

AUGUSTA HOUSING AND COMMUNITY DEVL.

FOR

Vetted Investment & Aquisitions, LLC

PO Box 8076 Fort Gordon, GA. 30905

Project Location: 1117 CEDAR ST. AUGUSTA, GA. 30901

NOTICE

These plans and construction are subject to inspection by the Augusta Richmond County Inspection Dept. before, during and after completion of construction. All inspections are based on ICC or IRC codes as adopted by the State of Georgia & Richmond County. Any oversights on the part of the architect, contractor, or plans examiner not detected during preconstruction review of these prints will be subject to the above code and correction may be required.

Augusta Richmond County Inspection Dept.

INSPECTIONS	
FSL	REL
TPE	R/MC
GRD	RPL
FT	P/PWR
FFT	FBU
CPL	FEL
CBU	FMC
MBU	FPL
INS	Low Vol
RFR	Gas Line
C-to-Child	

2 BDRM HOUSE
LETTER FROM UTILITIES IN FILE
VARIANCE IN FILE
APPROVED SUBDIVISION IN FILE

LARRY L. MCCORD
DESIGN/BUILD
2016 HIGHLAND AVE
AUGUSTA, GA. 30904
llmccord@comcast.net
706.733.2931 (O)

SHEET INDEX

ID	Name
A-001	COVER SHEET
A-1	1. S-1 SITE PLAN
A-102	A-101 FIRST FLOOR
A-103	F-1 FOUNDATION PLAN
A-201	SOUTH ELEVATION
A-202	NORTH ELEVATION
A-203	EAST ELEVATION
A-204	WEST ELEVATION
FS-1	NCS DOOR FTNISH SCHEDULE

PROJECT DATA :

PROJECT INFORMATION:
ZONING:
LEGAL DESCRIPTION:
CONSTRUCTION TYPE: IIIA

PROJECT OCCUPANCY GROUP:
GROUP R (RESIDENTIAL SINGLE FAMILY DETACHED) (IBC310.1)

PROJECT ADDRESS:
1117 Cedar St, Augusta, GA 30901
Vetted Investments & Acquisitions, LLC
PO Box 8076
Fort Gordon, GA 30905

TYPE OF CONSTRUCTION:
TYPE V WOOD FRAMING, NON-SPRINKLED

HEIGHT:
1 STORY 15'-8"
AREA: 1,280 SQUARE FEET/1 STORY/15'-8"
(IBC 406.1.2)

BUILDING CODE:
IBC 2021 INTERNATIONAL BUILDING CODE
IRC 2021 INTERNATIONAL RESIDENTIAL CODE

SQUARE FOOTAGE

FIRST FLOOR: 1,176 SQ. FT.
TOTAL A/C: 1,176 SQ. FT.
FRONT COV. PORCHED
GARAGE : N/A
TOTAL SQ. FT.

LOT USAGE

FOOTPRINT: 1,176 SQ. FT.
LOT SIZE:
TRACT A 059-2-185-00-0
TRACT B 059-2-184-00-0
TRACT C 059-2-183-00-0
TRACT D 059-2-182-00-0

NON ROOF AREA
% OF LOT

THESE DEVELOPED DRAWINGS SHALL BE KEPT ON JOB SITE AND ACCESSIBLE FOR DURATION OF CONSTRUCTION.

Augusta Richmond County Inspection Dept.

By: *[Signature]* Date: 11/13

Emergency escape and rescue required. Basement with habitable space and every sleeping room shall have at least one operable emergency escape and rescue window or exterior door opening for emergency escape and rescue.

Minimum opening area. All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet.

Exception: Grade floor openings shall have a minimum net clear opening of 8 square feet.

Minimum opening height. The minimum net clear opening height shall be 24 inches.

Minimum opening width. Minimum net clear opening width shall be 20 inches.

Operational constraints. Emergency escape and rescue openings shall be operational from the inside of the room without the use of keys or tools.

Please check manufacturer's specifications.

ANCHOR BOLTS PER CODE

Smoke and Carbon Monoxide Detectors shall meet the requirements of section R311 through R315 of the residential code and all amendments to this code section.

NOTE

FOUNDATION & SLAB SUB GRADE SHALL BE TERMITE TREATED & INSPECTED BEFORE SLAB POURED.

FOUNDATION ANCHOR BOLT SHALL BE 1/2"X 10" & SPACED 6' O.C. INSTALL ONE ANCHOR BOLT 12" OFF EACH CORNER.

SEE FOUNDATION PLAN FOR LOCATION OF 8" INCH THICKEN GRADE BEAMS.

FINISH ELEVATIONS SHALL PROVIDE A POSITIVE WATER FLOW AWAY FROM THE BUILDING ON ALL SIDE. PROTECT ADJACENT STREET & OTHER PROPERTY FROM SOIL EROSION. PROVIDE C POP SILK FENCING AS NEEDED TO PREVENT SOIL EROSION.

YARD GRASS SHALL BE ESTABLISH BEFORE FINAL INSPECTION IS ISSUE AND OR CERTIFICATE OF OCCUPANCY.

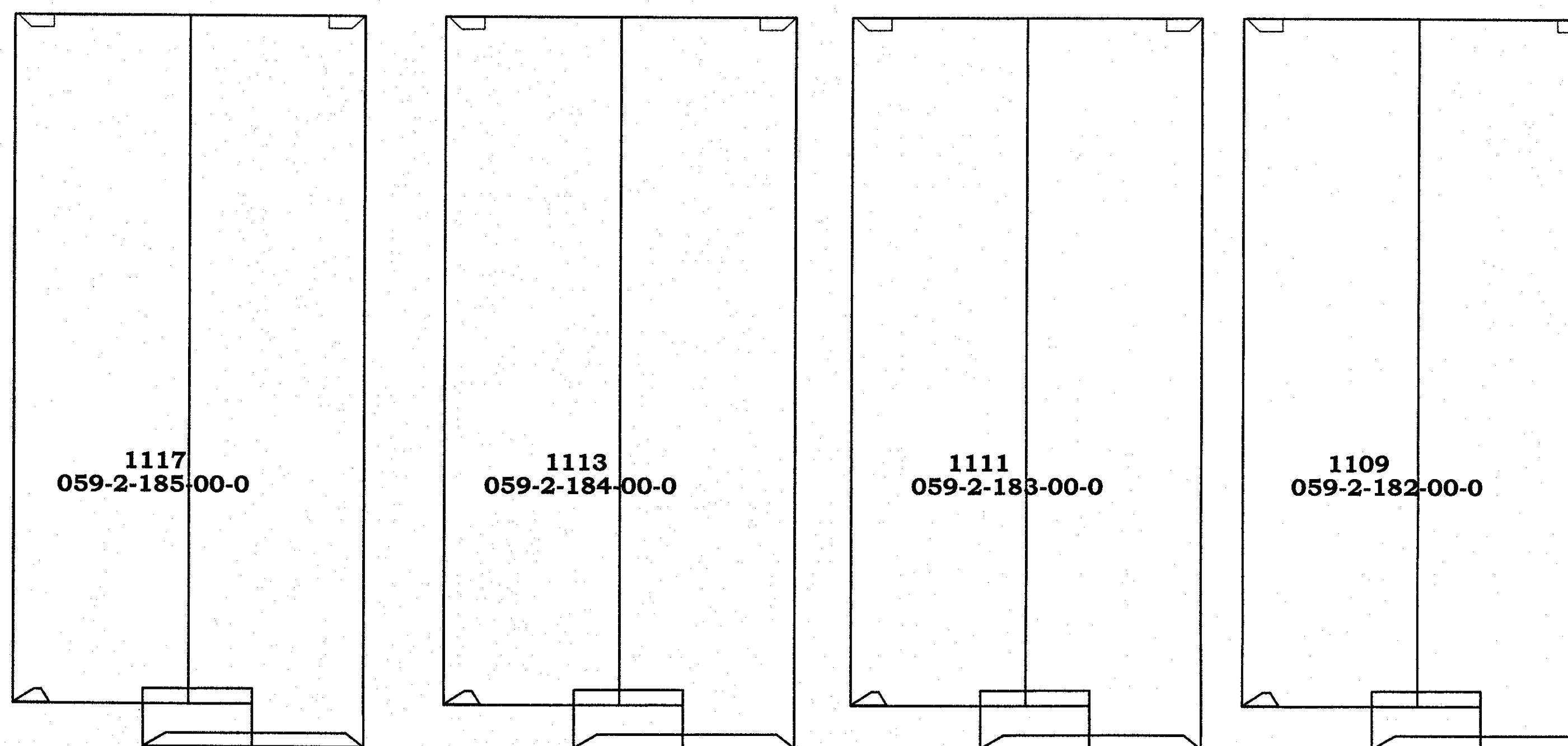
DO NOT SCALE DRAWING; IF ANY CLARITY NEEDED CALL DESIGN BUILD CONTRACTOR LISTED ON THE PLANS.

ALL EXISTING UTILITIES SHALL BE LOCATED AND PROPERLY MARKED BEFORE ANY DIGGING ON SITE. (CALL 811 FOR ALL LOCATES.)

ALL CONSTRUCTION PHASES SHALL BE GOVERN BY THE LOCAL CODE ,THE INTERNATIONAL RESIDENTIAL BUILDING CODES, INTERNATIONAL PLUMBING & MECHANICAL CODE, NATIONAL ELECTRICAL CODE, & ANY UPDATES THAT APPLY.

ALL SUBCONTRACTOR & TRADEMANS SHALL VERIFY ANY CONCERN OR ERRORS IN WRITING TO THE CONTRACTOR FOR CLARITY OR DICUSSION.

DESIGN BUILD CONTRACTOR SHALL BE HELD HARMLESS FOR ANY ERRORS OR OMISSIONS.



CEDAR STREET

2 S-1 SITE PLAN
A-001 SCALE: 1/8" = 1'-0"

THIS DRAWING IS THE PROPERTY OF LARRY L MCCORD LLC DESIGN BUILD. AND IS NOT TO BE REPRODUCED OR COPIED IN WHOLE OR IN PART OR USED FOR FURNISHING INFORMATION TO OTHERS. ANY ATTEMPT TO REPRODUCE MUST BE APPROVED IN WRITING BY LARRY L MCCORD OWNER OF LARRY L MCCORD LLC DESIGN BUILD.

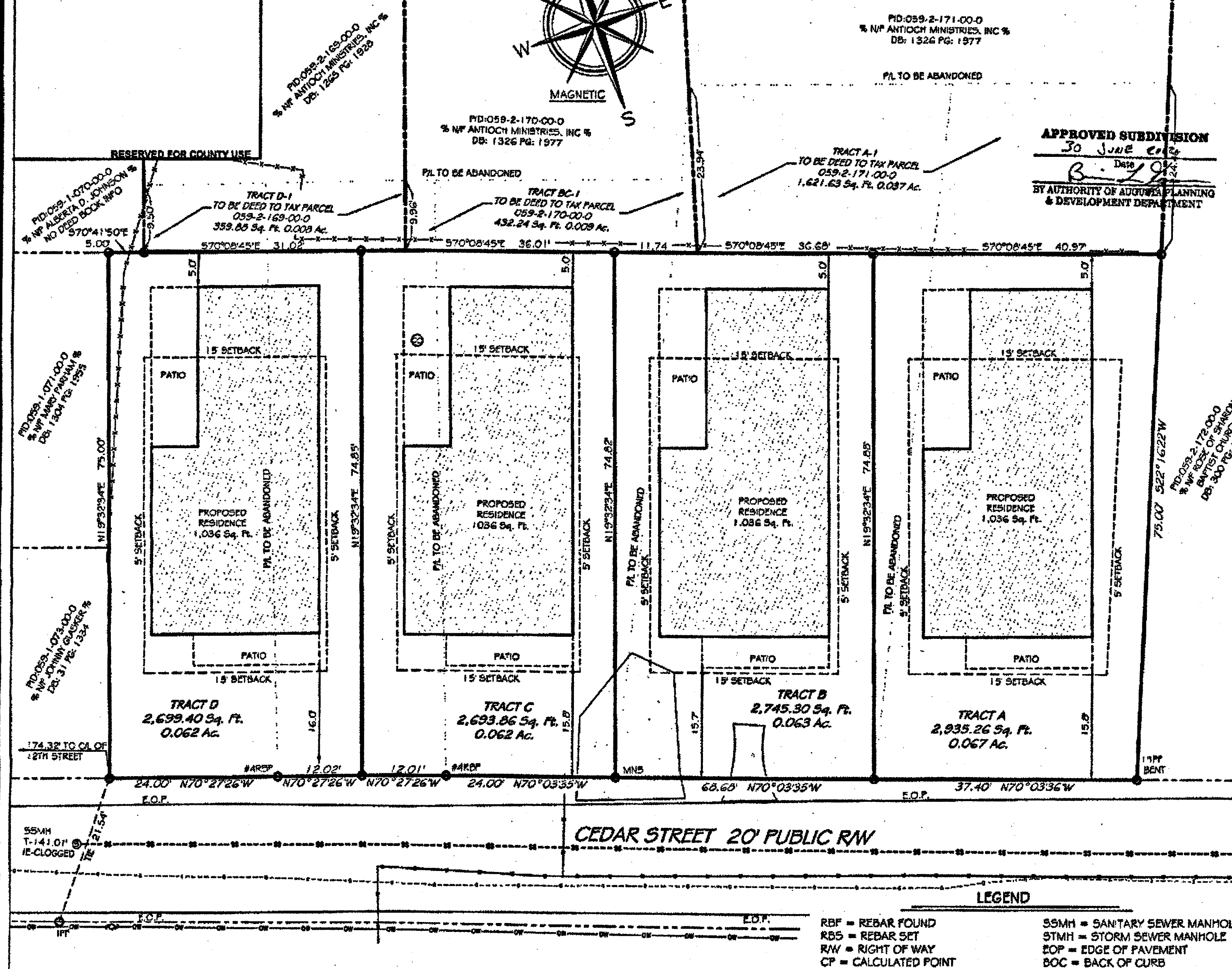
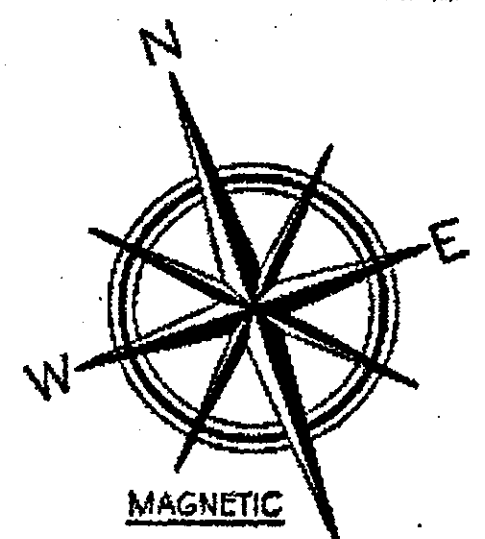
NEW RESIDENCES
LOTS 1117,1113,1111,1109 CEDAR ST.
AUGUSTA GA. 30901
VETTED INVESTMENTS ACQUISITIONS,LLC
PO BOX 8076
FORT GORDON, GA 30906

REVISED	DATE	DESCRIPTION
	3/2/22	PRELIM. FL.
	10/11/22	FIN. SET

PROJECT NO.
DRAWN BY LLM
CHKD. BY

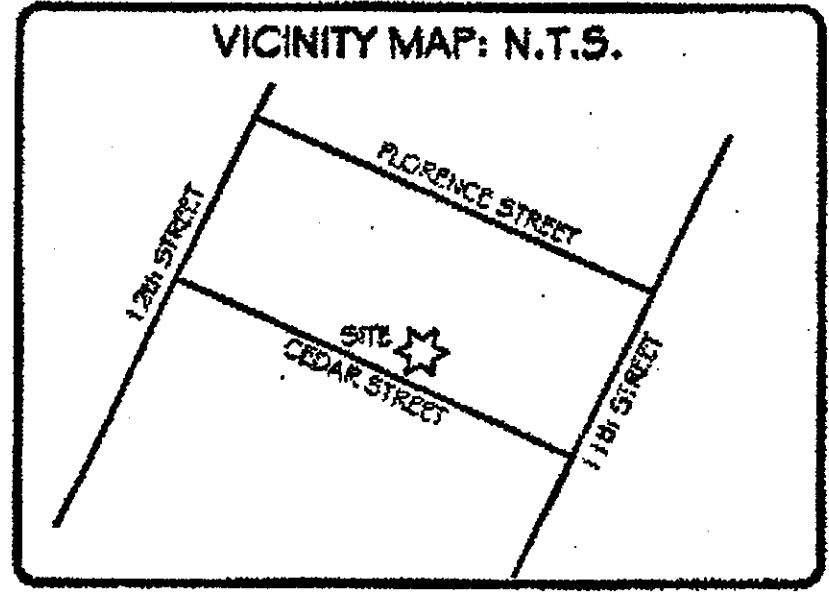
SHEET NO.
A-001

D: PLAT B: 17 P: 85
 Recorded: 07/06/2022 05:59 PM
 Doc # 2022050840 Pages: 1 Fees: \$10.00
 Hattie Holmes Sullivan
 Clerk of Superior Court, Augusta-Richmond County, GA
 eFile Participant ID: 480442262



APPROVED SUBDIVISION
 30 June 2022
 Date
 BY AUTHORITY OF AUGUSTA PLANNING & DEVELOPMENT DEPARTMENT

GENERAL NOTES
 1. THIS PROPERTY MAY BE SUBJECT TO RESTRICTIONS AND OTHER EASEMENTS NOT SHOWN HEREON BUT MAY BE RECORDED IN THE CLERK OF COURTS OFFICE.
 2. #4RBS AT ALL PROPERTY CORNERS UNLESS NOTED OTHERWISE.



SCALE: 1" = 10'

DESCRIPTION:
 PLAT SHOWING EXISTING TAX PARCELS 059-2-182-00-0, 059-2-183-00-0, 059-2-184-00-0, 059-2-185-00-0 & 059-1-074-00-0 TO BE RECONFIGURED INTO TRACTS A, B, C & D.

FIELD: KH # ST	DATE OF FIELD WORK: 04/13/2022
DRAWN: HAS	DATE OF PLAT OR MAP: 04/14/2022
CHECKED BY: JPM	ORDERED BY:
COUNTY: AUGUSTA-RICHMOND	SCALE: 1"=10'
LOCATION: CEDAR STREET	JOB No: 522076
REVISION NOTES: 05/16/2022 - ADJUSTED HOUSE POSITIONS	

BOUNDARY SURVEY

AUGUSTA GEORGIA LAND BANK AUTHORITY

AS REQUIRED BY SUBSECTION (c) OF O.C.G.A. SECTION 15-6-67, THIS PLAT HAS BEEN PREPARED BY A LAND SURVEYOR AND APPROVED BY ALL APPLICABLE LOCAL JURISDICTIONS FOR RECORDING AS EVIDENCED BY APPROVAL CERTIFICATES, SIGNATURES, STAMPS, OR STATEMENTS HEREON SUCH APPROVALS OR AFFIRMATIONS SHOULD BE CONFIRMED WITH THE APPROPRIATE GOVERNMENTAL BODIES BY ANY PURCHASER OR USER OF THIS PLAT AS TO INTENDED USE OF ANY PARCEL. FURTHERMORE THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

Surveyor's Signature: *John P. Malone*
 Registered Surveyor: John P. Malone
 Registration Number: LS 2826
 In the State of Georgia

S&A LAND SURVEYING
 Stencel & Associates, LLC
 229 Greenway Street - Thomson, Georgia 30624
 C.O.A. - LS#001350
 Email: stencelassociates@gmail.com
 www.sandlansurveying.com Phone: 706.690.5023

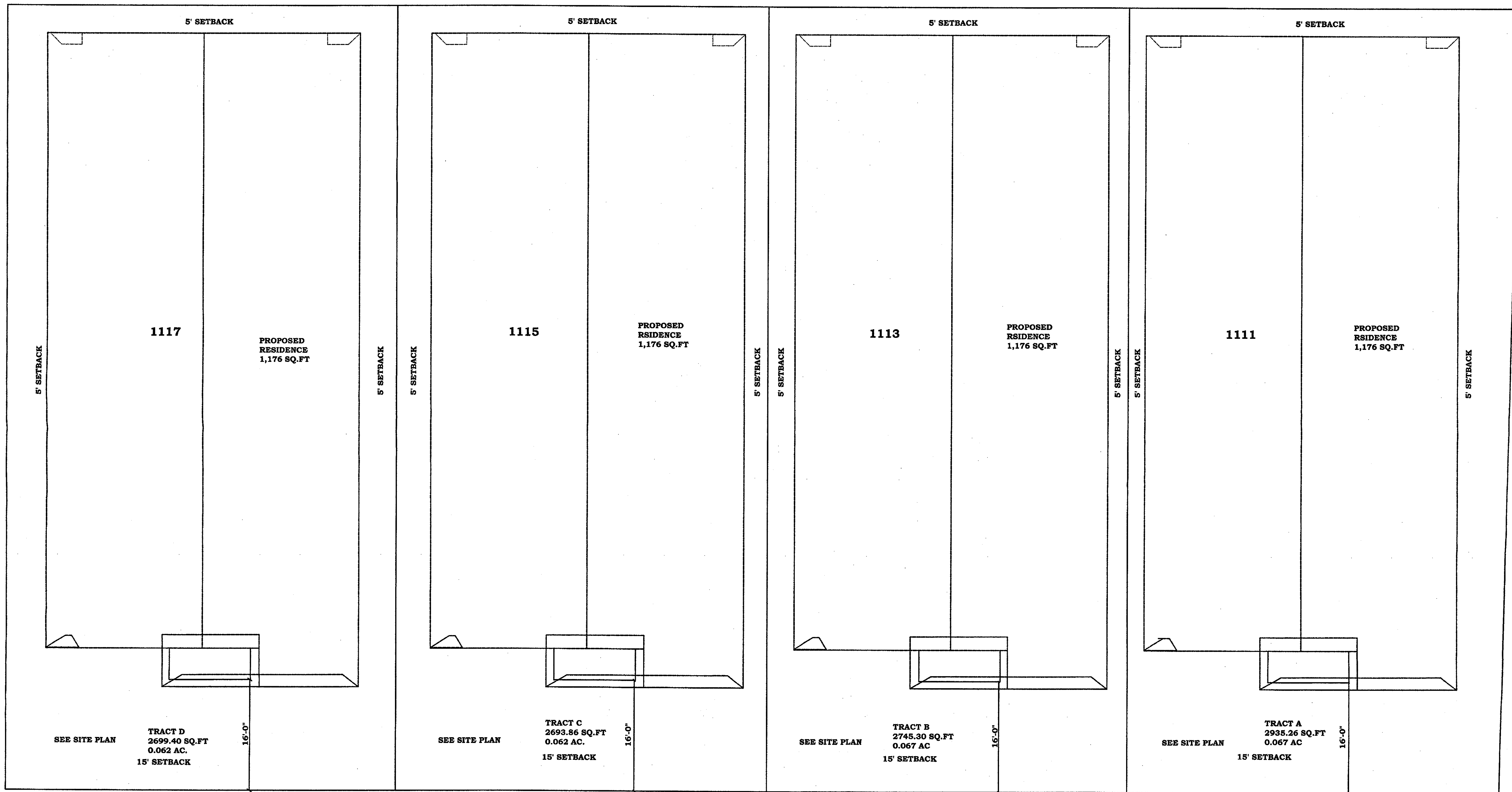
SURVEY DATA:
 INSTRUMENT USED: LEICA TS 12 ROBOTICS
 ANGULAR ERROR: 5" PER POINT
 TRAVERSE CLOSURE: 1/10,000±
 PLAT CLOSURE: 1/379.562
 ADJUSTMENT BY NO RULE
 DATUM: EAST GEORGIA COORDINATES

FLOOD NOTE:
 ACCORDING TO THE FEMA FLOOD MAP 13245C0130H DATED 1/15/2019, THIS PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD ZONE.

REFERENCES:
 1. DB 25K PG 486
 2. DB 1300 PG 2128
 3. DB 1311 PG 1961
 4. DB 1288 PG 1848

- LEGEND**
- RBF = REBAR FOUND
 - RBS = REBAR SET
 - R/W = RIGHT OF WAY
 - CP = CALCULATED POINT
 - (M) = MEASURED
 - (D) = DEEDED
 - OTPF = OPEN TOP PIPE FOUND
 - WM = WATER METER
 - HBT = HOOD BACK TRAP
 - DI = DRAIN INLET
 - U = UTILITY POLE
 - P.O.B. = POINT OF BEGINNING
 - SSMH = SANITARY SEWER MANHOLE
 - STMH = STORM SEWER MANHOLE
 - EOP = EDGE OF PAVEMENT
 - BOC = BACK OF CURB
 - CMF = CONCRETE MONUMENT FOUND
 - GV = GAS VALVE
 - LP = LIGHT POLE
 - CONC. = CONCRETE
 - SAN = SANITARY SEWER PIPE
 - MBL = MINIMUM BUILDING LINE
 - ⊙ = SANITARY SEWER MANHOLE
 - NTS = NOT TO SCALE

 WWW.ROBERTSRIVERA.COM <small>NOTE: ALL DIMENSIONS ON EXISTING CONDITIONS AND DEMOLITION PLANS TO BE FIELD VERIFIED. ALL RIGHTS RESERVED. RobertsRiviera LLC. NO REPRODUCTION UNLESS WRITTEN CONSENT GIVEN.</small>	 Prepared For: Atelier Hornete Drawn by: RobertsRiviera Consultants: N.A.	Project Address 1117 Cedar St, Augusta, GA 30901 Vetted Investments & Acquisitions, LLC PO BOX 8078 Fort Gordon, GA 30905	Rev.	AMENDMENT	DATE	1117 Cedar St, Augusta, GA 30901	Survey	DRAWING No. A002



CEDAR STREET

1
A-1
S-1 SITE PLAN
SCALE: 1/4" = 1'-0"

LARRY L. MCCORD
DESIGN/BUILD
2016 HIGHLAND AVE
AUGUSTA, GA. 30904
706 733 2931 (O)
llmccord@comcast.net

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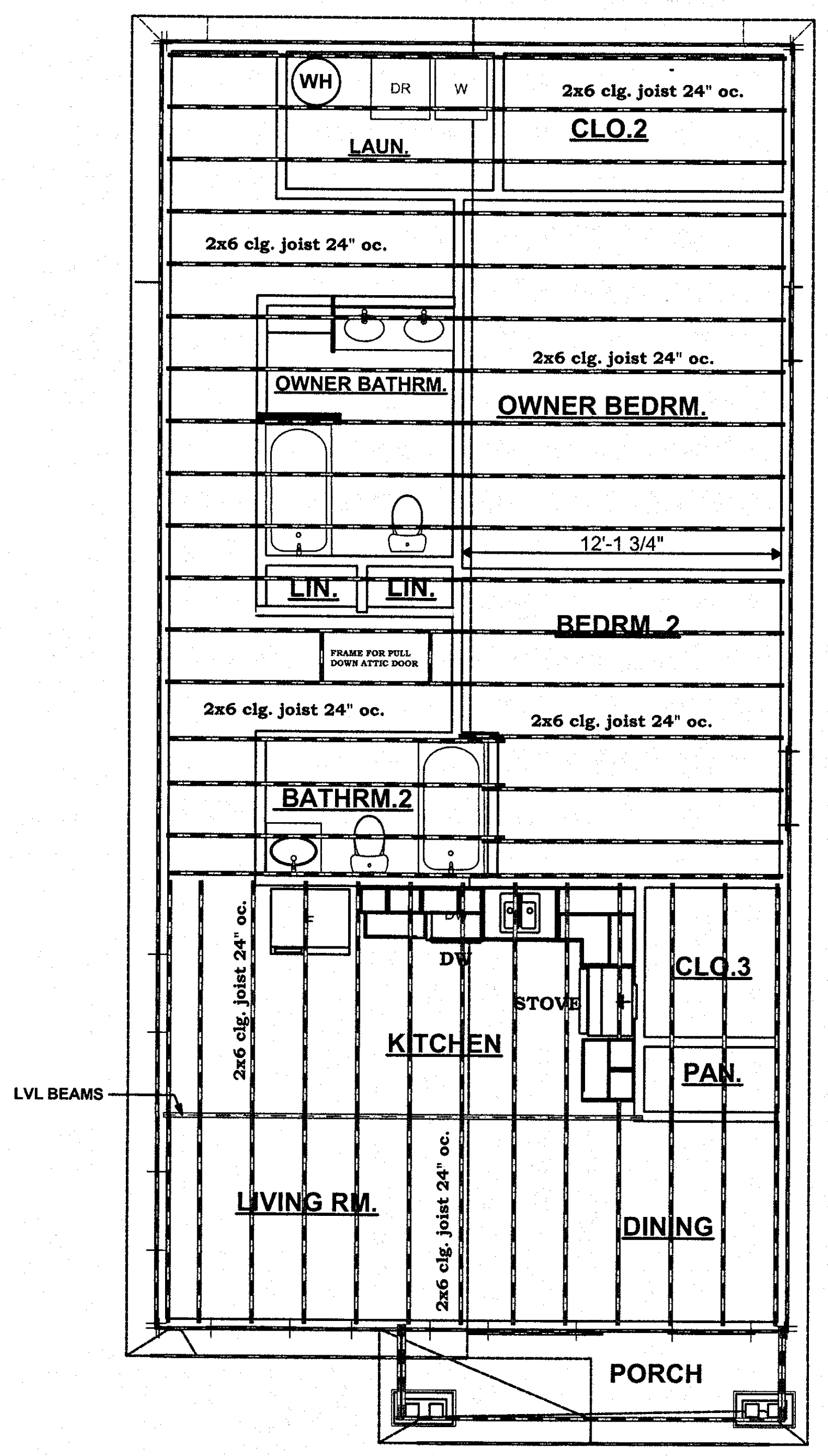
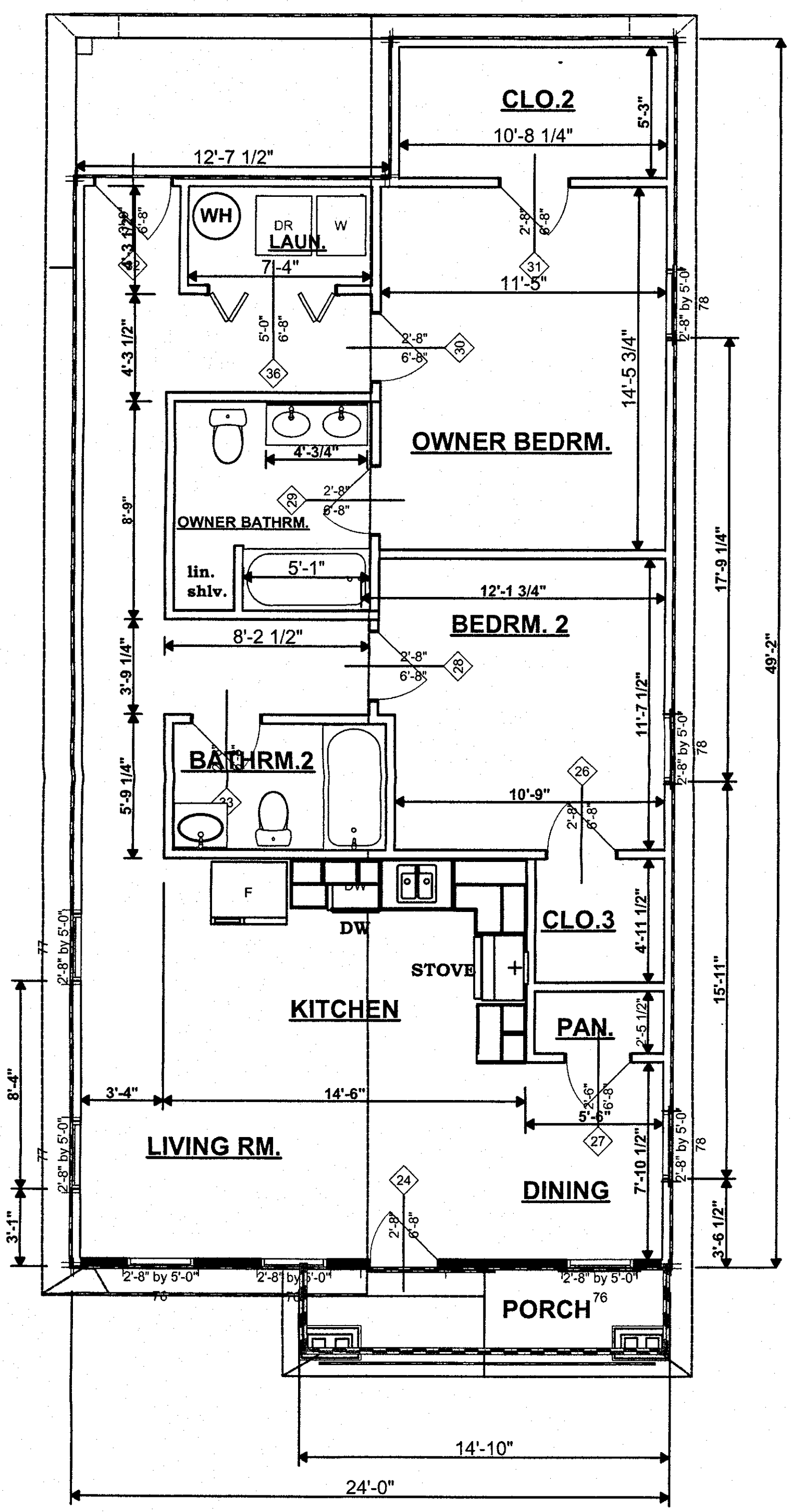
REVISED	DATE	DESCRIPTION
	3/2/22	PRELIM. FL.
	10/11/22	FIN. SET

PROJECT NO.
DRAWN BY LLM
CHK'D. BY

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SHEET NO.
A-1

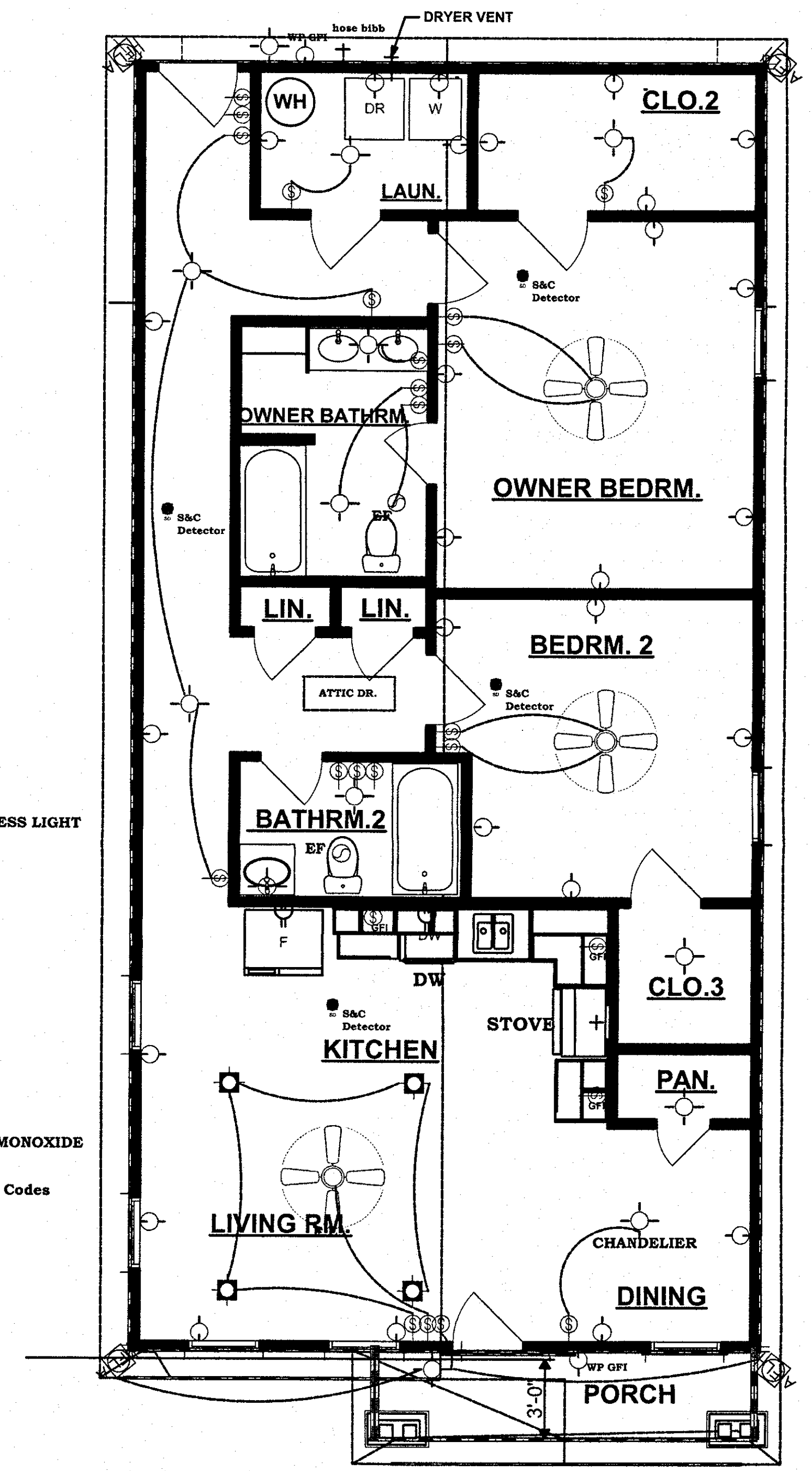
- NOTES:**
1. Provide light in attic near HVAC unit
 2. Place R30 INSULATIONS IN ATTIC
 3. Roof shall be 2x6 rafters 24"O.C.w/ 2x8 ridge bd. cover with 7/16" ply.wd.
 3. Provide insulated pull down attic door.



CEILING JOIST PLAN

LEGEND

- ☉ SURFACE MOUNT RECESS LIGHT
 - LIGHT FIXTURE
 - OUTLET
 - F.L. FLOOD LIGHT
 - EF EXHAUST FAN
 - ⊖ SPECIAL OUTLET
 - ⊕ SINGLE POLE SWITCH
 - WH WATER HEATER
 - S&C Detector SMOKE & CARBON MONOXIDE DETECTOR
- Ground building to 2018 IRC Codes using number 5 rebar.



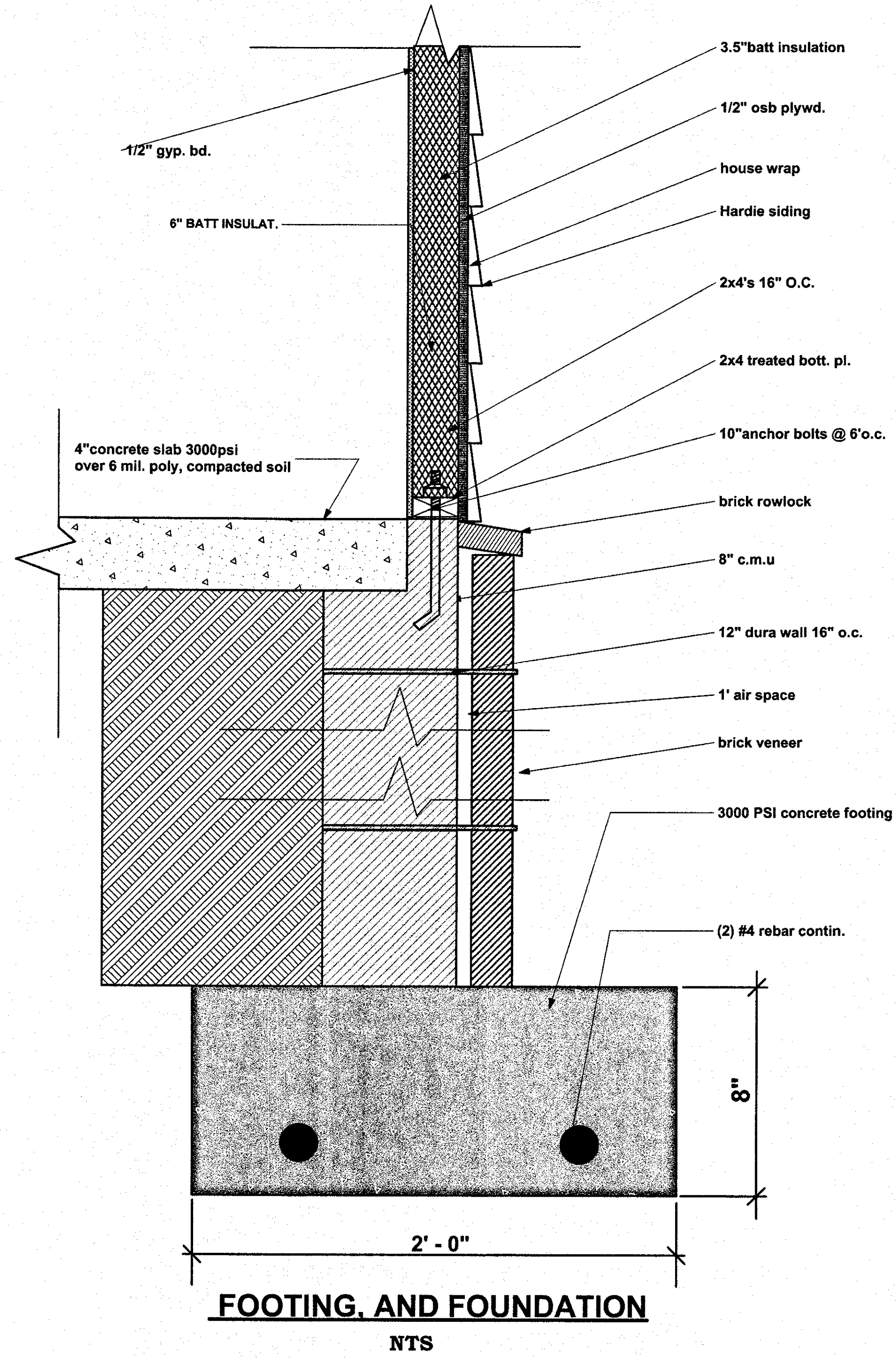
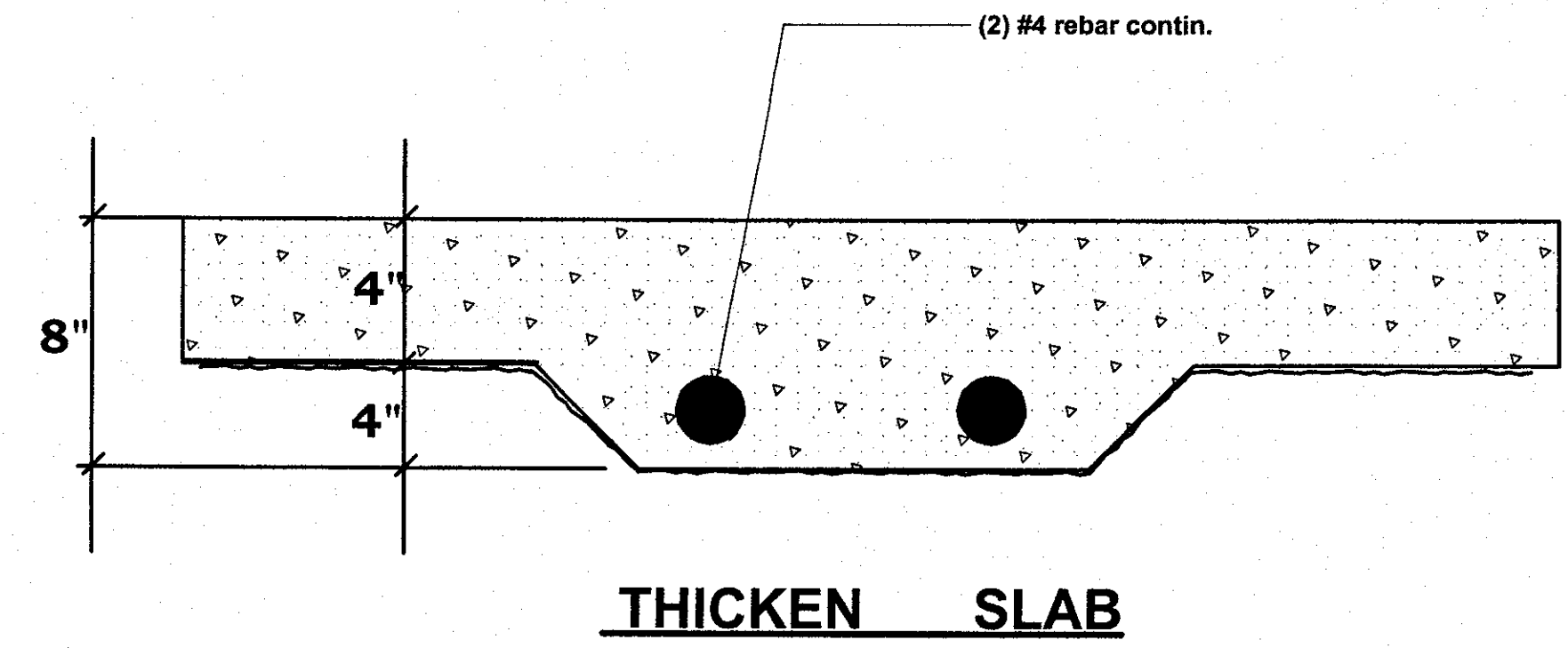
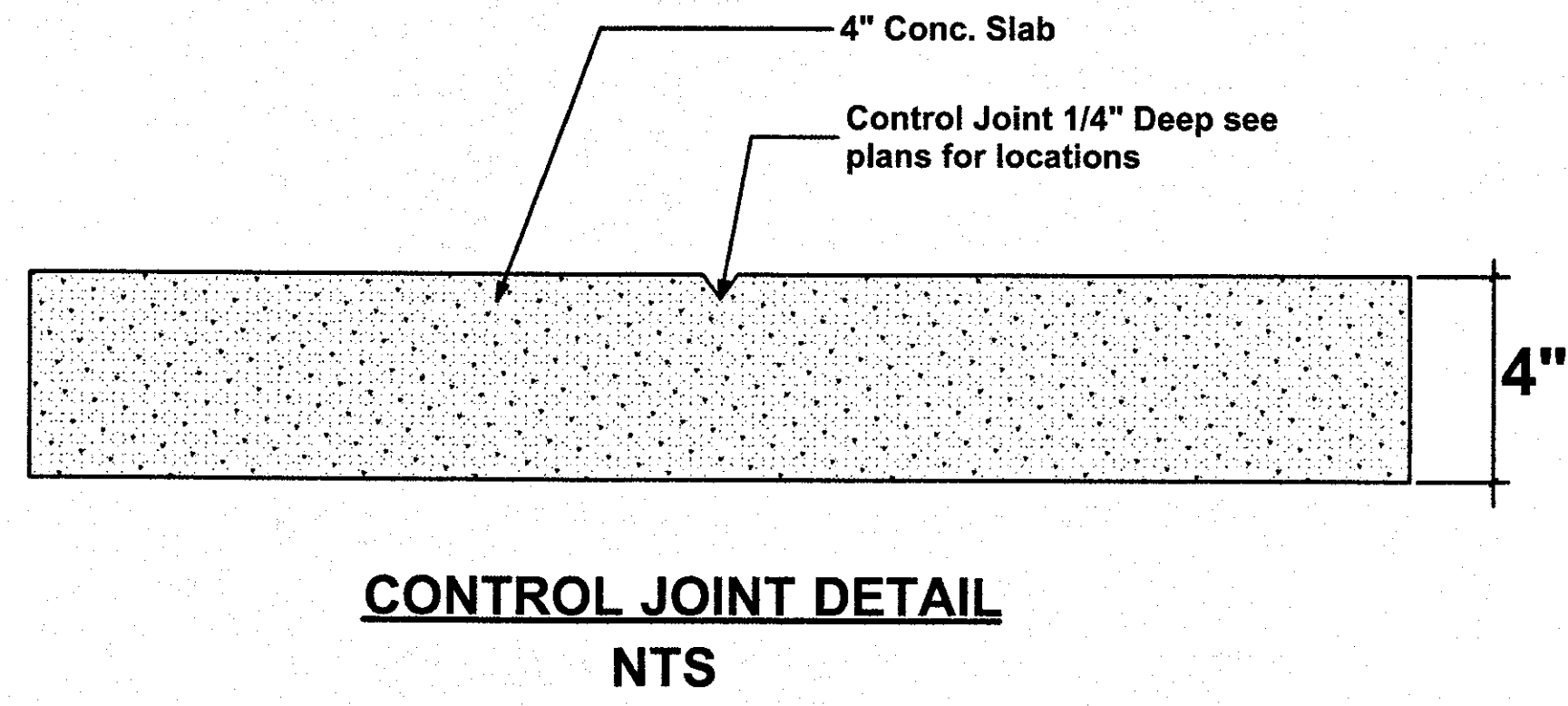
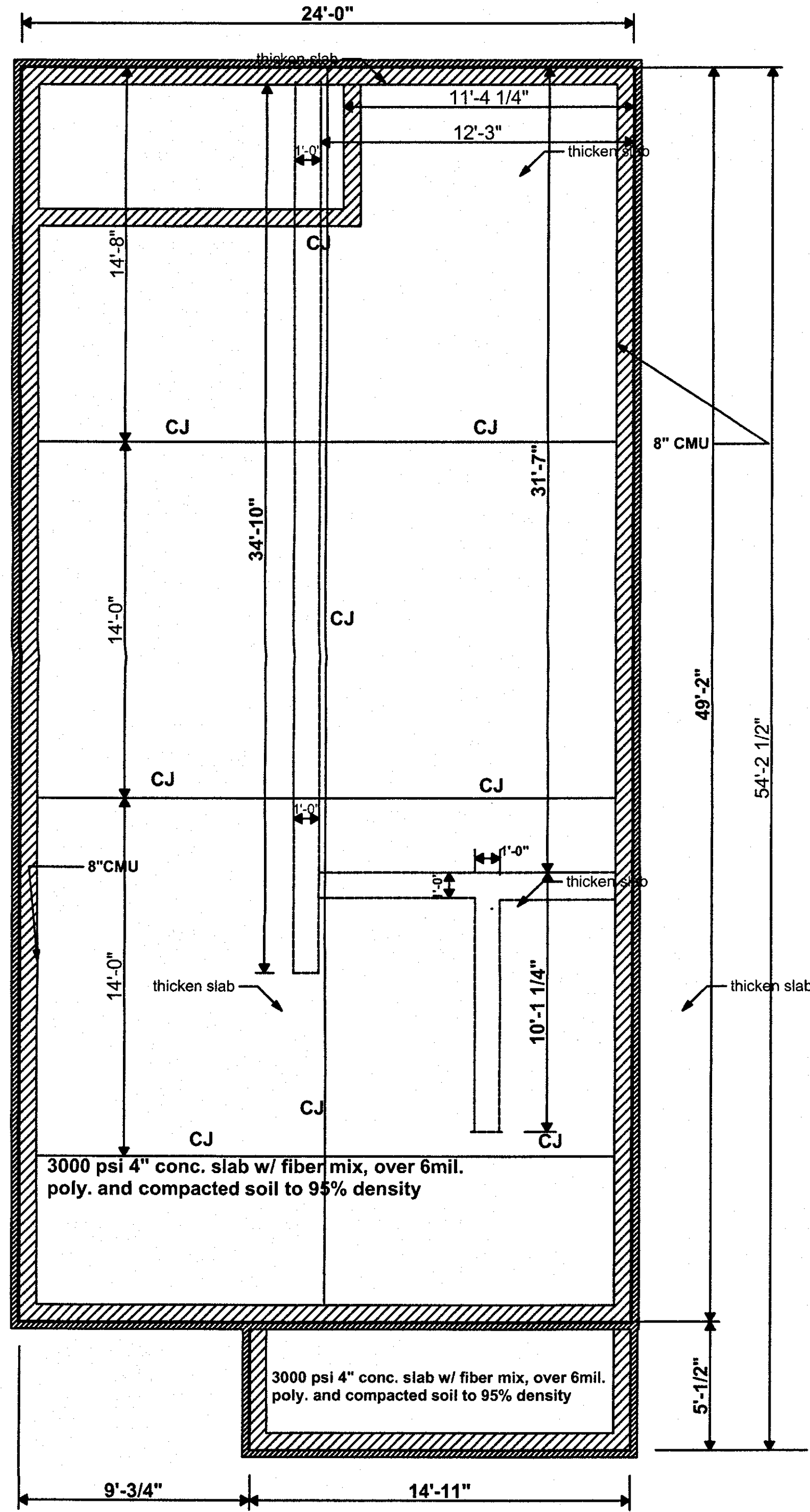
2
A-102 ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

1
A-102 FIRST FLOOR
 SCALE: 1/4" = 1'-0"

NEW RESIDENCES
 LOTS 1117,1113,1111,1109 CEDAR ST.
 AUGUSTA GA. 30901
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 PO BOX 8076
 FORT GORDON, GA 30906

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	10/11/22	FIN. SET
PROJECT NO.		
DRAWN BY		LLM
CHKD. BY		
SHEET NO.		
A-102		

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1 FOUNDATION PLAN
A-103 SCALE: 1/4" = 1'-0"

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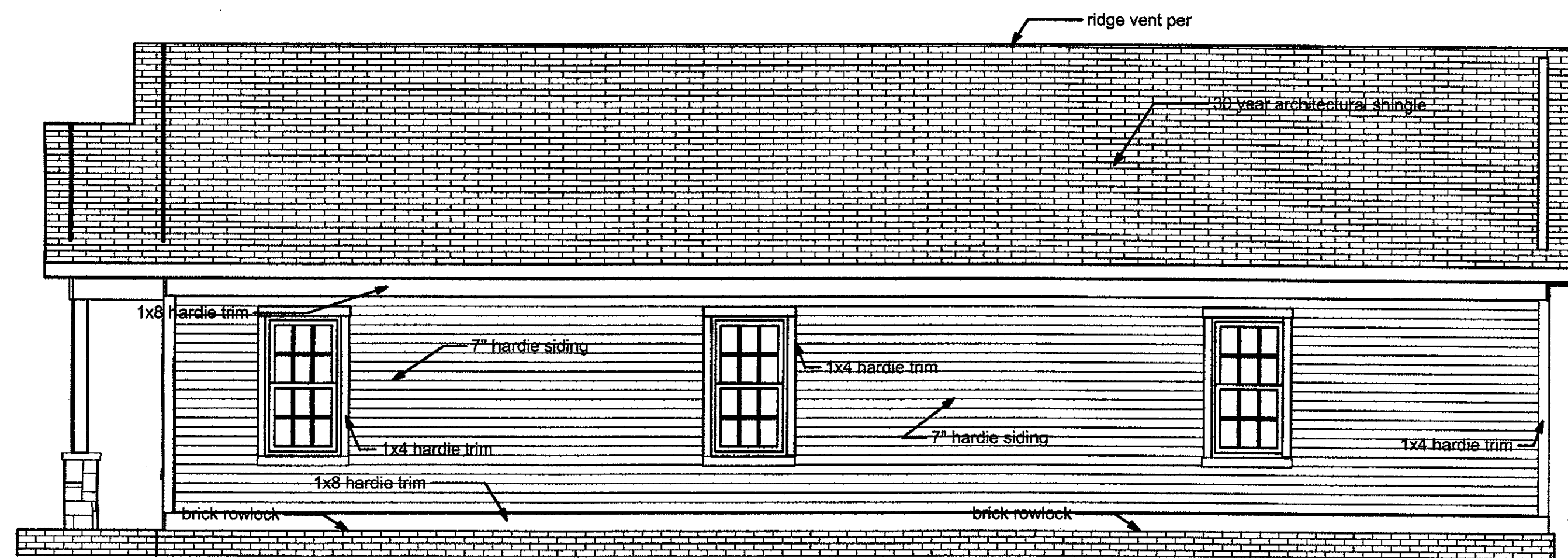
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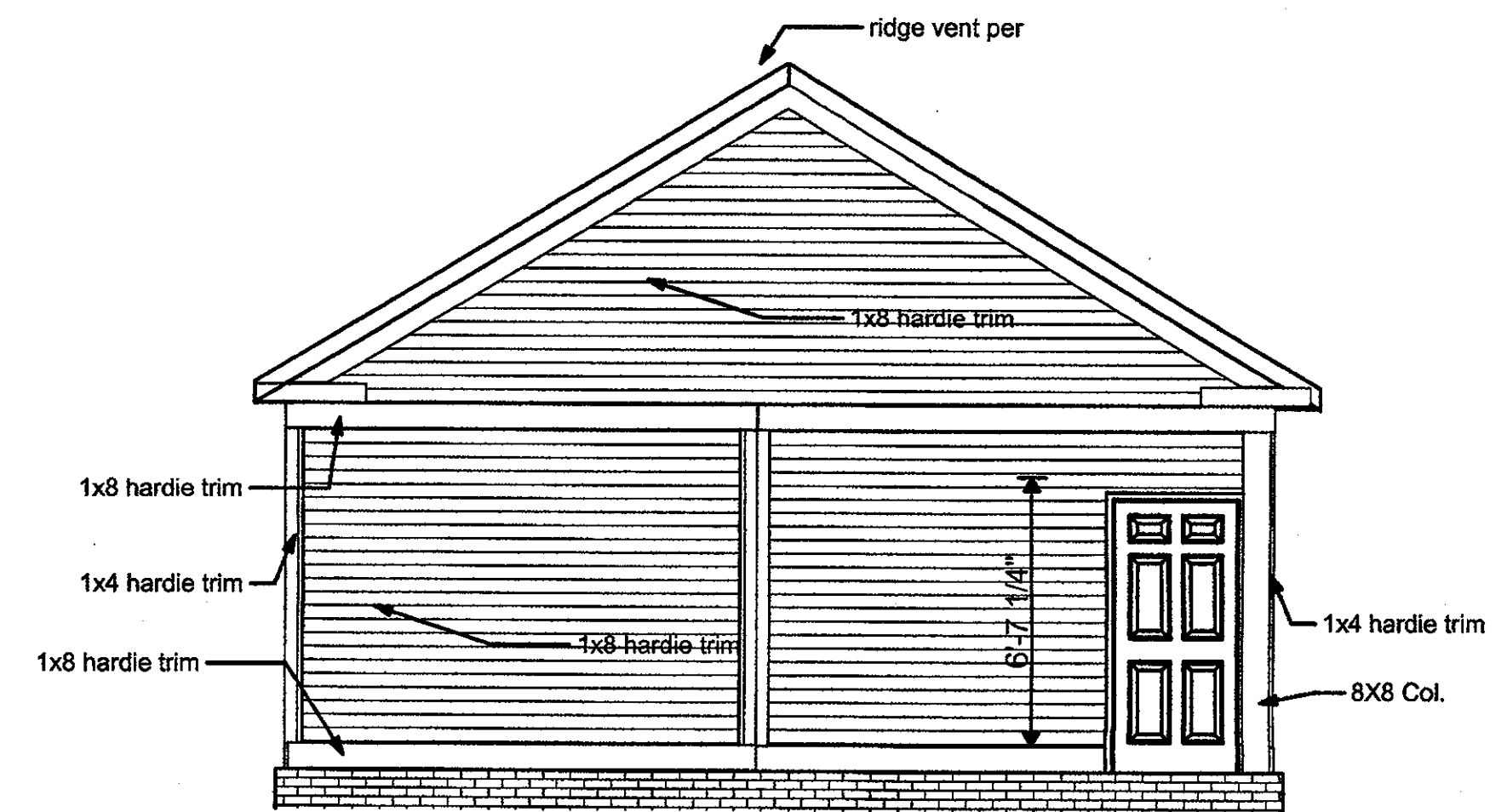
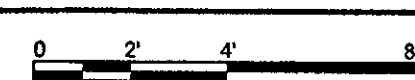
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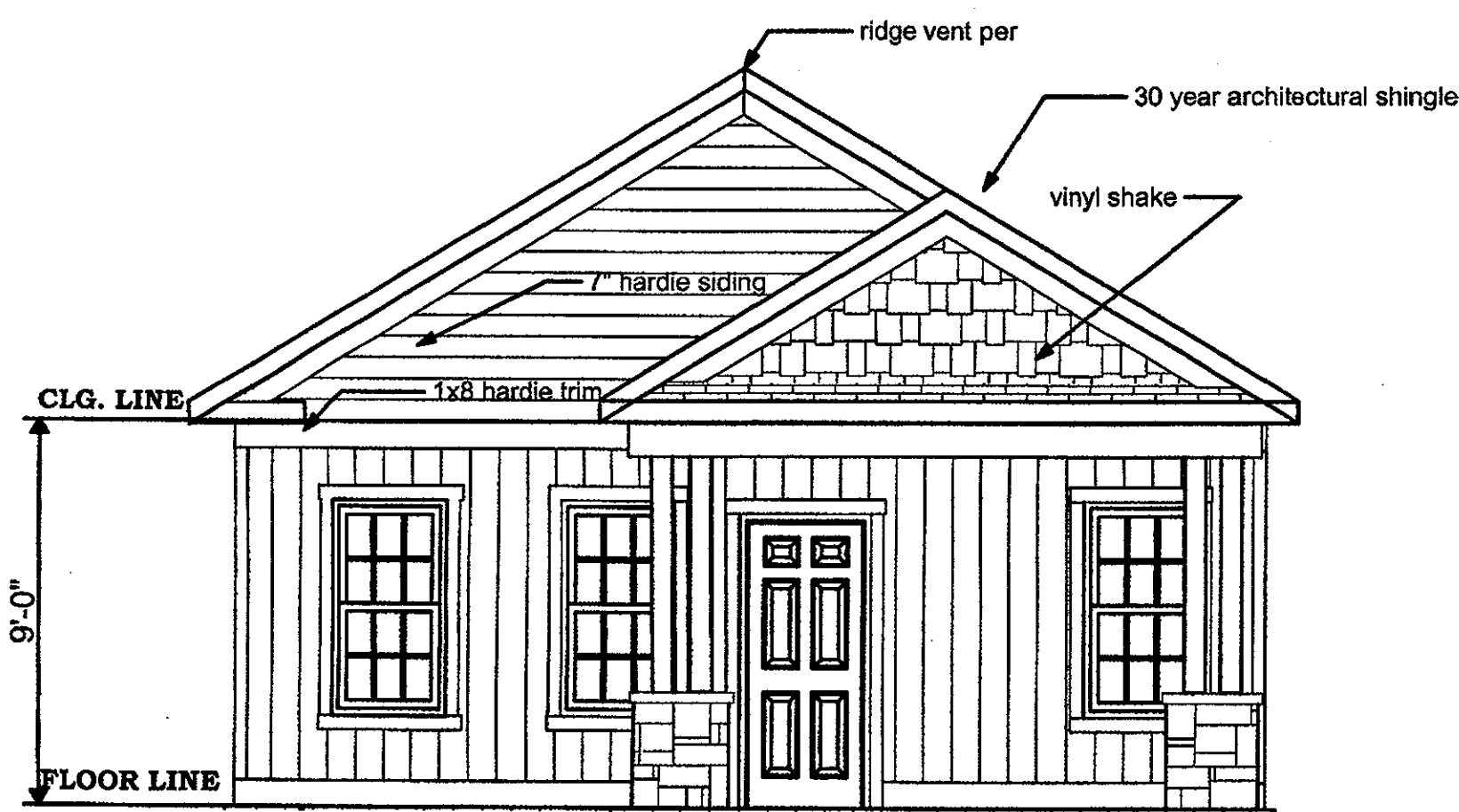
SHEET NO.
A-103



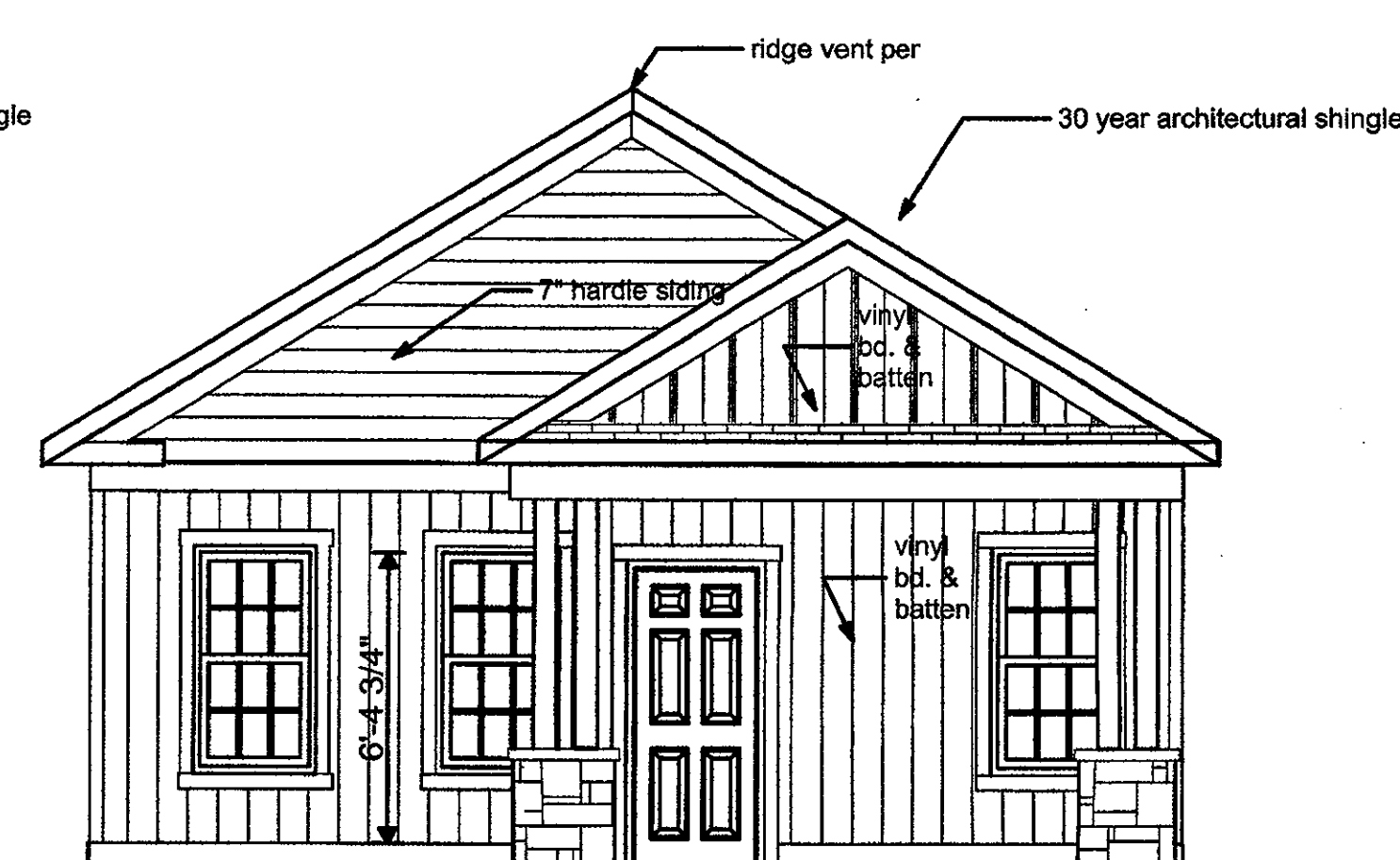
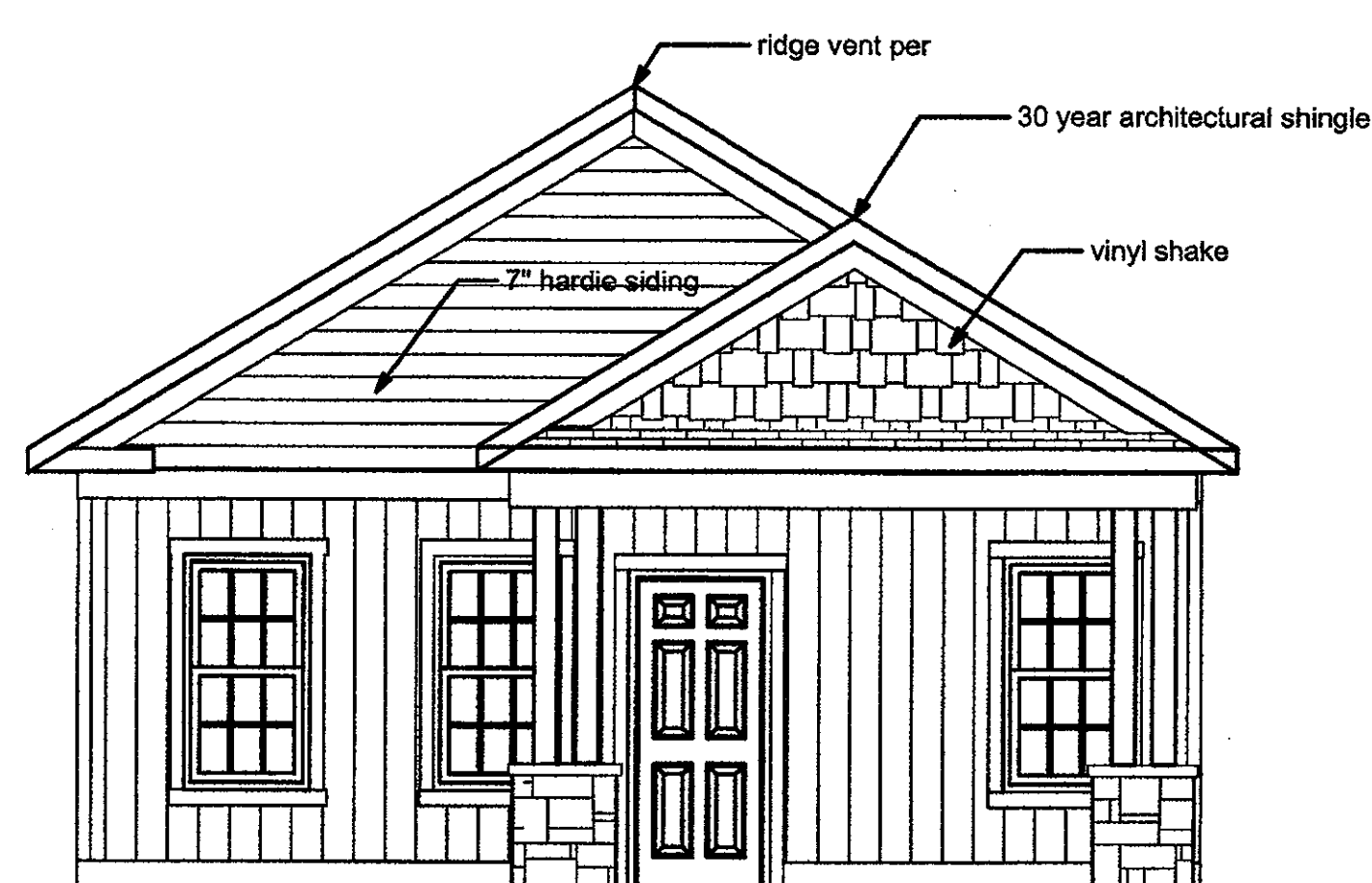
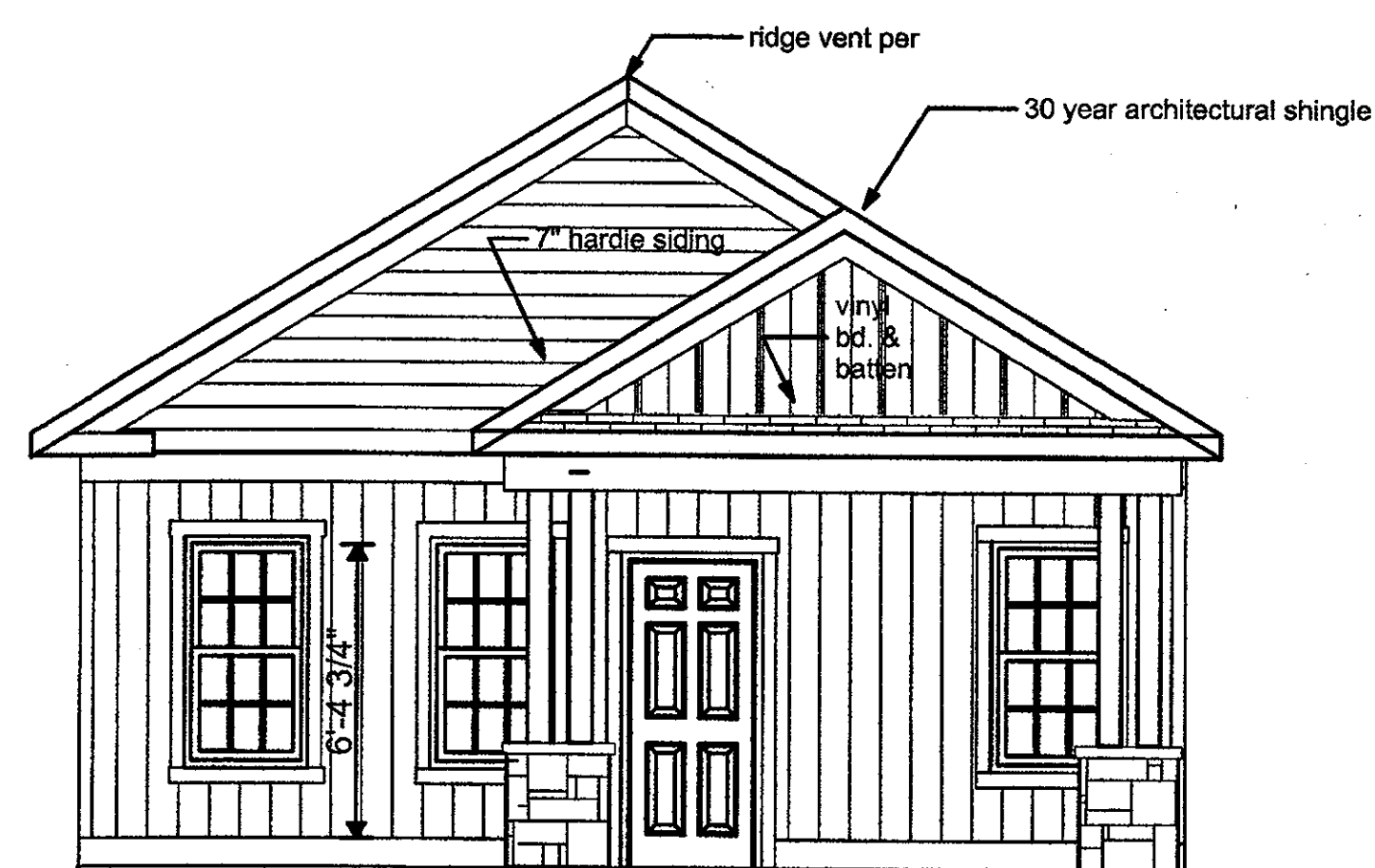
3 EAST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



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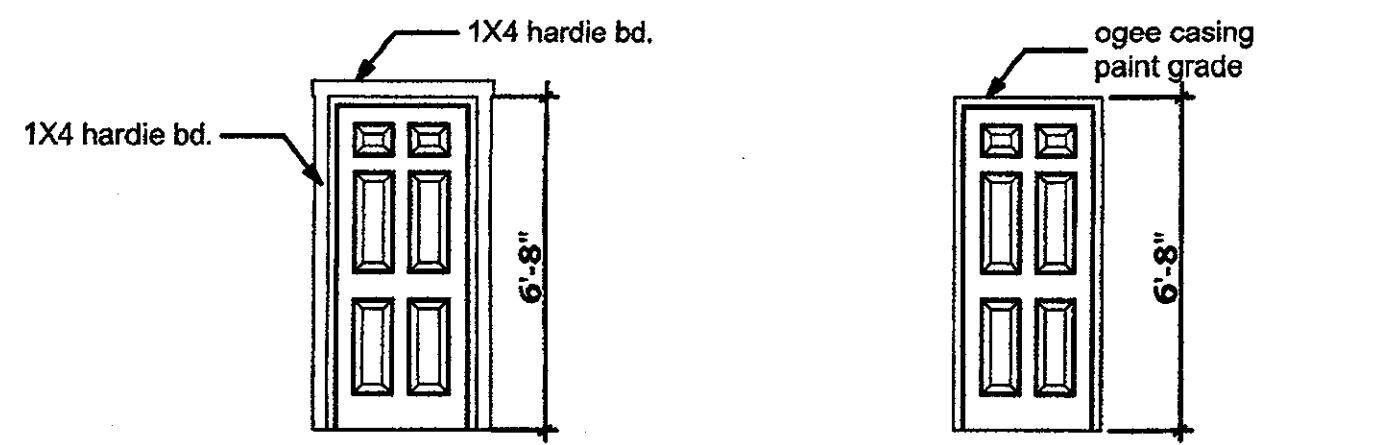
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SHEET NO.
A-201

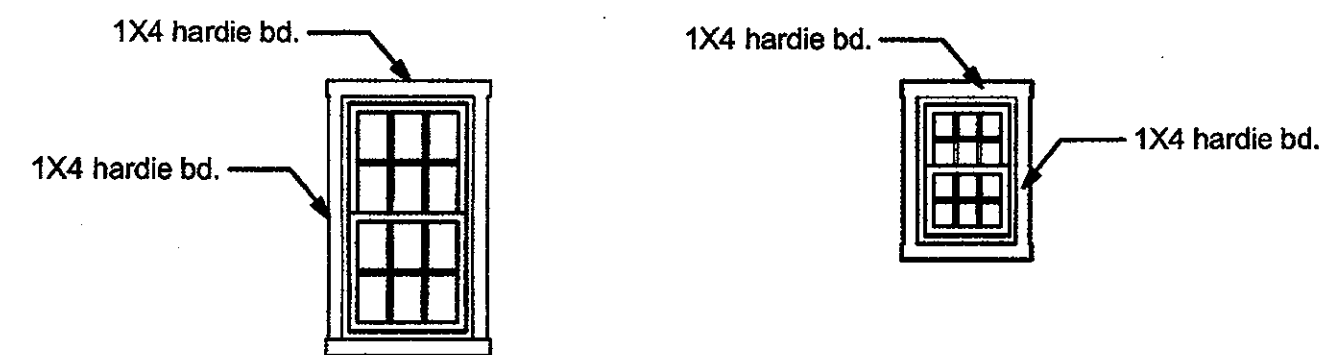
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SIX PANEL EXTER.
MET. DOOR

SIX PANEL MASONITE
INTER. DOOR

DOOR ELEVATION



WINDOW ELEVATION

NOTE: ALL INTER. TRIM SHALL BE PAINT FINISH.

FINISH SCHEDULE

ROOM NAME	FLOOR	BASE	WALLS		CEILING	CEILING HGT.	REMARKS
			MATERIAL	FINISH			
LIVING RM.	Luxury Vinyl Tile	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
DINING RM.	Luxury Vinyl Tile	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
KITCHEN	Luxury Vinyl Tile	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
HALLWAY	Luxury Vinyl Tile	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
AC CLO.	CONCRETE	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
BEDRM. #1	CARPET	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
BEDRM. CLO.	CARPET	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
BEDRM. #2	CARPET	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
BEDRM. CLO.	CARPET	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
OWNER BEDRM.	CARPET	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
OWNER CLO.	CARPET	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
OWNER BATHRM.	Luxury Vinyl Tile	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
BATHRM. #2	Luxury Vinyl Tile	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
LAUN. RM.	Luxury Vinyl Tile	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
GARAGE	CONCRETE	3 1/2" WD. BASE Wd.	GYP. BD.	PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	
				PAINTED	GYP. BD./ SMOOTH CLG.	9'-0"	

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