



SPECIAL USE EXCEPTION PETITION

CITY OF BALLWIN } FEE: with site plan review \$ 1,500.00
} without site plan review \$ 750.00
COUNTY OF ST. LOUIS } PAID: [checkmark]
STATE OF MISSOURI } NUMBER: SUE-25-02

TO THE BOARD OF ALDERMEN
CITY OF BALLWIN

Type of Special Use Exception: Restaurant

Code Section under which petition is being filed: Article XIV

Now comes (print name of Petitioner) and states to the Board of Aldermen:

- I. That he, she, it, they, has (have) the following legal interest in the tract of land and/or premises located within the corporate limits of Ballwin, Missouri, described in Section II of this petition.
A. State Legal Interest: Tenant
B. Documentation of Legal Interest must accompany this petition.
II. That the legal description of the property/premises, for which a Special Use Exception is desired, is enclosed.
III. That a survey or drawing of the property/premises, for which a Special Use Exception is requested, is enclosed, and said drawing is to a scale of 100 feet or less to the inch.
IV. That the street address of said property is: 15270 Manchester Rd. Ballwin MO 63011
V. That the area (acres or square feet) of said property is: 3283 sqft
VI. That the zoning classification of said property is: C-1
VII. That the present use of said property is: Vacant
VIII. That the intended use of said property is: Restaurant
IX. That the proposed Special Use Exception does not violate any private deed restrictions on said property.
X. That all information provided herein is true and a statement of fact.

I, the Petitioner, do hereby request an Ordinance of the Board of Aldermen approving and granting the herein described Special Use Exception.

PETITIONER: Jorge C Flores

AUTHORIZED SIGNATURE: Jorge C Flores

AUTHORIZED SIGNATURE (PRINTED): Jorge C Flores

ADDRESS: 2332 Chelsea Ct.

CITY/STATE/ZIP: High Ridge MO.

TELEPHONE NO. 314-605-5653 jf91963@gmail.com

I, (*print name of Petitioner*) \_\_\_\_\_, do hereby designate \_\_\_\_\_ as my agent for purposes of presenting this petition, negotiating with the City of Ballwin on all issues relative to this petition, and corresponding and communicating with representatives of the City of Ballwin relative to this petition.

AGENT'S SIGNATURE: \_\_\_\_\_

AGENT'S NAME (*PRINTED*): \_\_\_\_\_

ADDRESS: \_\_\_\_\_

CITY/STATE/ZIP: \_\_\_\_\_

TELEPHONE NO. \_\_\_\_\_

Subscribed and sworn before me this 17 day of January, 2025.

[Signature]  
Notary Public

My Commission Expires

11/15/2026





**Petition Number:** SUE-25-02

**Public Hearing Date:** March 3, 2025

**Owner:** Waycliffe Development Corporation  
8922 Manchester Road  
St Louis, Missouri 63144

**Petitioner:** Jorge Flores  
2332 Chelsea Court  
High Ridge, Missouri 63049

**Project Name:** Inca Maya Restaurant

**Requested Action:** SUE-25-02 Special Use Exception, for a restaurant with front yard parking, outside seating and the sale of alcoholic beverages at 15270 Manchester Road.  
[per Appendix A, Article XIV, Section 1 (14) (20) & (21)]

**Location:** 15270 Manchester Road

**Existing Zoning:** C-1 Commercial District

**Surrounding Zoning:** C-1 to the north, east and west  
R-1 Single Family Residential to the south

**Project Description:** Restaurant with front yard parking, outside seating and the sale of alcoholic beverages in an existing structure previously occupied by a similar facility.



Figure 1 - Aerial view of the site and surrounding properties. Source: St Louis County



Figure 2 - Street view of the development



**Project description:**

This Petition is for a Special Use Exception to establish a restaurant at 15270 Manchester Road, featuring front yard parking, outdoor seating, and the sale of alcoholic beverages. The property is situated on the southeast corner of Manchester Road and New Ballwin Road. The property is currently zoned C-1 Commercial, as are the properties to the north, east and west. The properties to the south are currently zoned R-1 Single Family Residential. The Petitioner intends to open a restaurant in the space formerly used by Local Chef Kitchen. The proposed floor plan includes seating options both indoors and outdoors.

**Staff analysis:**

This petition seeks a Special Use Exception to establish a restaurant at 15270 Manchester Road, featuring front yard parking, outdoor seating, and the sale of alcoholic beverages. The basis for this request is outlined in Appendix A, Article XIV, Section 1(20), which permits restaurants as a special use exception, and Section 1(21), which allows the sale of alcoholic beverages by the drink for on-premises consumption. This petition complies with the zoning requirements for a special use exception.

Additionally, a special use exception is required for front yard parking along a public right-of-way, as specified in Appendix A, Article XIV, Section 1(14), which mandates special use exception approval for parking within any front yard.

When reviewing a Special Use Exception, the Planning & Zoning Commission and Board of Aldermen shall determine whether such exception:

- a. Will substantially increase traffic hazards or congestion.

A new tenant in this existing development will naturally result in an increase in traffic. However, it is important to note that this is an existing building that was previously used for the same use as is proposed by this Petition.

- b. Will adversely affect the character of the neighborhood.

The proposed development should not adversely affect the character of the neighborhood. It is situated within an established development designated as “Commercial” in the City's Comprehensive Plan.

- c. Will adversely affect the general welfare of the community.

The proposed development should not adversely affect the welfare of the community.



d. Will overtax public utilities.

The proposed development should not overtax public utilities.

e. Will adversely affect public safety and health.

The proposed development should not adversely affect public safety and health.

f. Is consistent with good planning practice.

Approval of this Special Use Exception would reestablish a use that was approved for the site at the time this development was platted in 1975. It therefore, should be considered consistent with good planning practice.

g. Can be operated in a manner that is not detrimental to the permitted developments and uses in the district.

The proposed development should not be detrimental to the permitted developments and uses in the district.

h. Can be developed and operated in a manner that is visually compatible with the permitted uses in the surrounding area.

The proposed development should be operated in a manner that is visually compatible with the permitted uses in the surrounding area.

**Staff recommendation:**

This Petition is for a Special Use Exception to establish a restaurant at 15270 Manchester Road, featuring front yard parking, outdoor seating, and the sale of alcoholic beverages. The restaurant would occupy space in an existing building. Staff recommends the standard conditions, along with the following:

1. Parking lot lighting must be in working condition.
2. Landscaping must be provided along the north property line.

## Inca-Maya Ballwin

### Executive Summary:

Our Family owns 4 successful Mexican restaurants for over 15 years in various cities in Saint Louis, this time we want to bring a new concept Peruvian and Mexican cuisine to the city of Ballwin. The Peruvian cuisine is rank 14 in the world. As Peruvians We are very excited to bring our Peruvian-Mexican dishes to our neighbors of Ballwin and surroundings.

### Location Rationale:

15270 Manchester Rd is an excellent location that will bring live to this corner of New Ballwin and Manchester, also will help other businesses around it.

Inca-Maya will operate 7 days a week from 11am to 10 pm. We will be serving beer, wine and mix drinks and propose both indoor and outdoor dining. There will be no live music though background recorded music will be played through variously located speakers.

### Staffing:

Inca-Maya will operate with 9 employees full time. 4 in the kitchen and 5 in the main dining area.

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**Fw: 15270 Manchester Rd**

Lawrence Goldworm <goldie1957@msn.com>  
To: Lynn Sprick <lynnsp@ballwin.mo.us>  
Cc: "JF91963@gmail.com" <JF91963@gmail.com>

Wed, Jan 29, 2025 at 7:14 PM

Good evening,

It occurred to me that Article XV, Section 1, Para. 2, Line 4 does not apply as the number of existing parking spaces has been reduced rather than increased. My apologies for the misinterpretation and any inconvenience this may have caused. I have revised Required Parking Data (submitted earlier this evening) as follows:

**Revised Required Parking Data:**

**Inca Maya Restaurant:** 33 parking spaces ( Article XV, Section 1, Para. 1, Line 16: 1 parking space per 4 restaurant seats. Note this is a greater number than 1 space per 200 sq. ft. as the restaurant is approximately 3,240 sq. ft.)

**Unoccupied Suite 110:** 5 parking spaces (Assume Wholesale Establishment per Article XV, Section 1, Para. 1, Line 23: 1 parking space per 300 sq. ft. for 1,610 sq. ft.)

**Unoccupied Second Story:** 15 parking spaces (Assume Wholesale Establishment per Article XV, Section 1, Para. 1, Line 23: 1 parking space per 300 sq. Ft. for 4,450 sq. ft.)

**Total Required Parking Spaces: 53** Attached sheet AS1.1 has been revised to reflect above changes.

Also attached, for ease of reference are identical documents submitted earlier this evening. They are, sheet A1.1 showing existing and proposed floor plans, a brief letter from Owner stating his business plan, and lease acknowledgement from Lessor.

Please contact me should you have any questions and/or require additional information.

Thank you very much!

Lawrence S. Goldworm RA  
LSG Architect  
314-422-1635  
<https://www.lsgarchitect.com/>

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**From:** Lawrence Goldworm <Goldie1957@msn.com>

**Sent:** Wednesday, January 29, 2025 5:50 PM

**To:** Lynn Sprick <lynnsp@ballwin.mo.us>

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
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**4 attachments**

 **A1.1 Permit Set Inca Maya Restaurant 12-12-2024.pdf**  
303K



**DEMOLITION GENERAL NOTES:**

- PERFORM DEMOLITION, WHETHER OR NOT INDICATED ON DWGS, AS REQ'D TO ACCOMMODATE CONSTRUCTION.
- SHADING THUS  DENOTES AREA WHERE NO DEMOLITION IS REQ'D EXCEPT TO ACCOMMODATE OTHER WORK INDICATED ON THE DRAWINGS.
- REMOVE ADHESIVES & FINISHES SUCH AS PANELING, WALL-PAPER, TILE, MORTAR, ETC., WHETHER OR NOT INDICATED ON DWGS, AS REQ'D TO INSTALL INTENDED FINISHES.
- BLDG ELEMENTS TO REMAIN SHALL BE PROTECTED FROM WEATHER CONDITIONS OR OTHER DAMAGE BY CONTRACTOR.
- SAWCUT/CORE-DRILL & REMOVE CONCRETE FLOOR SLAB-ON-GRADE/ELEVATED FLOOR DECK AS REQ'D TO ACCOMMODATE MECHANICAL, PLUMBING & ELECTRICAL CONSTRUCTION.


**DEMOLITION KEYED NOTES**

- EXTERIOR MASONRY WALL TO REMAIN - TYPICAL.
- ALUMINUM & GLASS STOREFRONT TO REMAIN - TYPICAL.
- ALUMINUM & GLASS EXTERIOR DOOR(S) TO REMAIN - TYP.
- CONCRETE PAVEMENT TO REMAIN.
- VENT OPENING THROUGH MASONRY WALL TO REMAIN.
- CEILING OR WALL-MTD. EXIT LIGHT TO REMAIN. SEE RCP.
- STEEL COLUMN & DRYWALL SURROUND TO REMAIN - TYPICAL.
- STAIR W/ TREAD/RISER COVERS & HANDRAIL TO REMAIN.
- DRYWALL ON METAL STUD PARTITION TO REMAIN - TYPICAL.
- DOOR, FRAME & HARDWARE TO REMAIN.
- MECHANICAL FURNACE TO REMAIN.
- SINK TO REMAIN.
- HOT WATER HEATER TO REMAIN.
- GREASE TRAP TO REMAIN.
- ELECTRIC PANEL TO REMAIN - TYPICAL.
- FLOOR SINK (FS) OR FLOOR DRAIN (FD) TO REMAIN.
- FINISHES TO REMAIN THROUGHOUT THIS SPACE. UNO.
- REMOVE ALUM. & GLASS DOOR. STORE FOR RELOCATION.
- REMOVE EXIT OR EMER. LIGHT & STORE FOR RELOCATION.
- REACH-IN REFRIGERATOR TO BE RELOCATED BY TENANT.
- CEILING-MOUNTED HOOD, FIRE-SUPPRESSION SYSTEM, & ACCESSORIES REQ'D FOR A COMPLETE WORKING SYSTEM. STORE FOR RELOCATION. REMOVE UNISTRUT SYSTEM.
- ACCORDION DOOR & TRACK. STORE FOR RELOCATION.
- REMOVE LIGHT FIXTURES & TURNOVER TO LESSEE.
- REMOVE EXTINGUISHER/BACKET & STORE FOR RELOCATION.
- REMOVE CANVAS CANOPY/BUILDING OVERHANG/LIGHTING/ DOWNSPOUTS ABOVE. SEE A/AS2.1
- REMOVE CONCRETE PAVEMENT IN ITS ENTIRETY.
- REMOVE PORTION OF MASONRY WING WALL. SEE B/AS2.1.
- REMOVE WALL-MTD. METAL ALARM BOX ABOVE.
- PARTIALLY REMOVE ALUMINUM STOREFRONT, GLAZING & MASONRY WALL BELOW. SEE A/AS3.1 & 4/AA.1.
- REMOVE ROOM FINISHES INCLUDING FLOORING, WALL BASE, SUSPENDED ACOUSTICAL TILE CEILING SYSTEM.
- THROUGHOUT THIS SPACE: REMOVE FLOORING, BASE, WALL FINISHES. REMOVE SUSPENDED CEILING SYSTEM EXCEPT WHERE INDICATED TO REMAIN ON REFLECTED CEILING PLAN. REMOVE ABANDONED MEP SYSTEMS INCLUDING DUCTWORK/DEVICES, CONDUITS, JUNCTION BOXES, ELECTRICAL & PLUMBING FIXTURES.
- REMOVE EXHAUST FAN OR LOUVER AS OCCURS.

**DEMOLITION KEYED NOTES**

- SAWCUT & REMOVE MASONRY WALL. SEE 4/AA.1.
- REMOVE DRYWALL ON METAL STUD LOW WALL.
- REMOVE FULL HGT. DW ON MTL. STUD WALL TO STRUCTURE ABOVE OR AS INDICATED ON CONSTRUCTION DRAWINGS.
- REMOVE FULL HGT. DRYWALL ON MTL. STUD WALL, UPPER PORTION TO REMAIN. SEE REFLECTED CEILING PLAN.
- REMOVE DOOR, FRAME & HARDWARE.
- REMOVE RAILING & STORE FOR PARTIAL REINSTALLATION.
- REMOVE PLUMBING FIXTURES, EXPOSED PIPING, TOILET ACCESSORIES THROUGHOUT THIS ROOM.
- REMOVE HAND SINK, SOAP DISP., PTD & EXPOSED PIPING.
- REMOVE PLUMBING PIPE. SEE PLUMBING DRAWINGS.
- REMOVE ELECTRICAL PANEL. SEE ELECTRICAL DWGS.
- REMOVE DRYWALL SOFFIT & HOOD EXHAUST DUCT ABOVE.
- REMOVE EXPOSED WALL-MOUNTED METAL DUCT ABOVE.
- SAWCUT & REMOVE MASONRY WALL. SEE MECH. DWG.S

**CONST. GENERAL NOTES**

- PERFORM CONSTRUCTION, WHETHER OR NOT INDICATED ON DWGS, AS REQ'D TO ACCOMMODATE DESIGN INTENT INDICATED ON DWGS.
- PATCH/REPLACE TO MATCH SIM. CONSTRUCTION BLDG. ELEMENTS DEMOLISHED BEYOND THAT REQ'D TO ACCOMMODATE CONSTRUCTION.
- PATCH VOIDS/PREPARE SURFACES FOR NEW FINISH.
- AREA SHADED THUS  DENOTES PORTION OF SITE WHERE NO WORK SHALL BE PERFORMED EXCEPT THAT WHICH IS REQUIRED TO ACCOMMODATE OTHER WORK INDICATED ON THE DRAWINGS.
- PATCH DEMOLISHED CONC. SLAB/DECK PER 1/AA.2.1.

**CONST. KEYED NOTES**

- EXISTING MASONRY WALL - TYPICAL.
- EXISTING ALUMINUM & GLASS STOREFRONT - TYPICAL.
- EXISTING ALUM. & GLASS EXTERIOR DOOR. CLOSE & LOCK.
- EXISTING CONCRETE PAVEMENT.
- EXISTING VENT OPENING THROUGH MASONRY WALL.
- NOT USED.
- EXISTING STEEL COLUMN & DRYWALL SURROUND.
- EXISTING STAIR W/ TREAD/RISER COVERS & HANDRAIL.
- EXISTING DRYWALL ON METAL STUD PARTITION - TYPICAL.
- NOT USED.
- EXISTING MECHANICAL FURNACE.
- CURTAIN TO MATCH TRELLIS AWNING & TRACK BY TENANT.
- EXISTING HOT WATER HEATER.
- HOSTESS STATION (NIC), VER. STATION & FLR. RECEPTACLE LOCATIONS W/ TENANT PRIOR TO CONSTRUCTION.
- PROPOSED (EP) OR EXISTING ((E)EP) ELECTRIC PANEL -TYP.
- FLR. SINK (FS) OR FLR. DRAIN (FD). (E) INDICATES EXISTING.
- FULL-HGT. 20 GA. MIN. 316 STAINLESS STEEL W/ SATIN FINISH WALLCOVERING BELOW HOODS. FULLY ADHERE TO WALL.
- WALL-MTD. TV BY TENANT. SUPPORT SYSTEM BY CONTR.
- CLG.-MTD. TV BY TENANT. SUPPORT SYSTEM BY CONTR.
- TRELLIS-MTD TV BY TENANT. SUPPORT SYSTEM BY CONTR.
- 36" H. SURFACE-MOUNTED BLACK RAILING W/ CURVED ALUM. BALUSTER RAILING AS MFD. BY "MADDEEN METALS" OR EQUAL
- ACCORDION DOOR & TRACK. STORE FOR RELOCATION.







**CONSTRUCTION KEYED NOTES**

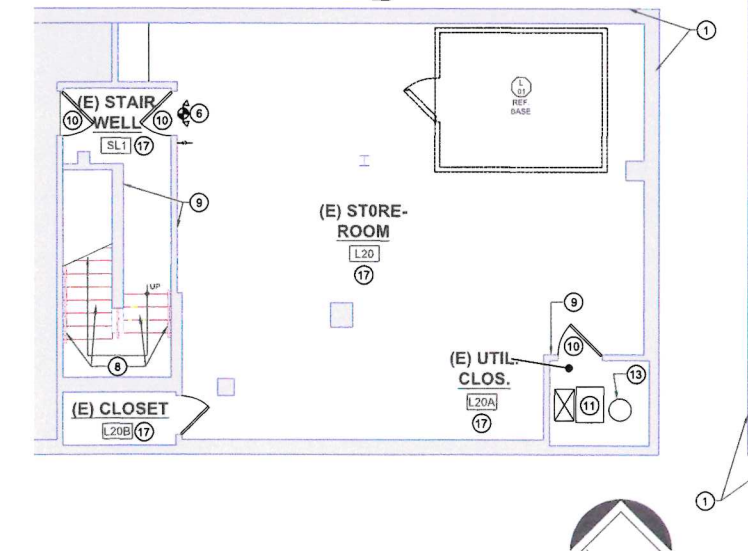
- FIBERGLAS PLANTER AS MFD. BY TOULON. SEE AS1.1 & A/AS2.1
- RELOCATED FIRE EXTINGUISHER W/ BRACKET.
- CLADDED WOOD COLUMN FOR TRELLIS ABOVE. SEE AS1.1.
- 4" CONC. W/ 6 x 6 x 10/10 MESH ON 4" CRUSHED ROCK BASE ON COMPACTED EARTH. STAIN TO MATCH INT. DINING FLOOR SLAB.
- WAITRESS STATION. SEE B/AS2.1.
- 4" CONC. W/ 6 x 6 x 10/10 MESH ON 4" CRUSHED ROCK BASE ON COMPACTED EARTH.
- RELOCATED ALUM. & GLASS DOOR, REPLACEMENT GLAZING & PATCHED ALUM. MULLIONS & MASONRY. SEE A/AS3.1 & 4/AA.1.
- WOOD PLANK WING WALL. SEE B/AS2.1.
- DISPLAY CASE (NIC).
- INFILL EXISTING MASONRY OPENING TO MATCH EXISTING. TOOTH-IN BLOCK. PAINT TO MATCH ADJACENT PAINT.
- WAITRESS STATION (NIC).
- MOP SINK W/ SHELVING ABOVE. SEE PLUMBING DRAWINGS.

**DEMOLITION KEYED NOTES**

- STAINLESS STEEL COUNTER ABOVE STEAM & FOOD PREP TABLES. FIELD VERIFY ACTUAL LOCATION. SEE 2/AS.1.
- MOBILE DELIVERY PICK-UP CUBBIES (NIC).
- DINING BANQUETTE & TABLE BY OWNER.
- REINSTALL HANDRAIL ON WALL W/ADDITIONAL BRACKETS & WALL BLOCKING AS REQ'D FOR COMPLETE INSTALLATION. MATCH EXIST. HGT. & RELATION TO TOP & BOT.NOSINGS.
- LOW DW PARTITION ALIGN W/ EXIST. COLUMN. SEE A/AA.1.
- LOW DW PARTITION TO 1" BEYOND BANQUETTE. SEE B/AA.1.
- TABLE & CHAIRS (NIC) - TYPICAL.
- SOAP DISP. @ 48" MAX. AFF TO OPERATING MECHANISM. TYP.
- 10" DIA. GROMMET W/ VINYL TRIM @ CENTER OF CNTRTOP.
- PTD @ 48" MAX. AFF TO OPERATING MECHANISM. TYP.
- DUCT THRU WALL ABOVE. SEE MECH. DWG.S & C/AA.1.
- 6 x 6 POST. SEE AS1.1

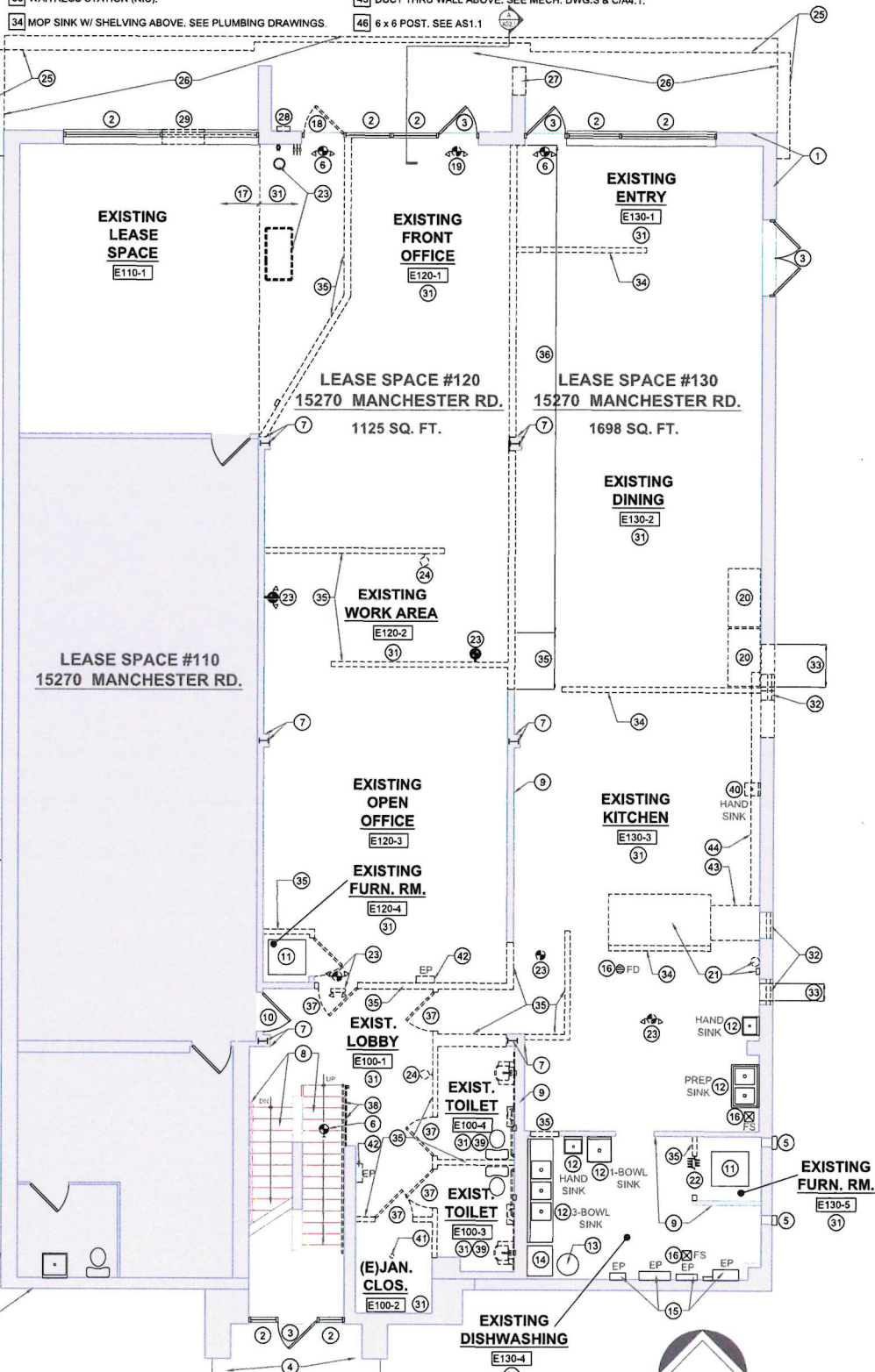
**PARTITION TYPE LEGEND**  
(REFER TO PARTITION TYPES ON SHEET A4.1)

- TYPE 1A 
- TYPE 1B 
- TYPE 2A 
- TYPE 2B 
- TYPE 2C 
- TYPE 3A 



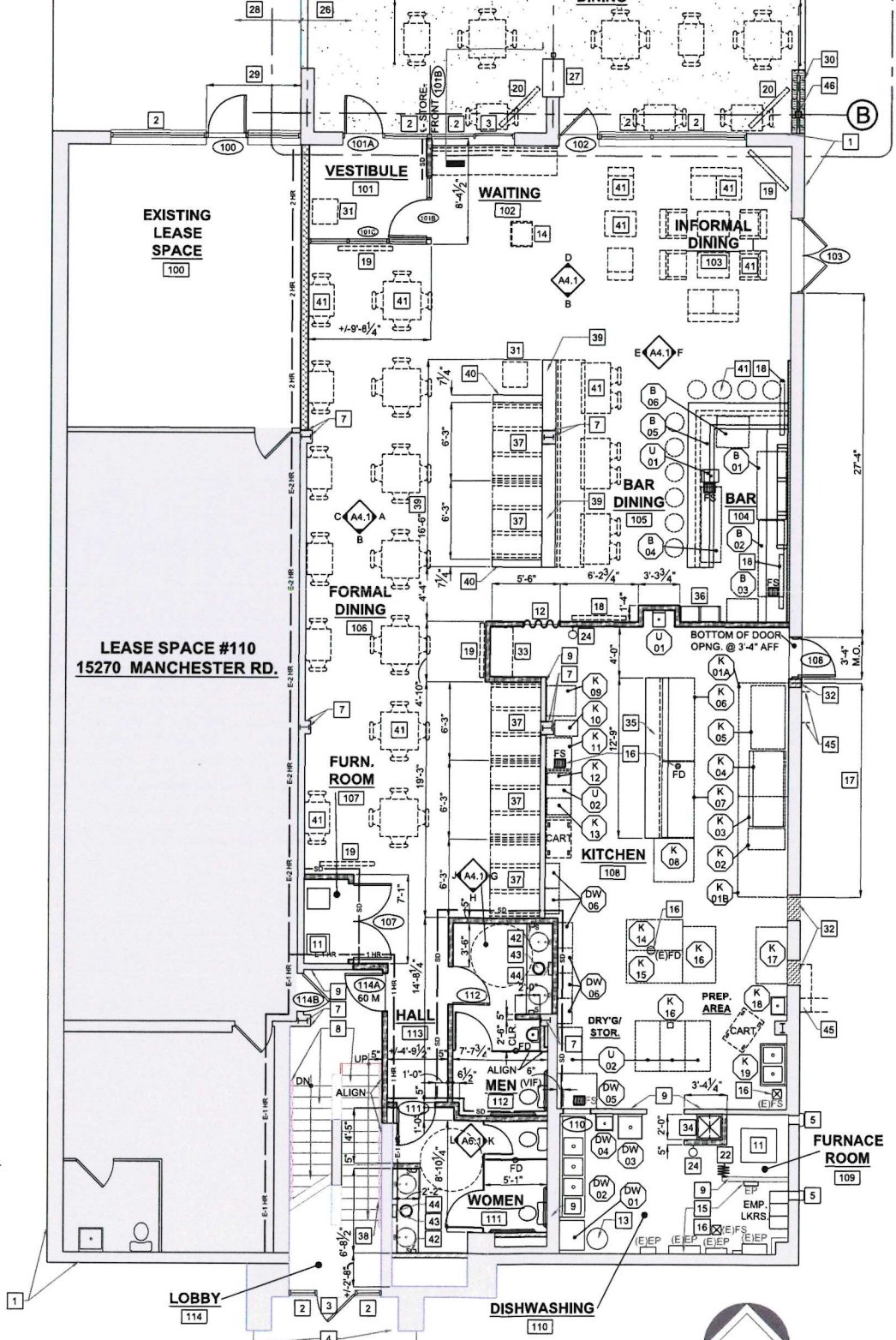
**LOWER LEVEL FLOOR PLAN**

SCALE: 3/16" = 1'-0"



**DEMOLITION FLOOR PLAN**

SCALE: 3/16" = 1'-0"



**CONSTRUCTION FLOOR PLAN**

SCALE: 3/16" = 1'-0"

L.S. GOLDWORM ARCHITECT  
4447 SOUTH 37TH STREET  
ST. LOUIS, MISSOURI 63116  
314-422-1635



TENANT IMPROVEMENT FOR  
**INCA MAYA RESTAURANT**  
15270 MANCHESTER RD. BALLWIN, MO. 63011

SHEET TITLE:  
**DEMOLITION & CONSTRUCTION FLOOR PLANS**

REV.	DATE	DESCRIPTION

DATE: 12-12-2024

SHEET NO.:

**A1.1**

PERMIT SET.

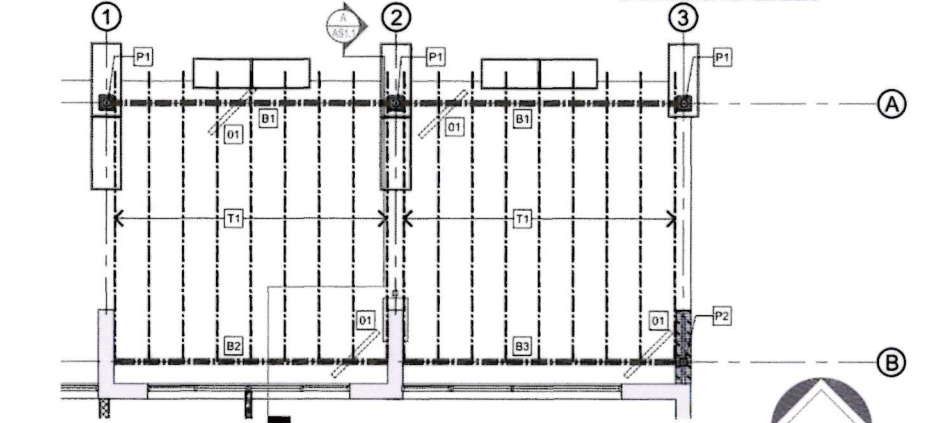
*SUE-25-02*

**GENERAL NOTES**

- ALL CONNECTIONS SHALL BE GALVANIZED & MANUFACTURED BY SIMPSON STRONG-TIE OR APPROVED EQUAL UNLESS INDICATED OTHERWISE.
- BEAMS & POSTS SHALL BE PRESSURE TREATED FOR WEATHER RESISTANCE.

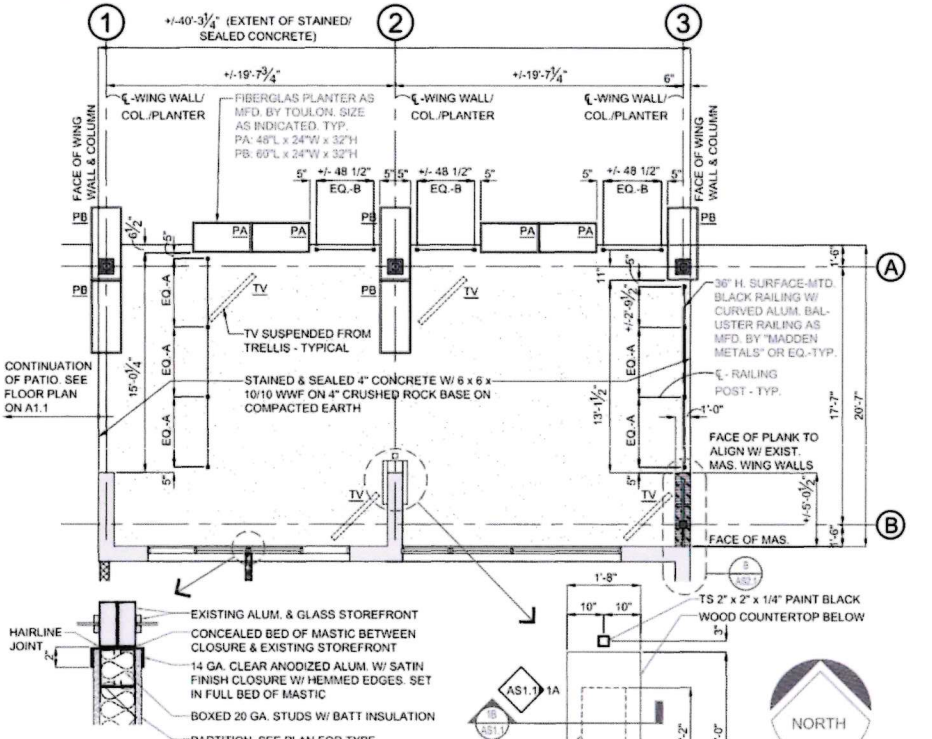
**STRUCTURAL MEMBER LEGEND**

- 01 3" x 2" x 1/2" PLYWOOD SPACERS & 5/16" x 13" GROOVE SHANK NAIL IN A COL. OF 4 @ 12" O.C. SIMPSON W/BACK 5025 20KT HANGER @ EA END
- 02 3" x 2" x 1/2" PLYWOOD SPACERS & 5/16" x 13" GROOVE SHANK NAIL IN A COL. OF 4 @ 12" O.C. SIMPSON W/BACK 5025 20KT HANGER @ EA END
- 03 3" x 2" x 1/2" PLYWOOD SPACERS & 5/16" x 13" GROOVE SHANK NAIL IN A COL. OF 4 @ 12" O.C. SIMPSON W/BACK 5025 20KT HANGER @ WEST END
- 04 6" x 4" POST W/ SIMPSON CBRG BASE & SIMPSON EPOZ2 POST CAP
- 05 2" x 12" TIE TRUSS MEMBER NOTCHED @ SUPPORTING BEAM, CONNECT TO TOP OF BEAMS W/ SIMPSON HLTRIC @ EA. SIDE. BLACK FINISH CONNECTOR & FASTENERS
- 06 SUSPENDED TV (M/C) W/ MOUNTING BRACKET INSTALLED IN ACCORDANCE W/ MFR. INSTRUCTIONS. SUPPORT FROM TRUSS MEMBERS.



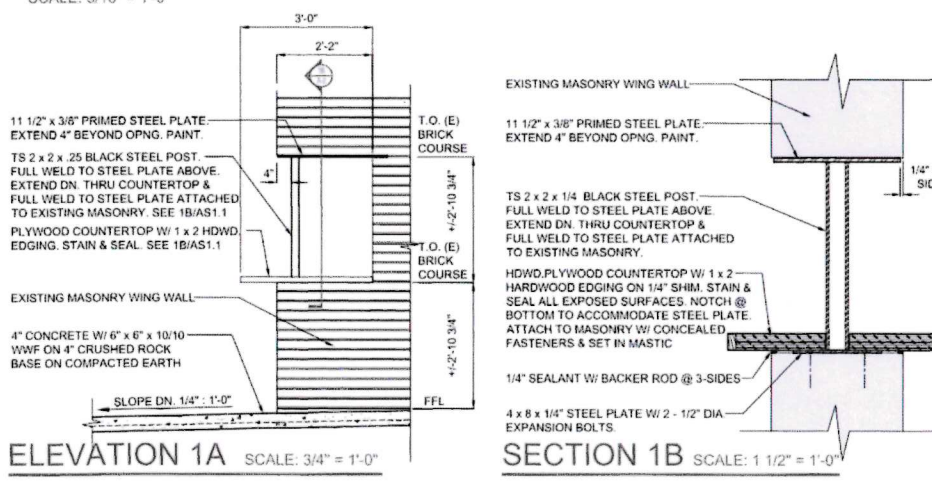
**OUTDOOR CANOPY FRAMING PLAN**

SCALE: 3/16" = 1'-0"



**OUTDOOR DINING FLOOR PLAN**

SCALE: 3/16" = 1'-0"



**ELEVATION 1A** SCALE: 3/4" = 1'-0"

**SECTION 1B** SCALE: 1 1/2" = 1'-0"

**EXISTING DESIGN NOTES:**

- TOTAL PARKING SPACES PROVIDED: 53
- HC PARKING SPACES PROVIDED: 2

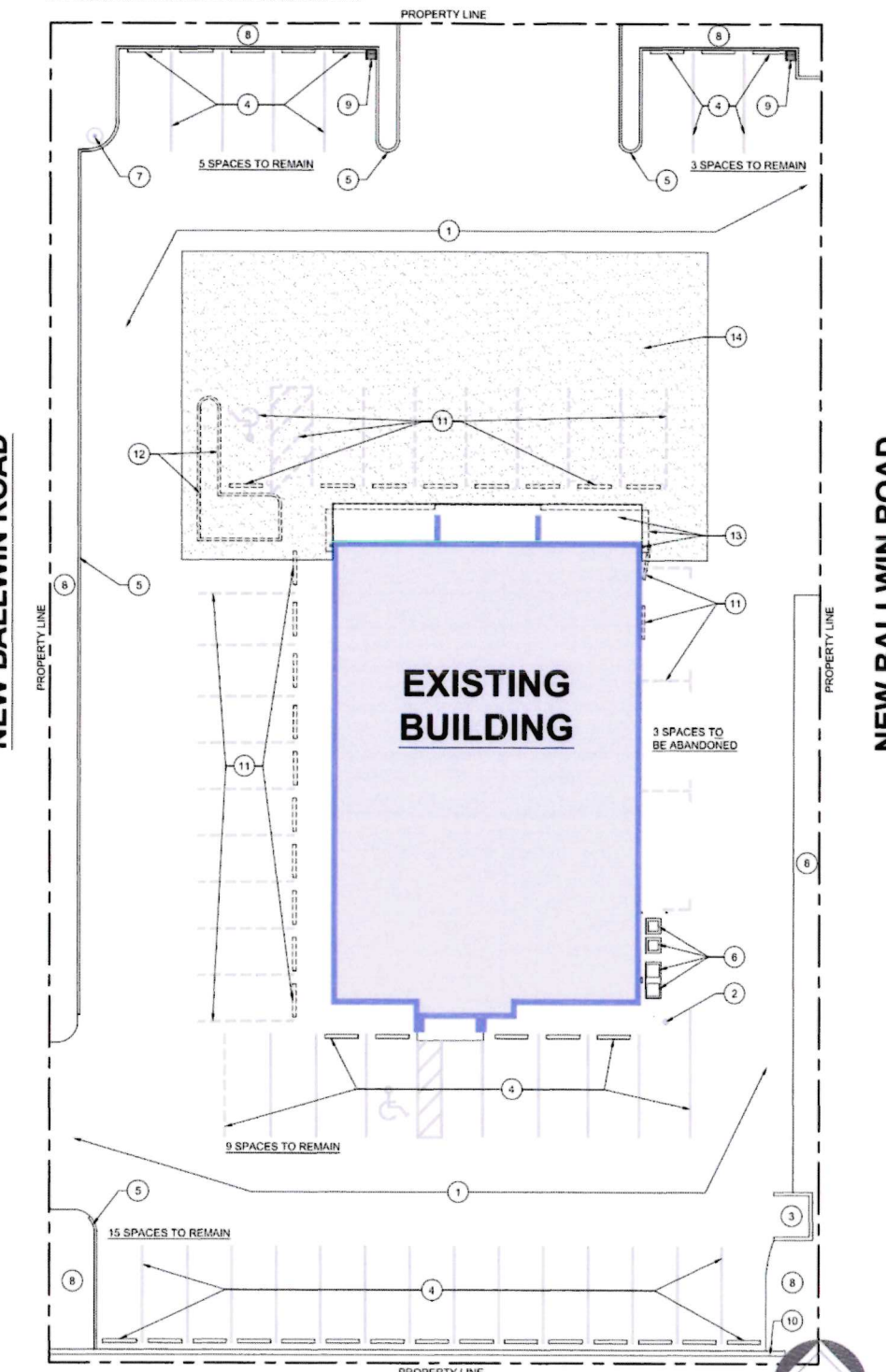
**DEMOLITION GENERAL NOTES:**

- PERFORM DEMOLITION, WHETHER OR NOT SPECIFICALLY INDICATED ON DRAWINGS, AS REQUIRED TO ACCOMMODATE CONSTRUCTION.
- REMOVE EXISTING ADHESIVES, ANCHORAGES, FINISHES SUCH AS PAINT, SEALER, ETC. AS REQ'D FOR INSTALLATION OF INTENDED FINISHES/ MATERIALS.
- BUILDING ELEMENTS EXPOSED DUE TO DEMOLITION OR DAMAGE CAUSED BY THE CONTRACTOR SHALL BE PROTECTED FROM WEATHER CONDITIONS.
- DEMOLITION PLAN MAY NOT REFLECT ALL MECH., ELEC., PLUMBING & FIRE PROTECTION DEVICES / SYSTEMS. CONTRACTOR TO VERIFY CONDITIONS & PROVIDE ENGINEERING/DEMOLITION AS REQ'D TO ACCOMMODATE CONSTRUCTION.

**DEMOLITION KEYED NOTES**

- PARKING LOT W/ ASPHALTIC CONCRETE SURFACE TO REMAIN. TYP. UNO.
- POWER POLE TO REMAIN.
- TRASH CONTAINER PAD TO REMAIN.
- PARKING STRIPING & CONCRETE STOP TO REMAIN. TYPICAL.
- ASPHALT CURB TO REMAIN - TYPICAL.
- CONDENSERS ON CONCRETE PAD TO REMAIN.
- SITE SIGNAGE ON CONCRETE BASE TO REMAIN.
- LANDSCAPING TO REMAIN.
- AREA DRAIN TO REMAIN.
- CMU RETAINING WALL TO REMAIN.
- 4" W. PAINT STRIPE TO BE REMOVED. CONC. STOP TO BE RELOCATED - TYP.
- REMOVE ASPHALT CURB.
- REMOVE CONC. PATIO, CANOPY, DOWNSPOUT. SEE DEMO. FLR. PLAN A1.1
- HATCHING THUS [HATCHING] INDICATES ASPHALT PAVEMENT TO BE REMOVED AS REQ'D TO ACCOMMODATE REVISED PARKING & TRANSITION TO EXISTING SURFACES.

**MANCHESTER ROAD**



**DEMOLITION SITE PLAN**

SCALE: 1/16" = 1'-0"

**PROPOSED DESIGN NOTES:**

- TOTAL PARKING SPACES PROVIDED: 53
- TOTAL PARKING SPACES REQUIRED: 53
- HC PARKING SPACES PROVIDED: 4
- HC PARKING SPACES REQUIRED: 3

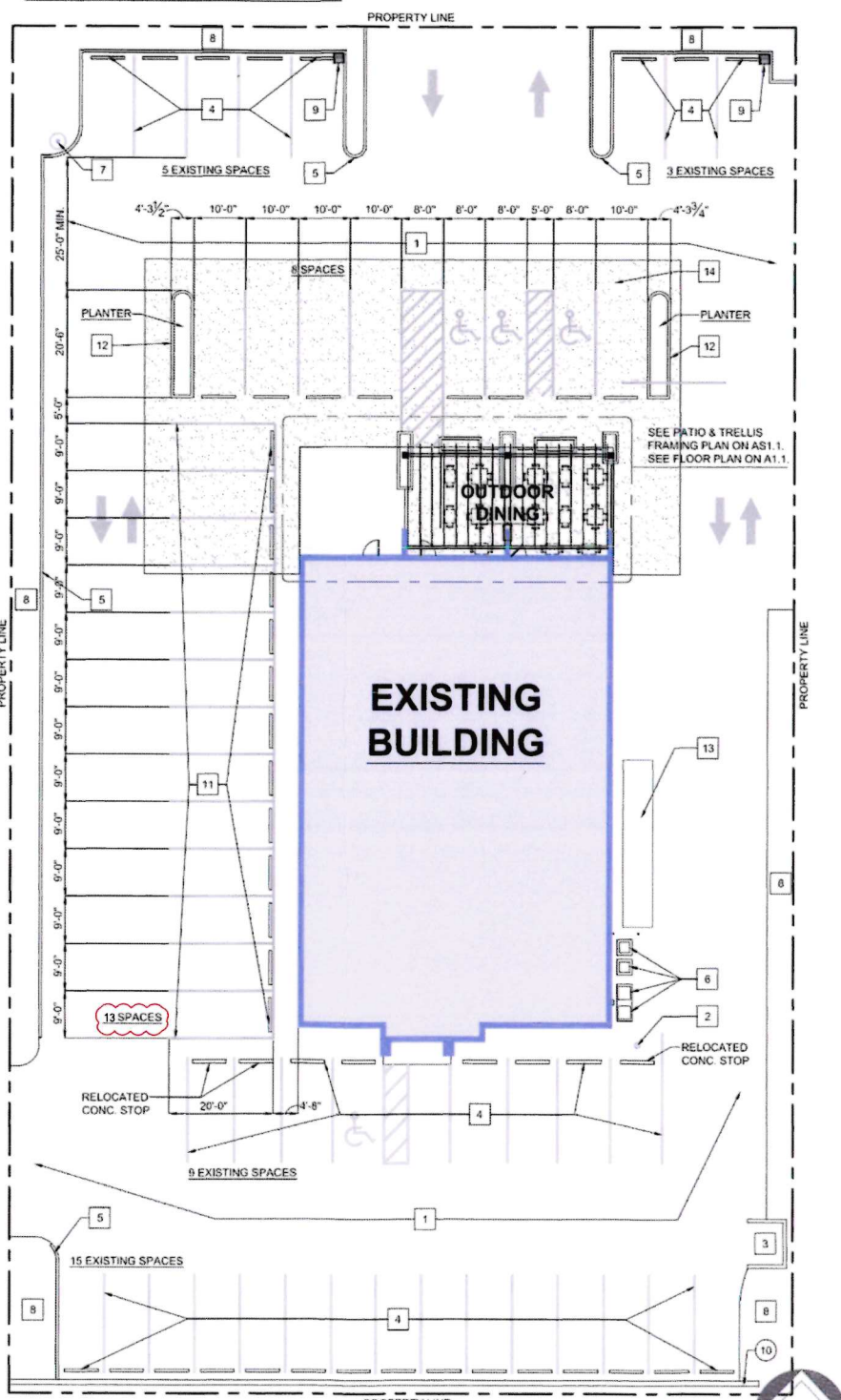
**CONSTRUCTION GENERAL NOTES**

- PERFORM CONSTRUCTION, WHETHER OR NOT INDICATED ON DWGS. AS REQ'D TO ACCOMMODATE NEW CONSTRUCTION.
- PATCH/REPLACE BUILDING ELEMENTS DEMOLISHED BEYOND THAT REQ'D TO ACCOMMODATE NEW CONSTRUCTION.
- PATCH VOIDS AND PREPARE ALL SURFACES AS REQUIRED TO RECEIVE INTENDED FINISH.
- PLAN DOES NOT REFLECT ALL MECH., ELEC., PLUMBING & FIRE PROTECTION DEVICES / SYSTEMS / ELEMENTS. MEP & FP DESIGN / BUILD CONTRACTOR IS RESPONSIBLE FOR:
  - QUANTITIES, SELECTION AND LOCATIONS OF MEP & FP ITEMS.
  - THE EXACT QUANTITY AND LAYOUT OF FIXTURES / DEVICES / ELEMENTS IN ACCORDANCE WITH GOVERNING CODES.

**DEMOLITION KEYED NOTES**

- EXISTING PARKING LOT W/ ASPHALTIC CONCRETE SURFACE. TYP. UNO.
- EXISTING POWER POLE.
- EXISTING TRASH CONTAINER PAD.
- EXISTING PARKING STRIPING & CONCRETE STOP. TYPICAL.
- EXISTING ASPHALT CURB - TYPICAL.
- EXISTING CONDENSERS ON CONCRETE PAD.
- EXISTING SITE SIGNAGE ON CONCRETE BASE.
- EXISTING LANDSCAPING.
- EXISTING AREA DRAIN.
- EXISTING CMU RETAINING WALL.
- 4" W. PAINT STRIPE & RELOCATED CONCRETE STOPS. USE ADDITIONAL STOPS FROM FRONT OF PROPERTY AS REQUIRED - TYP.
- ASPHALT CURB TO MATCH EXISTING.
- MECH. UNITS. TIGHT TO BLDG. AS REQ'D CLEARANCES ALLOW. SEE MECH. DWGS.
- HATCHING THUS [HATCHING] INDICATES REPLACEMENT 3" MIN. ASPHALTIC CONCRETE ON 6" CRUSHED ROCK BASE. 1/4" PER 1'-0" SLOPE IN ANY DIRECTION @ HC. PARKING SPACES & ACCESS AISLES. 8% SLOPE OTHERWISE.

**MANCHESTER ROAD**



**CONSTRUCTION SITE PLAN**

SCALE: 1/16" = 1'-0"

L.S. GOLDWORM  
ARCHITECT  
4447 SOUTH 37th STREET  
ST. LOUIS, MISSOURI 63116  
314-422-1635



TENANT IMPROVEMENT FOR  
**INCA MAYA RESTAURANT**  
15270 MANCHESTER RD., BALLWIN, MO. 63011

SHEET TITLE:  
**SITE PLANS, OUTDOOR DINING PLAN, TRELIS FRAMING PLAN**

DATE	DESCRIPTION	REV	BY

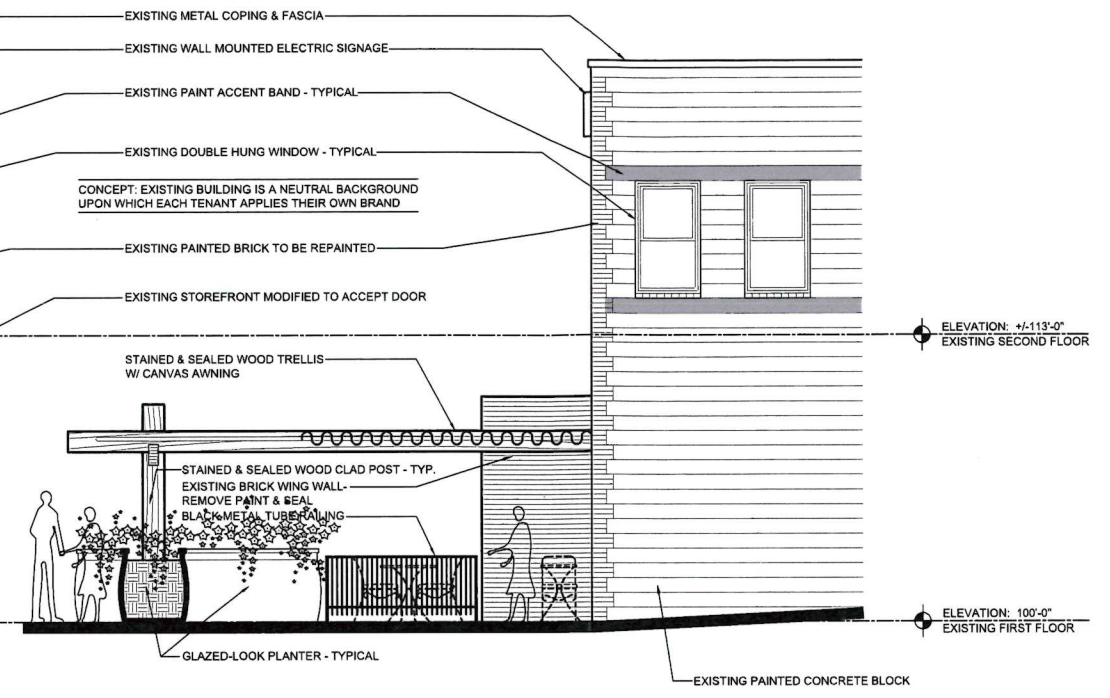
DATE: 12-12-2024  
SHEET NO.:  
**AS1.1**  
PERMIT SET

REV. NO.	DATE	DESCRIPTION



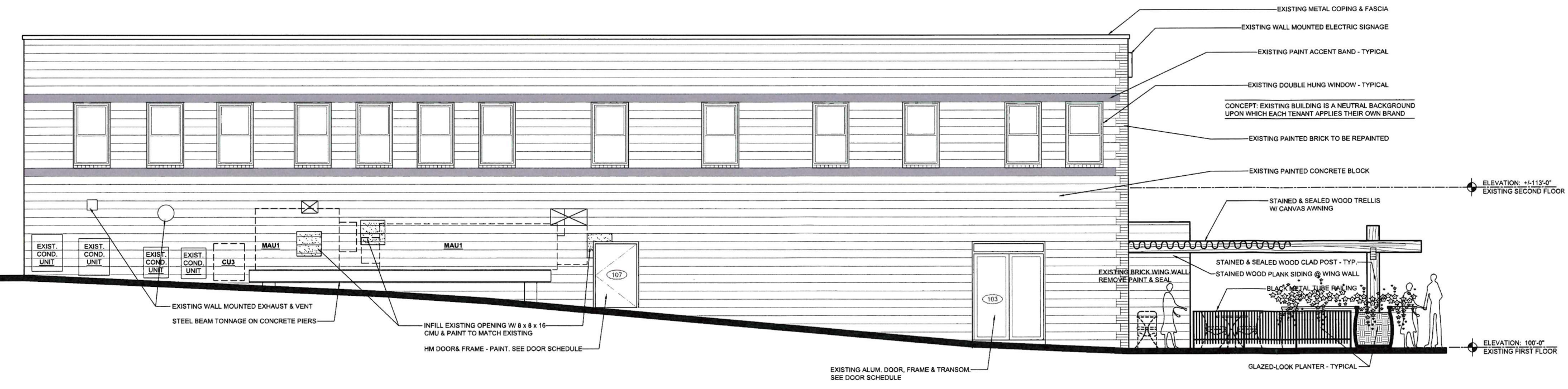
**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



**WEST ELEVATION**

SCALE: 1/4" = 1'-0"



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"



## **PUBLIC HEARING**

Notice is hereby given that on Monday, March 3, 2025 at 7:00 pm, a Public Hearing will be held by the Planning & Zoning Commission in the City Government Center Board Room at 1 Government Center, Ballwin, Missouri 63011. The Commission will consider the following Petition:

SUE-25-02 - Petition for a restaurant with front yard parking, outdoor seating and sale of alcoholic beverages at 15270 Manchester Rd.

Additional information on this Petition is available at the City Government Center or by calling 636-227-2243.