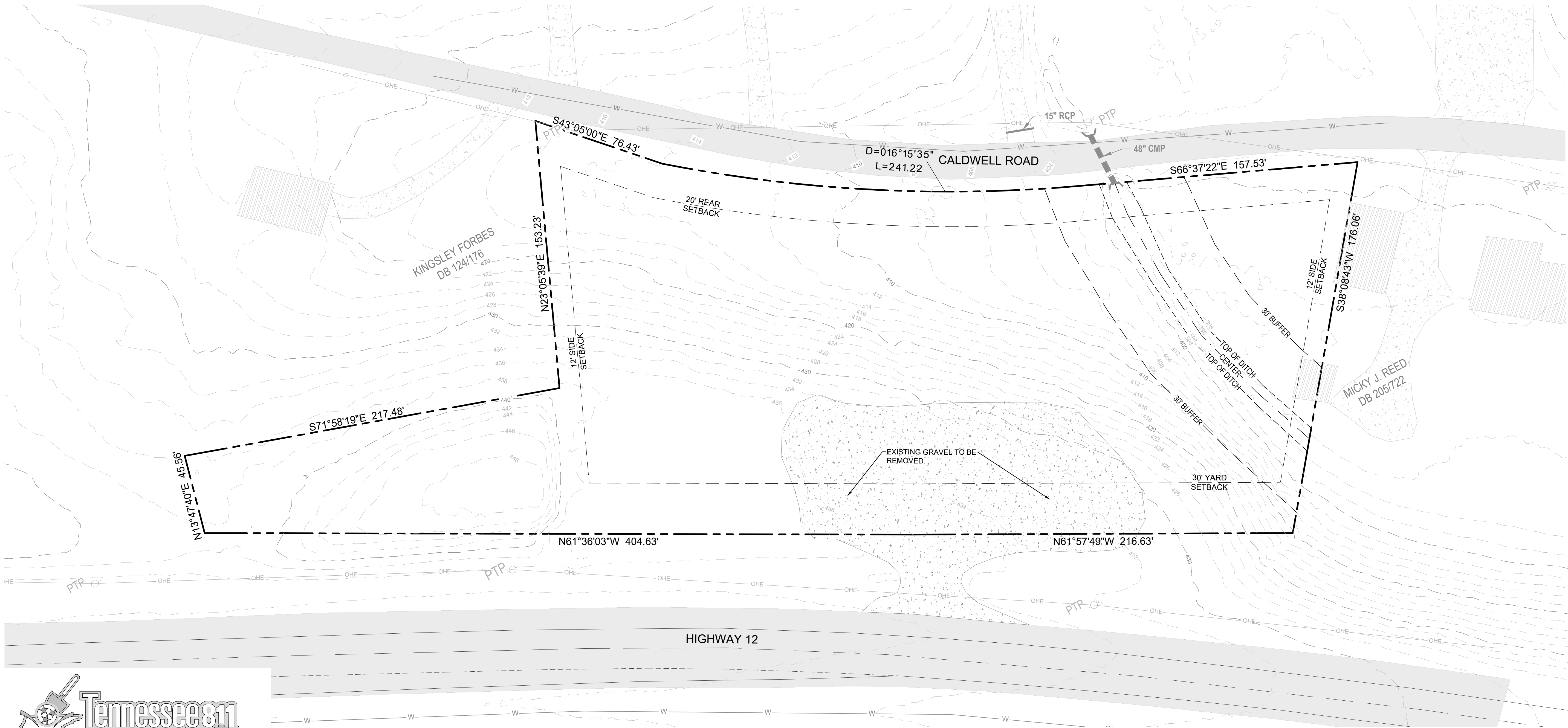
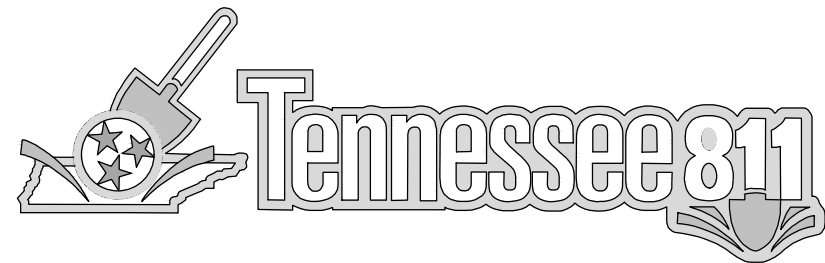


C:\USERS\MICHAEL\WILLIAMS\ONE DRIVE - MICHAEL WILLIAMS\PROJECTS\104 PARQUE RD, ASHLAND CITY, TN\2_Plan Sheets.dwg
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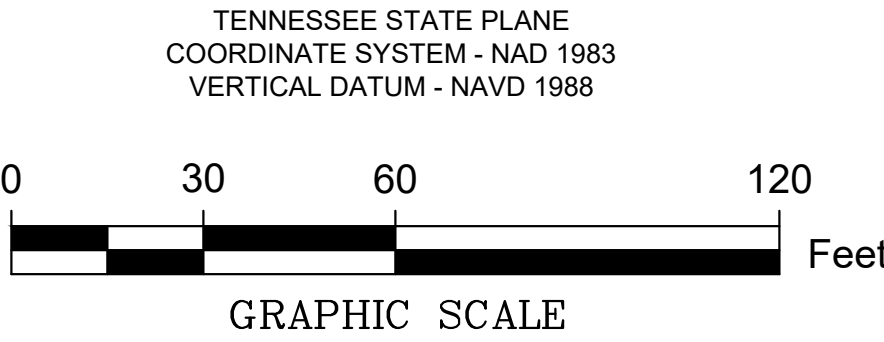
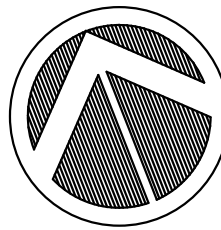
CLASSIFIED AS UNCLASSIFIED - JAMES WILLIAMS ENGINEERING, INC. 01/11/2023 11:34 AM
PLOTTER BY MICHAEL WILLIAMS ON 2/23/2023 11:34 PM - LAST UPDATED BY MICHAEL WILLIAMS ON 2/23/2023 11:34 PM



FEMA FLOOD INFORMATION
Subject site is designated as Zone X (0.2% Annual Flood Chance Hazard) determined by FEMA Firm Flood Insurance Rate Map: Map # 47021C0251E
Revised February 26, 2021

EXISTING CONDITIONS & DEMO NOTES

1. The contractor will be required to remove all excavated materials and such items shall become the property of the contractor. All items shall be properly disposed of at an off-site location. The contractor shall outline any and all possible haul routes and shall be prepared to submit such to the local jurisdiction public works department, the civil engineer and other authorities for approval.
2. If, at any time, prior to or during the demolition work, hazardous material is encountered, the contractor shall notify the owner's representative and appropriate governmental agency.
3. The contractor shall notify adjacent owners of work that may affect their property, potential noise, utility outage or disruption. Such operations shall be conducted by the contractor with minimum interference to adjacent owners. Adjacent egress and access shall be properly maintained at all times. Do not close or obstruct any roadways, parking or sidewalks without permission from the adjacent owners or the local jurisdiction public works department.
4. Prior to the commencement of demolition/grading operations, all overhead and underground utilities shall be located. All removal and/or relocation of utilities shall be coordinated with the respective utility companies.
5. The contractor will provide all necessary protective measures to safeguard existing utilities from damage during construction of this project. In the event that special equipment is required to work over or around the utilities, the contractor will be required to furnish such equipment at no additional cost to owner.
6. The contractor will be solely responsible for contacting all affected utilities prior to submitting his bid to determine the extent to which utility disconnections and/or adjustments will have upon the schedule of the work for the project. Some utility facilities may need to be adjusted concurrently with the contractor's operations, while some work may be required 'around' utility facilities that will remain in place. It is understood and agreed that the contractor will receive no additional compensation for delays or inconvenience caused by the utility adjustment.



LEGEND	
	PROPERTY LINE
	EXISTING FENCE
	EXISTING OVERHEAD POWER LINE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATER LINE

VALLEY POINT HOMES

FOR
JIMMY BROOKS

0 CALDWELL ROAD ASHLAND CITY, TN 37015

REVISIONS	DATE
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DESIGNED BY: MLW

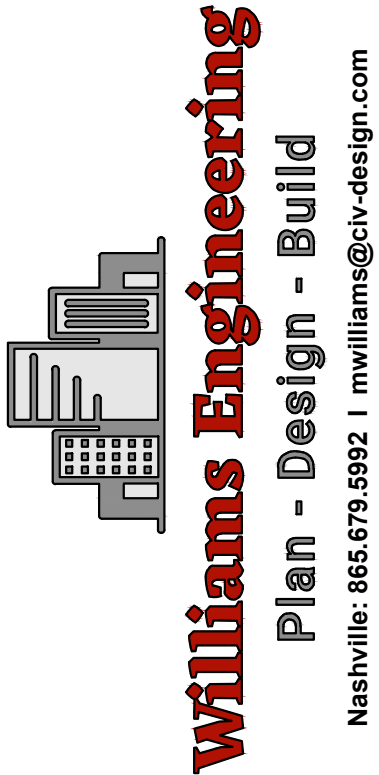
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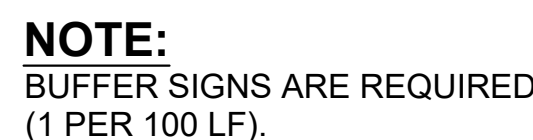
JOB #: 20230210-1

**EXISTING
CONDITIONS**

C2.0



IF SIGN VENDOR DOES NOT HAVE
THE APPROVED ARTWORK, PLEASE
HAVE THEM CONTACT REBECCA
DOHN @ 615-880-2420 OR
REBECCA.DOHN@NASHVILLE.GOV.



SOURCE: TDOT STANDARD SPECIFICATIONS

SOURCE: TDOT STANDARD SPECIFICATIONS

**Tennessee Construction General
Permit Certification Stamp
Metropolitan Government of Nashville Davidson County
Department of Water & Sewerage Services**

Tennessee Construction General Permit Notice of Coverage (NOC) Construction:

Please fill out and sign/date one of the following two statements:

1. The project associated with these submitted plans is covered under Tennessee Construction General Permit TN _____ The Total Disturbed Area is: _____ 1.67 _____ acres.

Check all that apply: This site discharges into waters identified by TDEC as: Bull Run Creek
☐ Impaired for salinity ☐ Impaired for habitat alteration ☐ Exceptional (TN05130202001T_0300)

Michael Williams 2/23/2023

Signature Date

Circle one: Developer Project Engineer Other _____

Please attach a copy of the Notice of Coverage under the Construction General Permit.

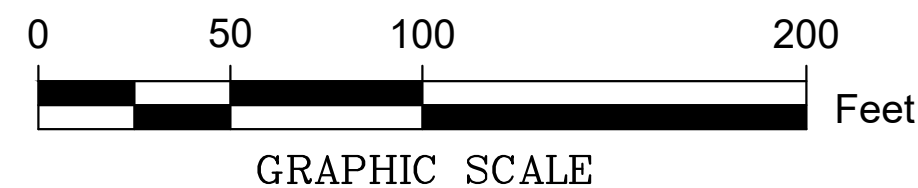
NOTE: A project will not be scheduled for a Pre-Construction Meeting until the State Construction General Permit NOC letter is submitted.

2. I hereby certify that this project does not require coverage under a Tennessee Construction General Permit. The Total Disturbed Area is: _____ acres.

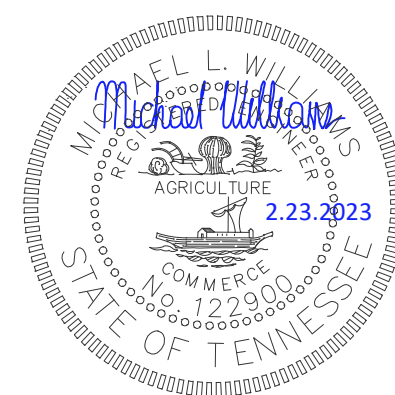
Check all that apply: This site discharges into waters identified by TDEC as:
☐ Impaired for salinity ☐ Impaired for habitat alteration ☐ Exceptional

Signature Date

Circle one: Developer Project Engineer Other _____



1. All control measures must be properly installed and maintained in accordance with the manufacturer's specifications, ideas and local standards.
2. Contractors shall verify location, depth, and size of existing utilities prior to beginning construction, and shall be responsible for making the necessary arrangements with the governing utility company for utilities requiring relocation.
3. BMP capacity (sediment traps, silt fences, sedimentation ponds, and other sediment control) shall not be reduced by more than 50% at any given time. If periodic inspections or other information indicates a control has been used inappropriately or incorrectly, the contractor must replace or modify the control for relevant site situations.
4. Where permanent or temporary vegetation cover is used as a control measure, the timing of the planting is critical. Planning for planting of vegetation cover during winter or dry months should be avoided.
5. If sediment escapes the permitted area, off-site accumulations of sediment that have not reached a stream must be removed at a frequency sufficient to minimize offsite impacts. The contractor shall not initiate remediation/restoration of a stream without consulting the district first. The not general permit does not authorize access to private property. Arrangements concerning removal of sediment on adjoining property must be settled by the contractor and adjoining landowner.
6. Litter, construction debris, and construction chemicals exposed to storm water shall be picked up prior to anticipated storm events or before being carried off of the site by wind or otherwise prevented from becoming a pollutant source for storm water discharges. After use, materials used for epsc should be removed or otherwise prevented from becoming a pollutant source for storm water discharge.
7. Erodible material storage areas (including overburden and stockpiles of soil) and borrow pits are considered part of the site and should be addressed with appropriate BMP's accordingly.
8. Pre-construction vegetative ground cover shall not be destroyed, removed, or disturbed more than 15 days prior to grading or earth moving unless the area is stabilized. Contractor shall sequence events to minimize the exposure time of graded or denuded areas. Clearing and grubbing shall be held to the minimum necessary for grading and equipment operation. Existing vegetation at the site should be preserved to the maximum extent practicable.
9. Epsc measures must be in place and functional before moving operations begin and must be constructed and maintained throughout the construction period. Temporary measures may be removed at the beginning of the workday, but must be replaced at the end of the workday.
10. The following records shall be maintained on or near site: the dates when major grading activities occur; the dates when construction activities temporarily or permanently cease or a portion of the site; the dates when stabilization measures are initiated; inspection records and rainfall records. Contractor shall maintain a rain gauge and daily rainfall records at the site, or use a reference site for a record of daily amount of precipitation.
11. A copy of the swppp shall be retained on-site and should be accessible to the director and the public. Once site is inactive or does not have an onsite location adequate to store the swppp, the location of the swppp, along with a contact phone number, shall be posted on-site. If the swppp is located off-site, reasonable local access to the plan, during normal working hours, must be provided.
12. Off-site vehicle tracking of sediments and the generation of dust shall be minimized. A stabilized construction access (a point of entrance/exist to a construction site) shall be constructed as needed to reduce the tracking of mud and dirt onto public roads by construction vehicles.
13. Inspections must be performed at least twice every calendar week. Inspections shall be performed at least 72 hours apart. Where sites or portions of construction sites have been temporarily stabilized, or runoff is unlikely due to winter conditions or due to extreme drought, such inspection has to be conducted once per month until thawing or precipitation results in runoff or construction activities resumes. Inspection requirement do not apply to definable areas that have been finally stabilized, as designed by the engineer. Written notification of the intent to change the inspection frequency and the justification for such request must be submitted to the local environmental field office, or the division's nashville central office for projects of tdot or tva. Should the division discover that monthly inspection of the division discover that monthly inspections of the site are not appropriate due to insufficient stabilization measures or otherwise, twice weekly inspections shall resume. The division may inspect the site to confirm or deny the notification to conduct monthly inspections.
14. Inspectors performing the required twice weekly inspections must have an active certification and a record of certification must be kept on site. Based on the results of the inspection, any inadequate control measures or control measures in dispair shall be replaced or modified, or repaired as necessary, before the next rain event, but in no case more than 7 days after the need identified.
15. Outfall points shall be inspected to determine whether epsc measures are effective in preventing significant impacts to receiving waters. Where discharge locations are inaccessible, nearby downstream locations shall be inspected. Locations where vehicles enter or exit the site shall be inspected for evidence of offsite sediment tracking.
16. Contractor shall provide an area for concrete wash down and equipment fueling in accordance with Metro CP-10 and CP-13, respectively. Contractor to coordinate exact location with NPDES department during preconstruction meeting. Control of other site wastes such as discarded building materials, chemicals, litter, and sanitary wastes that may cause adverse impacts to water quality is also required by the Grading Permittee
17. Exposed areas to be stabilized with 14 days after construction activities in the areas that have temporarily or permanently ceased. Areas with a slope of 3:1 or steeper shall be stabilized within 7 days.
18. All slopes 3:1 or steeper to be stabilized with erosion control blankets or matting.



FOR
JIMMY BROOKS

0 CALDWELL ROAD ASHLAND CITY, TN 37015

[illegible]

DESIGNED BY: MLW

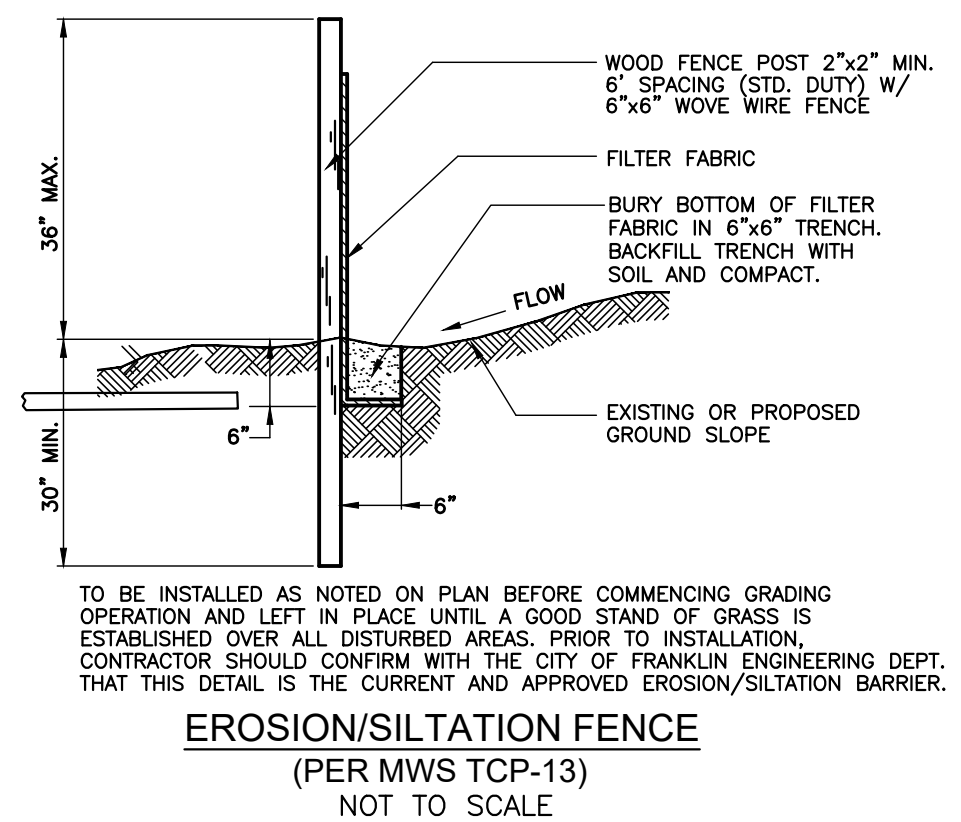
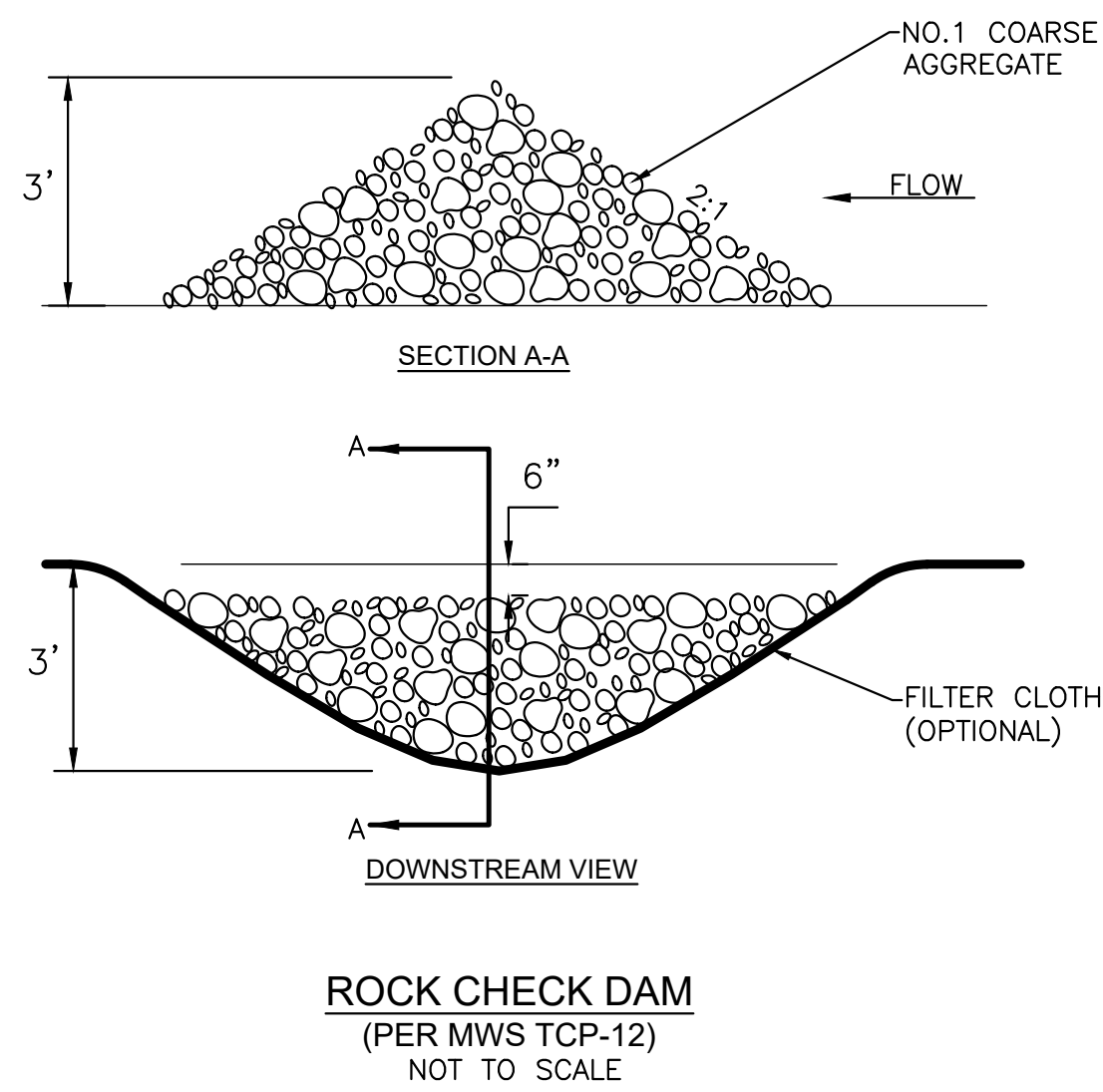
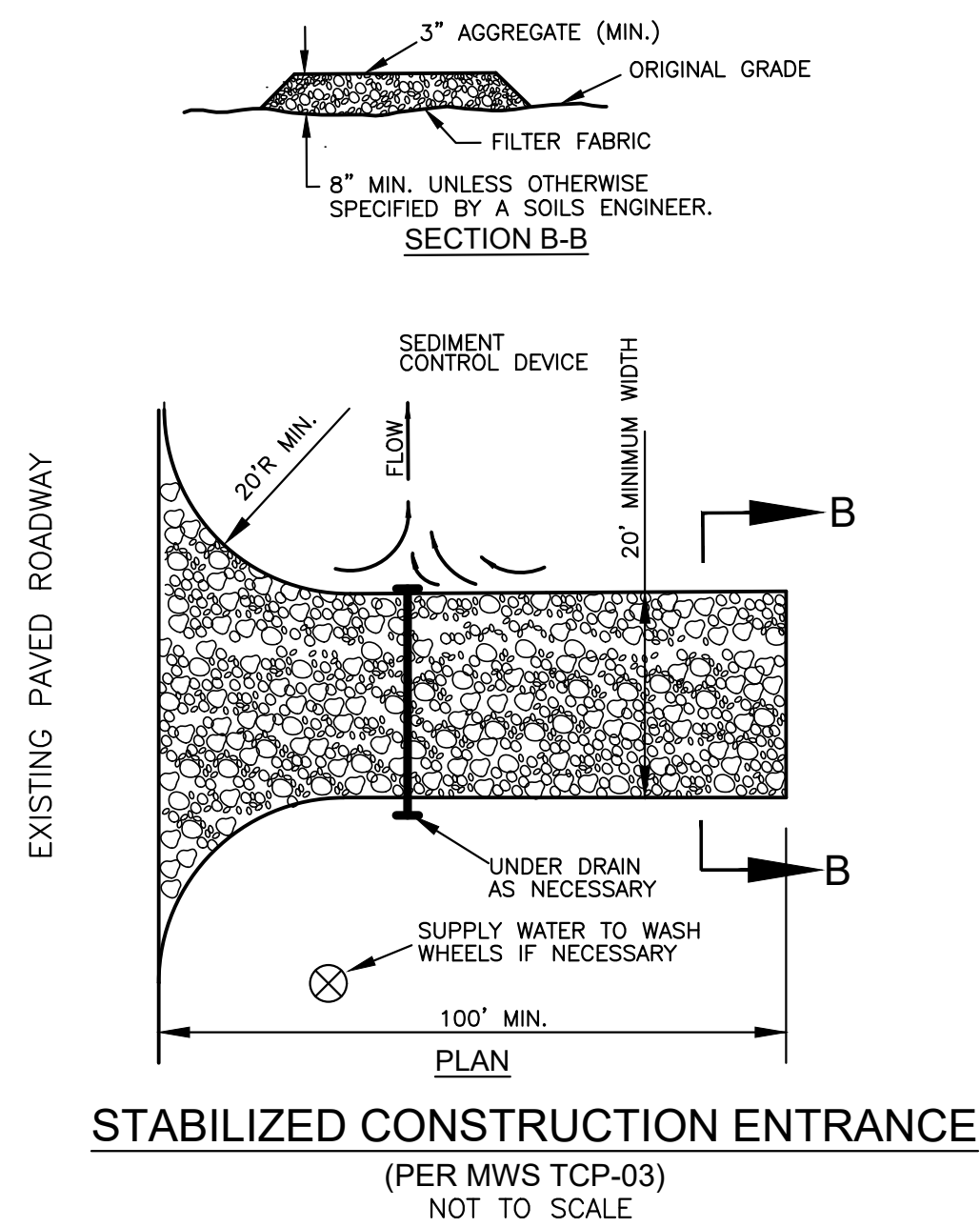
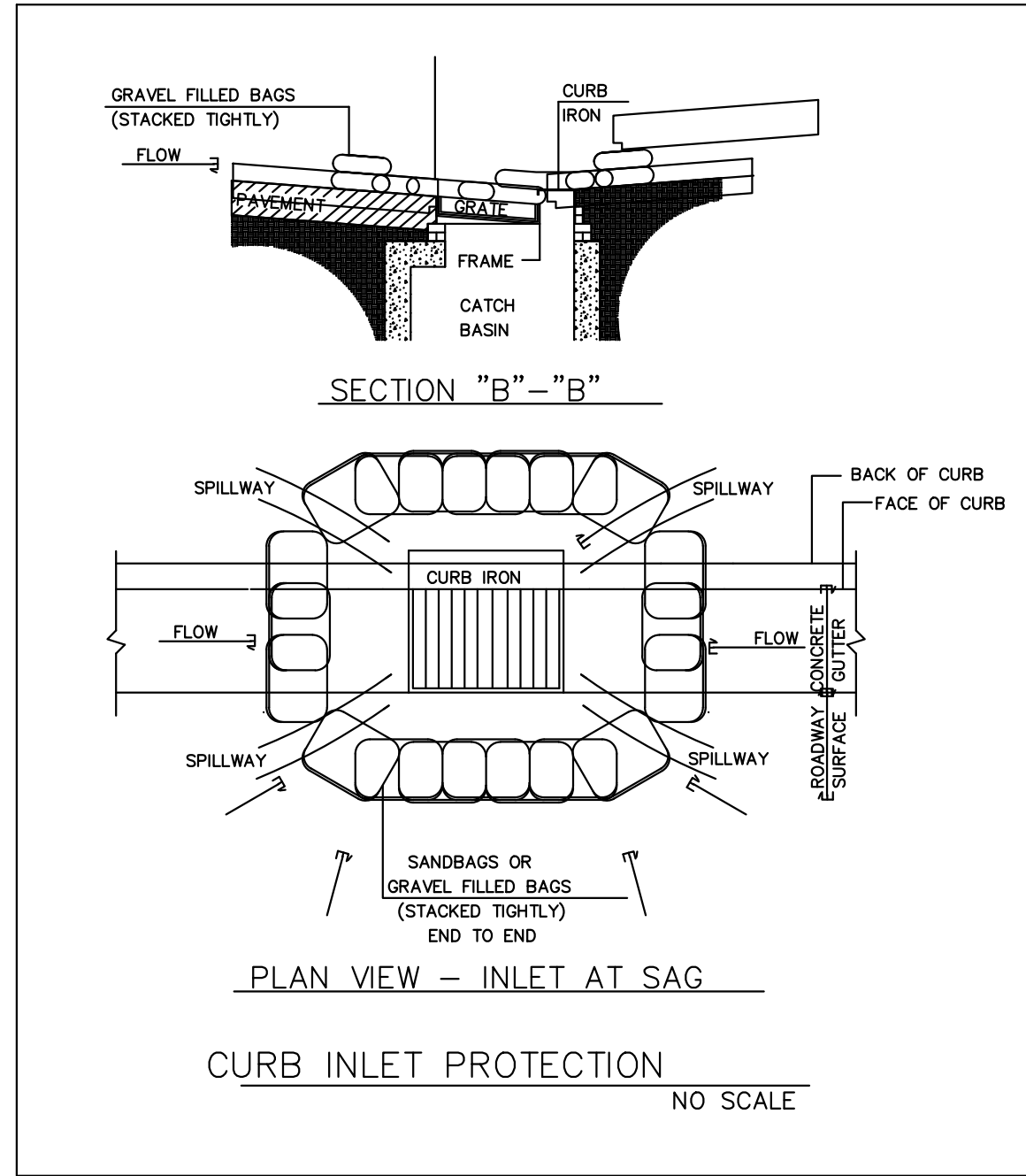
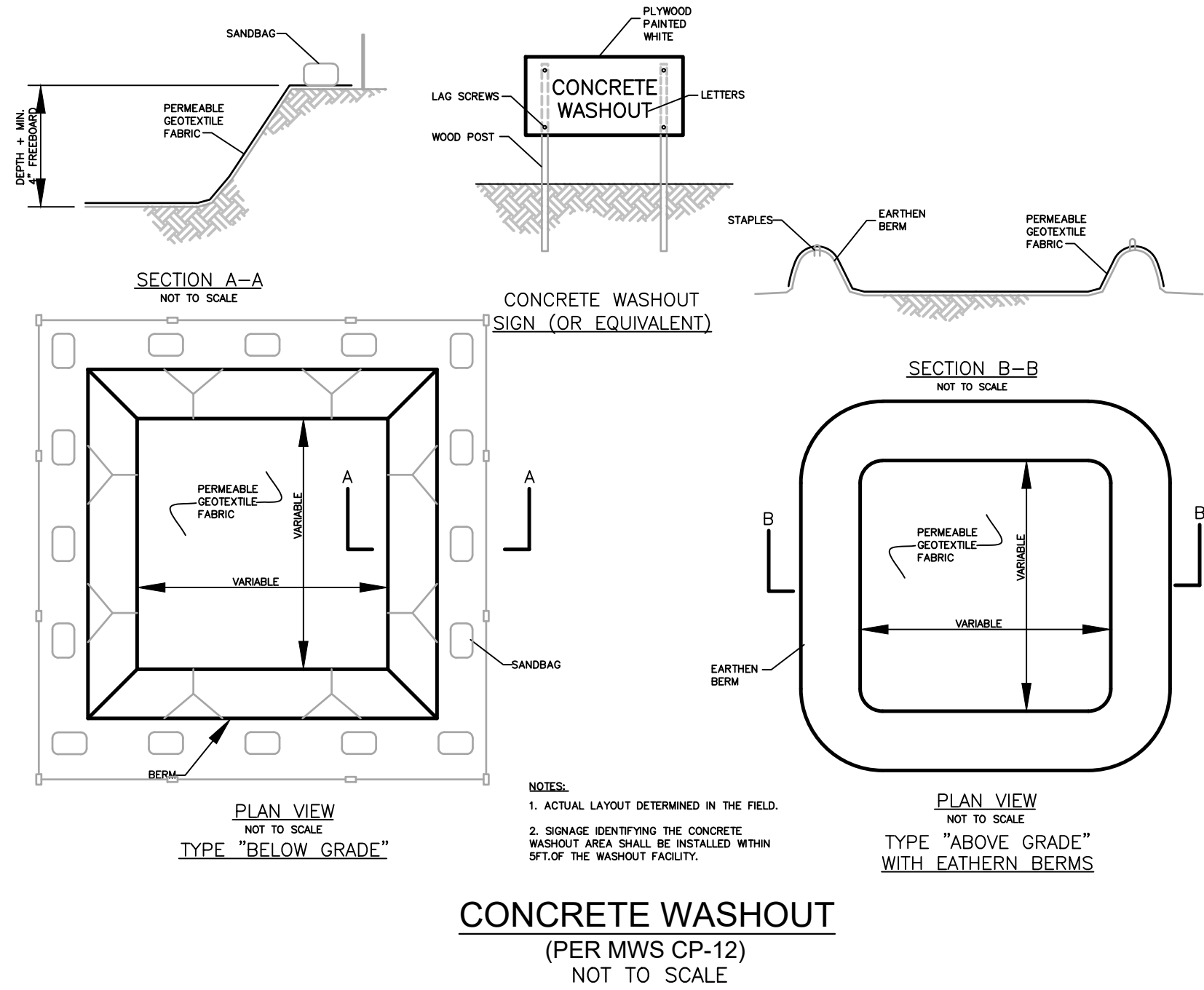
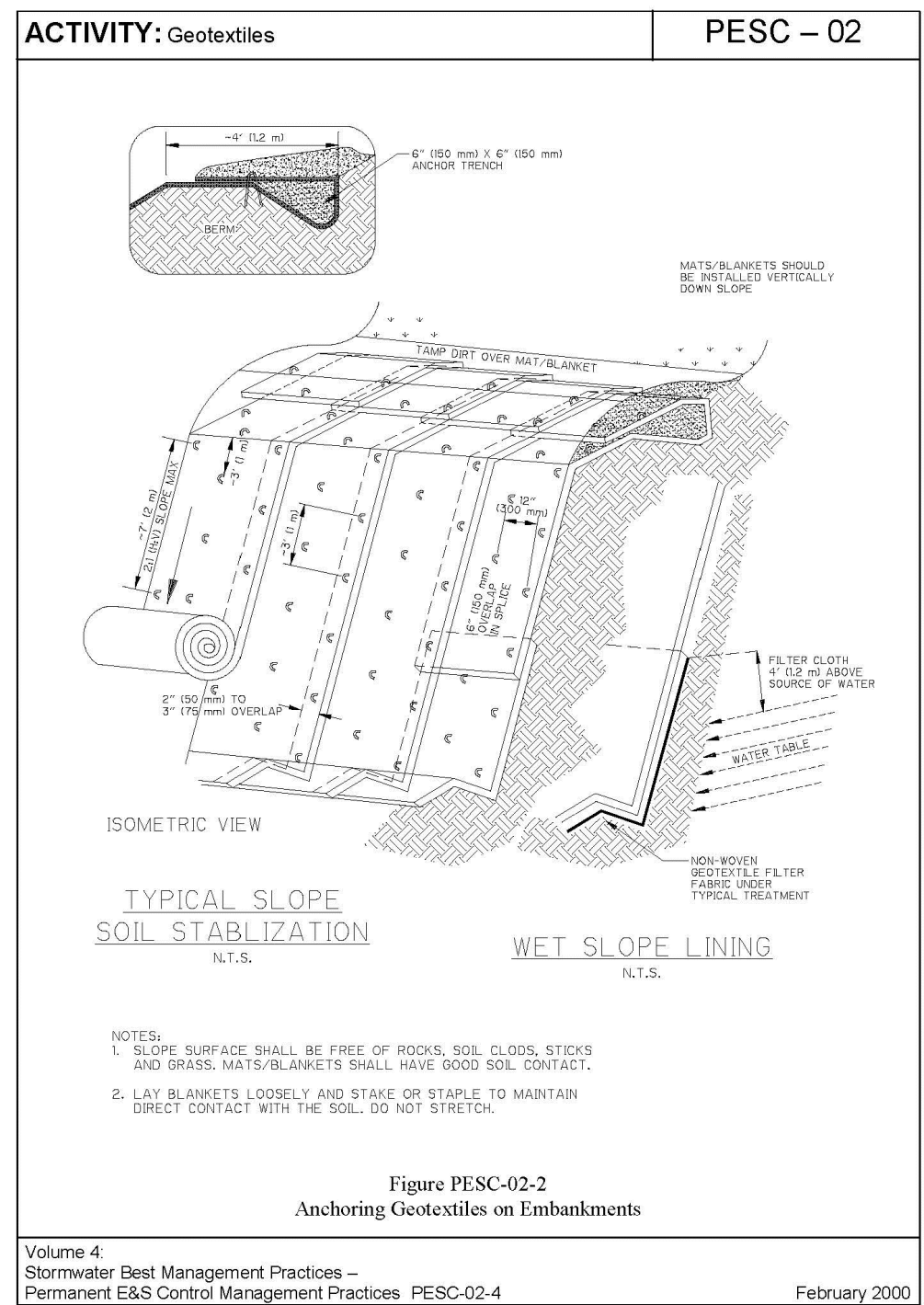
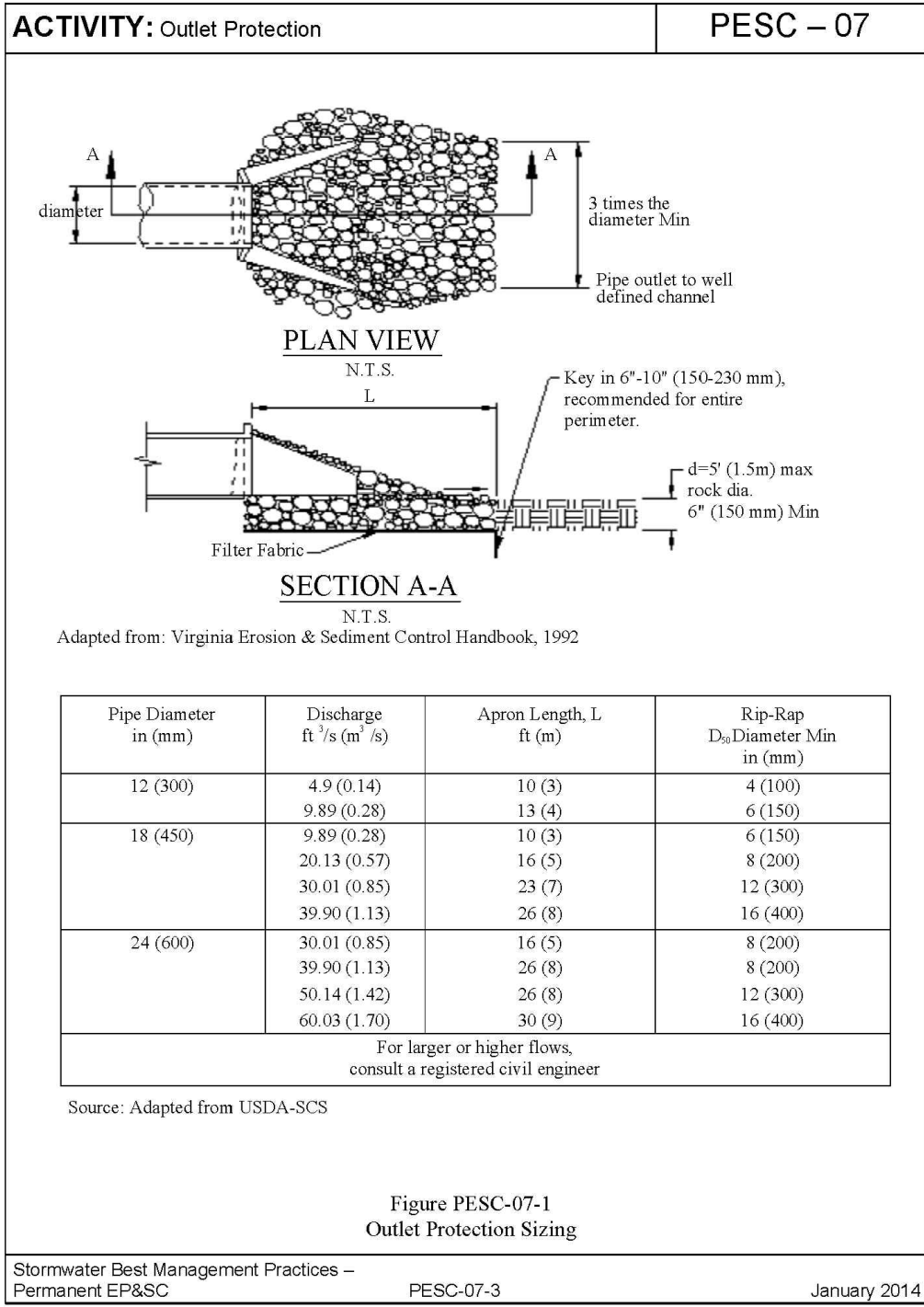
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SCALE: 1"=50'

JOB #: 20230210-

EROSION CONTROL

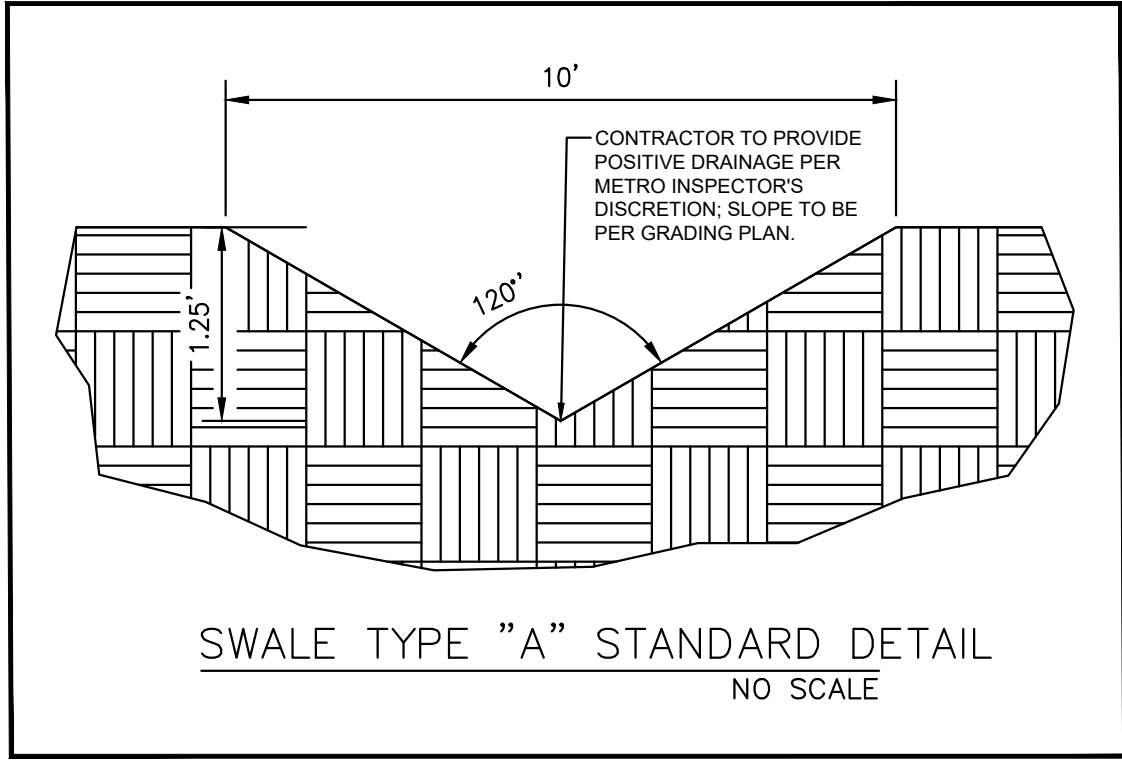
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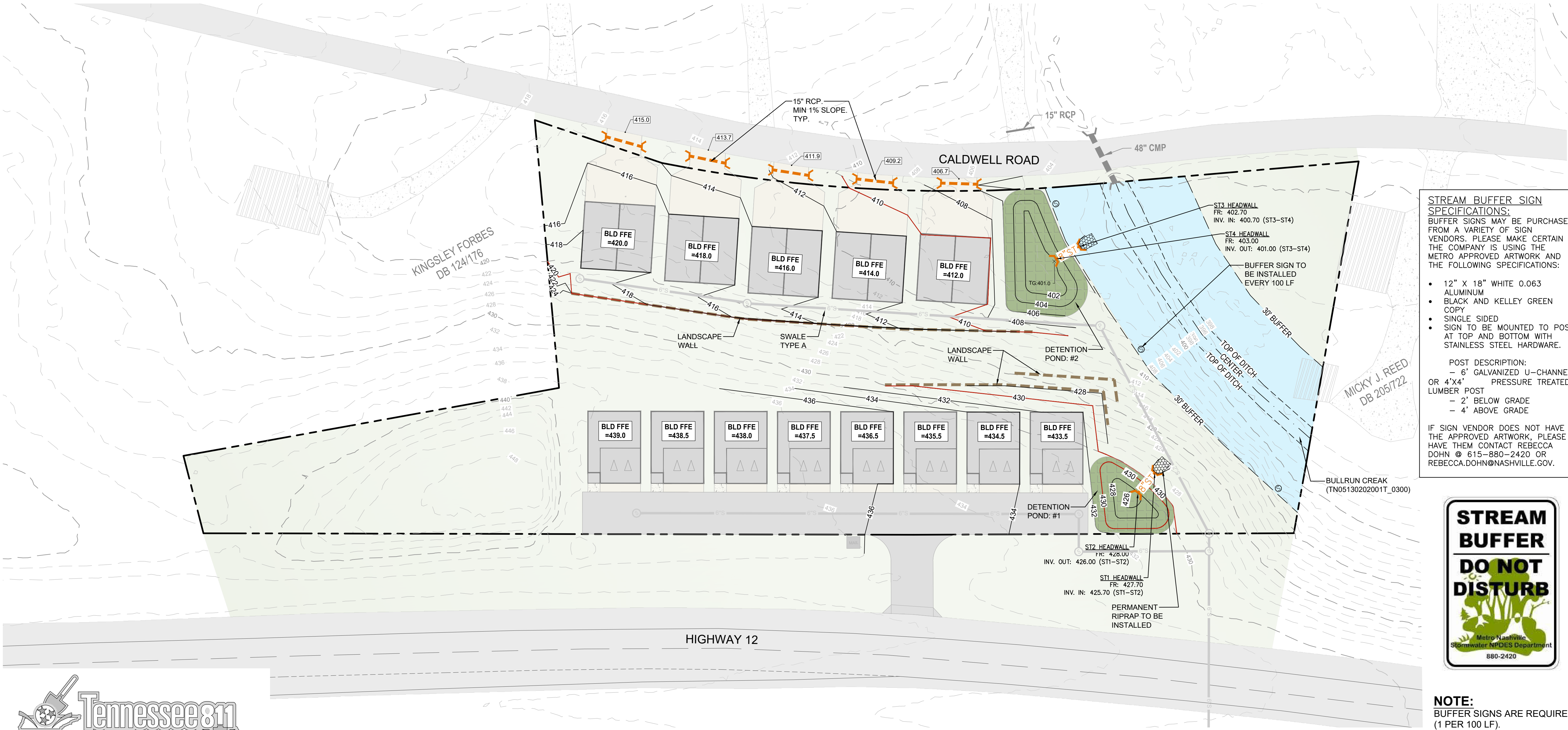
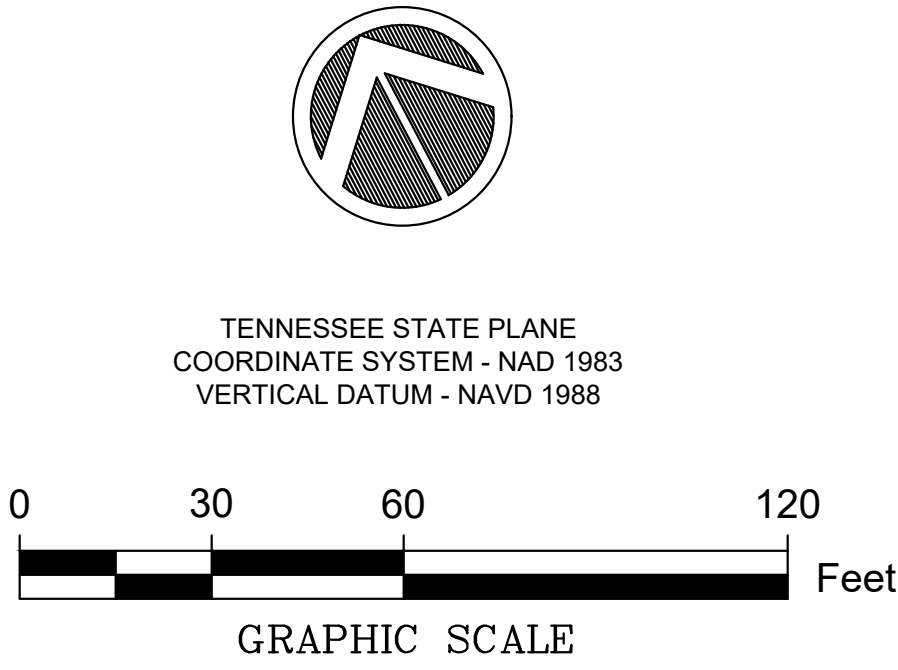
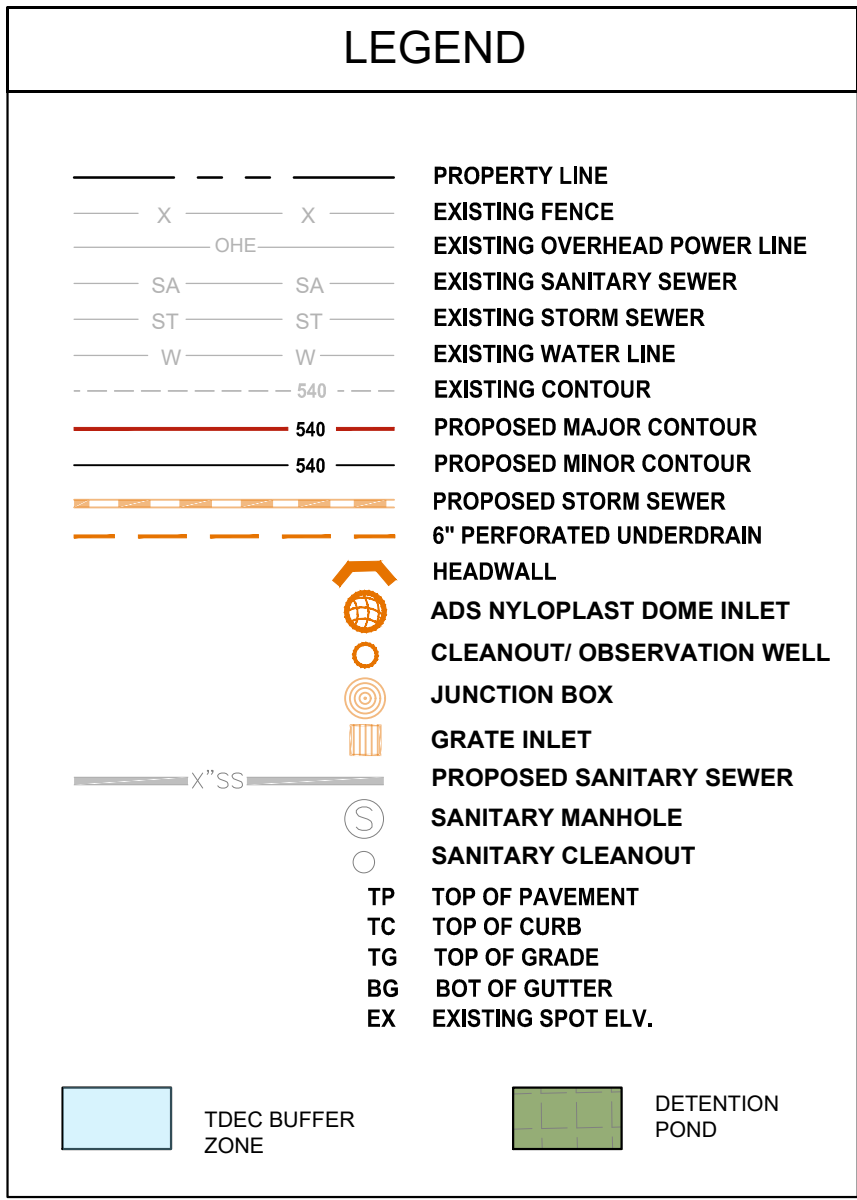
DESIGNED BY: MLW
DATE: 2/23/2023
SCALE: N/A
JOB #: 20230210-1

EPSC DETAILS



DRAINAGE STRUCTURE SCHEDULE				
NO.	TYPE	CASTING	RIM	INVERTS
ST1	HEADWALL	4310	427.70	425.70 (ST2)
ST2	HEADWALL	4310	428.00	426.00 (ST1)
ST3	HEADWALL	4310	402.70	400.70 (ST4)
ST4	HEADWALL	4310	403.00	401.00 (ST3)

PIPE TABLE			
LINE	SIZE/TYPE	LENGTH	SLOPE
ST1-ST2	8" HDPE	15'	2.00%
ST3-ST4	8" HDPE	15'	2.00%

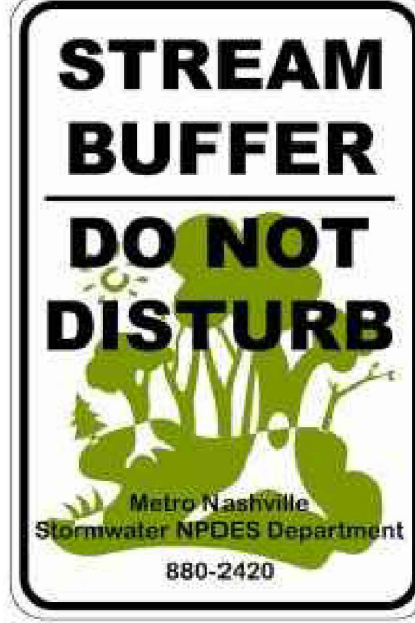


STREAM BUFFER SIGN SPECIFICATIONS:
BUFFER SIGNS MAY BE PURCHASED FROM A VARIETY OF SIGN VENDORS. PLEASE MAKE CERTAIN THE COMPANY IS USING THE METRO APPROVED ARTWORK AND THE FOLLOWING SPECIFICATIONS:

- 12" X 18" WHITE 0.063 ALUMINUM
- BLACK AND KELLEY GREEN COPY
- SINGLE SIDED
- SIGN TO BE MOUNTED TO POST AT TOP AND BOTTOM WITH STAINLESS STEEL HARDWARE.

POST DESCRIPTION:
- 6' GALVANIZED U-CHANNEL OR 4'X4' PRESSURE TREATED LUMBER POST
- 2" BELOW GRADE
- 4" ABOVE GRADE

IF SIGN VENDOR DOES NOT HAVE THE APPROVED ARTWORK, PLEASE HAVE THEM CONTACT REBECCA DOHN @ 615-880-2420 OR REBECCA.DOHN@NASHVILLE.GOV.



NOTE:
BUFFER SIGNS ARE REQUIRED (1 PER 100 LF).



VALLEY POINT HOMES

FOR
JIMMY BROOKS

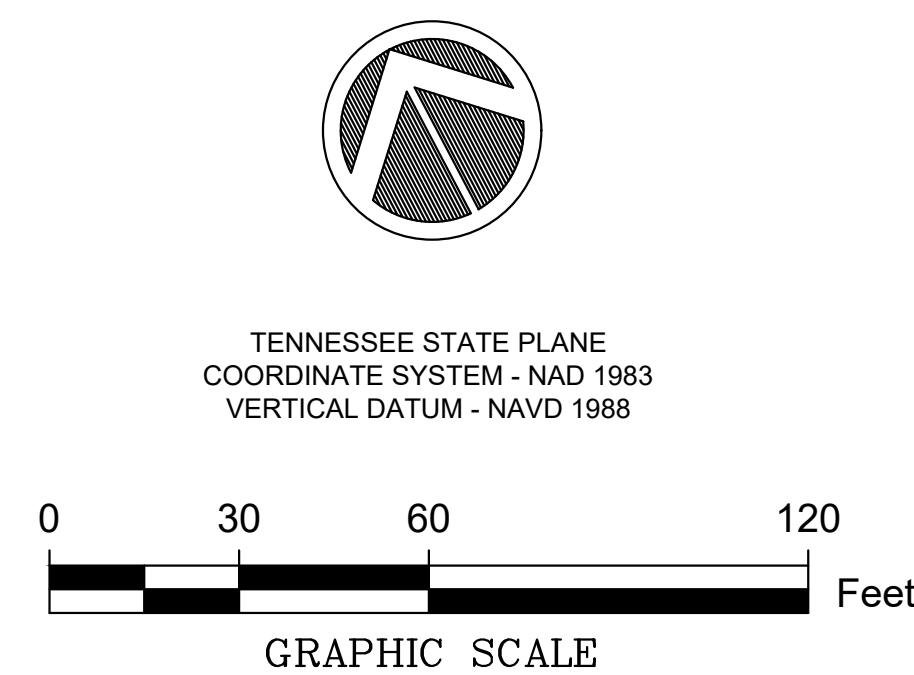
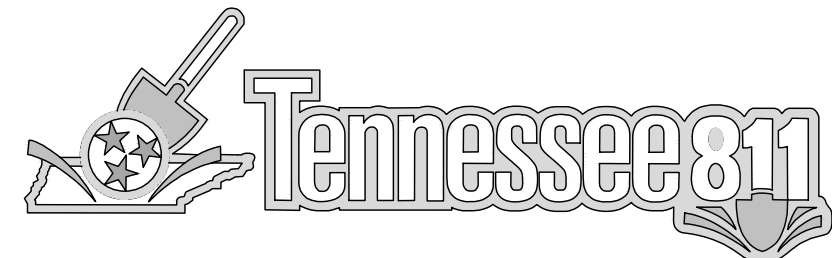
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DESIGNED BY: MLW
DATE: 2/23/2023
SCALE: 1"=30'
JOB #: 20230210-1

GRADING & DRAINAGE

C4.0



00 CALDWELL ROAD ASHLAND CITY, TN 37015

UTILITY PLAN

C5.0