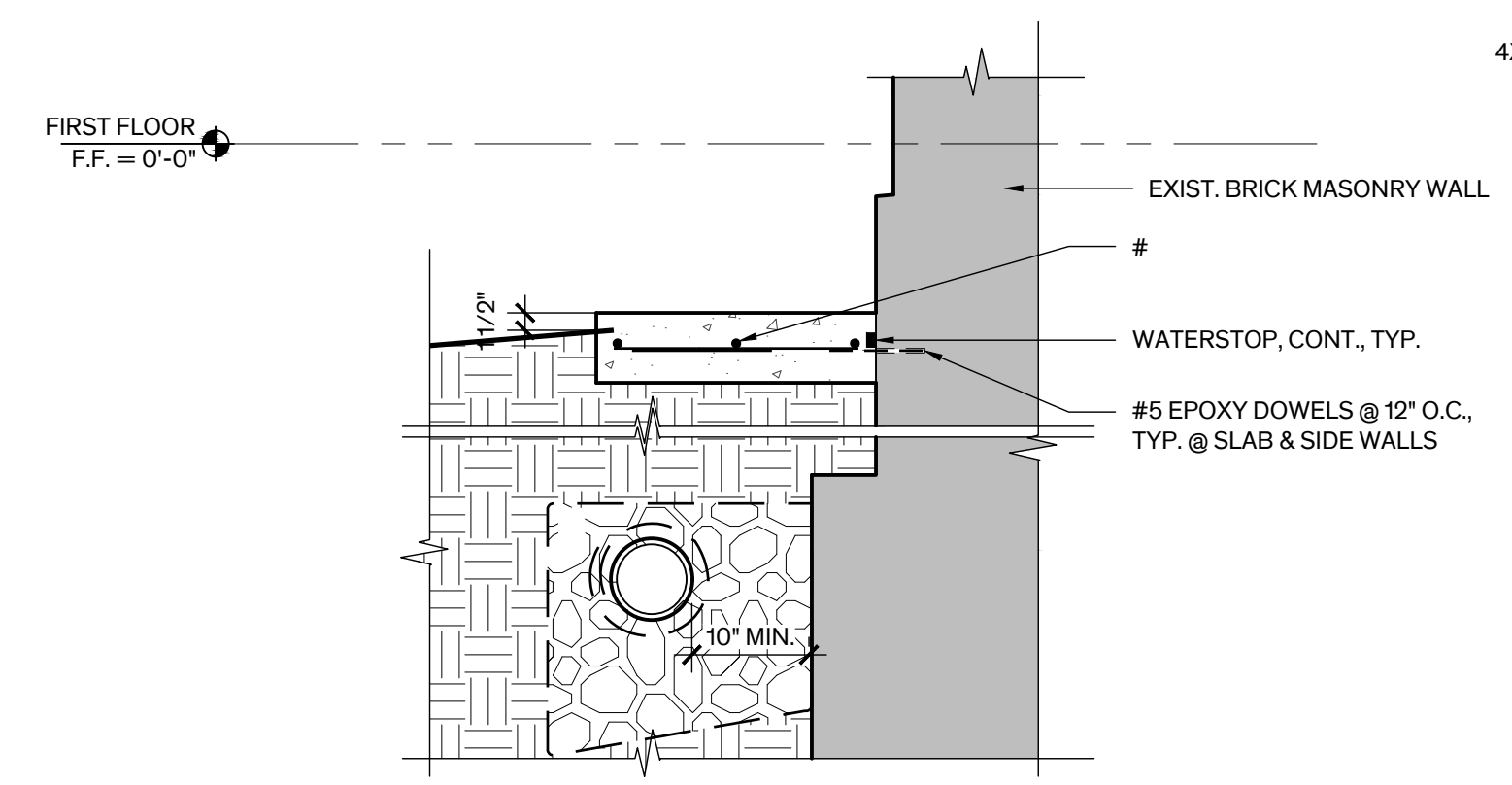
6 Construction Joint Det.
Scale: 3" = 1'-0"



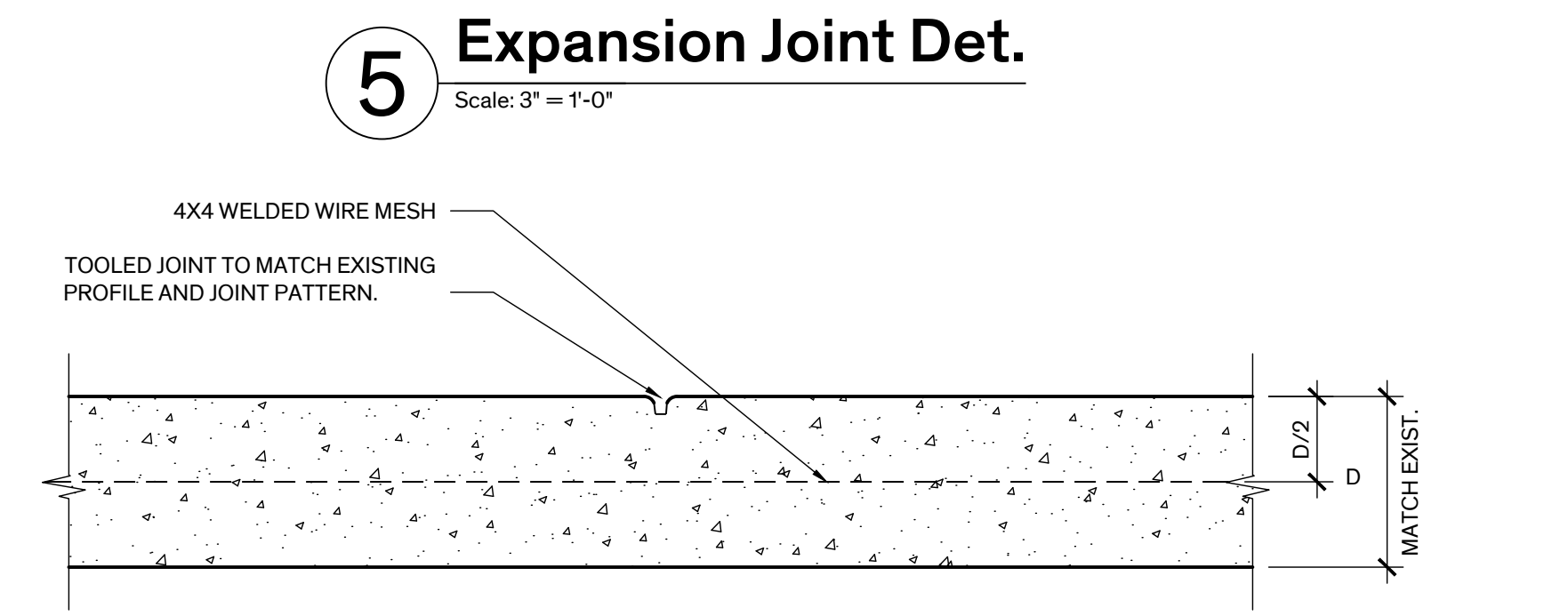
2 Section Through Area Well, Typ.
Scale: 3/4" = 1'-0"



5 Expansion Joint Det.
Scale: 3" = 1'-0"

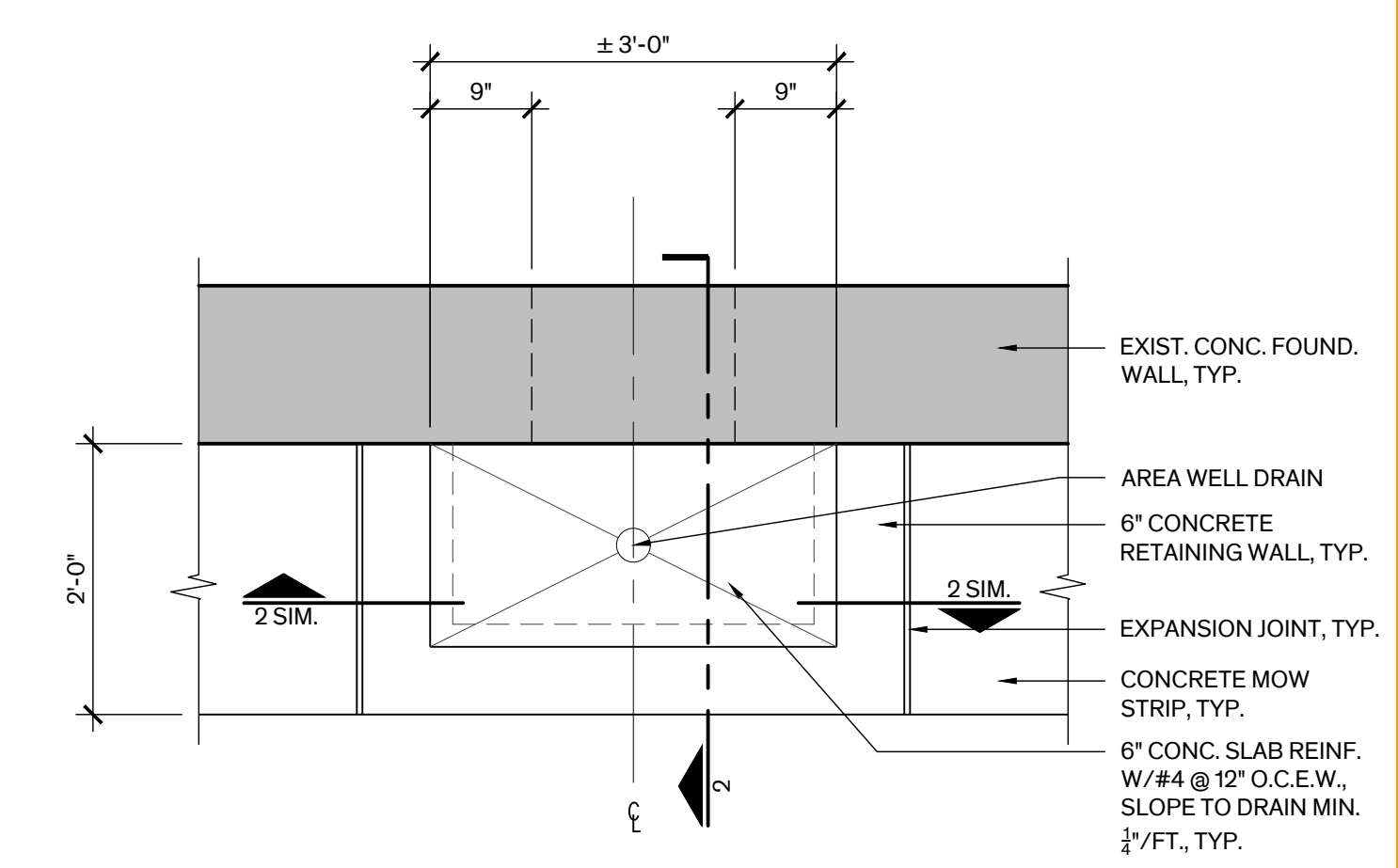


7 Mow Strip Det.
Scale: 3/4" = 1'-0"



4 Control Joint Det.
Scale: 3" = 1'-0"

D = SLAB DEPTH
ALL JOINTS TO BE CUT W/ EARLY ENTRY DRY CUT SAW, & IMMEDIATELY AFTER INITIAL SET OF THE CONC. @ JOINT LOCATION.



1 Area Well Found. Plan
Scale: 3/4" = 1'-0"



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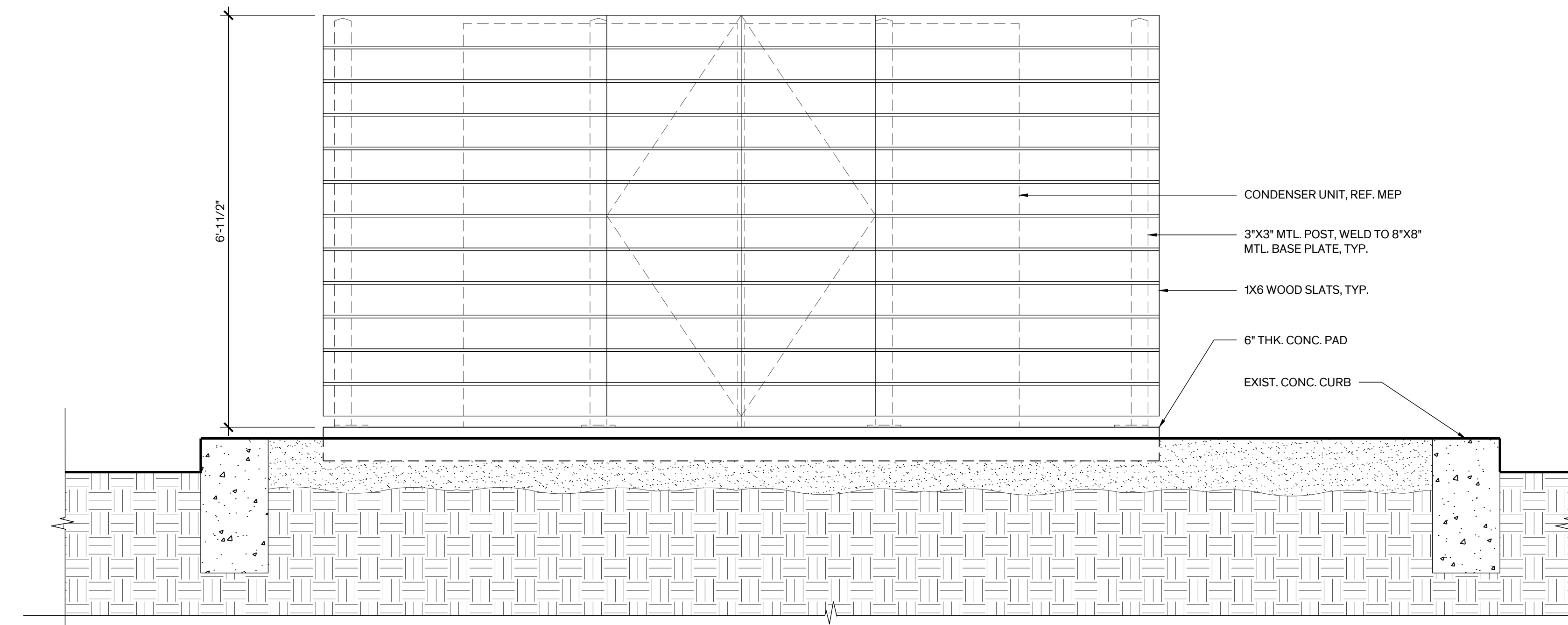
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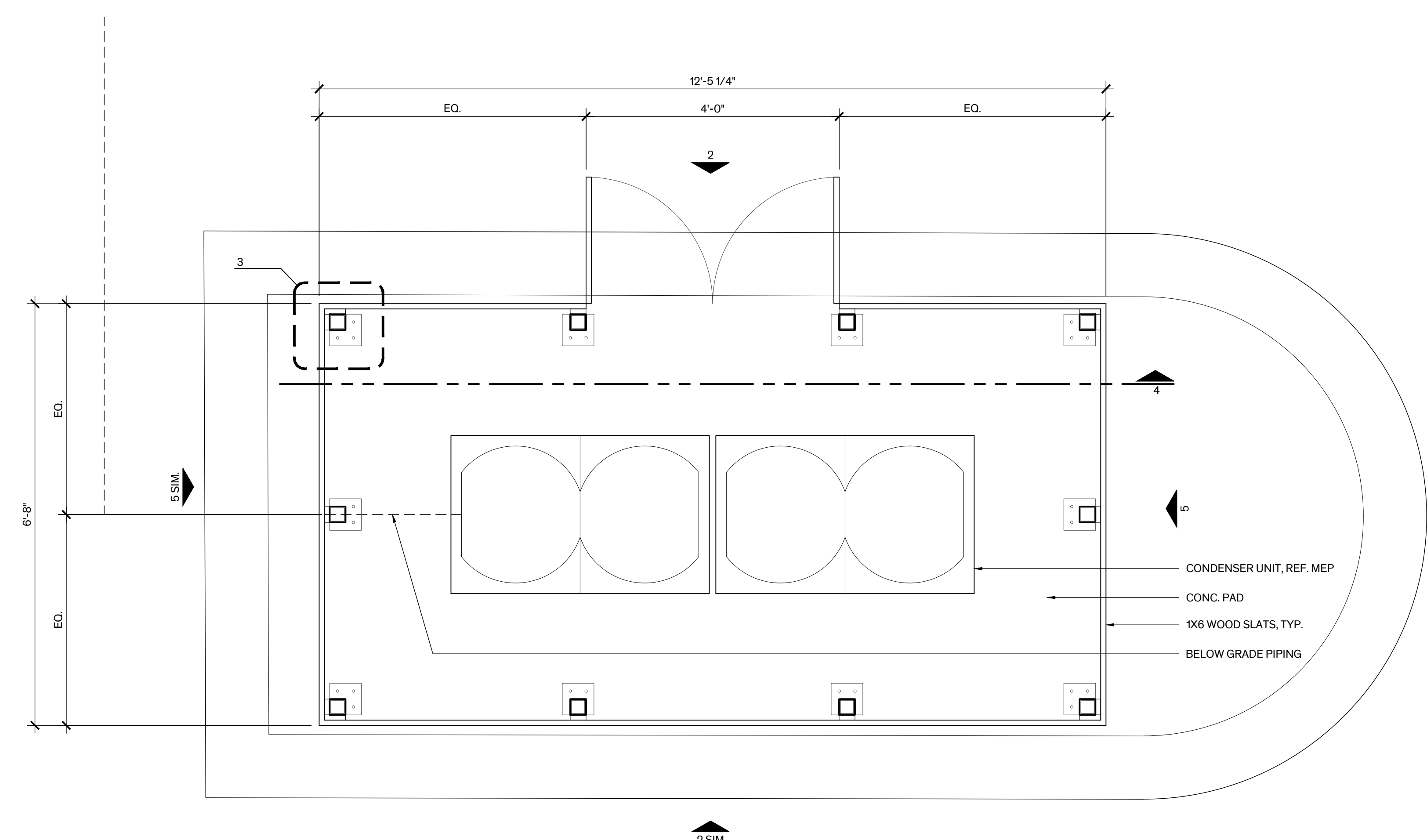
Architexas No. 2251 Date May 30th, 2023

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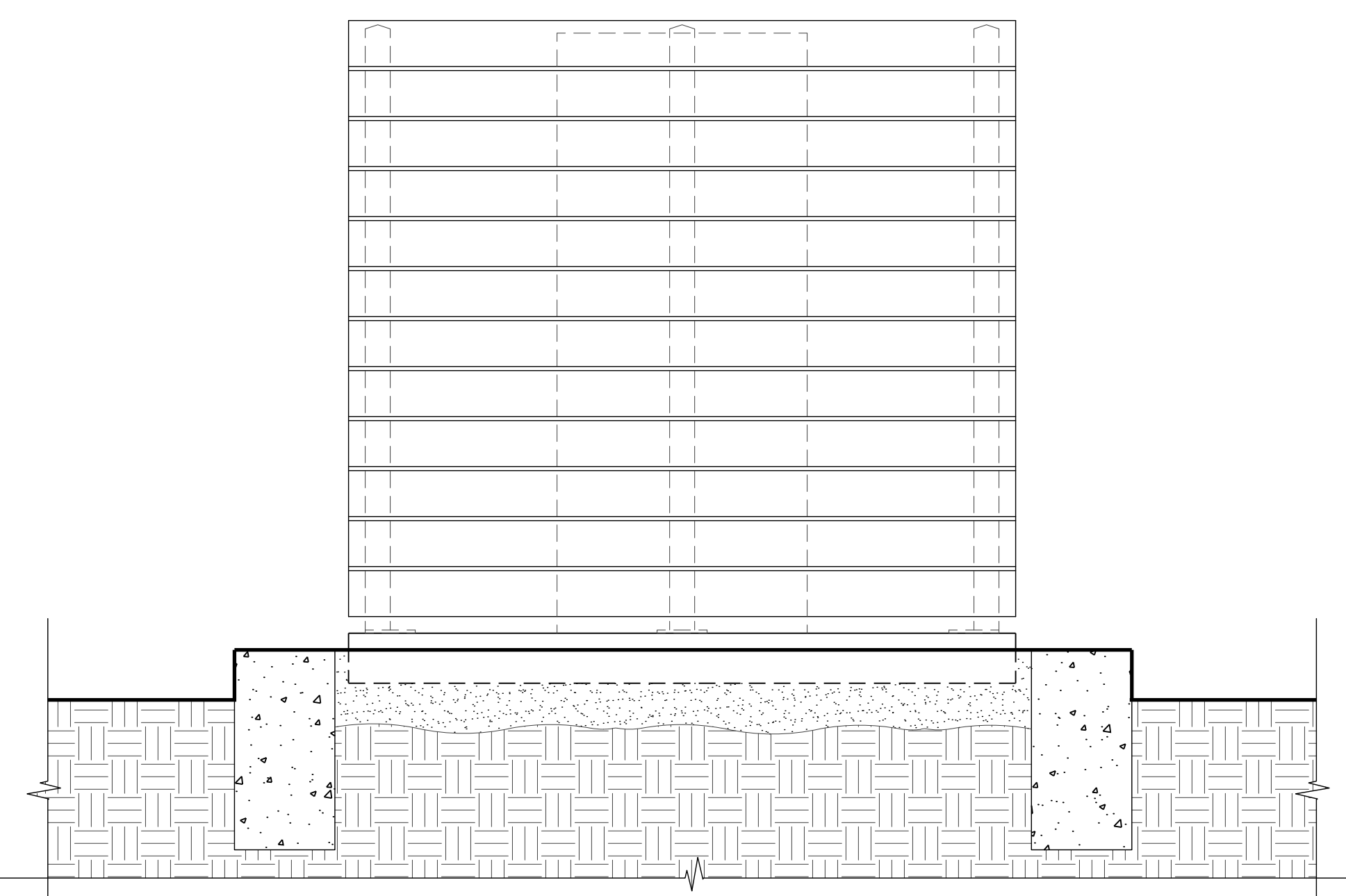
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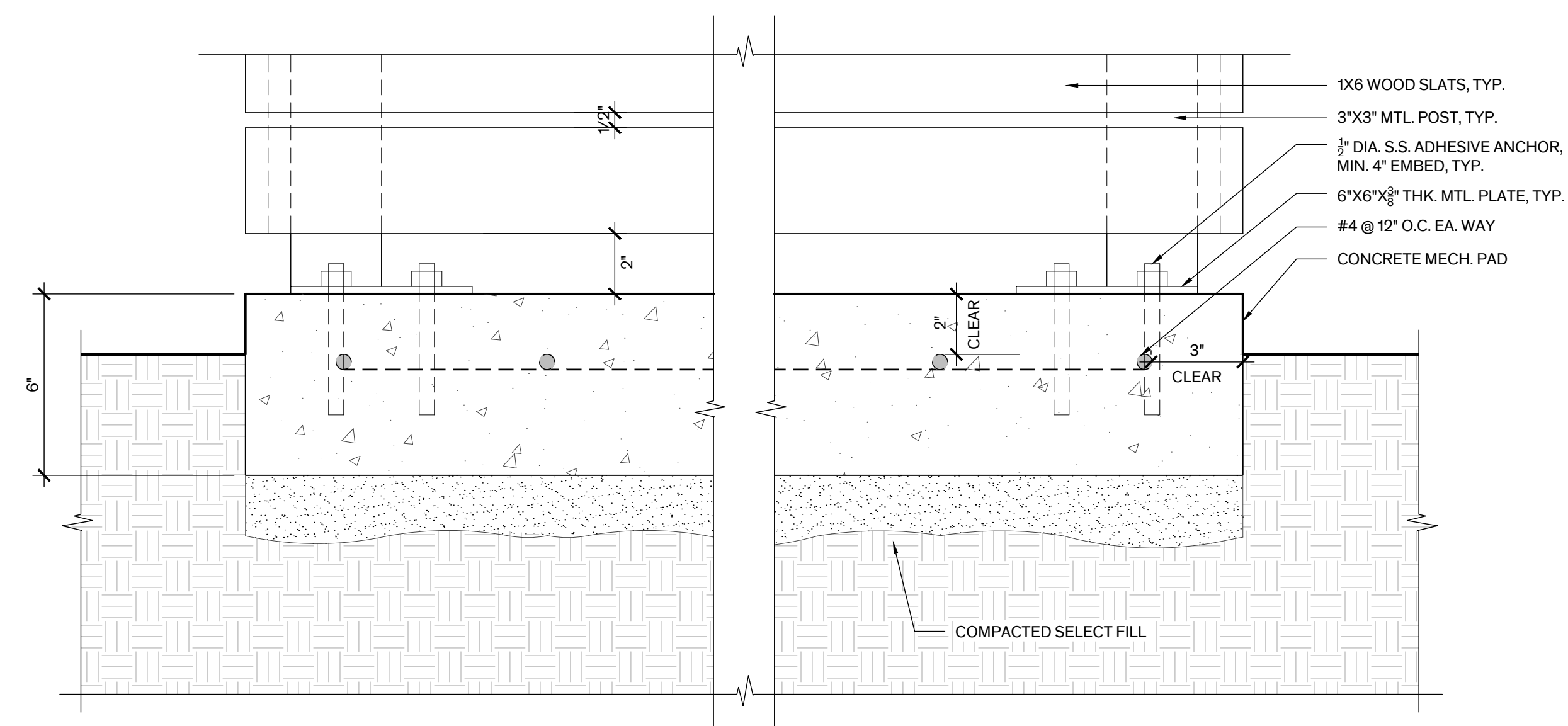
2 Mechanical Enclosure-North Elev., South Sim.
Scale: 3/4" = 1'-0"



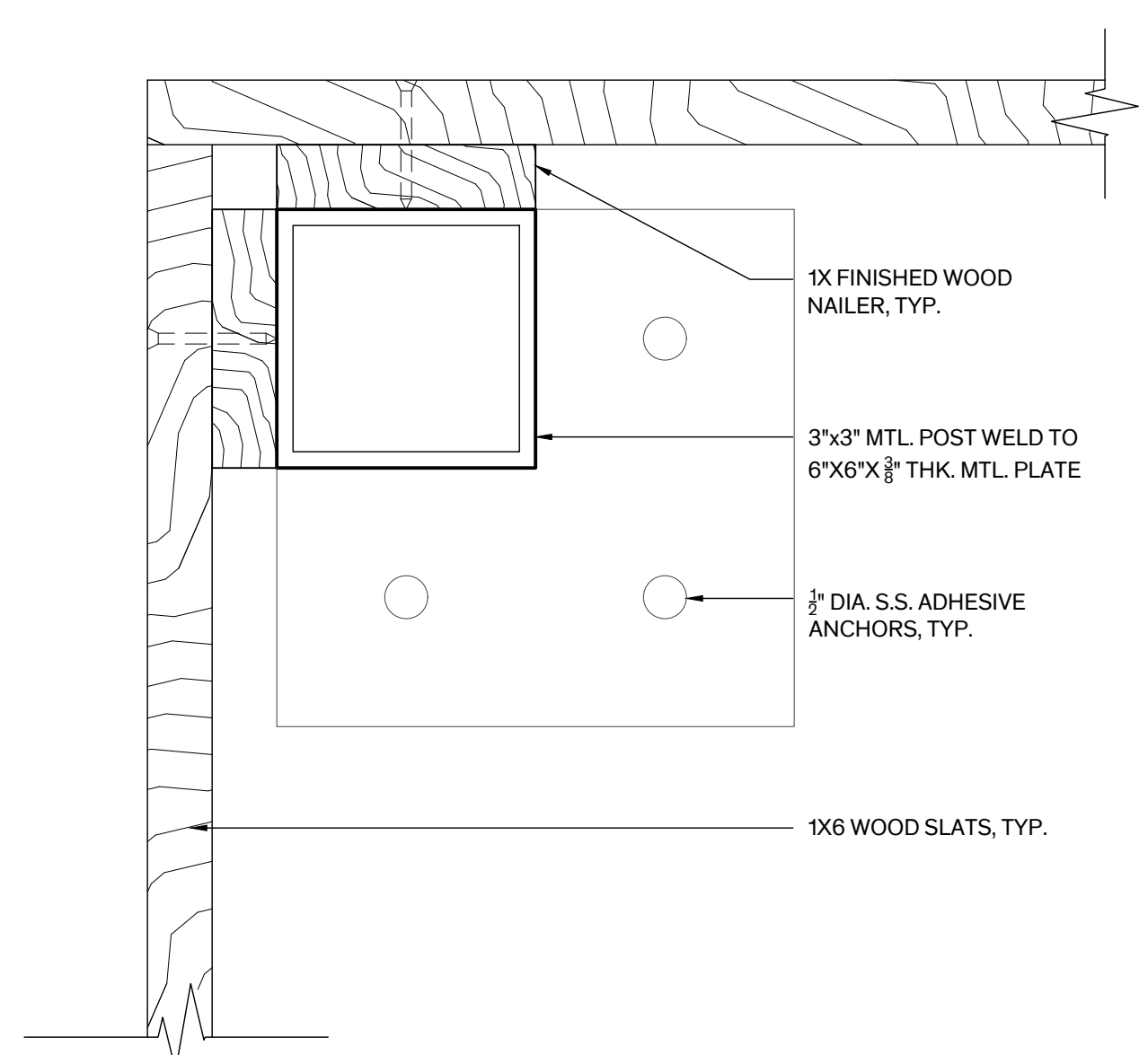
1 Mechanical Enclosure Plan
Scale: 3/4" = 1'-0"



5 Mechanical Enclosure-East Elev., West Sim.
Scale: 3/4" = 1'-0"



4 Mechanical Pad Detail
Scale: 3" = 1'-0"



3 Enclosure Post Detail
Scale: 6" = 1'-0"

GENERAL NOTES - PLANS

- DIMENSIONING AT WALLS:** WALL DIMENSIONS ARE FINISHED FACE OF WALL TO FINISHED FACE OF WALL U.O.N.
- MASONRY INFILL:**
 - FILL OPENINGS AT ABANDONED MEP PENETRATIONS TO MATCH EXISTING CONSTRUCTION. FINISH WALLS & CEILINGS AS SCHEDULED TO PROVIDE A SEAMLESS TRANSITION BETWEEN EXISTING & NEW CONSTRUCTION.
- EXISTING CONCRETE FLOOR & CEILING STRUCTURE:** REPAIR HOLES THROUGH SLAB MATCH EXIST. CONSTRUCTION/ASSEMBLY.
- STRUCTURAL STEEL (REFER TO STRUCTURAL):**
 - PROVIDE LINTELS AT NEW OR MODIFIED OPENINGS IN BRICK MASONRY WALLS AT SCHEDULED DOOR OPENING OR MEP PENETRATIONS WHERE INDICATED.
 - RE-FRAME 2ND FLOOR OPENING AT NEW WHEELCHAIR PLATFORM LIFT.
- ROUGH CARPENTRY (REFER TO STRUCTURAL):**
 - 1ST FLOOR:
 - SELECTIVELY REPAIR & REPLACE DETERIORATED FLOOR FRAMING. ASSUME 10% OF TOTAL FLOOR JOISTS REQUIRE REPAIR & 5% ARE BEYOND REPAIR & REQUIRE REPLACEMENT.
 - REPLACE WOOD SILL PLATE 100%, PERIMETER & INTERIOR MASONRY WALLS.
 - REPLACE FLOOR FRAMING BELOW EXIST. STAIR.
 - RE-FRAME FLOOR OPENING AT NEW WHEELCHAIR PLATFORM LIFT.
 - ATTIC:
 - SELECTIVELY REPLACE DETERIORATED WOOD SILL PLATE, ASSUME 10% OF TOTAL SILL PLATE.
 - SELECTIVELY REINFORCE ROOF FRAMING AT LONGER SPANS WHERE INDICATED.
 - MECHANICALLY FASTEN SILL PLATE TO MASONRY WALLS & PROVIDE HURRICANE TIES AT EACH ROOF RAFTER.
- PARTITIONS:**
 - REFER TO SHT. A-6.01 FOR PARTITION TYPES.
 - ALL WALL PARTITIONS SHALL BE TYPE "1" UNLESS OTHERWISE NOTED.
 - REPAIR HOLES IN EXIST. PARTITIONS SCHEDULED TO REMAIN. MATCH CONSTRUCTION & FINISH OF EXISTING WALL ASSEMBLY AS REQUIRED TO PROVIDE A SEAMLESS TRANSITION BETWEEN REPAIRED AREAS & ADJACENT SURFACES.
- MILLWORK:**
 - WOOD BASE: REFER TO ROOM FINISH SCHED., SHT. A6.01 FOR SCOPE OF WORK.
- STAIR & LADDERS:**
 - 1ST FLOOR: RE-SUPPORT & LEVEL ORIGINAL METAL STAIR IN-SITU EXTENDING FROM 1ST TO 2ND FLOOR. REF. STRUCTURAL. PROVIDE METAL HANDRAIL WITH METAL WALL BRACKETS AT WALL SIDE.
 - PROVIDE VERTICAL METAL LADDER FOR ATTIC ACCESS WHERE INDICATED.
- DOORS:** REFER TO DOOR SCHEDULE ON SHT. A-5.01 & DETAILED DOOR INVENTORY IN THE APPENDIX OF THE PROJECT MANUAL FOR SCOPE OF WORK.
- WINDOWS:** REFER TO WINDOW SCHEDULE ON SHT. A-5.10 FOR SCOPE OF WORK.
- FINISHES:** REFER TO ROOM FINISH SCHEDULE & GENERAL FINISH NOTES ON SHT. A-6.01 FOR SCOPE OF WORK. NOTE WILL BE INCLUDED IN DD SUBMISSION.
- FLAT PLASTER WALL & CEILING RESTORATION:** REFER TO ROOM FINISH SCHEDULE, SHT. A-6.01 FOR SCOPE OF WORK. NOTE WILL BE INCLUDED IN DD SUBMISSION.
- FLOOR FINISH RESTORATION:** REFER TO ROOM FINISH SCHEDULE, SHT. A-6.01 FOR SCOPE OF WORK. NOTE WILL BE INCLUDED IN DD SUBMISSION.
- TOILET ACCESSORIES:** REFER TO TOILET ACCESSORIES SCHEDULE ON SHT. A-6.10.
- FIRE EXTINGUISHERS:** PROVIDE RECESSED CABINETS & WALL MOUNTED FIRE EXTINGUISHERS WHERE SHOWN.
- SIGNAGE:** PROVIDE ROOM SIGNAGE TO COMPLY WITH TAS, REF. SPEC. SECT. 10425 - SIGNAGE.
- INSULATION:**
 - REFER TO WALL TYPES SHT. A-6.01 FOR INSULATION IN NEW WALLS.
 - ATTIC: PROVIDE THERMAL BATT INSULATION BETWEEN CEILING JOISTS, TYP.
- LIFT:** PROVIDE ADA COMPLIANT VERTICAL PLATFORM LIFT WITH CUSTOM METAL ENCLOSURE INCLUDING GATES FOR A COMPLETE SYSTEM. REINFORCE AND PROVIDE BLOCKING IN ADJACENT WALL / PARTITION FOR ATTACHMENT OF TOWER. REF. STRUCT. & MEP.
- MECHANICAL CLOSETS:** PROVIDE METAL FRAMED PLATFORMS / FLOOR ASSEMBLIES CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS FOR FAN COIL UNITS (FCU), REF. MEP.



HISTORIC BASTROP COUNTY JAIL INTERIOR & EXTERIOR RESTORATION

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REVISION HISTORY

1.	SD Submission	14 February 2023
2.	DD Submission	4 April 2023
3.	95% CD Submission	30 May 2023

KEY NOTES

- 1 PROVIDE LINTEL AT NEW OR MODIFIED OPENING IN BRICK MASONRY WALL FOR SCHEDULED DOOR OPENING OR MEP PENETRATION

FLOOR PLAN LEGEND

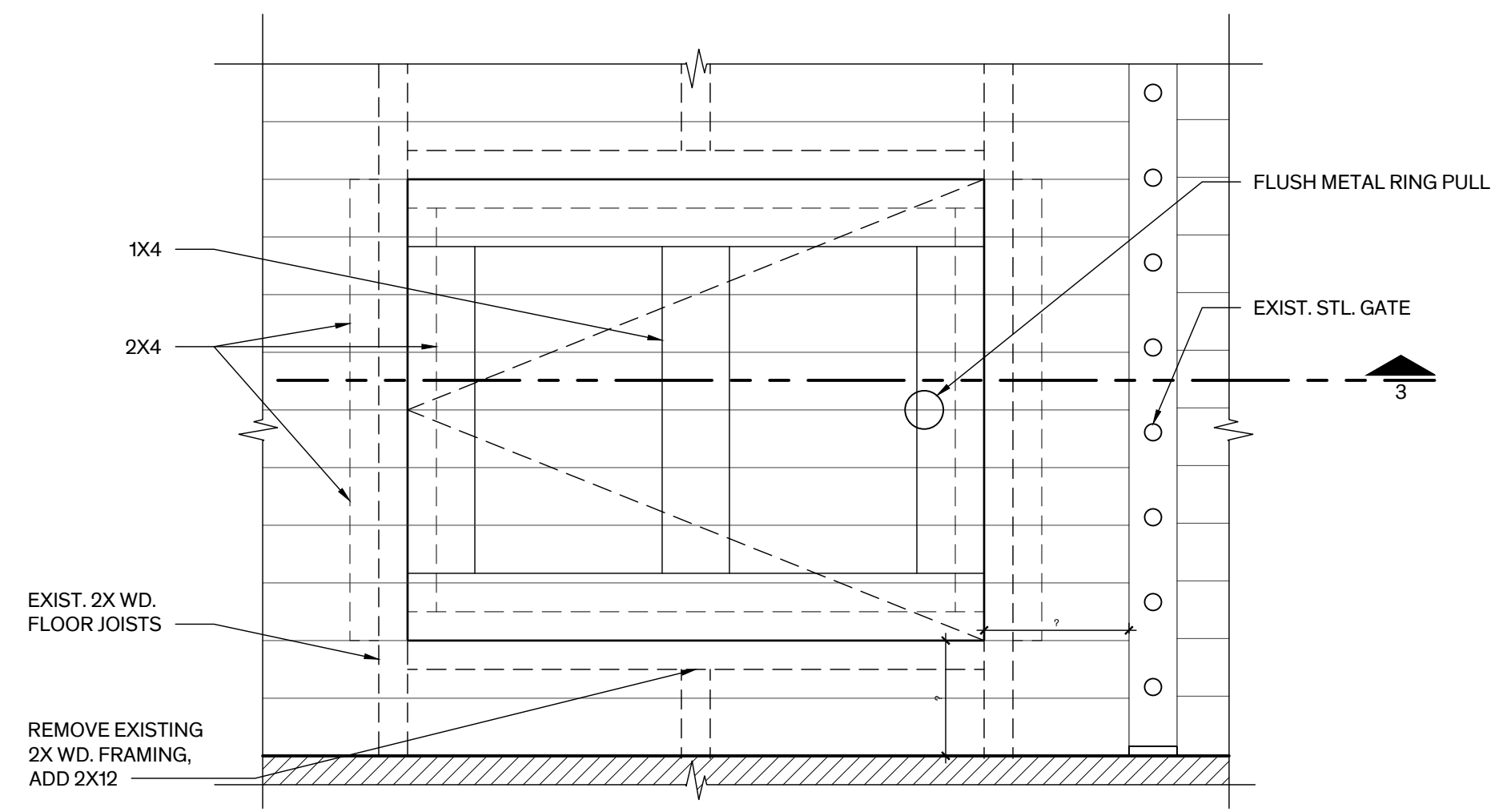
	NEW WALL / ELEMENT
	EXIST. WALLS TO REMAIN
	REPAIR HOLE IN WALL AT REMOVED MEP. MATCH EXIST. WALL CONSTRUCTION & FINISH
	REPLACE MISSING, POORLY PATCHED OR DAMAGED PLASTER FINISH
	NEW CONCRETE FLOOR ASSEMBLY, REF. STRUCT.
	SUPPLY GRILLE
	RETURN GRILLE
	WALL MOUNTED FIRE EXTINGUISHER
	RECESSED FIRE EXTINGUISHER CABINET
	DRINKING FOUNTAIN

SEAL
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SUSAN FROCHEUR, 5/30/23

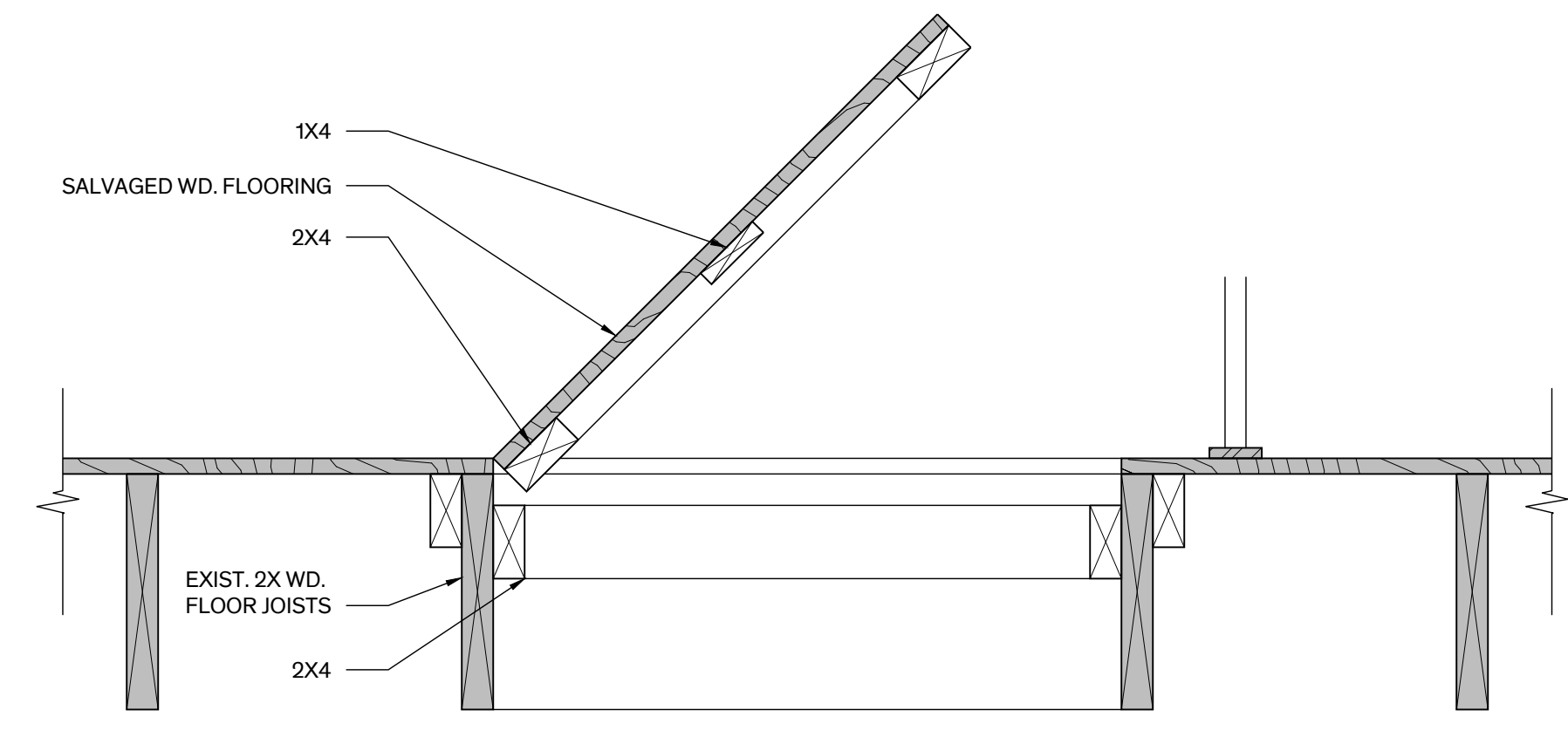
Architexas No. 2251
Date May 30th, 2023

Sheet Name
First & Second Floor Plans

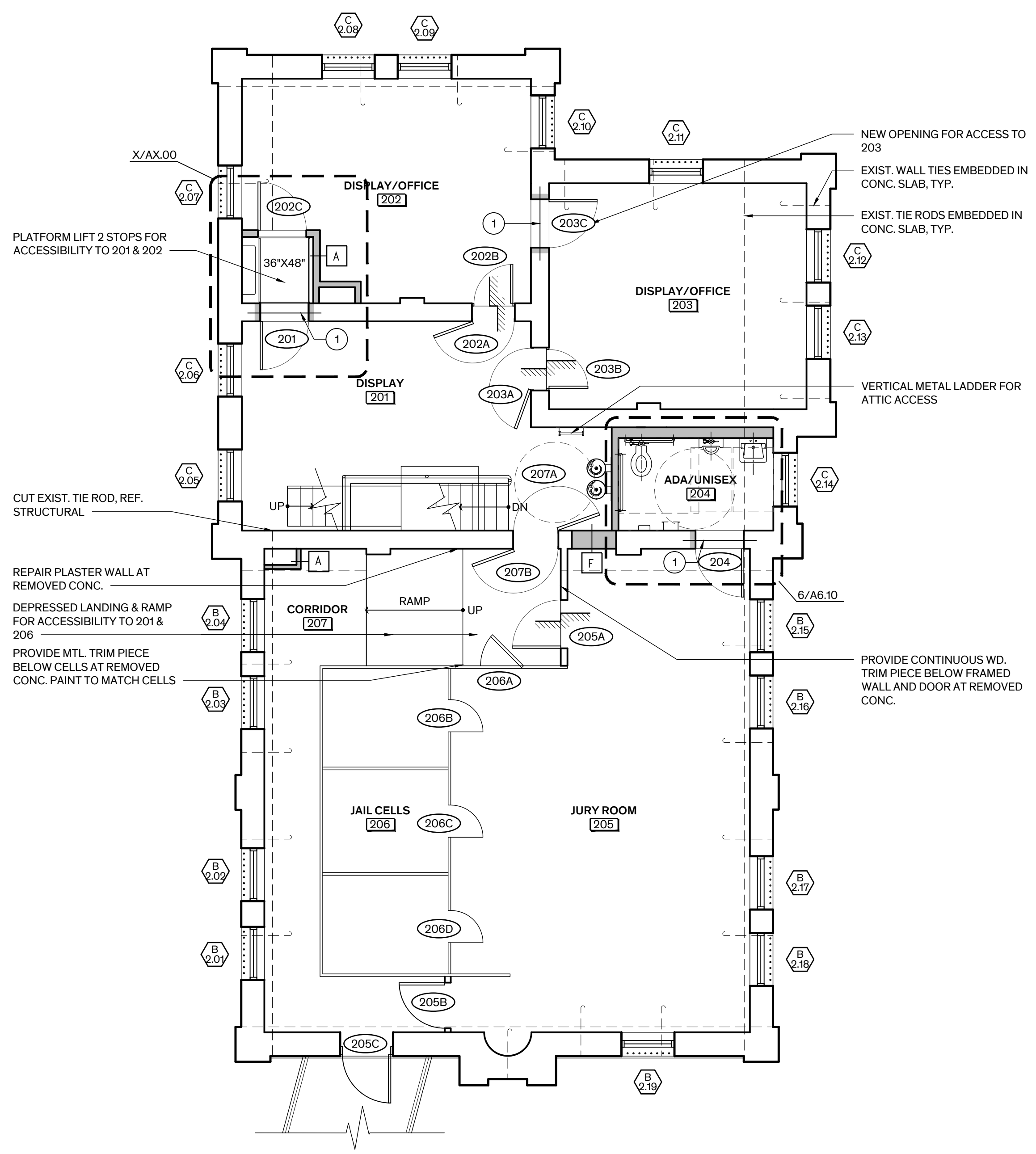
Sheet Number
A-2.01



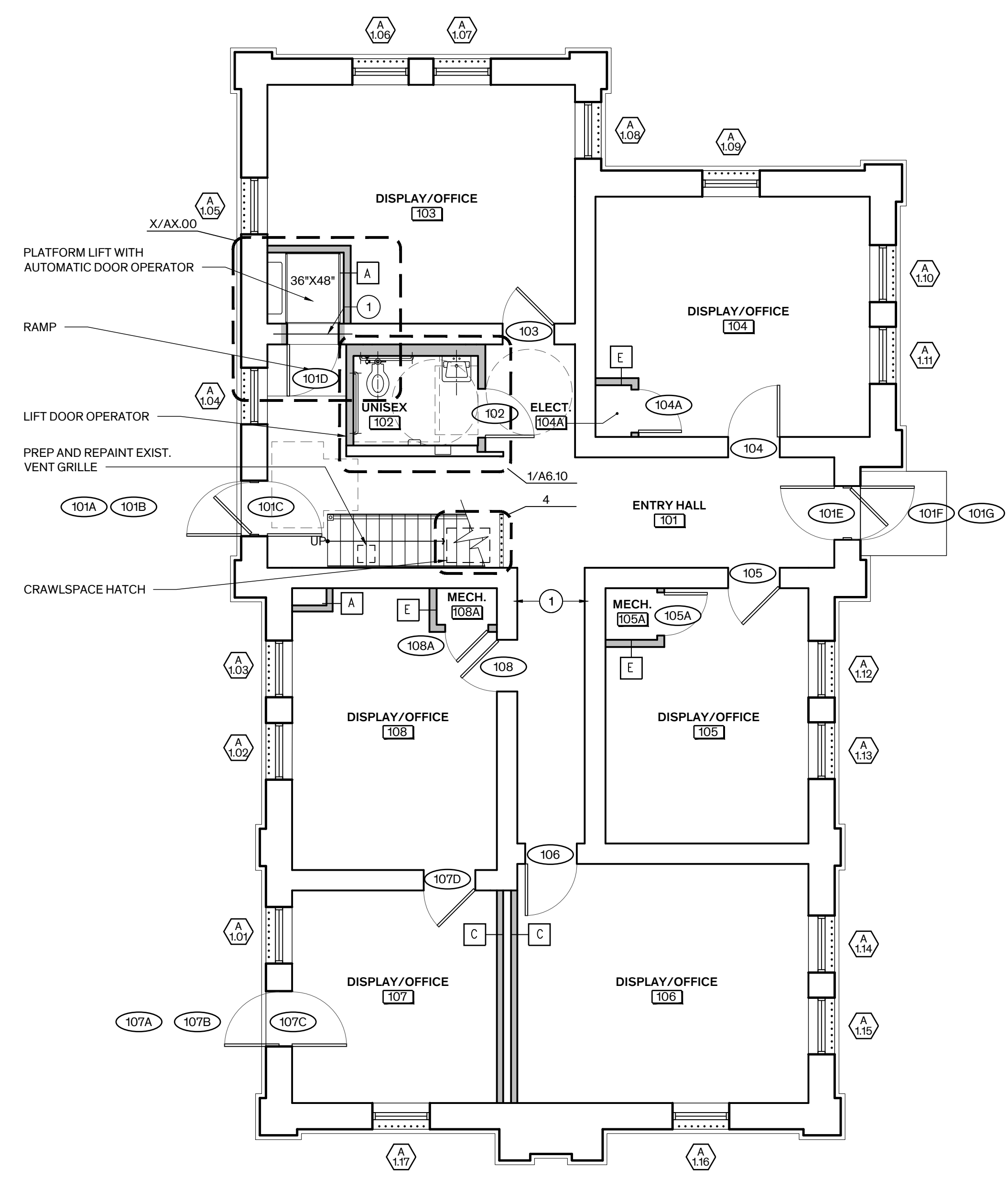
4 Crawspace Hatch Plan Detail
Scale: 1 1/2" = 1'-0"



3 Crawspace Hatch Section Detail
Scale: 1 1/2" = 1'-0"



2 Second Floor Plan
Scale: 3/16" = 1'-0"



1 First Floor Plan
Scale: 3/16" = 1'-0"

GENERAL NOTES - PLANS

- 1. DIMENSIONING AT WALLS: WALL DIMENSIONS ARE FINISHED FACE OF WALL TO FINISHED FACE OF WALL U.O.N.
- 2. MASONRY INFILL:
 - A. FILL OPENINGS AT ABANDONED MEP PENETRATIONS TO MATCH EXISTING CONSTRUCTION. FINISH WALLS & CEILINGS AS SCHEDULED TO PROVIDE A SEAMLESS TRANSITION BETWEEN EXISTING & NEW CONSTRUCTION.
- 3. EXISTING CONCRETE FLOOR & CEILING STRUCTURE: REPAIR HOLES THROUGH SLAB MATCH EXIST. CONSTRUCTION/ASSEMBLY.
- 4. STRUCTURAL STEEL (REFER TO STRUCTURAL):
 - A. PROVIDE LINTELS AT NEW OR MODIFIED OPENINGS IN BRICK MASONRY WALLS AT SCHEDULED DOOR OPENING OR MEP PENETRATIONS WHERE INDICATED.
 - B. RE-FRAME 2ND FLOOR OPENING AT NEW WHEELCHAIR PLATFORM LIFT.
- 5. ROUGH CARPENTRY (REFER TO STRUCTURAL):
 - A. 1ST FLOOR:
 - (1) SELECTIVELY REPAIR & REPLACE DETERIORATED FLOOR FRAMING. ASSUME 10% OF TOTAL FLOOR JOISTS REQUIRE REPAIR & 5% ARE BEYOND REPAIR & REQUIRE REPLACEMENT.
 - (2) REPLACE WOOD SILL PLATE 100%, PERIMETER & INTERIOR MASONRY WALLS.
 - (3) REPLACE FLOOR FRAMING BELOW EXIST. STAIR.
 - (4) RE-FRAME FLOOR OPENING AT NEW WHEELCHAIR PLATFORM LIFT.
 - B. ATTIC:
 - (1) SELECTIVELY REPLACE DETERIORATED WOOD SILL PLATE, ASSUME 10% OF TOTAL SILL PLATE.
 - (2) SELECTIVELY REINFORCE ROOF FRAMING AT LONGER SPANS WHERE INDICATED.
 - (3) MECHANICALLY FASTEN SILL PLATE TO MASONRY WALLS & PROVIDE HURRICANE TIES AT EACH ROOF RAFTER.
- 6. PARTITIONS:
 - A. REFER TO SHT. A-6.01 FOR PARTITION TYPES.
 - B. ALL WALL PARTITIONS SHALL BE TYPE "1" UNLESS OTHERWISE NOTED.
 - C. REPAIR HOLES IN EXIST. PARTITIONS SCHEDULED TO REMAIN. MATCH CONSTRUCTION & FINISH OF EXISTING WALL ASSEMBLY AS REQUIRED TO PROVIDE A SEAMLESS TRANSITION BETWEEN REPAIRED AREAS & ADJACENT SURFACES.
- 5. MILLWORK:
 - A. WOOD BASE: REFER TO ROOM FINISH SCHED., SHT. A6.01 FOR SCOPE OF WORK.
- 6. STAIR & LADDERS:
 - A. 1ST FLOOR: RE-SUPPORT & LEVEL ORIGINAL METAL STAIR IN-SITU EXTENDING FROM 1ST TO 2ND FLOOR. REF. STRUCTURAL. PROVIDE METAL HANDRAIL WITH METAL WALL BRACKETS AT WALL SIDE.
 - B. PROVIDE VERTICAL METAL LADDER FOR ATTIC ACCESS WHERE INDICATED.
- 7. DOORS: REFER TO DOOR SCHEDULE ON SHT. A-5.01 & DETAILED DOOR INVENTORY IN THE APPENDIX OF THE PROJECT MANUAL FOR SCOPE OF WORK.
- 8. WINDOWS: REFER TO WINDOW SCHEDULE ON SHT. A-5.10 FOR SCOPE OF WORK.
- 9. FINISHES: REFER TO ROOM FINISH SCHEDULE & GENERAL FINISH NOTES ON SHT. A-6.01 FOR SCOPE OF WORK. NOTE WILL BE INCLUDED IN DD SUBMISSION.
- 10. FLAT PLASTER WALL & CEILING RESTORATION: REFER TO ROOM FINISH SCHEDULE, SHT. A-6.01 FOR SCOPE OF WORK. NOTE WILL BE INCLUDED IN DD SUBMISSION.
- 11. FLOOR FINISH RESTORATION: REFER TO ROOM FINISH SCHEDULE, SHT. A-6.01 FOR SCOPE OF WORK. NOTE WILL BE INCLUDED IN DD SUBMISSION.
- 12. TOILET ACCESSORIES: REFER TO TOILET ACCESSORIES SCHEDULE ON SHT. A-6.10.
- 13. FIRE EXTINGUISHERS: PROVIDE RECESSED CABINETS & WALL MOUNTED FIRE EXTINGUISHERS WHERE SHOWN.
- 14. SIGNAGE: PROVIDE ROOM SIGNAGE TO COMPLY WITH TAS, REF. SPEC. SECT. 10425 - SIGNAGE.
- 15. INSULATION:
 - A. REFER TO WALL TYPES SHT. A-6.01 FOR INSULATION IN NEW WALLS.
 - B. ATTIC: PROVIDE THERMAL BATT INSULATION BETWEEN CEILING JOISTS. TYP.
- 16. LIFT: PROVIDE ADA COMPLIANT VERTICAL PLATFORM LIFT WITH CUSTOM METAL ENCLOSURE INCLUDING GATES FOR A COMPLETE SYSTEM. REINFORCE AND PROVIDE BLOCKING IN ADJACENT WALL / PARTITION FOR ATTACHMENT OF TOWER. REF. STRUCT. & MEP.
- 17. MECHANICAL CLOSETS: PROVIDE METAL FRAMED PLATFORMS / FLOOR ASSEMBLIES CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS FOR FAN COIL UNITS (FCU), REF. MEP.



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KEY NOTES

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FLOOR PLAN LEGEND

- NEW WALL / ELEMENT
- EXIST. WALLS TO REMAIN
- REPAIR HOLE IN WALL AT REMOVED MEP. MATCH EXIST. WALL CONSTRUCTION & FINISH
- REPLACE MISSING, POORLY PATCHED OR DAMAGED PLASTER FINISH
- NEW CONCRETE FLOOR ASSEMBLY, REF. STRUCT.
- SUPPLY GRILLE
- RETURN GRILLE
- WALL MOUNTED FIRE EXTINGUISHER
- RECESSED FIRE EXTINGUISHER CABINET
- DRINKING FOUNTAIN

SEAL

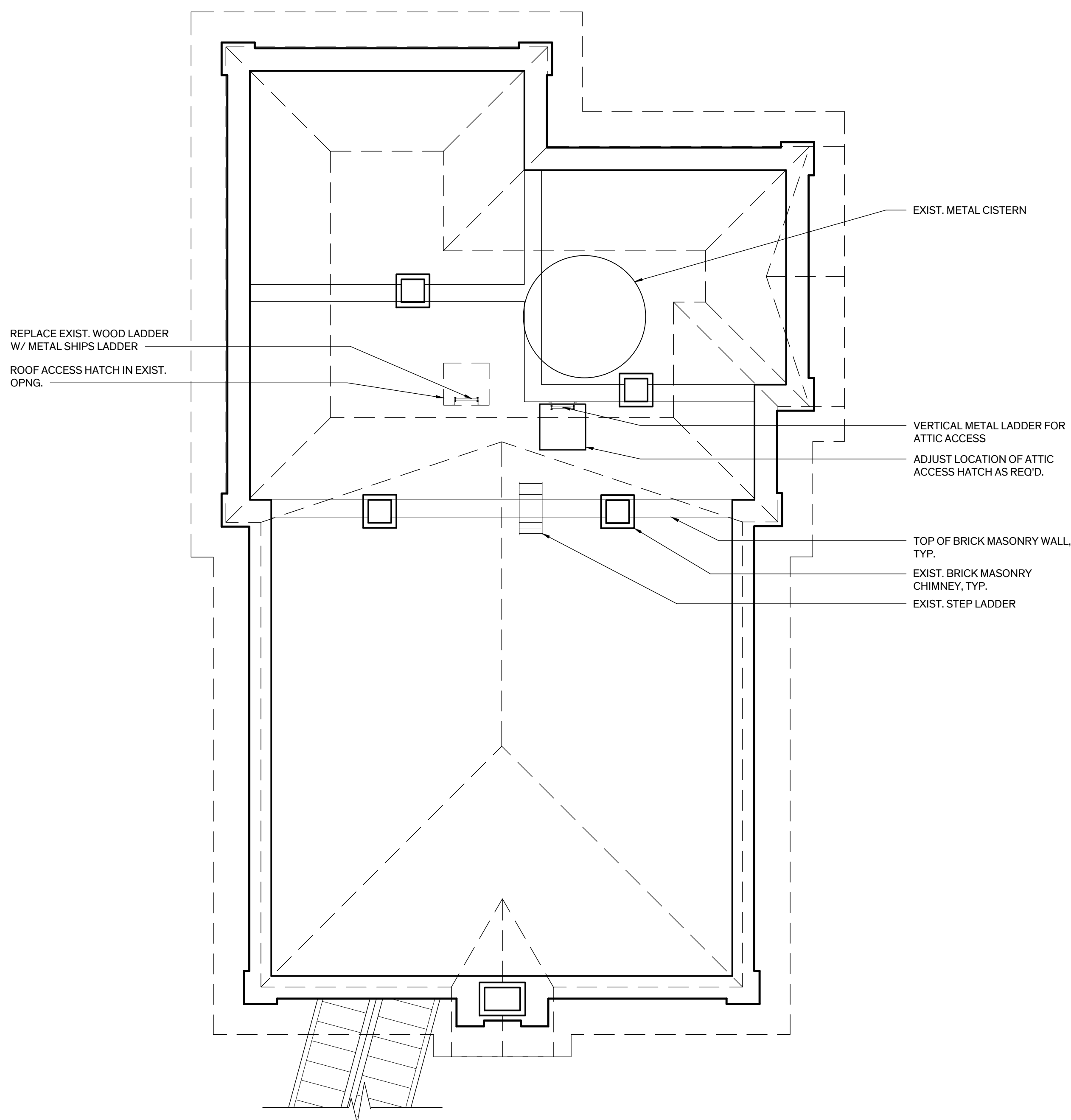
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Architexas No. 2251 Date May 30th, 2023

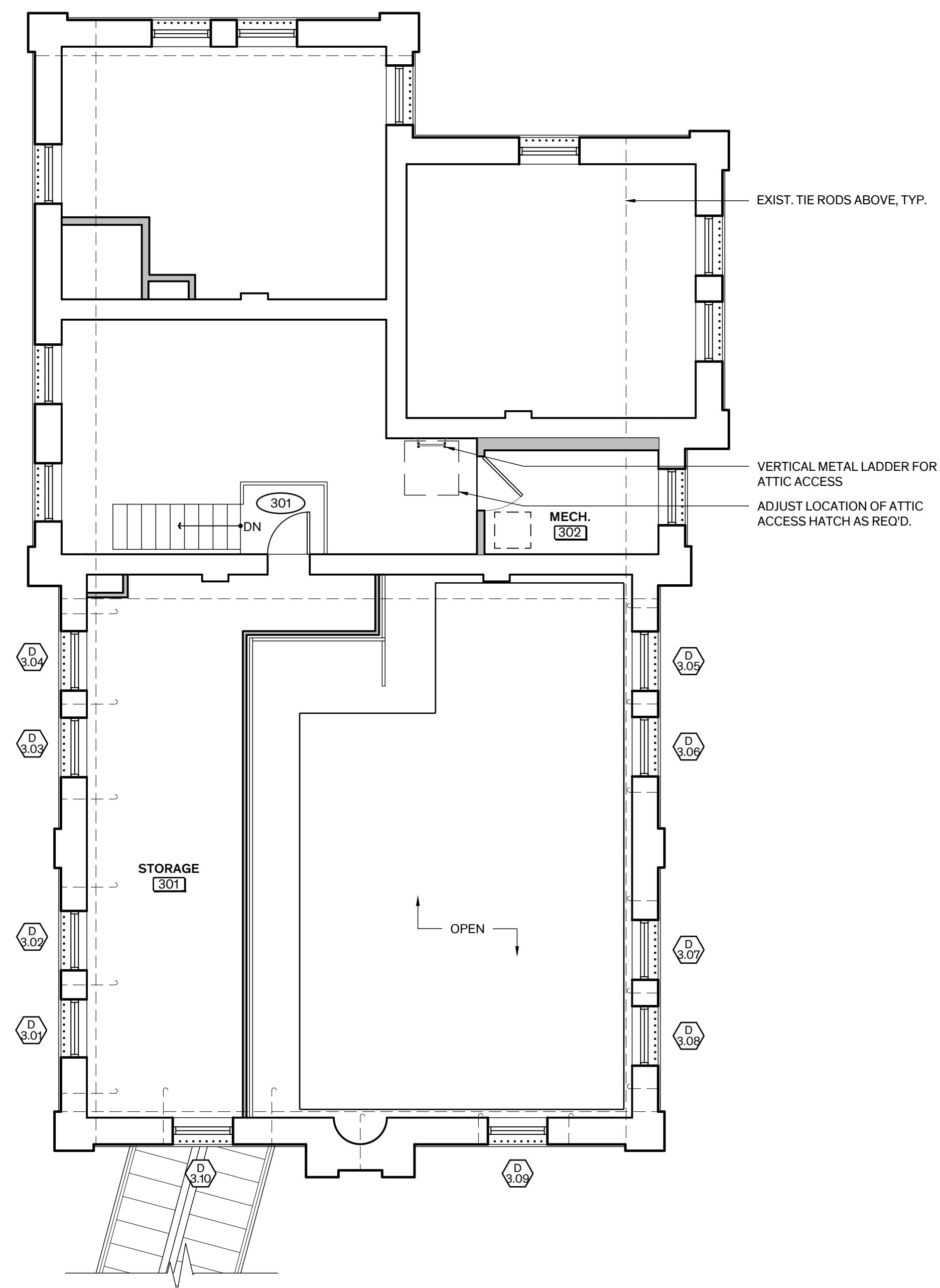
Sheet Name Mezzanine and Attic Plans

Sheet Number

A-2.02



2 Attic Plan
Scale: 3/16" = 1'-0"
TRUE NORTH



1 Mezzanine Plan
Scale: 3/16" = 1'-0"
TRUE NORTH

GENERAL NOTES-ROOF PLAN

- A. DEMOLITION:**
1. REMOVED EXIST. SHEET METAL ROOFING TO EXPOSE WOOD SUBSTRATE INCLUDING UNDERLAYMENT, FLAT SEAM & STANDING SEAM ROOFING, GUTTER LINER, & ASSOCIATED FLASHING ELEMENTS.
 2. REMOVE EXIST. ACCESS HATCH AT FLAT ROOF.
 3. REMOVE EXIST. SHT. MTL. DOWNSPOUTS, SALVAGE DOWNSPOUT STRAPS IN GOOD CONDITION FOR REUSE.
- B. ROOFING:**
1. PROVIDE SLATE ROOFING AT SLOPED MANSARD ROOF & HIPPED ROOFS INCLUDING UNDERLAYMENT & SHEET METAL FLASHING ELEMENTS AS REQ'D FOR A COMPLETE SYSTEM.
 2. PROVIDE FLAT SEAM SHEET METAL ROOFING AT FLAT AREAS OF MANSARD ROOF INCLUDING UNDERLAYMENT & SHEET METAL FLASHING ELEMENTS AS REQ'S FOR A COMPLETE SYSTEM.
 3. PROVIDE SHEET METAL GUTTER LINER AT PERIMETER OF ROOF INCLUDING UNDERLAYMENT. MODIFY SUBSTRATE AS REQ'D FOR PROPER SLOPE TO DOWNSPOUT LOCATIONS. CONNECT LINER TO SHEET METAL CORNICE SCHEDULED TO REMAIN. ISOLATE DISSIMILAR METALS AS REQ'D TO PREVENT GALVANIC CORROSION.
 4. REPAIR & OR REPLACE DAMAGED AREAS OF WOOD SUBSTRATE AT ROOF & CORNICE GUTTER, MATCH EXIST. TYPE & THICKNESS. ASSUME 5% OF TOTAL ROOF/GUTTER AREA SHALL BE REPLACED.
 5. REPLACE ROOF ACCESS HATCH IN EXIST. OPENING.
- C. CRESTING:** PROVIDE DECORATIVE ORNAMENTAL METAL CRESTING AT PERIMETER OF FLAT MANSARD ROOF INCLUDING METAL TIE BACKS, WOOD BLOCKING, & ASSOCIATED FLASHING AS REQ'D FOR COMPLETE SYSTEM.
- D. CHIMNEYS:**
1. REPOINT CHIMNEYS 100%
 2. PROVIDE SHEET METAL CRICKETS WHERE REQ'D BY CODE
 3. PROVIDE SHEET METAL BASE & COUNTER FLASHING AT ROOF PENETRATION
 4. PROVIDE SHEET METAL CAP AT ALL CHIMNEYS.
- E. LIGHTNING PROTECTION SYSTEM:** RESTORE & UPGRADE EXIST. LIGHTNING PROTECTION SYSTEM TO COMPLY WITH CURRENT CODES, REF. MEP.



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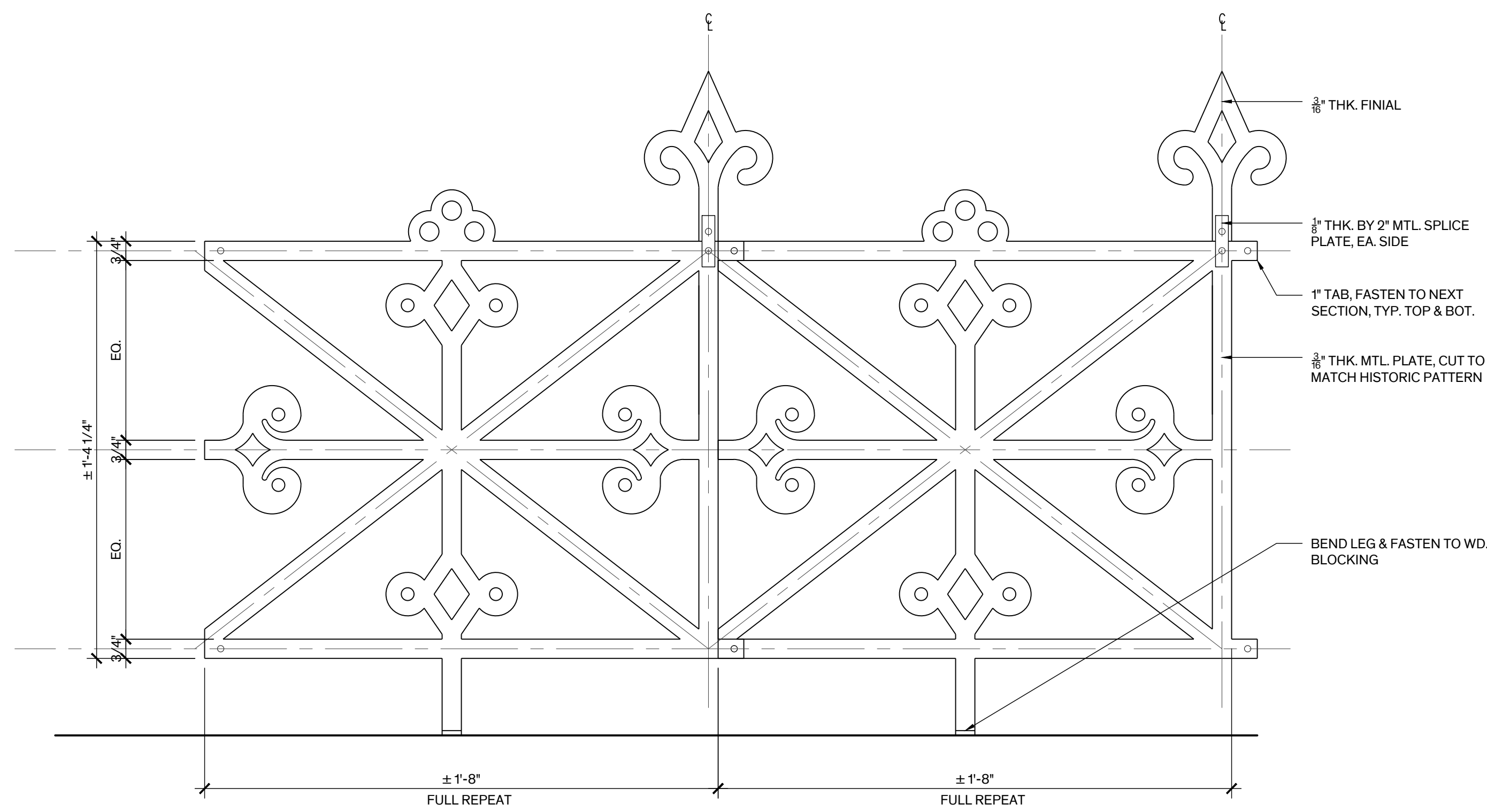
SEAL

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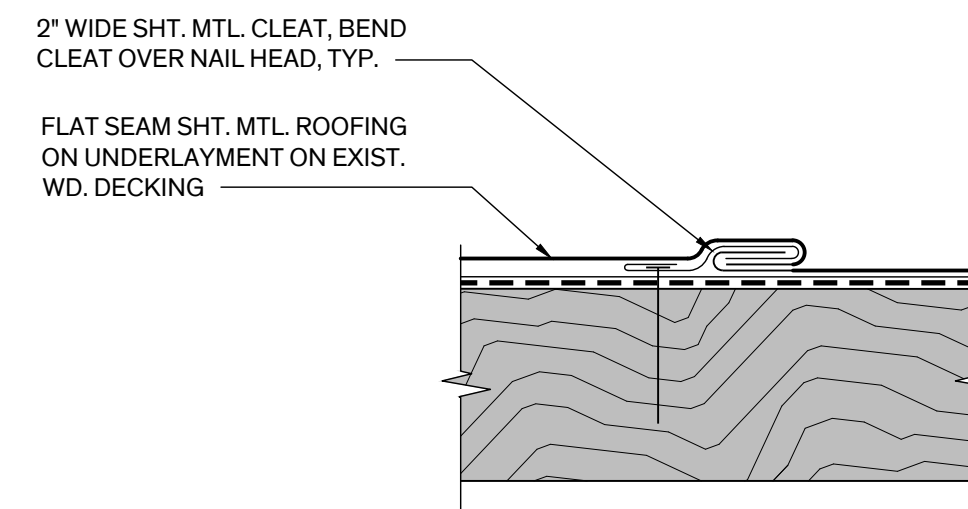
Architexas No. 2251 Date May 30th, 2023

Sheet Name
Roof Plan

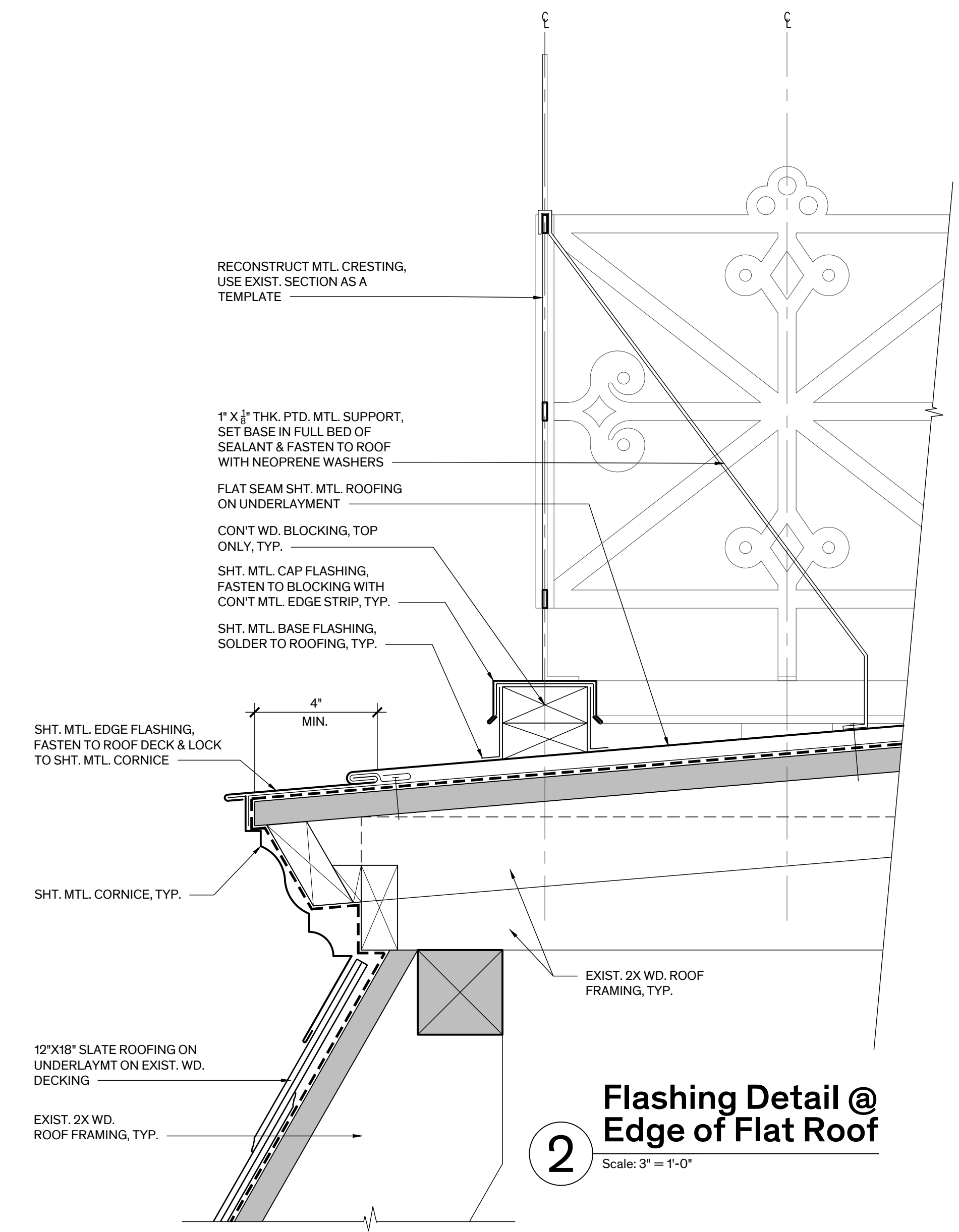
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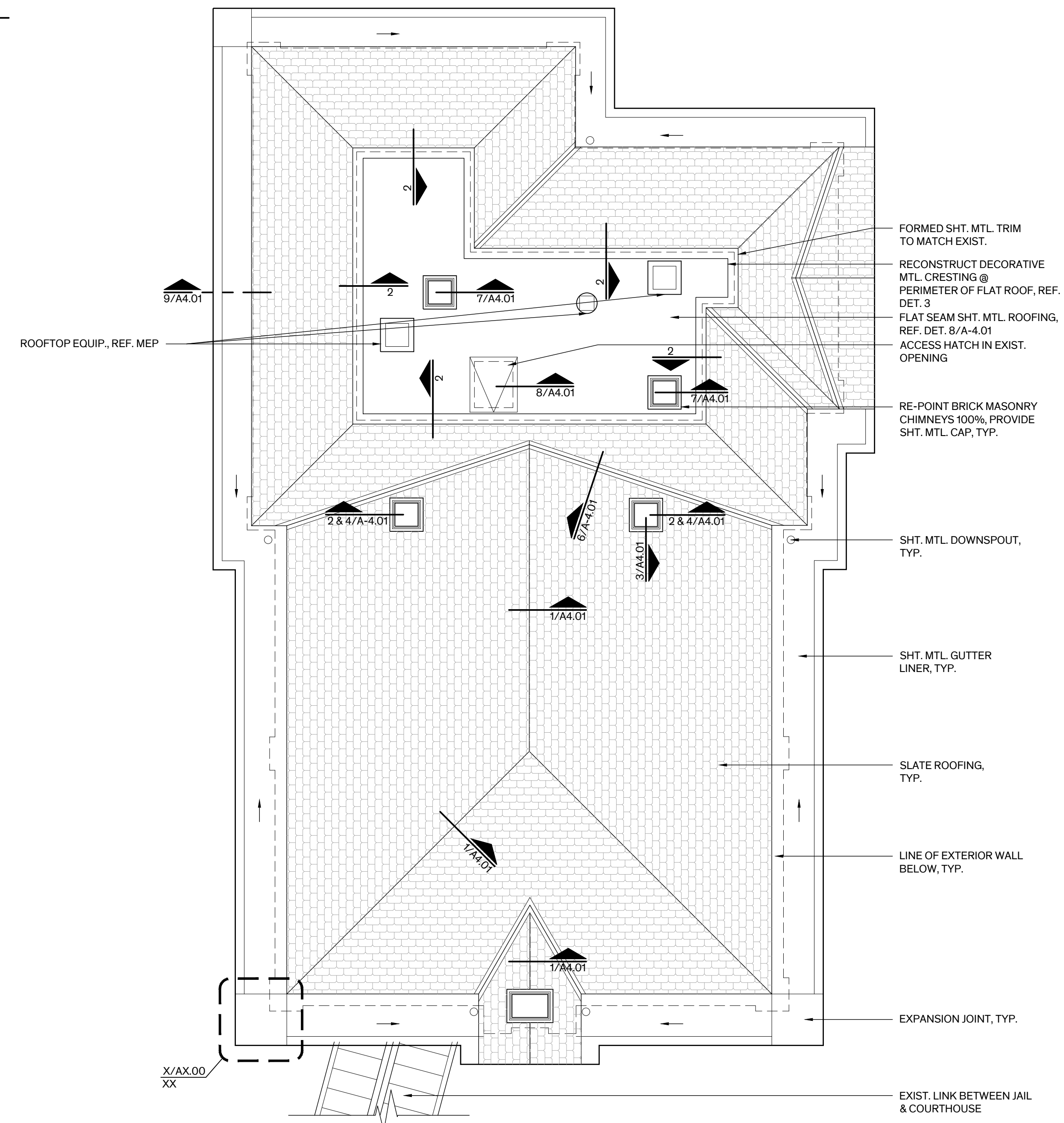
3 Roof Cresting Elevation
Scale: 3" = 1'-0"



4 Flat Seam Metal Roofing Detail, Typ.
Scale: 1" = 1"



2 Flashing Detail @ Edge of Flat Roof
Scale: 3" = 1'-0"



1 Roof Plan
Scale: 3/16" = 1'-0"

LEGEND

EXIST. CONSTRUCTION

ALTERNATES

REFER TO SPEC. SECTION 01230 - ALTERNATES FOR DETAILED DESCRIPTION OF WORK

ALTERNATE NO. 1: DELETE ROOFING WORK, INCLUDE THE FOLLOWING, SLATE ROOFING, FLAT SEAM SHEET METAL ROOFING, SHEET METAL GUTTER LINER, FLASHINGS & SHEET METAL TRIM ASSOCIATED WITH ROOFING, SHEET METAL CHIMNEY CAPS, DOWNSPOUTS, RECONSTRUCTION OF ROOF CRESTING, ROOF HATCH, & LIGHTNING PROTECTION.

ALTERNATE NO. 2: ROOFING MATERIAL OPTIONS:

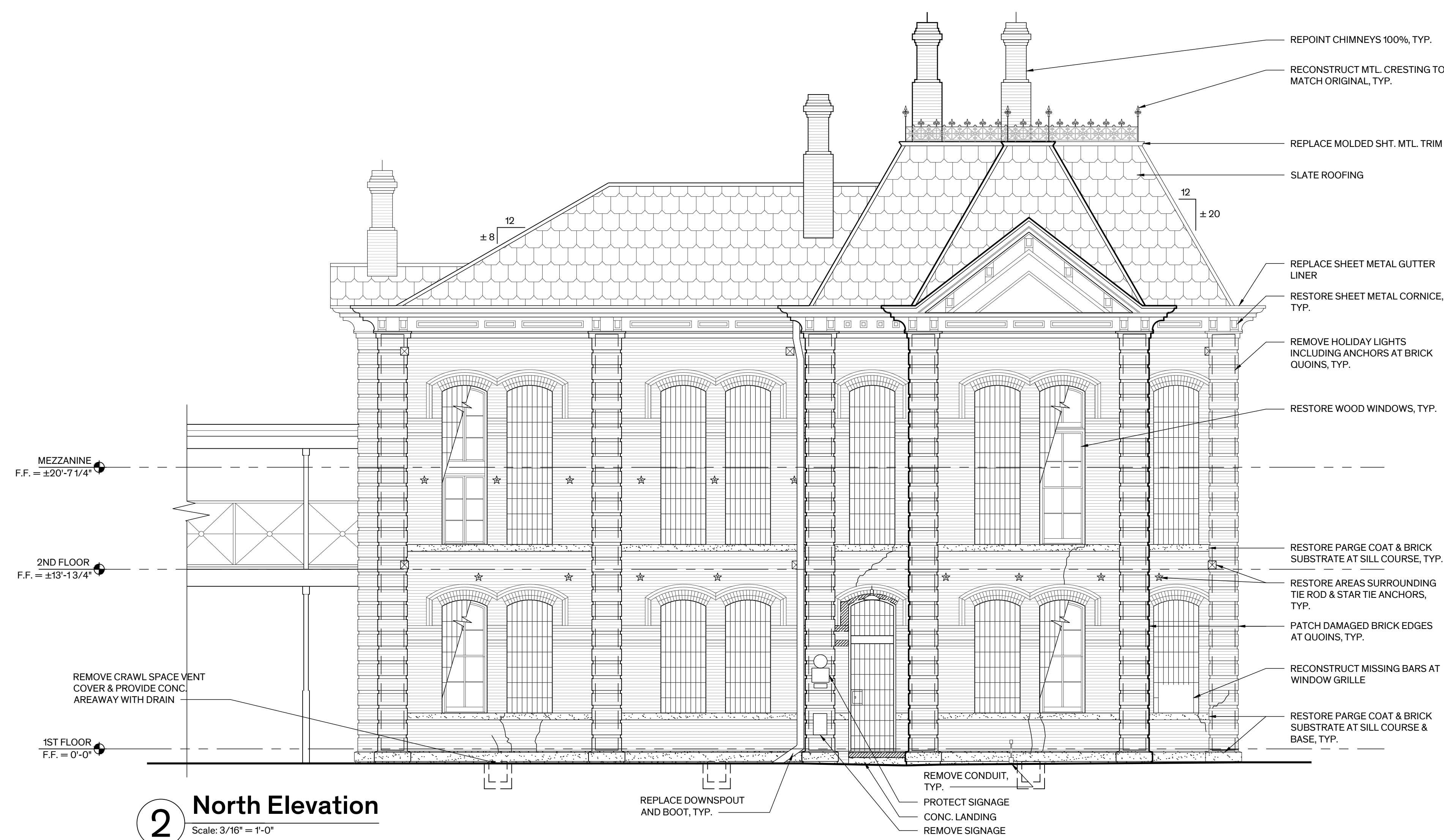
2A: IN LIEU OF SLATE ROOFING PROVIDE TERNE COATED COPPER STANDING SEAM ROOFING.

2B: IN LIEU OF SLATE ROOFING PROVIDE GALVANIZED SHEET STEEL STANDING SEAM ROOFING.

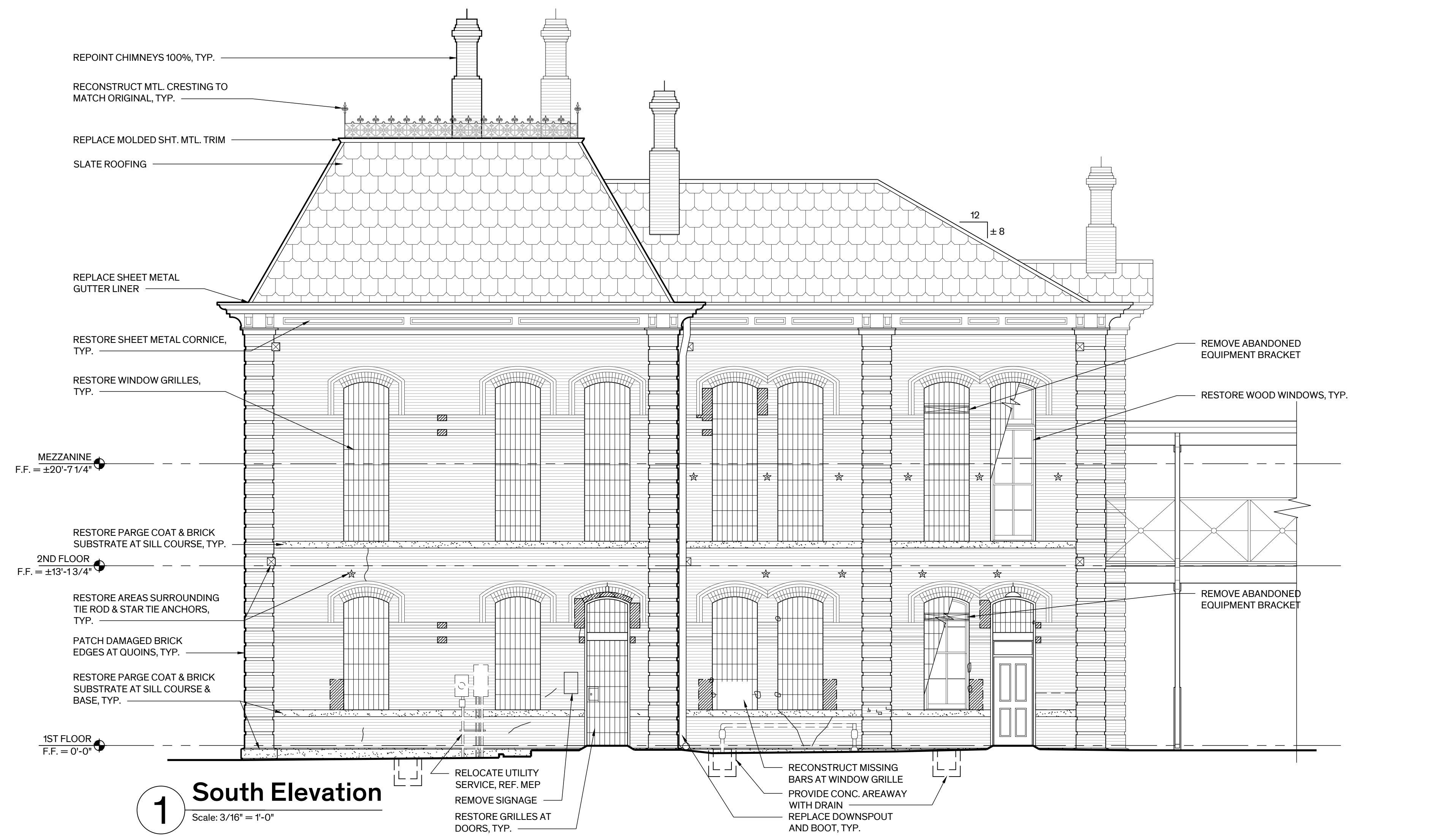
2C: IN LIEU OF SLATE ROOFING PROVIDE SYNTHETIC SLATE ROOFING, CENTENNIAL SLATE BY CERTAINTED OR APPROVED EQUAL.

GENERAL NOTES - EXIST. ELEV.

- MASONRY CLEANING:**
 - PRIOR TO CLEANING OF EXTERIOR, CLEAN & REMOVE DEBRIS (DIRT, BIRD DROPPING, ETC.) FROM EXTERIOR SURFACES INCLUDING, BUT NOT LIMITED TO, PARGED MASONRY, BRICK MASONRY, & CONCRETE STEPS AT ENTRY DOORS SCHEDULED TO REMAIN.
 - CLEAN BRICK MASONRY, PARGE COAT, & CONCRETE STEPS 100%.
- MASONRY RESTORATION:** SELECTIVELY REPAIR BRICK MASONRY WHERE INDICATED, SEE BELOW FOR DESCRIPTION OF WORK.
 - BRICK REPLACEMENT: CAREFULLY REMOVE CRACKED, DAMAGED, OR MISMATCHING BRICK UNIT(S) & REPLACE WITH NEW OR SALVAGED UNIT(S) TO MATCH EXIST. IN SIZE, COLOR, & SURFACE TEXTURE/FINISH. DO NOT DAMAGE ADJACENT UNITS. TOOTH-IN REPLACEMENT UNITS TO MATCH ADJACENT JOINTING & BONDING PATTERN. SET UNITS IN FULL SETTING BED & REPOINT WITH APPROVED MORTAR. CRACKED OR DAMAGED UNITS WITHIN THE HEADER COURSES ARE TO REMAIN UNLESS THEY OCCUR AT CORNERS.
 - SELECTIVE BRICK REPLACEMENT: REPLACE BRICK UNITS WITH MAJOR SURFACE SPALLING OR FAILING & OR INCOMPATIBLE PATCHING MATERIAL MORE THAN 25% OF FACE SURFACE AREA MISSING. ALLOW REPLACEMENT OF 50 UNITS.
 - PARGING RESTORATION: RESTORE PARGE COAT 100% AT BASE & FIRST & SECOND FLOOR SILL COURSES. REMOVE LOOSE & OR UNSOUND CEMENT PARGING FROM BRICK SUBSTRATE. RESET OR REPLACE LOOSE, MISSING, OR DAMAGED BRICK SUBSTRATE. REPOINT CRACKED, DAMAGED, OR OPEN JOINTS. TOOL BRICK SUBSTRATE FOR PROPER KEY & RESTORE PARGE COAT AS SPECIFIED TO MATCH ORIGINAL PROFILE AND FINISH.
 - PATCH DAMAGED EDGES OF BRICK UNITS AT BRICK QUIUNS, TYPICAL AT LOWER OUTSIDE CORNERS. PATCH AREAS OF DAMAGE LARGER THAN 1", ASSUME 50 LOCATIONS.
 - RESTORE AREAS SURROUNDING TIE ROD & STAR TIE ANCHORS. REMOVE PREVIOUS INCOMPATIBLE PATCHING MATERIAL & REPLACE WITH APPROVED PATCHING MORTAR TO MATCH ADJACENT BRICK. REPLACE ANY BRICK UNITS WITH MAJOR SURFACE SPALLING, MORE THAN 25% OF SURFACE AREA MISSING.
- MASONRY MORTAR JOINTS:** REPOINT BRICK MASONRY JOINTS 100%. INCLUDE CHIMNEYS, & EXPOSED BRICK MASONRY WALLS (PERIMETER & INTERIOR) WITHIN THE CRAWL SPACE.
- REMOVAL OF FASTENERS:** REMOVE MISCELLANEOUS ABANDONED FASTENERS, BOLTS, CLAMPS, MECHANICAL EQUIPMENT BRACKETS, & HOLIDAY LIGHTING, ETC., ON THE EXTERIOR OF THE BUILDING THAT ARE ATTACHED OR EMBEDDED IN EXISTING MATERIALS & ARE NOT BEING USED TO FASTEN ELEMENTS TO REMAIN. PATCH HOLES AT REMOVED FASTENERS OR BRACKETS TO MATCH ADJACENT SURFACES. PROVIDE BRICK PATCH REPAIR OR REPLACE BRICK WHERE DAMAGE EXTENDS BEYOND FASTENER HOLE.
- DOWNSPOUTS:**
 - REPLACE SHEET METAL DOWNSPOUTS 100%. PROVIDE BOOTS & CONNECT TO SUBSURFACE DRAINAGE SYSTEM. REVIEW LOCATIONS WITH ROOF DRAINAGE PLAN. MASONRY DETERIORATION PATTERNS SUGGEST DOWNSPOUTS HAVE BEEN RELOCATED FROM HISTORIC POSITION.
 - PROVIDE OR REUSE SALVAGED DOWNSPOUT STRAPS, MATCH EXIST. TWO-PIECE TYPE. FASTEN STRAPS TO MASONRY AT JOINTS. DO NOT ANCHOR INTO BRICK UNITS.
- ORNAMENTAL SHEET METAL:** RESTORE EXISTING SHEET METAL CORNICE.
 - RE-SET LOOSE OR RAISED FASTENERS. REPLACE MISSING OR NON-COMPATIBLE FASTENERS WITH STAINLESS STEEL FASTENERS.
 - REPAIR SMALL FASTENER HOLES WITH SEALANT. REPAIR LARGER HOLES (MAX. 3-INCHES) WITH SHEET METAL PATCH REPAIR.
 - ADJUST SHEET METAL INTO ITS ORIGINAL POSITION WHERE MISALIGNED, SEVERELY DEFORMED, SEVERELY DENTED, LOOSE, OR DISLODGED. RE-SECURE SHEET METAL WHERE NECESSARY.
 - CLOSE OPEN JOINTS WITH RIVETS & SOLDER. WHERE NOT POSSIBLE TO SOLDER USE ADHESIVE TYPE SEALANT SPECIFIED.
 - REPLACE MISSING OR DAMAGED ELEMENTS WHERE NOTED ON THE DRAWINGS.
- ROOF:** REFER TO SHT. D2.10 & A2.10 FOR EXTENT OF ROOFING WORK.
- DOOR & WINDOW GRILLES & GATES:**
 - RESTORE METAL DOOR GATES & TRANSOM GRILLES 100%, REFER TO SHT. A5.01 FOR EXTENT OF WORK. NOTE DOOR SURVEY WILL BE INCLUDED IN DD SUBMISSION.
 - RESTORE METAL WINDOW GRILLES 100%. REFER TO SHT. A5.10 FOR EXTENT OF WORK. NOTE WINDOW SURVEY WILL BE INCLUDED IN DD SUBMISSION.
 - REPLACE DAMAGED, CRACKED, OR MISSING BRICK, & RESET DISPLACED BRICK ADJACENT TO EMBEDDED PLATES. NOTCH REPLACEMENT BRICK AS REQ'D TO ACCOMMODATE EMBEDDED PLATE DIMENSION.
- DOORS & WINDOWS:**
 - REFER DOOR SCHEDULE ON SHEET A-5.10 FOR SCOPE OF WORK. NOTE DOOR SURVEY WILL BE INCLUDED IN DD SUBMISSION.
 - RESTORE WOOD WINDOWS 100%. REFER TO WINDOW SCHEDULE ON SHEET A-5.10 FOR SCOPE OF WORK. NOTE WINDOW SURVEY WILL BE INCLUDED IN DD SUBMISSION.
- CRAWL SPACE VENTS & COVERS:** REMOVE METAL VENT COVERS & PROVIDE CONCRETE AREAWAYS WITH PERIMETER CONCRETE MOW STRIP WITH METAL GRATE COVERING. ADD AREAWAYS AT SOUTH ELEVATION FOR CROSS VENTILATION. COORDINATE LOCATIONS WITH MEP.
- SEALANT:** PROVIDE/REPLACE SEALANT AT PERIMETER OF DOOR & WINDOW OPENINGS, PENETRATIONS, BETWEEN DISSIMILAR MATERIALS, & OTHER LOCATIONS AS INDICATED.
- PAINTING:**
 - WOOD WINDOW ASSEMBLIES
 - METAL DOOR ASSEMBLIES
 - METAL DOOR & WINDOW GRILLE & GATE ASSEMBLIES INCLUDING TRANSOMS
 - CEMENT PARGE COAT
 - SHEET METAL WHERE EXPOSED TO VIEW
 - TIE RODS & TIE ROD ANCHOR PLATES
- MEP:**
 - REMOVE EXIST. MEP EQUIPMENT & DISTRIBUTION SYSTEMS ATTACHED TO THE EXTERIOR OF THE BUILDING UNLESS OTHERWISE NOTED, REF. MEP.



2 North Elevation
Scale: 3/16" = 1'-0"



1 South Elevation
Scale: 3/16" = 1'-0"



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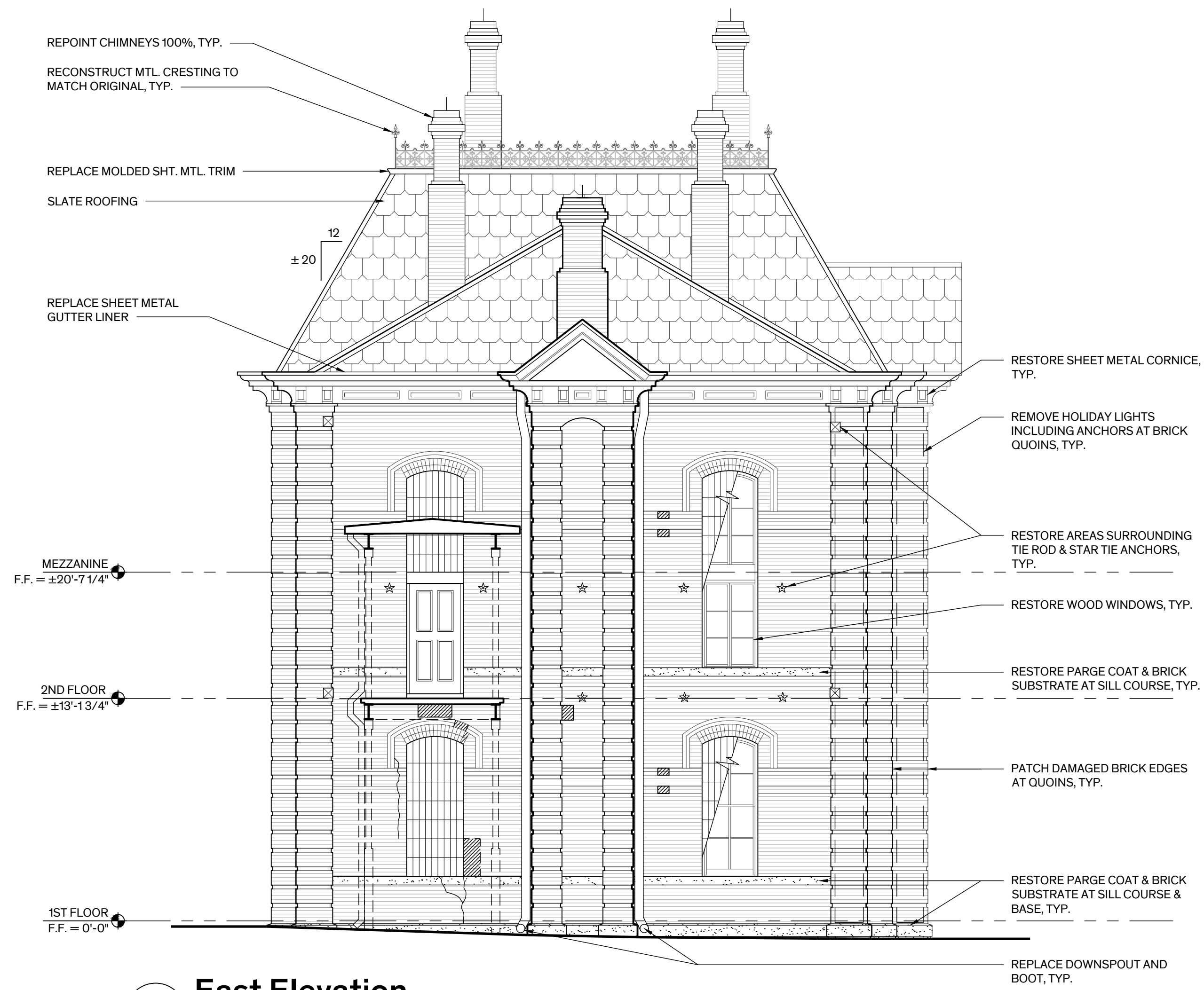
Architexas No. 2251 Date May 30th, 2023

Sheet Name North & South Elevations

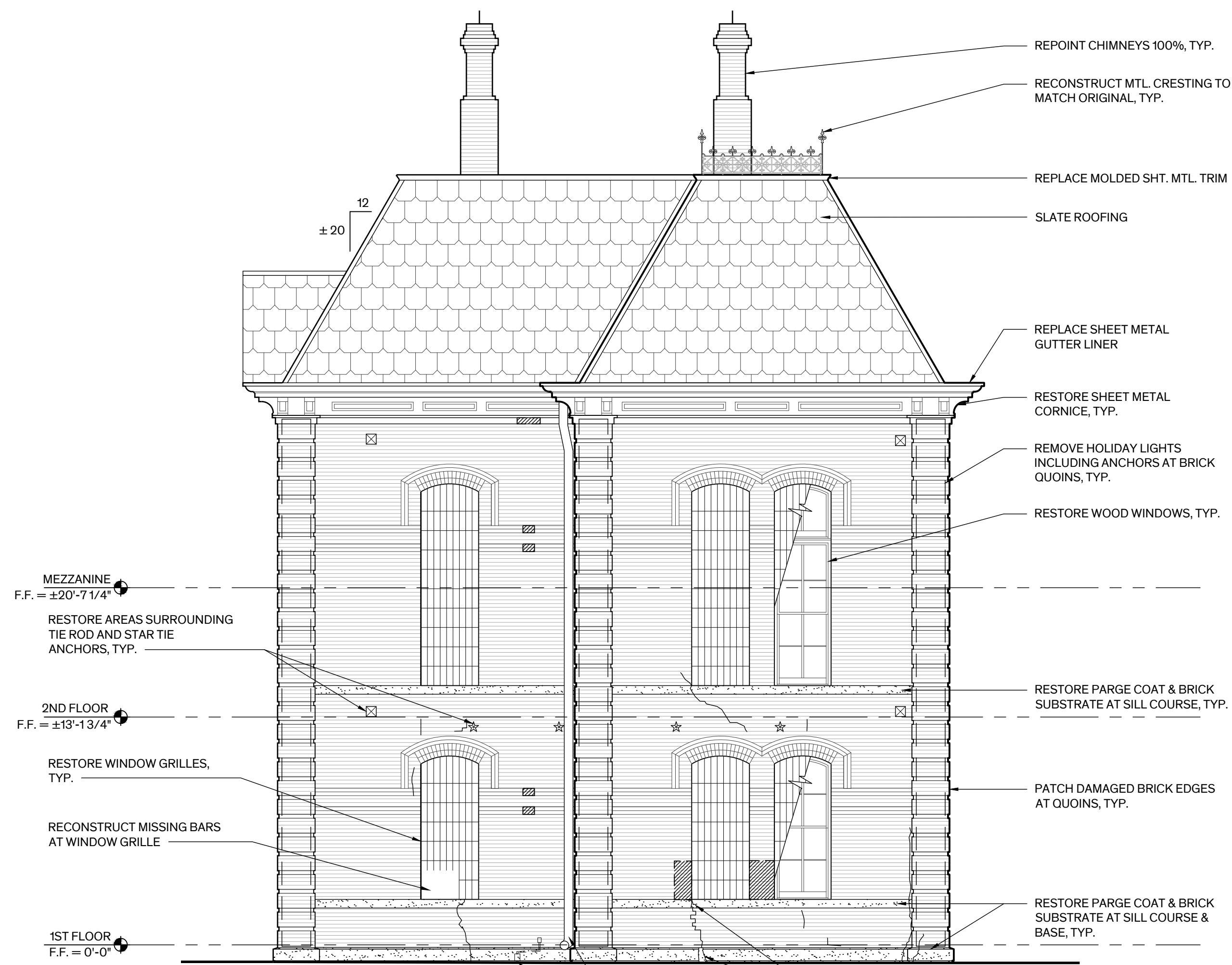
Sheet Number A-3.01

LEGEND

- BRICK REPLACEMENT
- RESTORE PARGE COAT & BRICK SUBSTRATE
- REPAIR CRACK
- HOLIDAY LIGHTS & ANCHORS TO BE REMOVED



2 East Elevation
Scale: 3/16" = 1'-0"



1 West Elevation
Scale: 3/16" = 1'-0"

GENERAL NOTES - EXIST. ELEV.

- 1. MASONRY CLEANING:**
 - A. PRIOR TO CLEANING OF EXTERIOR, CLEAN & REMOVE DEBRIS (DIRT, BIRD DROPPING, ETC...) FROM EXTERIOR SURFACES INCLUDING, BUT NOT LIMITED TO, PARGED MASONRY, BRICK MASONRY, & CONCRETE STEPS AT ENTRY DOORS SCHEDULED TO REMAIN.
 - B. CLEAN BRICK MASONRY, PARGE COAT, & CONCRETE STEPS 100%.
- 2. MASONRY RESTORATION:** SELECTIVELY REPAIR BRICK MASONRY WHERE INDICATED, SEE BELOW FOR DESCRIPTION OF WORK.
 - A. BRICK REPLACEMENT: CAREFULLY REMOVE CRACKED, DAMAGED, OR MISMATCHING BRICK UNIT(S) & REPLACE WITH NEW OR SALVAGED UNIT(S) TO MATCH EXIST. IN SIZE, COLOR, & SURFACE TEXTURE/FINISH. DO NOT DAMAGE ADJACENT UNITS. TOOTH-IN REPLACEMENT UNITS TO MATCH ADJACENT JOINTING & BONDING PATTERN. SET UNITS IN FULL SETTING BED & REPOINT WITH APPROVED MORTAR. CRACKED OR DAMAGED UNITS WITHIN THE HEADER COURSES ARE TO REMAIN UNLESS THEY OCCUR AT CORNERS.
 - B. SELECTIVE BRICK REPLACEMENT: REPLACE BRICK UNITS WITH MAJOR SURFACE SPALLING OR FAILING & OR INCOMPATIBLE PATCHING MATERIAL MORE THAN 25% OF FACE SURFACE AREA MISSING. ALLOW REPLACEMENT OF 50 UNITS.
 - C. PARGING RESTORATION: RESTORE PARGE COAT 100% AT BASE & FIRST & SECOND FLOOR SILL COURSES. REMOVE LOOSE & OR UNSOUND CEMENT PARGING FROM BRICK SUBSTRATE. RESET OR REPLACE LOOSE, MISSING, OR DAMAGED BRICK SUBSTRATE. REPOINT CRACKED, DAMAGED, OR OPEN JOINTS. TOOL BRICK SUBSTRATE FOR PROPER KEY & RESTORE PARGE COAT AS SPECIFIED TO MATCH ORIGINAL PROFILE AND FINISH.
 - D. PATCH DAMAGED EDGES OF BRICK UNITS AT BRICK QUOINS, TYPICAL AT LOWER OUTSIDE CORNERS. PATCH AREAS OF DAMAGE LARGER THAN 1", ASSUME 50 LOCATIONS.
 - E. RESTORE AREAS SURROUNDING TIE ROD & STAR TIE ANCHORS. REMOVE PREVIOUS INCOMPATIBLE PATCHING MATERIAL & REPLACE WITH APPROVED PATCHING MORTAR TO MATCH ADJACENT BRICK. REPLACE ANY BRICK UNITS WITH MAJOR SURFACE SPALLING, MORE THAN 25% OF SURFACE AREA MISSING.
- 3. MASONRY MORTAR JOINTS:** REPOINT BRICK MASONRY JOINTS 100%. INCLUDE CHIMNEYS, & EXPOSED BRICK MASONRY WALLS (PERIMETER & INTERIOR) WITHIN THE CRAWL SPACE.
- 4. REMOVAL OF FASTENERS:** REMOVE MISCELLANEOUS ABANDONED FASTENERS, BOLTS, CLAMPS, MECHANICAL EQUIPMENT BRACKETS, & HOLIDAY LIGHTING, ETC... ON THE EXTERIOR OF THE BUILDING THAT ARE ATTACHED OR EMBEDDED IN EXISTING MATERIALS & ARE NOT BEING USED TO FASTEN ELEMENTS TO REMAIN. PATCH HOLES AT REMOVED FASTENERS OR BRACKETS TO MATCH ADJACENT SURFACES. PROVIDE BRICK PATCH REPAIR OR REPLACE BRICK WHERE DAMAGE EXTENDS BEYOND FASTENER HOLE.
- 5. DOWNSPOUTS:**
 - A. REPLACE SHEET METAL DOWNSPOUTS 100%. PROVIDE BOOTS & CONNECT TO SUBSURFACE DRAINAGE SYSTEM. REVIEW LOCATIONS WITH ROOF DRAINAGE PLAN. MASONRY DEGRADATION PATTERNS SUGGEST DOWNSPOUTS HAVE BEEN RELOCATED FROM HISTORIC POSITION.
 - B. PROVIDE OR REUSE SALVAGED DOWNSPOUT STRAPS, MATCH EXIST. TWO-PIECE TYPE. FASTEN STRAPS TO MASONRY AT JOINTS. DO NOT ANCHOR INTO BRICK UNITS.
- 6. ORNAMENTAL SHEET METAL:** RESTORE EXISTING SHEET METAL CORNICE.
 - A. RE-SET LOOSE OR RAISED FASTENERS. REPLACE MISSING OR NON-COMPATIBLE FASTENERS WITH STAINLESS STEEL FASTENERS.
 - B. REPAIR SMALL FASTENER HOLES WITH SEALANT. REPAIR LARGER HOLES (MAX. 3-INCHES) WITH SHEET METAL PATCH REPAIR.
 - C. ADJUST SHEET METAL INTO ITS ORIGINAL POSITION WHERE MISALIGNED, SEVERELY DEFORMED, SEVERELY DENTED, LOOSE, OR DISLODGED. RE-SECURE SHEET METAL WHERE NECESSARY.
 - D. CLOSE OPEN JOINTS WITH RIVETS & SOLDER. WHERE NOT POSSIBLE TO SOLDER USE ADHESIVE TYPE SEALANT SPECIFIED.
 - E. REPLACE MISSING OR DAMAGED ELEMENTS WHERE NOTED ON THE DRAWINGS.
- 7. ROOF:** REFER TO SHT. D2.10 & A2.10 FOR EXTENT OF ROOFING WORK.
- 8. DOOR & WINDOW GRILLES & GATES:**
 - A. RESTORE METAL DOOR GATES & TRANSOM GRILLES 100%. REFER TO SHT. A5.01 FOR EXTENT OF WORK. NOTE DOOR SURVEY WILL BE INCLUDED IN DD SUBMISSION.
 - B. RESTORE METAL WINDOW GRILLES 100%. REFER TO SHT. A5.10 FOR EXTENT OF WORK. NOTE WINDOW SURVEY WILL BE INCLUDED IN DD SUBMISSION.
 - C. REPLACE DAMAGED, CRACKED, OR MISSING BRICK, & RESET DISPLACED BRICK ADJACENT TO EMBEDDED PLATES. NOTCH REPLACEMENT BRICK AS REQ'D TO ACCOMMODATE EMBEDDED PLATE DIMENSION.
- 9. DOORS & WINDOWS:**
 - A. REFER DOOR SCHEDULE ON SHEET A-5.10 FOR SCOPE OF WORK. NOTE DOOR SURVEY WILL BE INCLUDED IN DD SUBMISSION.
 - B. RESTORE WOOD WINDOWS 100%. REFER TO WINDOW SCHEDULE ON SHEET A-5.10 FOR SCOPE OF WORK. NOTE WINDOW SURVEY WILL BE INCLUDED IN DD SUBMISSION.
- 10. CRAWL SPACE VENTS & COVERS:** REMOVE METAL VENT COVERS & PROVIDE CONCRETE AREAWAYS WITH PERIMETER CONCRETE MOW STRIP WITH METAL GRATE COVERING. ADD AREAWAYS AT SOUTH ELEVATION FOR CROSS VENTILATION. COORDINATE LOCATIONS WITH MEP.
- 11. SEALANT:** PROVIDE/ REPLACE SEALANT AT PERIMETER OF DOOR & WINDOW OPENINGS, PENETRATIONS, BETWEEN DISSIMILAR MATERIALS, & OTHER LOCATIONS AS INDICATED.
- 12. PAINTING:**
 - A. WOOD WINDOW ASSEMBLIES
 - B. METAL DOOR ASSEMBLIES
 - C. METAL DOOR & WINDOW GRILLE & GATE ASSEMBLIES INCLUDING TRANSOMS
 - D. CEMENT PARGE COAT
 - E. SHEET METAL WHERE EXPOSED TO VIEW
 - F. TIE RODS & TIE ROD ANCHOR PLATES
- 13. MEP:**
 - A. REMOVE EXIST. MEP EQUIPMENT & DISTRIBUTION SYSTEMS ATTACHED TO THE EXTERIOR OF THE BUILDING UNLESS OTHERWISE NOTED, REF. MEP.

LEGEND

- BRICK REPLACEMENT
- RESTORE PARGE COAT & BRICK SUBSTRATE
- REPAIR CRACK
- HOLIDAY LIGHTS & ANCHORS TO BE REMOVED



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REVISION HISTORY

1. SD Submission 14 February 2023
2. DD Submission 4 April 2023
3. 95% CD Submission 30 May 2023

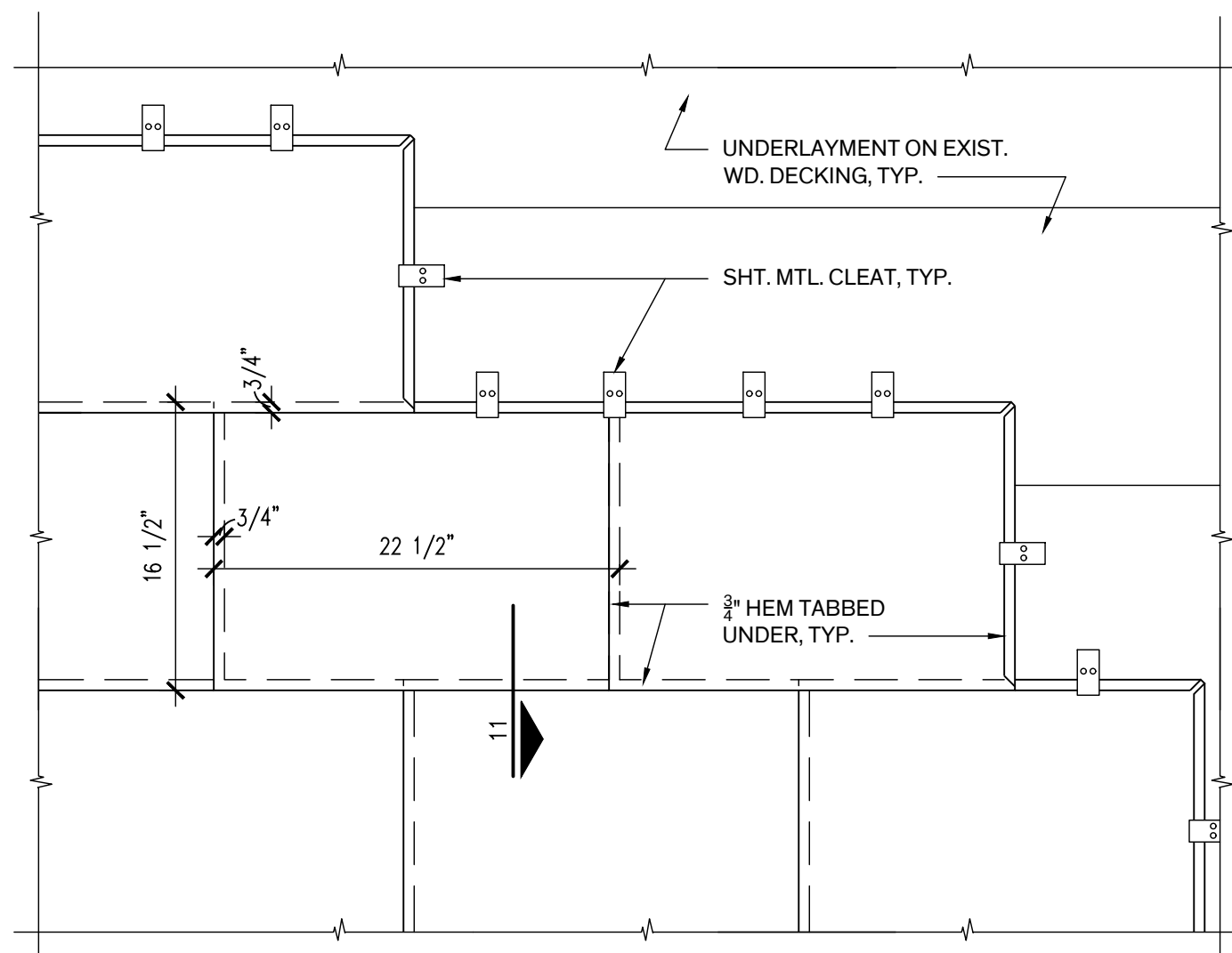
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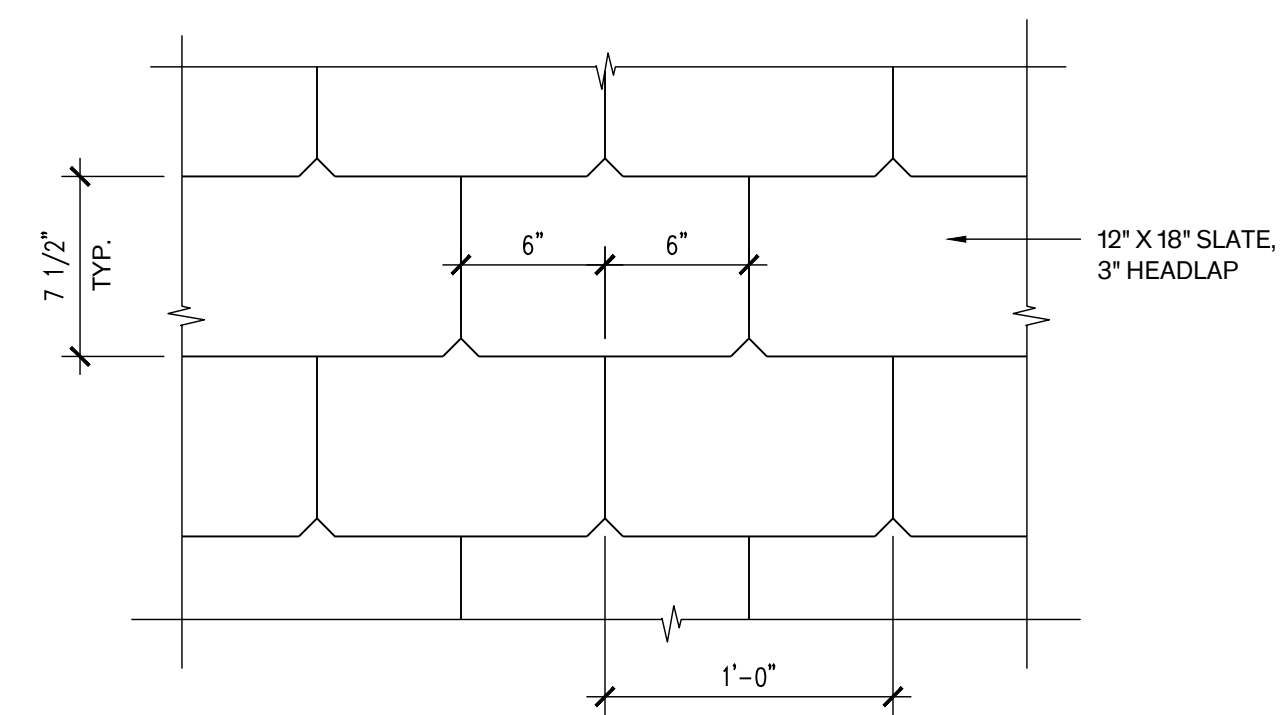
Architexas No. 2251 Date May 30th, 2023

Sheet Name East & West Elevations

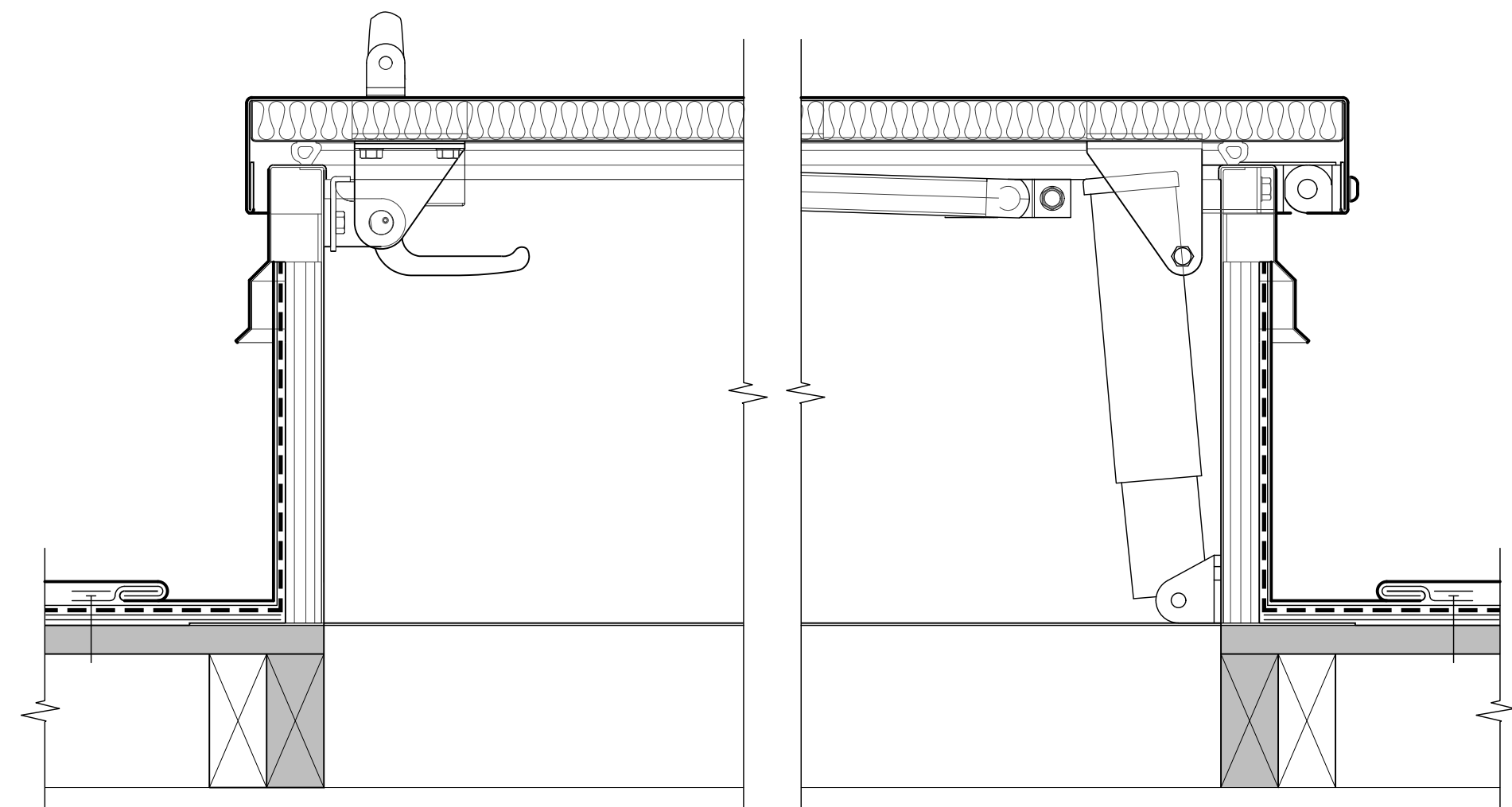
Sheet Number A-3.02



11 Flat Seam Roof Detail, Typ.
Scale: 1 1/2" = 1'-0"



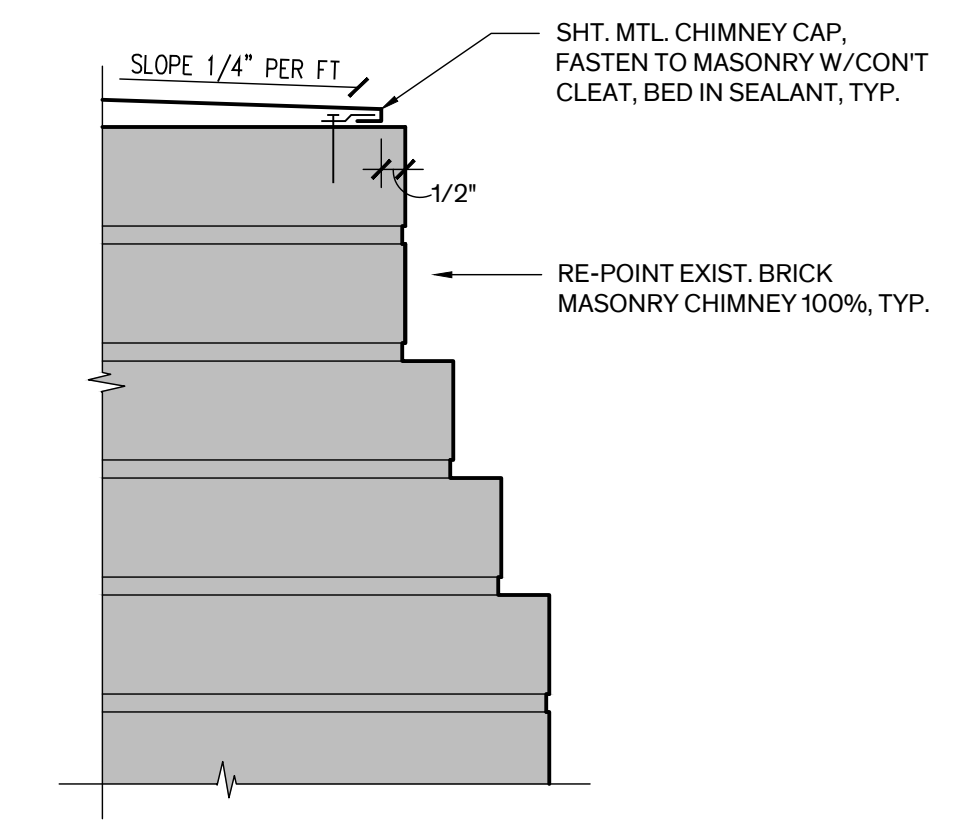
10 Slate Coursing, Typ.
Scale: 1 1/2" = 1'-0"



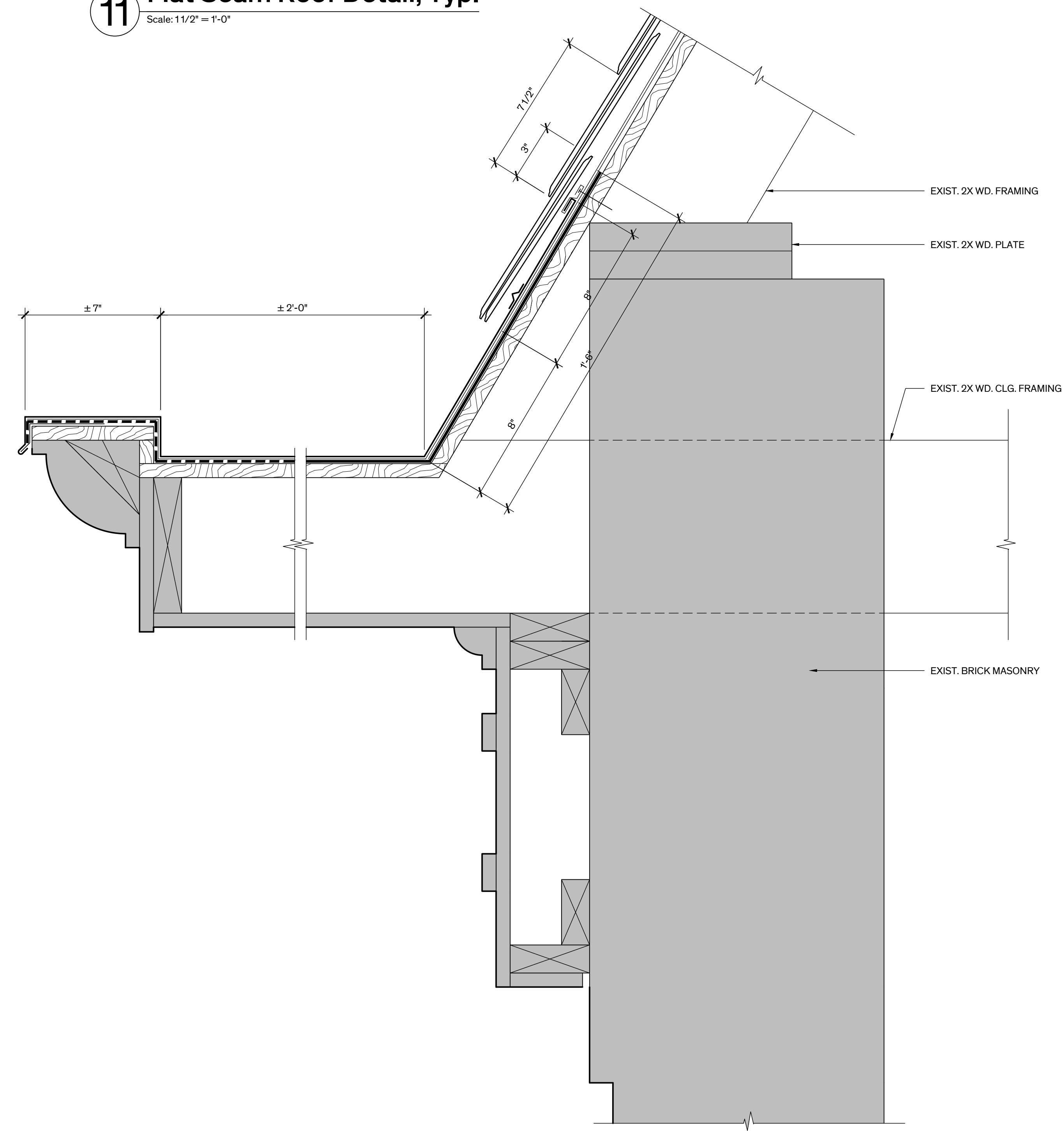
8 Roof Hatch Dtl.
Scale: 3" = 1'-0"

LEGEND

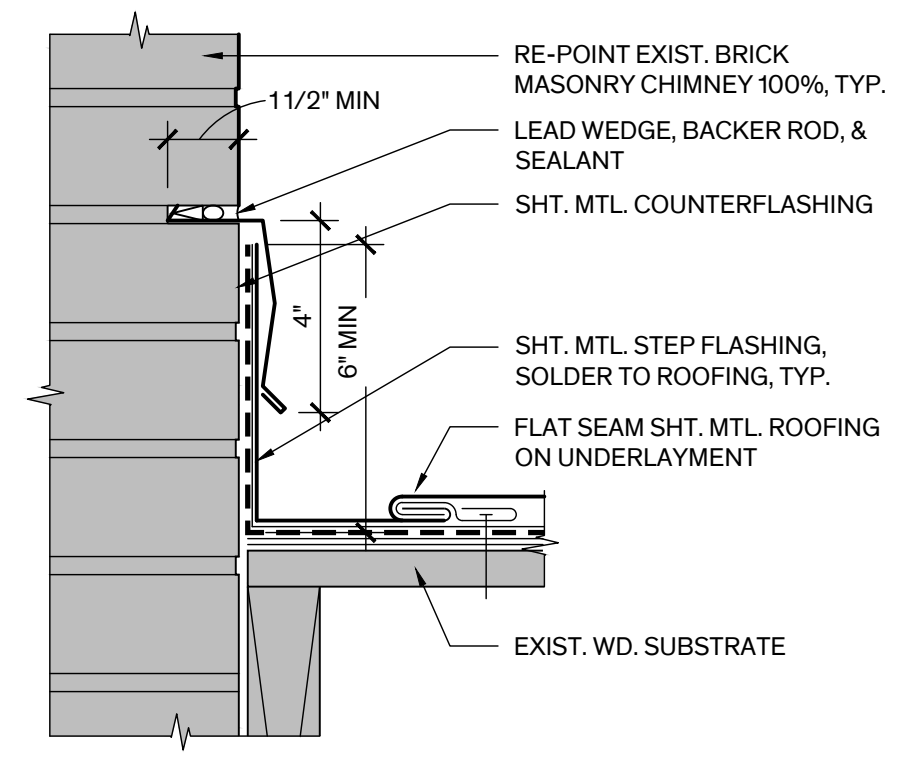
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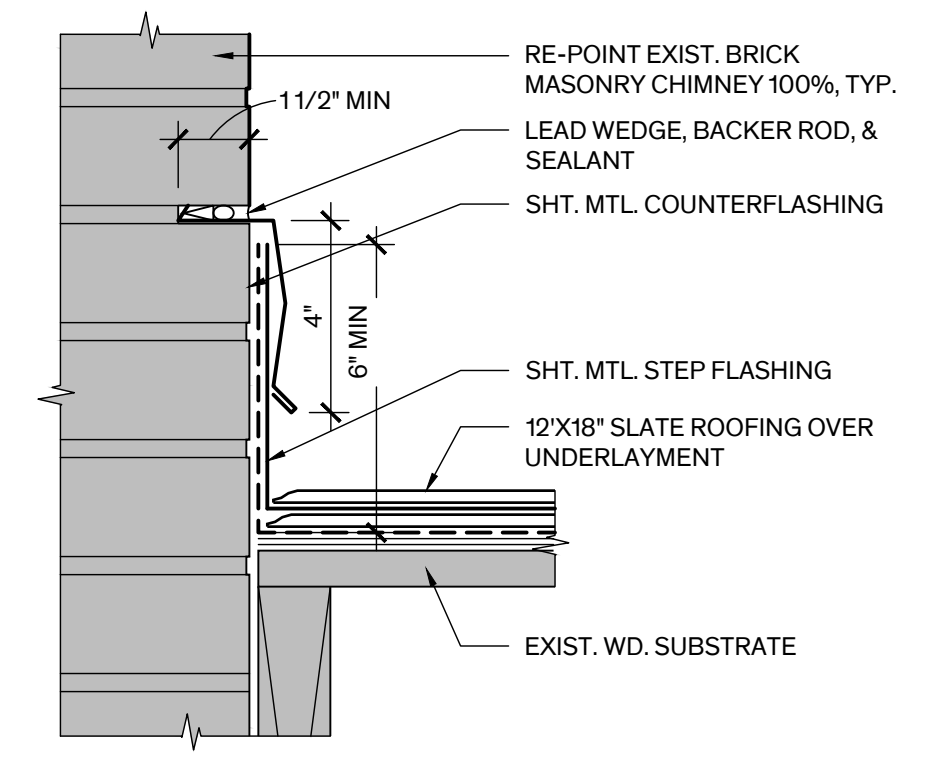
4 Chimney Cap Detail, Typ.
Scale: 3" = 1'-0"



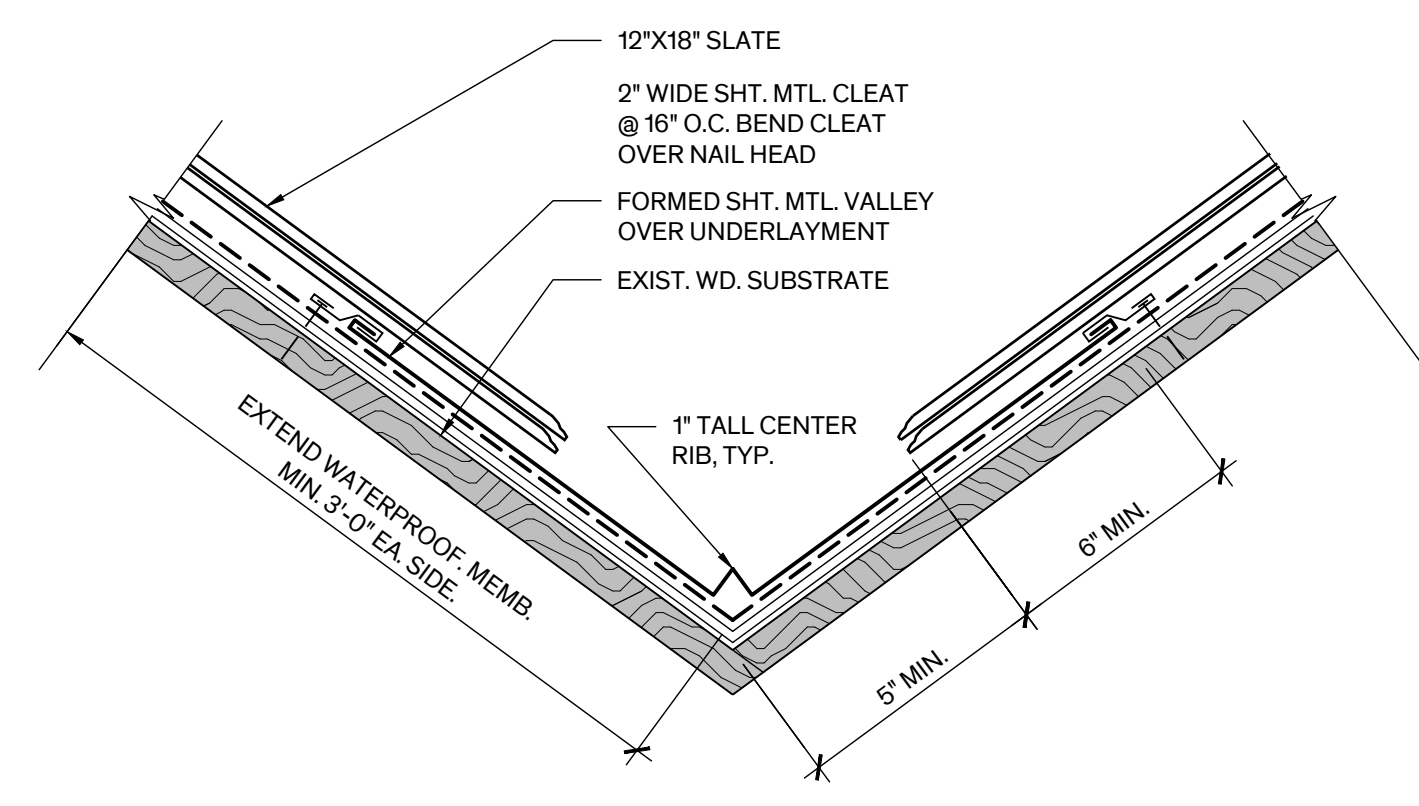
9 Detail Thru Cornice Gutter
Scale: 3" = 1'-0"



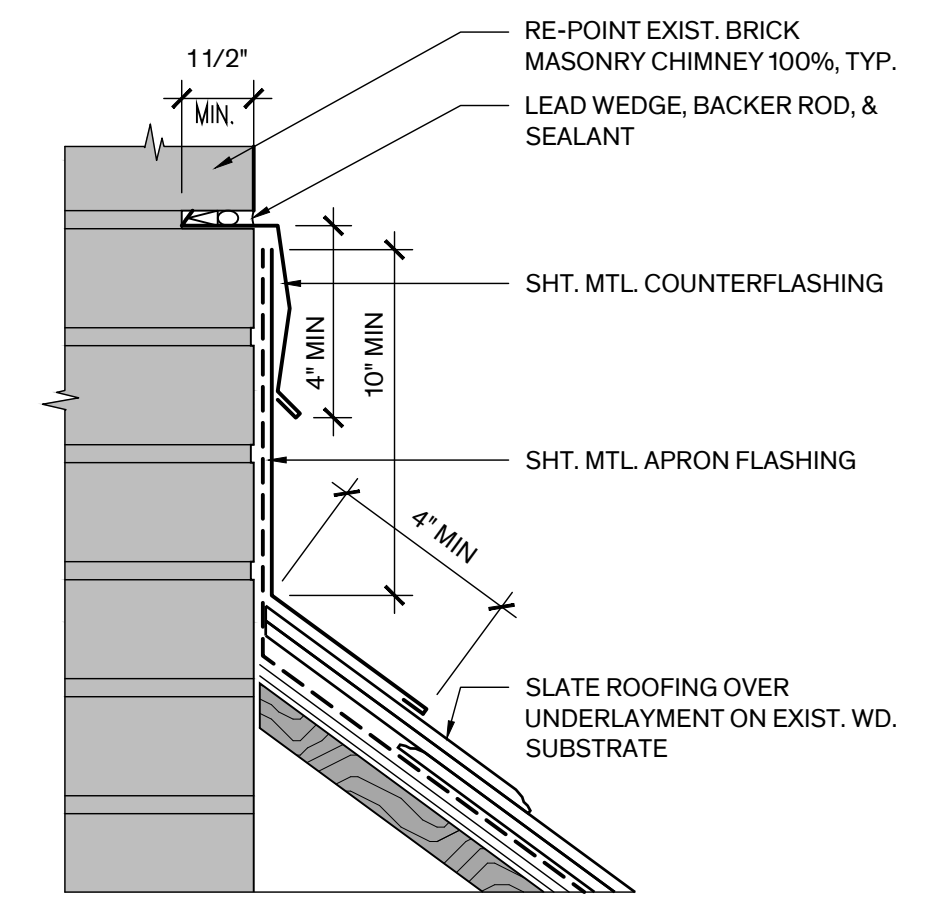
7 Flashing Dtl. @ Chimney, Typ.
Scale: 3" = 1'-0"



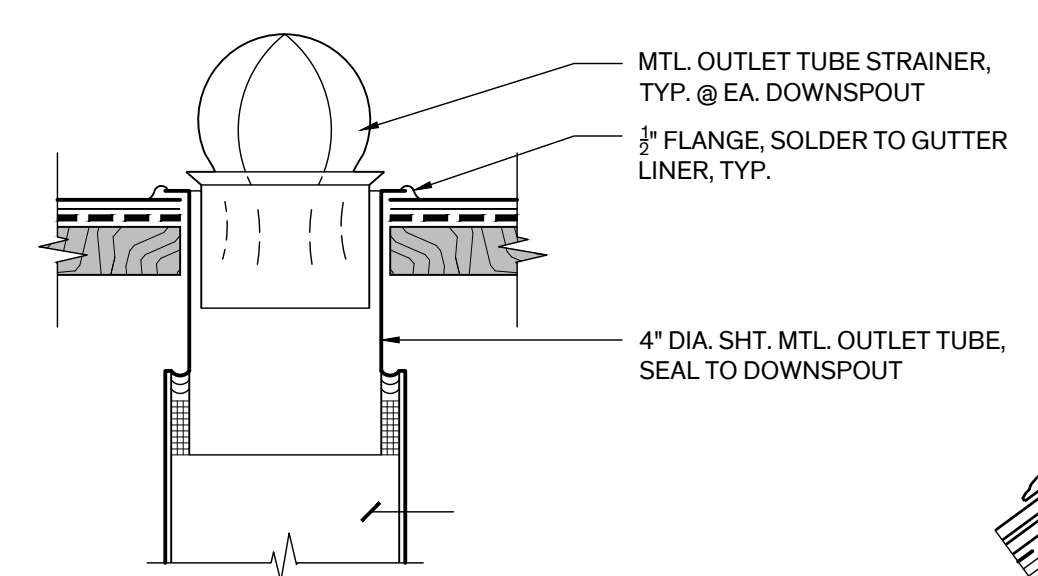
3 Flashing Dtl. @ Chimney, Typ.
Scale: 3" = 1'-0"



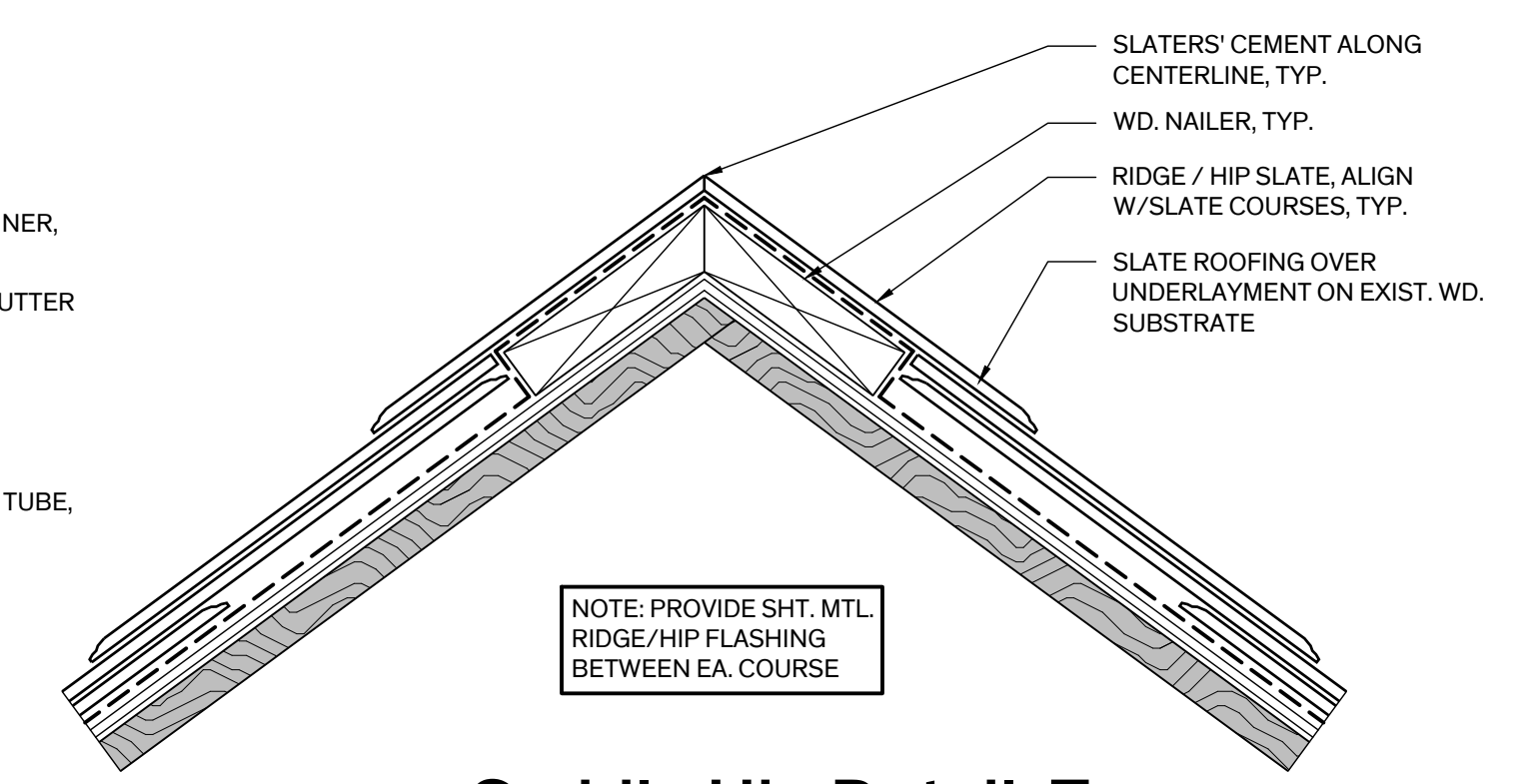
6 Valley Detail, Typ.
Scale: 3" = 1'-0"



2 Flashing Dtl. @ Chimney, Typ.
Scale: 3" = 1'-0"



5 Detail @ Roof Drain
Scale: 3" = 1'-0"



1 Saddle Hip Detail, Typ.
Scale: 3" = 1'-0"



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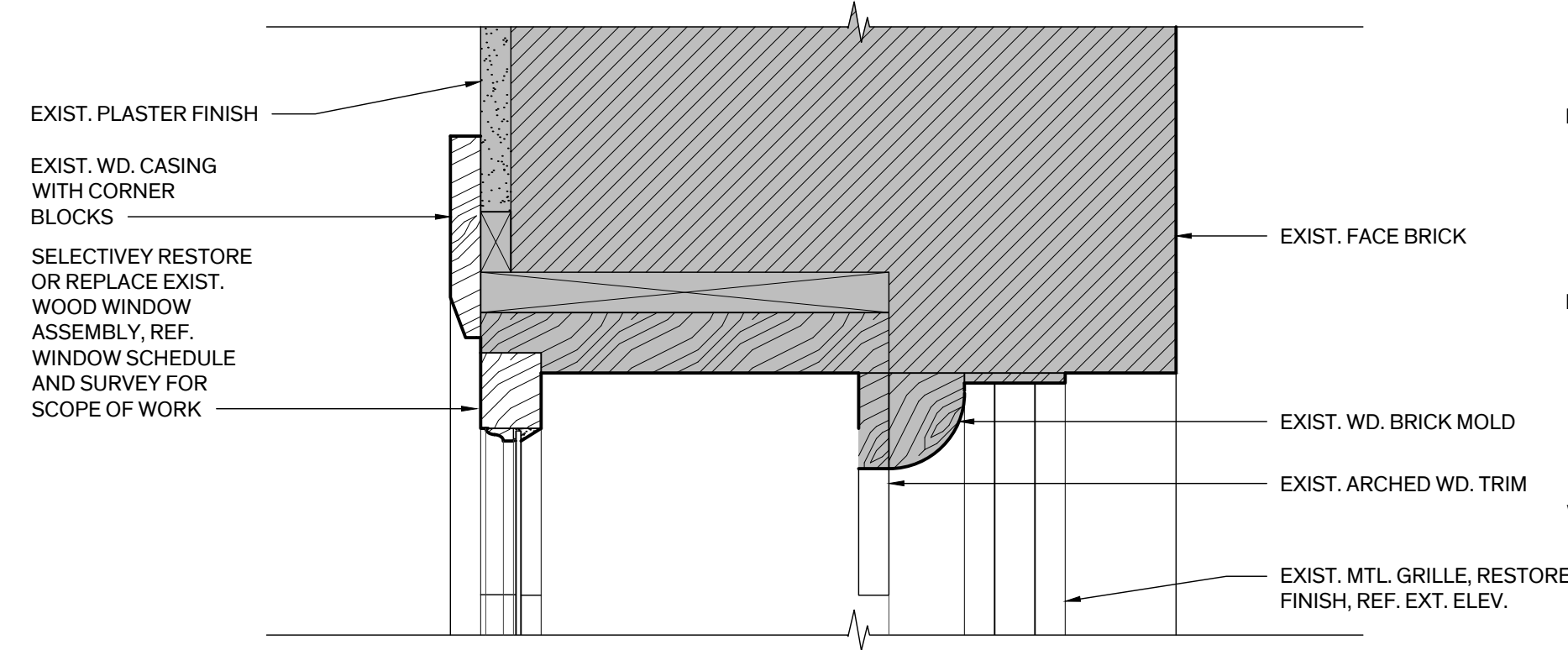
REVISION HISTORY

1.	SD Submission	14 February 2023
2.	DD Submission	4 April 2023
3.	95% CD Submission	30 May 2023

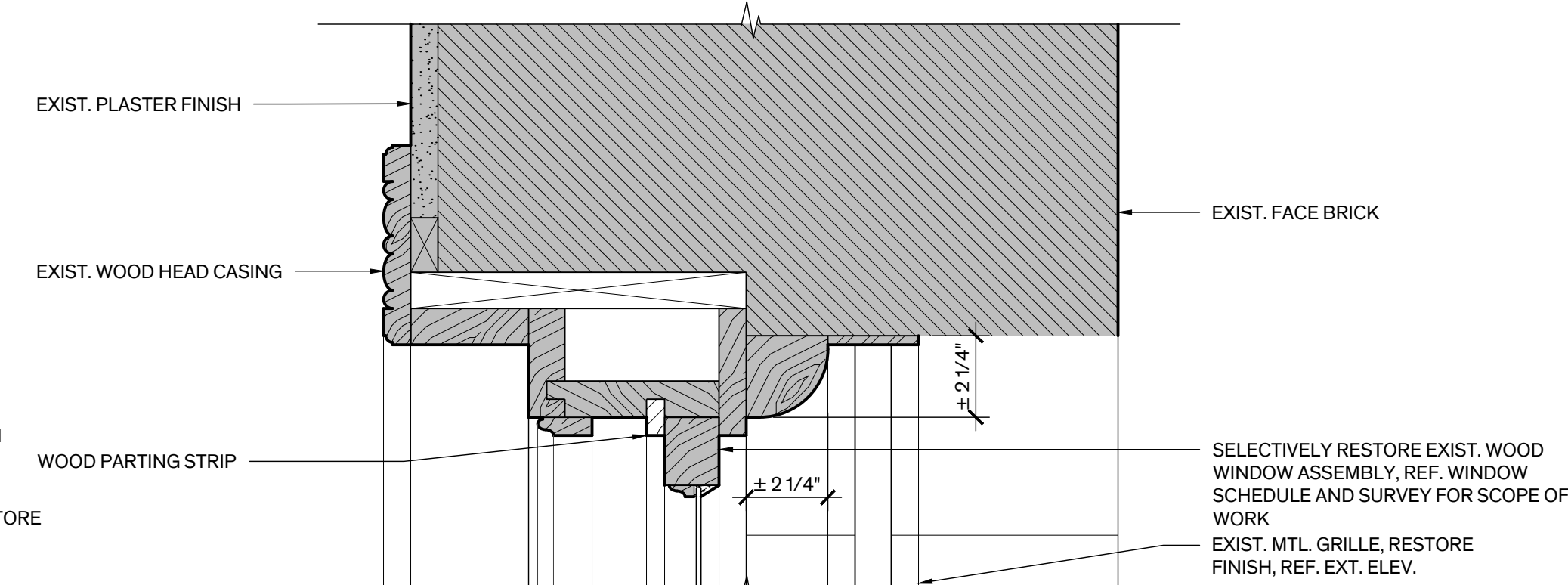
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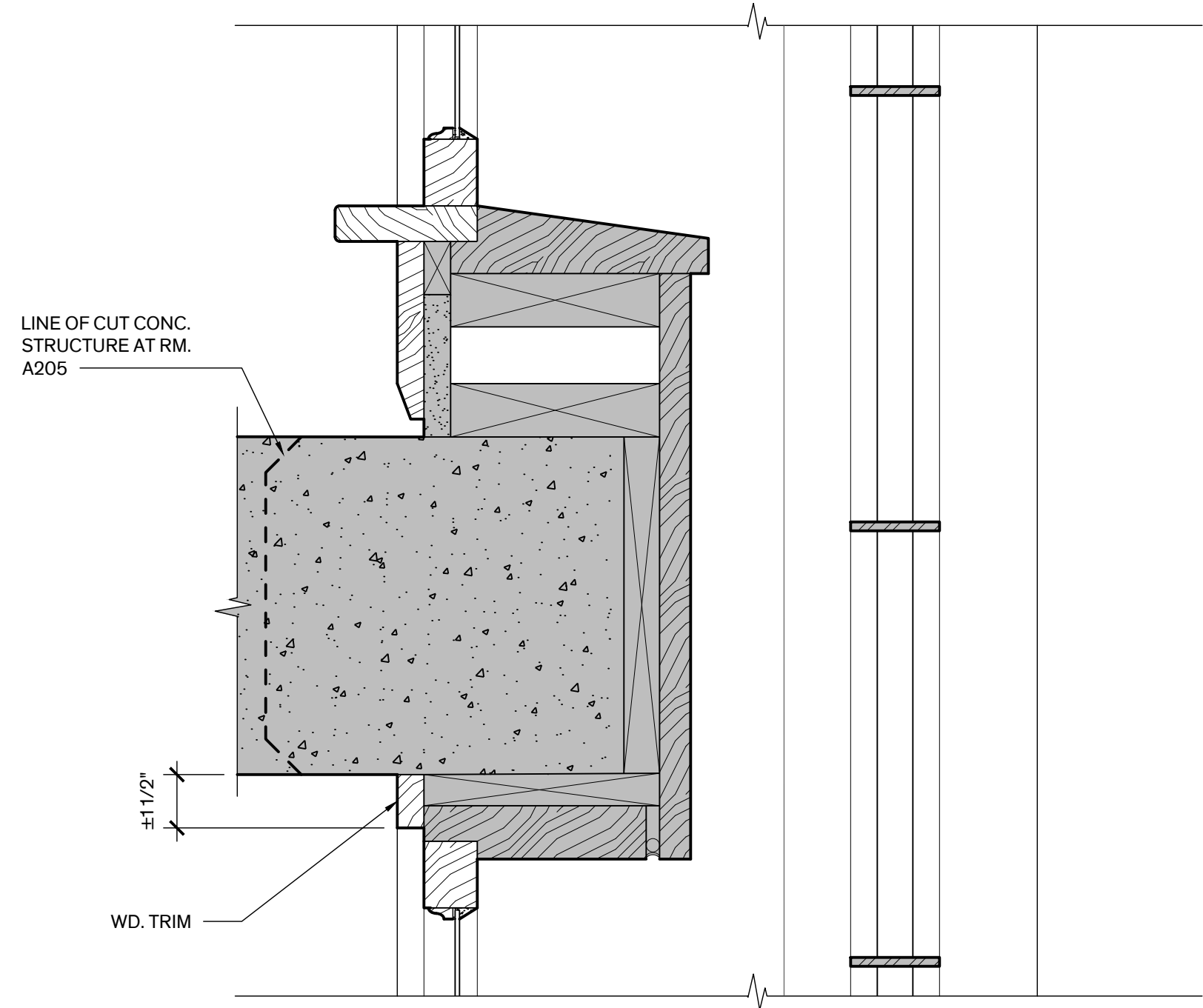
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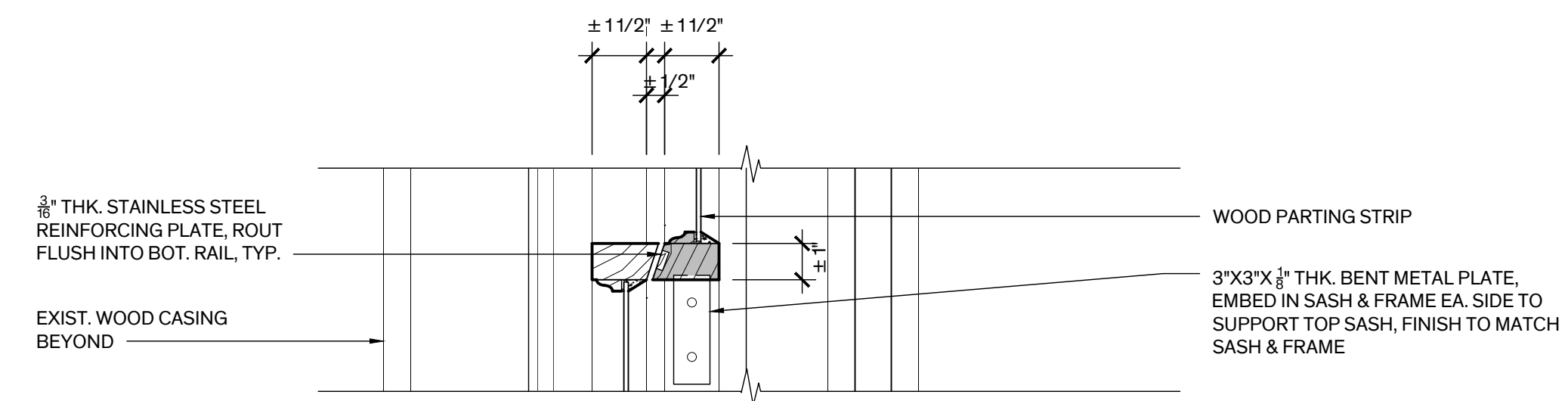
7 Casement Head Detail
Scale: 3" = 1'-0"



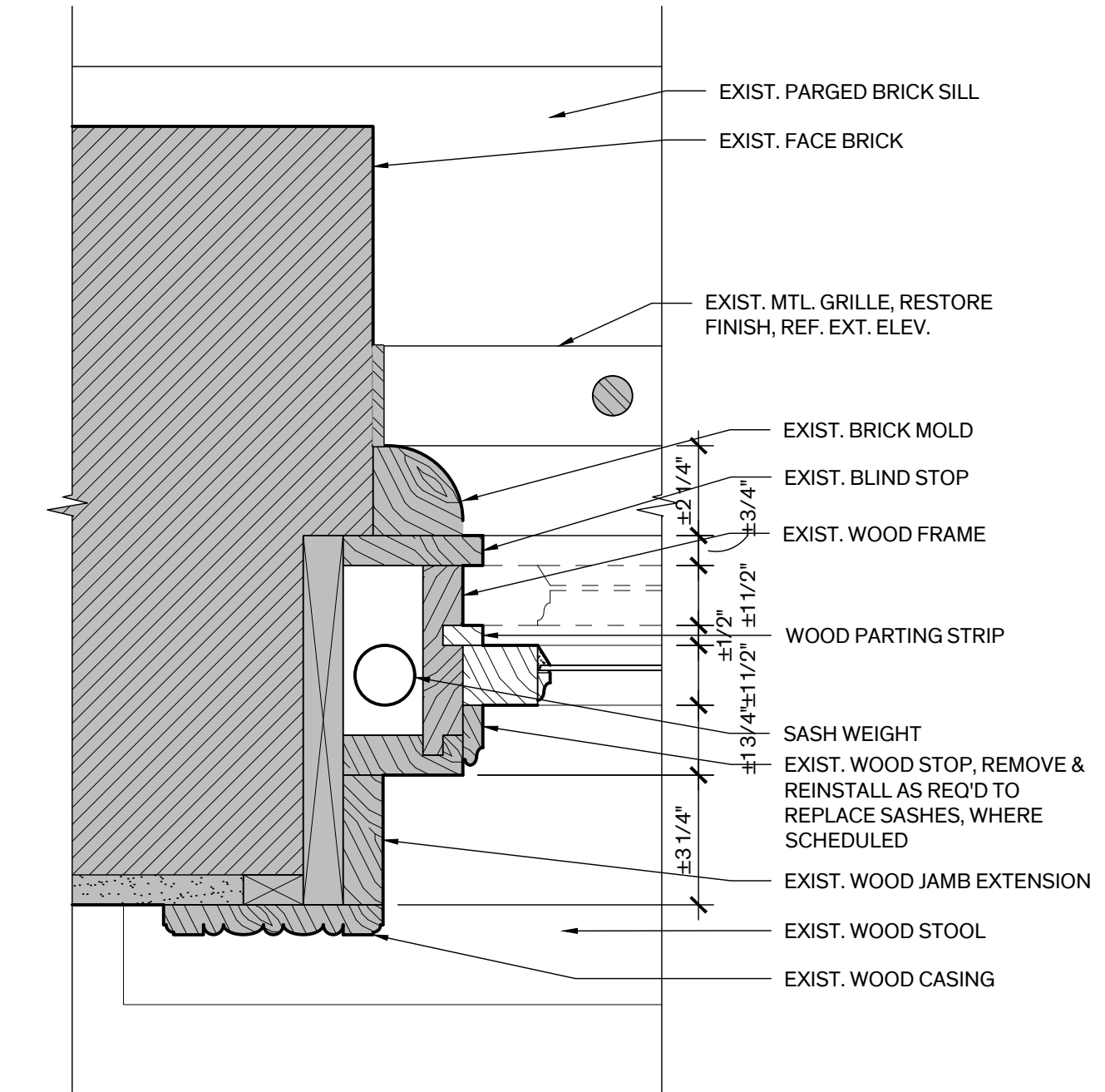
8 Double Hung Head Detail
Scale: 3" = 1'-0"



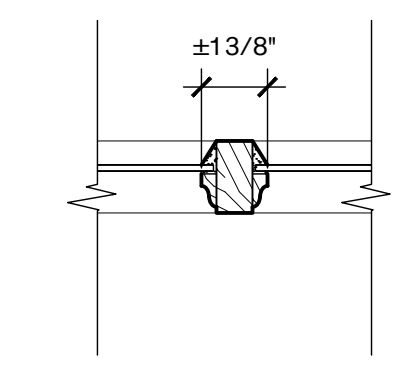
6 Casement Head & Sill Detail
Scale: 3" = 1'-0"



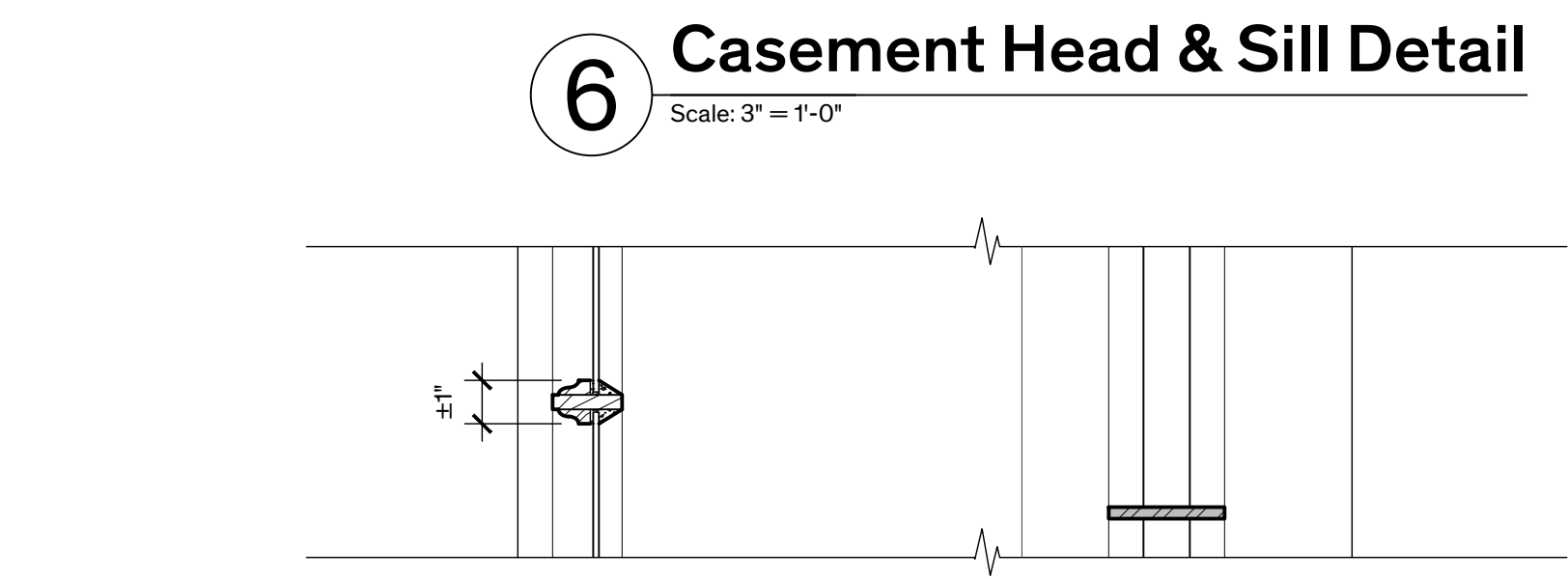
7 Double Hung Meeting Rail Detail
Scale: 3" = 1'-0"



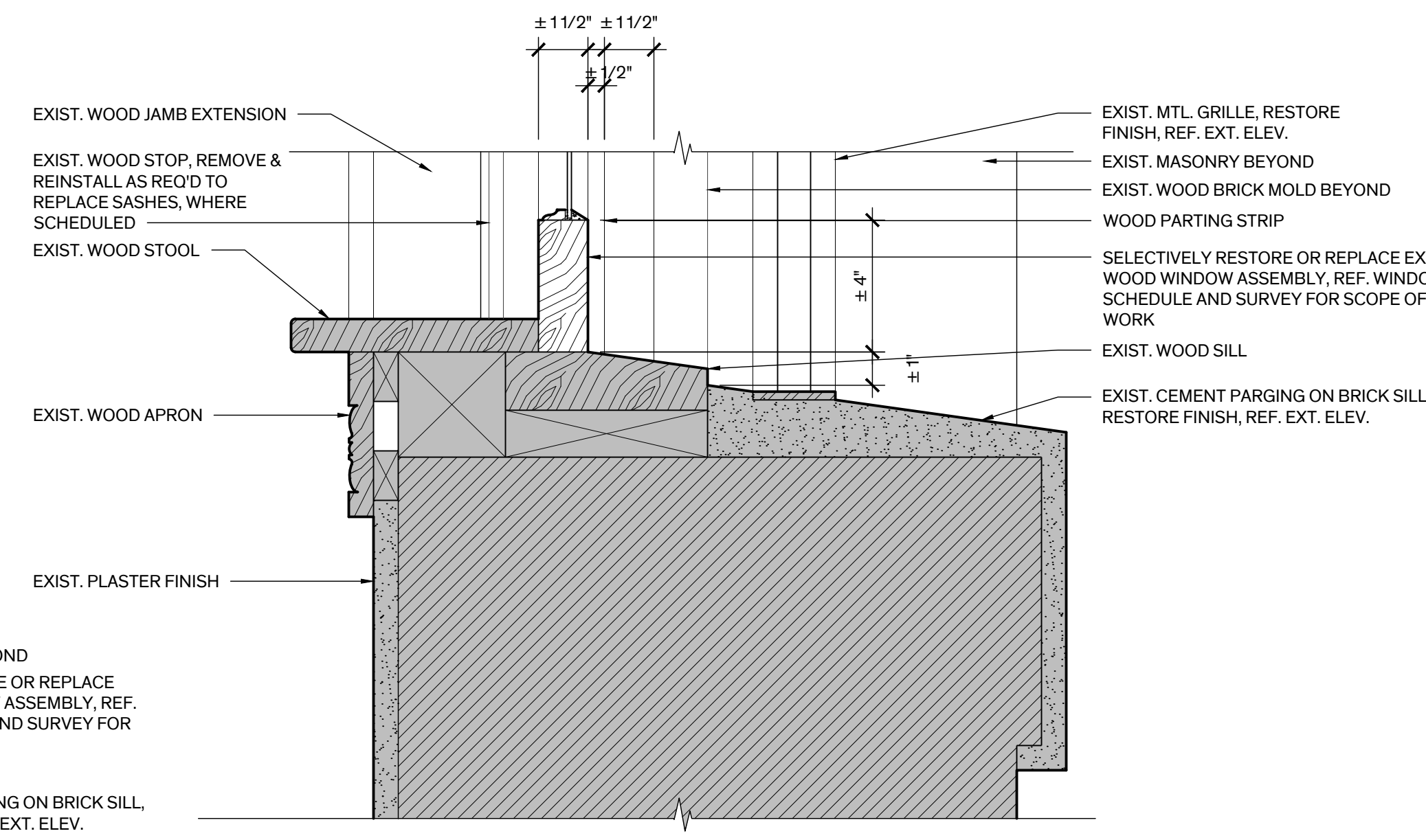
4 Double Hung Jamb Detail
Scale: 3" = 1'-0"



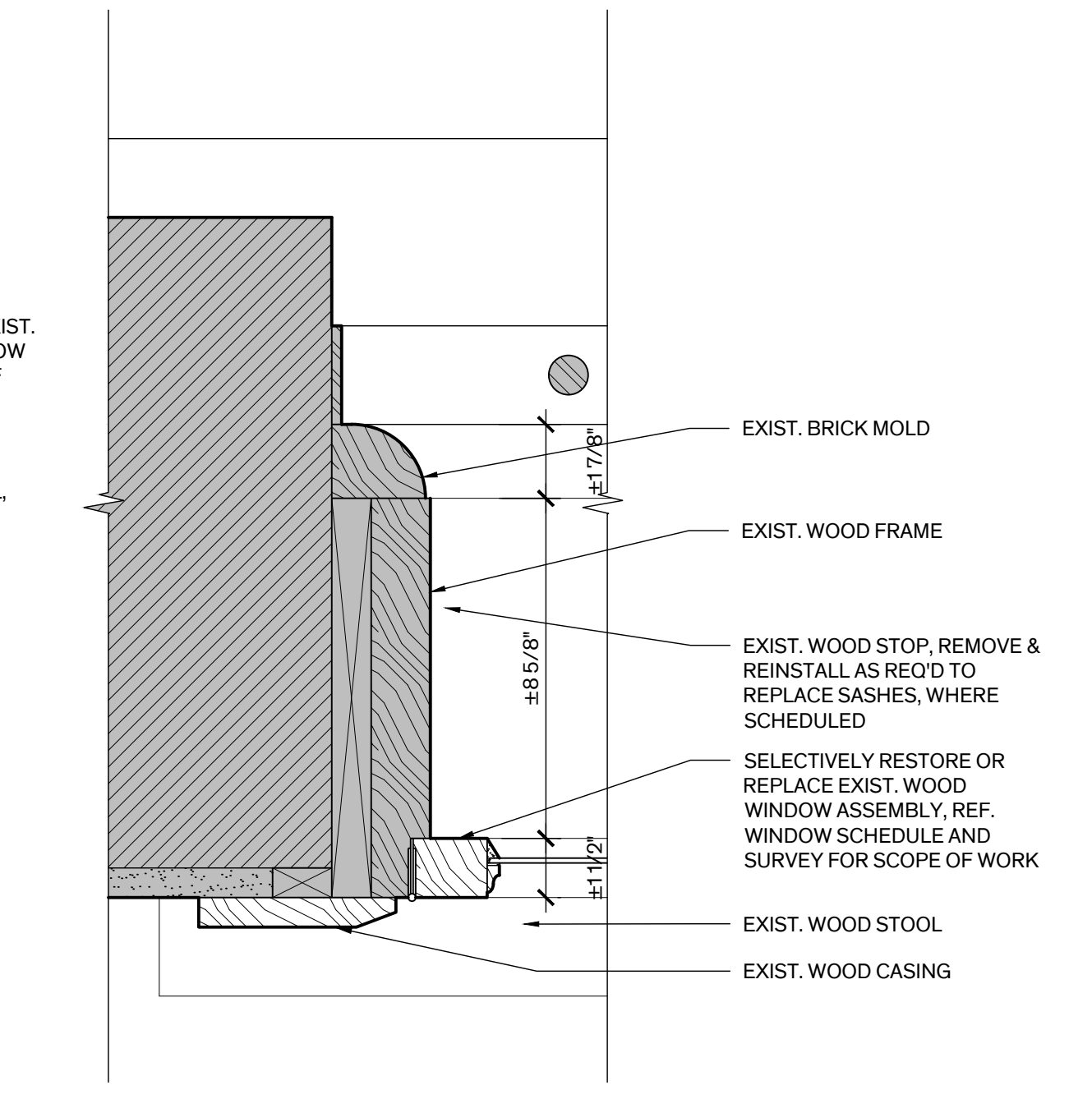
3 Double Hung Vertical Muntin Detail
Scale: 3" = 1'-0"



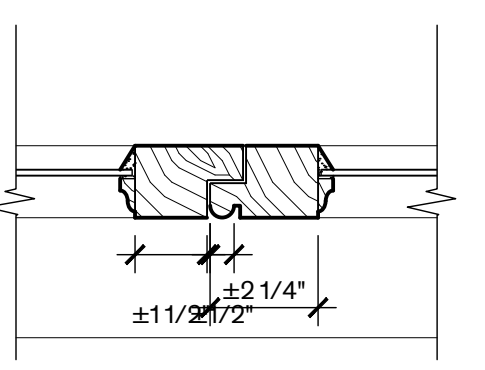
5 Casement Muntin Detail
Scale: 3" = 1'-0"



5 Double Hung Sill Detail
Scale: 3" = 1'-0"



2 Casement Jamb Detail
Scale: 3" = 1'-0"



1 Casement Meeting Rail
Scale: 3" = 1'-0"

4 Casement Sill Detail
Scale: 3" = 1'-0"



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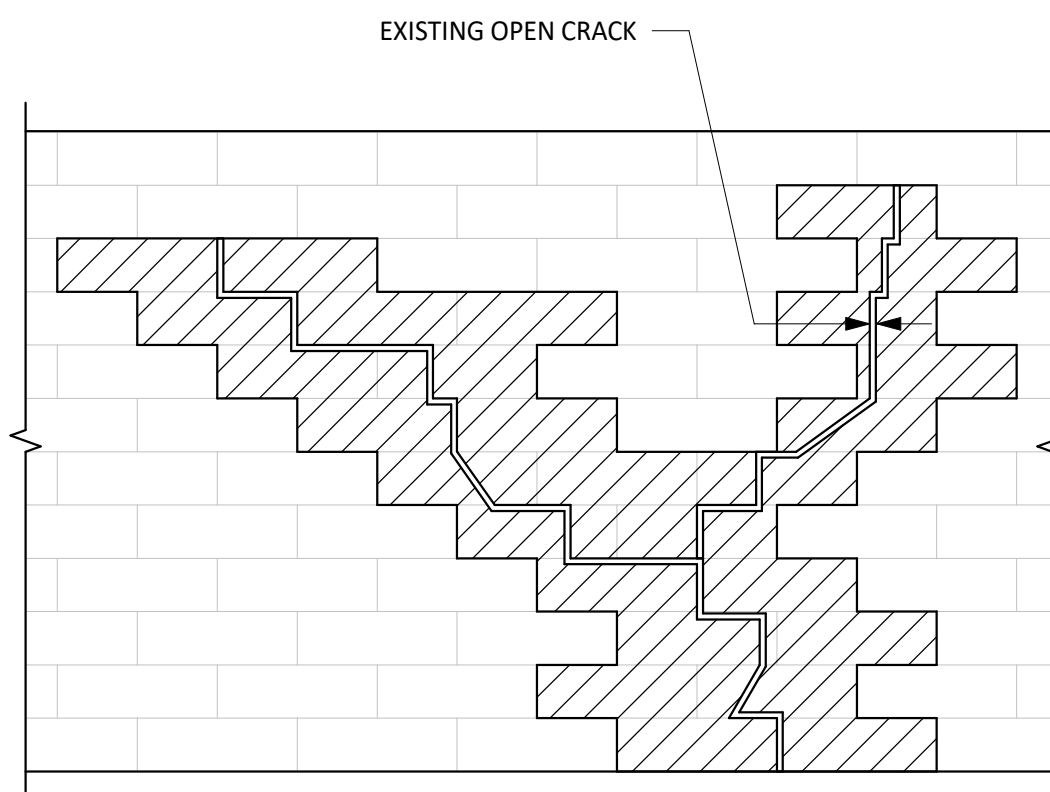
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Window Details

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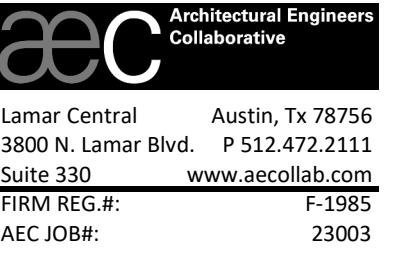
NOTES:

1.  DENOTES BRICK TO BE REPLACED. WHERE CRACK IS THRU WALL, REPLACE ALL WYTHES OF BRICK ON EA. SIDE OF CRACK TO 1ST MORTAR JOINT. REPLACE LOOSE AND CRACKED BRICKS. REPLACE EXISTING HEADERS w/ NEW HEADERS. WHERE CRACK IS ONLY IN OUTER WYTHE, REPLACE ONLY OUTER WYTHE.
2. WHERE CRACK IS OPEN AND 1/4" OR LESS AND IS PRESENT ONLY IN THE OUTER WYTHE AND ONLY IN JOINTS, RAKE AND REPOINT JOINTS ONLY.

**TYPICAL DETAIL
REPAIR IN BRICK MASONRY**

1

NO SCALE



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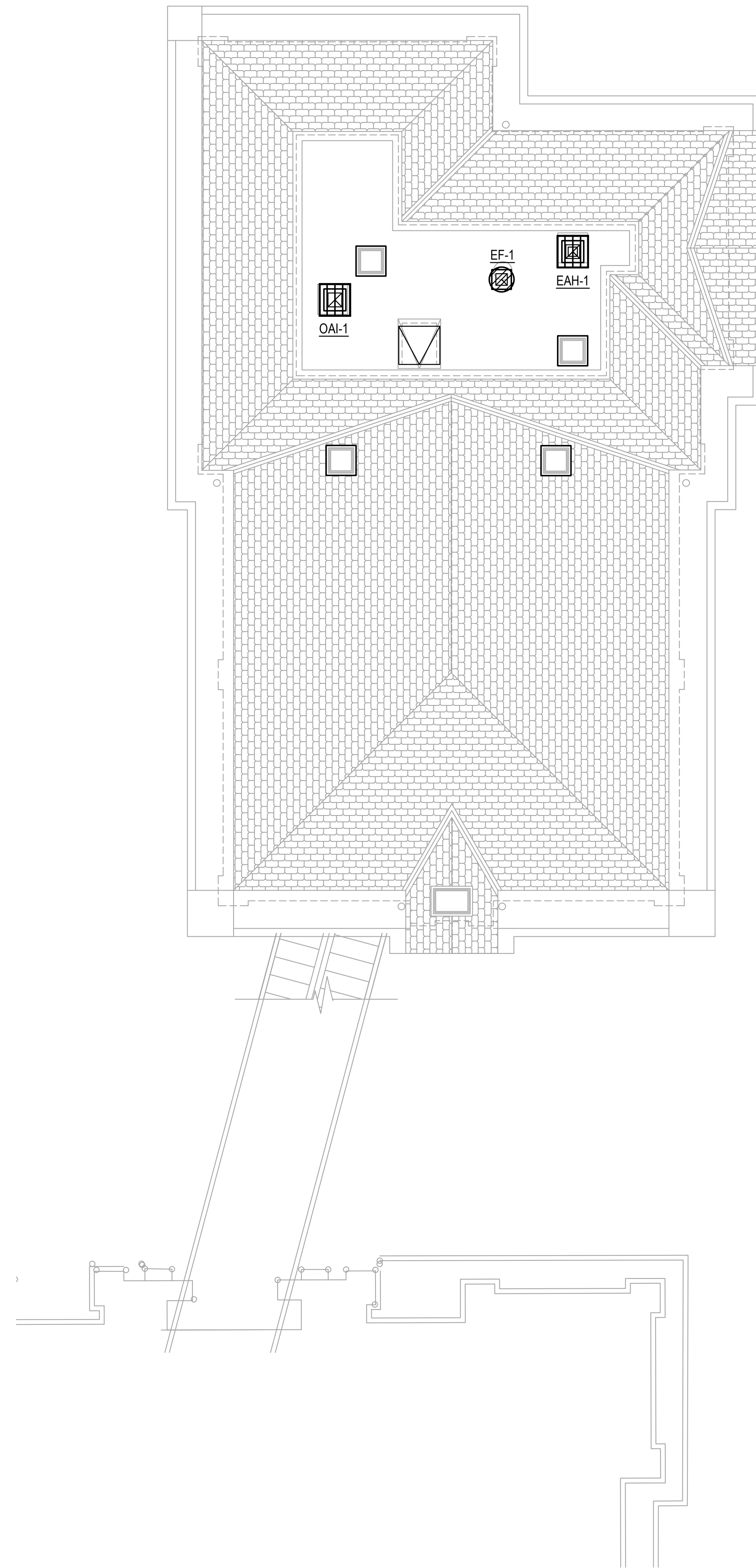
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Architexas No.
2251
Date
May 30th, 2023

Sheet
**TYP. MASONRY
DETAILS**

Sheet
S-4.00



1
MECHANICAL ROOF PLAN
 M2.03 1/4"=1'-0" TRUE NORTH



DBR Project Number	235003.000			
EP	BB/L	JA	CE	GC



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Sheet Name
 MECHANICAL ROOF PLAN

Sheet Number

M2.03