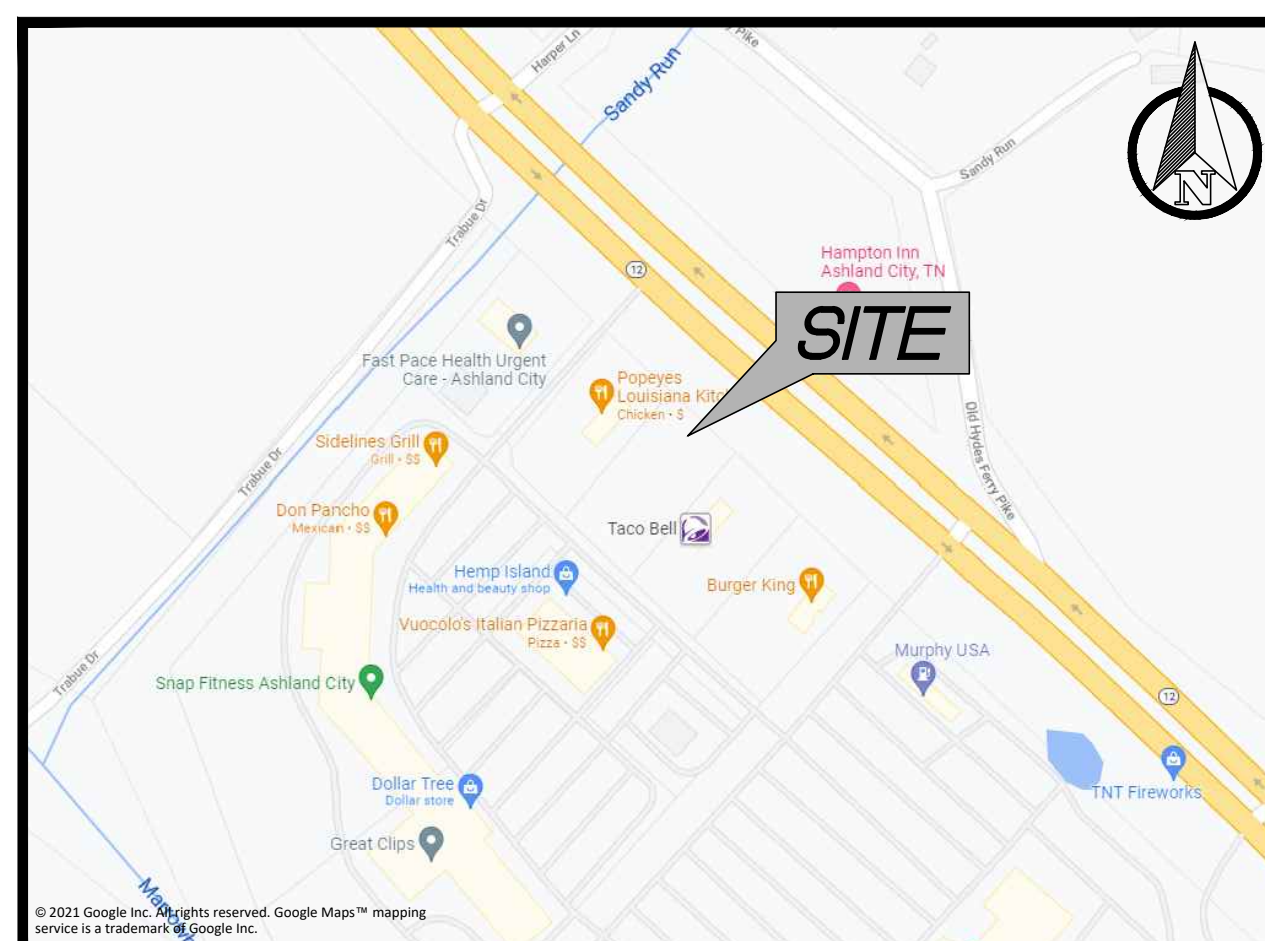


WAFFLE HOUSE

ASHLAND CITY, TN

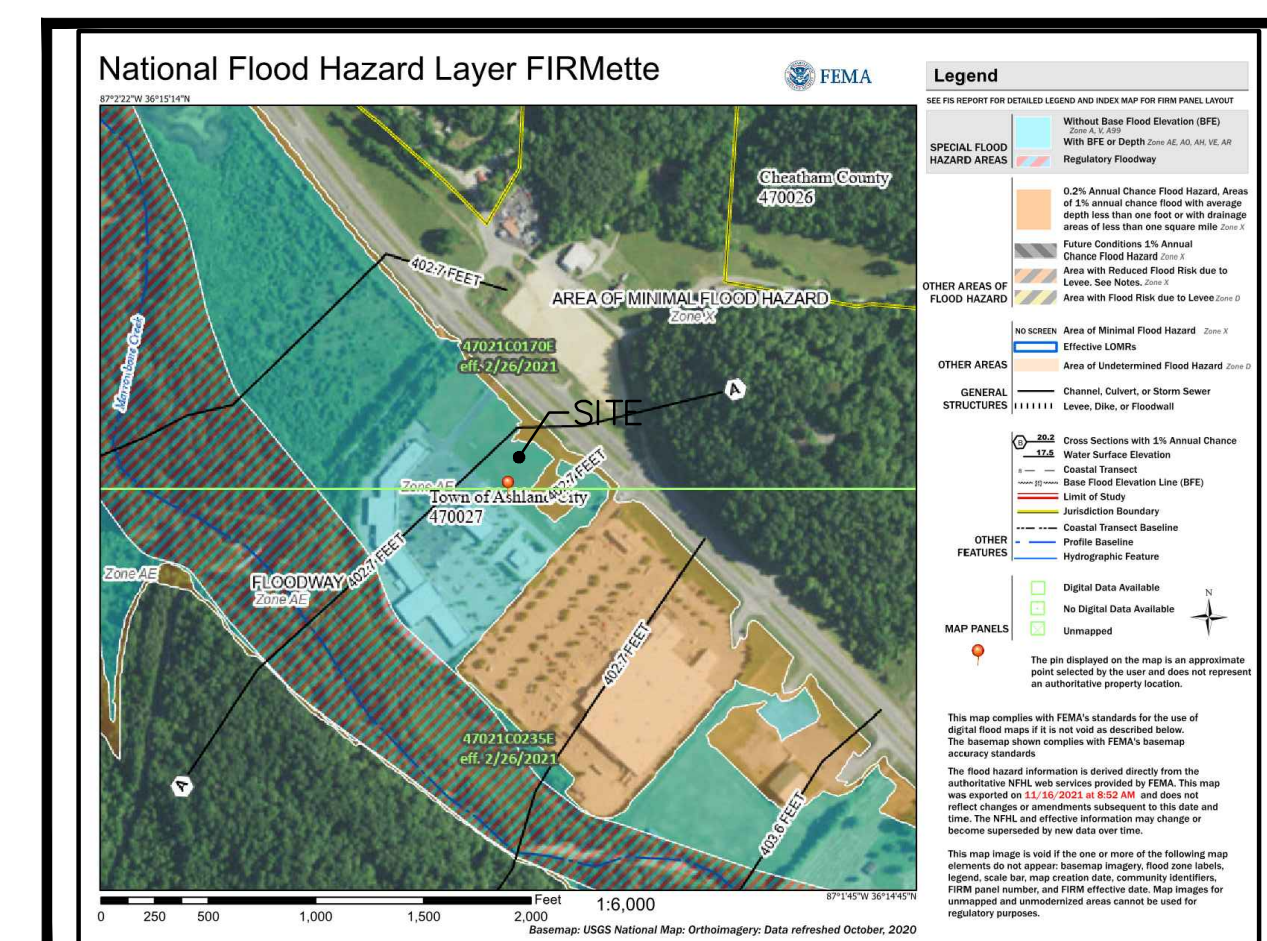
SOUTH OF 133 HUTTON PLACE,
ASHLAND CITY, TN 37015



VICINITY MAP
N.T.S.



USGS QUAD MAP
N.T.S.



FEMA MAP
N.T.S.

GENERAL NOTES:

CONTRACTOR'S RESPONSIBILITY TO INCLUDE, BUT NOT LIMITED TO:

- CAUSE THE WORK TO BE COMPLETED PER FEDERAL, STATE AND LOCAL CODES DURING ALL PHASES OF THE PROJECT.
- VERIFY THE EXISTING CONDITIONS ON WHICH THE PROJECT DESIGNS (ALL PHASES) ARE BASED AND BECOME FAMILIAR WITH ALL NECESSARY INFORMATION, WHETHER ON THE SUBJECT TRACT OR ADJACENT PROPERTIES. IF UNKNOWN CONDITIONS ARE DISCOVERED WHICH JEOPARDIZES THE SCOPE AND DELIVERY OF THE PROJECT, THE CONTRACTOR IS TO PROVIDE IMMEDIATE WRITTEN NOTIFICATION TO THE ENGINEER.
- COORDINATE WITH UTILITY PROVIDERS TO CONFIRM THE LOCATION OF EXISTING AND PROPOSED SERVICES WILL BE ADEQUATE FOR THE DEVELOPMENT. THE ENGINEER DOES NOT ACCEPT RESPONSIBILITY FOR THE ACCURACY OF THE EXISTING UTILITY LOCATIONS AND PROPOSED LOCATIONS ARE APPROXIMATE IN NATURE.
- CONSTRUCTION LIMITS SHALL BE PROPERLY MARKED AND BARRIERS CREATED AS NECESSARY TO PROTECT CONSTRUCTION PERSONNEL AS WELL AS THE PUBLIC, OSHA AND ALL OTHER GOVERNING STANDARDS.
- PROVISION OF ALL NECESSARY WORK IN ORDER TO CAUSE THE PROJECT TO BE COMPLETED WHETHER OR NOT THE WORK IS SPECIFICALLY DESCRIBED WITHIN THE PROJECT DESIGNS OR REQUIRED BY REGULATION IN THE COURSE OF WORK.
- EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES DURING ALL PHASES OF THE PROJECT.
- DEMOLITION RESPONSIBILITIES:
 - CONSTRUCTION DEBRIS AND REFUSE RESULTING FROM DEMOLITION SHALL BE REMOVED FROM THE CONSTRUCTION LOCATION UNDER MEANS THAT ADHERE TO FEDERAL, STATE AND LOCAL REGULATIONS. UNDER NO CIRCUMSTANCES SHALL REFUSE MANAGEMENT COMPROMISE THE DELIVERY SCHEDULE OR QUALITY OF THE PROJECT.
 - FEDERAL, STATE AND LOCAL REGULATIONS SHALL BE ADHERED TO AT ALL TIMES DURING DEMOLITION.
 - PRIOR TO DEMOLITION COMMENCEMENT, CONTACT LOCAL "CALL DIG" SERVICES.
 - PROPER SHORING AND BRACING SYSTEMS SHALL BE UTILIZED FOR ALL EXCAVATIONS AT ALL TIMES. COMPLETELY FILL ALL EXCAVATIONS AT THE END OF EACH DAY.
 - BURNING OF MATERIALS IS PROHIBITED EXCEPT BY PROPER PERMIT FROM GOVERNING AGENCY.
 - EXISTING AND REMAINING FACILITIES, WHETHER ON THE PROPERTY OR ON ADJACENT PROPERTIES, SHALL BE MAINTAINED IN THEIR ORIGINAL CONDITIONS. IF DISTURBED, THESE STRUCTURES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
 - EROSION CONTROL MEASURES DURING DEMOLITION PHASE SHALL BE MAINTAINED AT ALL TIMES DURING ALL PHASES OF THE PROJECT, PER FEDERAL, STATE AND LOCAL CODES. NO EARTHMOVING OR DISTURBANCE SHALL BE CAUSED TO HAPPEN UNTIL ALL APPROPRIATE MEASURES HAVE BEEN PUT INTO PLACE.

24-HOUR EMERGENCY CONTACT:

DAVID MITCHELL
CELL: (678) 873-8842
EMAIL: DAVIDMITCHELL@WAFFLEHOUSE.COM

OWNER / DEVELOPER

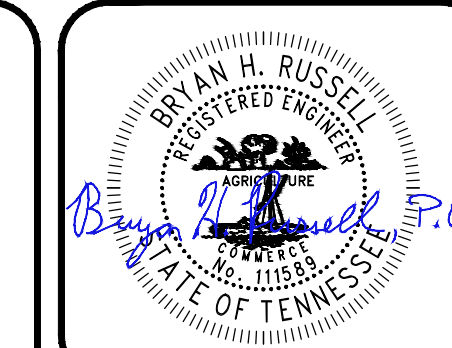
NAME: WAFFLE HOUSE
ADDRESS: 5986 FINANCIAL DRIVE, NORCROSS, GA 30071
PHONE: 770-729-5700
CONTACT: WALTER BARINEAU
EMAIL: WALTER.BARINEAU@WAFFLEHOUSE.COM

ENGINEER

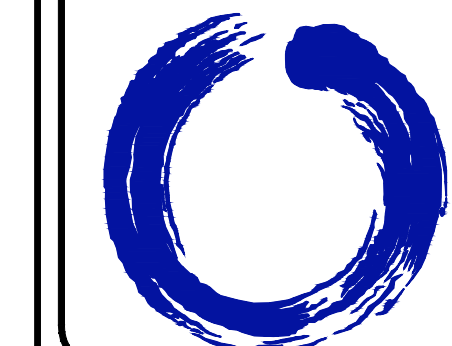
NAME: CONTINEO GROUP, LLC
ADDRESS: 755 COMMERCE DRIVE, SUITE 800,
DECATUR, GA 30030
PHONE: 770-335-9403
EMAIL: COLLEEN@THECONTINEOGROUP.COM

SHEET INDEX

C01	COVER SHEET
C02	SITE/ LANDSCAPE PLAN
C03	GRADING/ DRAINAGE PLAN
C04	UTILITY PLAN
C05	DEMO/ EROSION CONTROL PHASE I
C06	EROSION CONTROL PHASE II
C07	EROSION CONTROL NOTES
C08	EROSION CONTROL DETAILS
C09	EROSION CONTROL DETAILS II
C10	CONSTRUCTION DETAILS
C11	CONSTRUCTION DETAILS II
LS-1	LANDSCAPE PLAN (BY OTHERS)
S1	SURVEY (BY OTHERS)



CONTINEO GROUP
755 COMMERCE DRIVE
SUITE 800
DECATUR, GA 30030
770.335.9403
www.fcjengineer



"A UNIQUE AMERICAN PHENOMENON"
WAFFLE HOUSE
"AMERICA'S PLACE TO EAT, AMERICA'S PLACE TO WORK"
5986 Financial Drive, Norcross, GA 30071
(770) 729-5700

WAFFLE HOUSE ASHLAND
CITY, TENNESSEE
ISSUED FOR: PERMIT
JURISDICTION: CITY OF ASHLAND CITY
LOCATION: SOUTH OF 133 HUTTON PLACE
ASHLAND CITY, TN 37015

#	DATE	REVISIONS

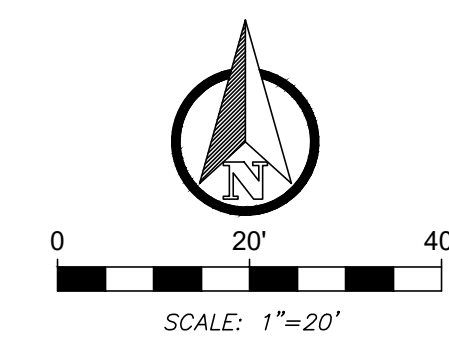
DRAWN: CDB	CHECK: BHR
JOB NO: 21-329	DATE: 12/07/21

COVER
SHEET C01

D:\DROPPBOX (CONTINEO-MASTER)\DROPPBOX (CONTINEO-MASTER)\CONTINEO-MASTER (P-DRIVE) PROJECTS\2021\21-329 - WH - ASHLAND CITY, TN - NEW BUILD\CIVIL



D:\DROPPBOX (CONTINUED-MASTER)\DROPPBOX (CONTINUED-MASTER)\PROJECTS\2021\21-329 - WH - ASHLAND CITY, TN - NEW BUILD\CIVIL



LEGEND

- PV PAVEMENT
- TS TOP OF SIDEWALK
- BS BOTTOM OF SIDEWALK
- ME MATCH EXISTING
- TC TOP OF CURB
- BC BOTTOM OF CURB
- X 100.00 EXISTING SPOT ELEVATION
- 100.00 PROPOSED SPOT ELEVATION
- LIMITS OF CONSTRUCTION
- HANDICAP STALL
- HANDICAP SIGN
- PROPOSED WHEEL STOP
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT

SITE NOTES:

1. COMPLETION OF ALL WORK SHALL BE IN ACCORDANCE THESE PLANS, SPECIFICATIONS, AS WELL AS, WITH FEDERAL, STATE AND LOCAL REGULATIONS. DEVIATION FROM THESE MAY CAUSE THE PROJECT TO BE UNACCEPTABLE.
2. PROJECT TO BE DELIVERED IN ACCORDANCE WITH AMERICANS WITH DISABILITY ACT (ADA) PER FEDERAL, STATE AND LOCAL CODES.
3. PROJECT TO BE DELIVERED IN ACCORDANCE WITH THE UNIFORM TRAFFIC CONTROL MANUAL (MUTCD), ASHTO, AS WELL AS STATE AND LOCAL REGULATIONS.
4. ARCHITECTURAL PLANS ARE TO GOVERN IN THE AREA WITHIN 5' OF THE BUILDING ENVELOPE. THIS IS TO INCLUDE BUT NOT LIMITED, TO STEPS, STOOPS, SIDEWALKS, RAMPS, HANDRAILS, ETC. SITE CONTRACTOR IS RESPONSIBLE FOR ALL WORK OUTSIDE OF THIS ENVELOPE.
5. THE FACE OF CURB AND OUTSIDE FACE OF BUILDING SHALL BE THE DIMENSIONAL REFERENCE FOR ALL SITE MEASUREMENTS AND RADII, UNLESS OTHERWISE NOTED. ALL RADII SHALL BE ASSUMED TO BE 5' WHERE NO DIMENSION IS GIVEN.
6. EXISTING AND REMAINING FACILITIES, WHETHER ON THE PROPERTY OR ON ADJACENT PROPERTIES, SHALL BE MAINTAINED IN THEIR ORIGINAL CONDITIONS. IF DISTURBED, THESE STRUCTURES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
7. CONTRACTOR IS RESPONSIBLE TO PROVIDING ALL AS-BUILTS AND OTHER CERTIFICATIONS IN ORDER TO CAUSE THE ACCEPTANCE OF THE PROJECT BY THE CLIENT AND RELEASE OF A CERTIFICATE OF OCCUPANCY.
8. CONTRACTOR TO VERIFY THE EXISTING CONDITIONS ON WHICH THE PROJECT DESIGNS (ALL PHASES) ARE BASED AND BECOME FAMILIAR WITH ALL NECESSARY INFORMATION, WHETHER ON THE SUBJECT TRACT OR ADJACENT PROPERTIES. IF UNKNOWN CONDITIONS ARE DISCOVERED WHICH JEOPARDIZES THE SCOPE AND DELIVERY OF THE PROJECT, THE CONTRACTOR IS TO PROVIDE IMMEDIATE WRITTEN NOTIFICATION TO THE ENGINEER.
9. ALL EASEMENTS REQUIRED TO COMPLETE THE WORK, BUT NOT PROVIDED BY THE CLIENT, ARE THE RESPONSIBILITY OF THE CONTRACTOR.
10. CURB AND GUTTER SHALL BE 18" IN SIZE UNLESS SPECIFIED OTHERWISE.
11. THE CONTRACTOR SHALL DELIVER THE CURB AND GUTTER AT A 28-DAY COMPRESSIVE STRENGTH OF 3,000 PSI.
12. THE CONTRACTOR SHALL DELIVER THE PARKING LOT PAINTING AND STRIPING WITH A MINIMUM OF TWO COATS OF PAINT PER PROJECT SPECIFICATIONS.

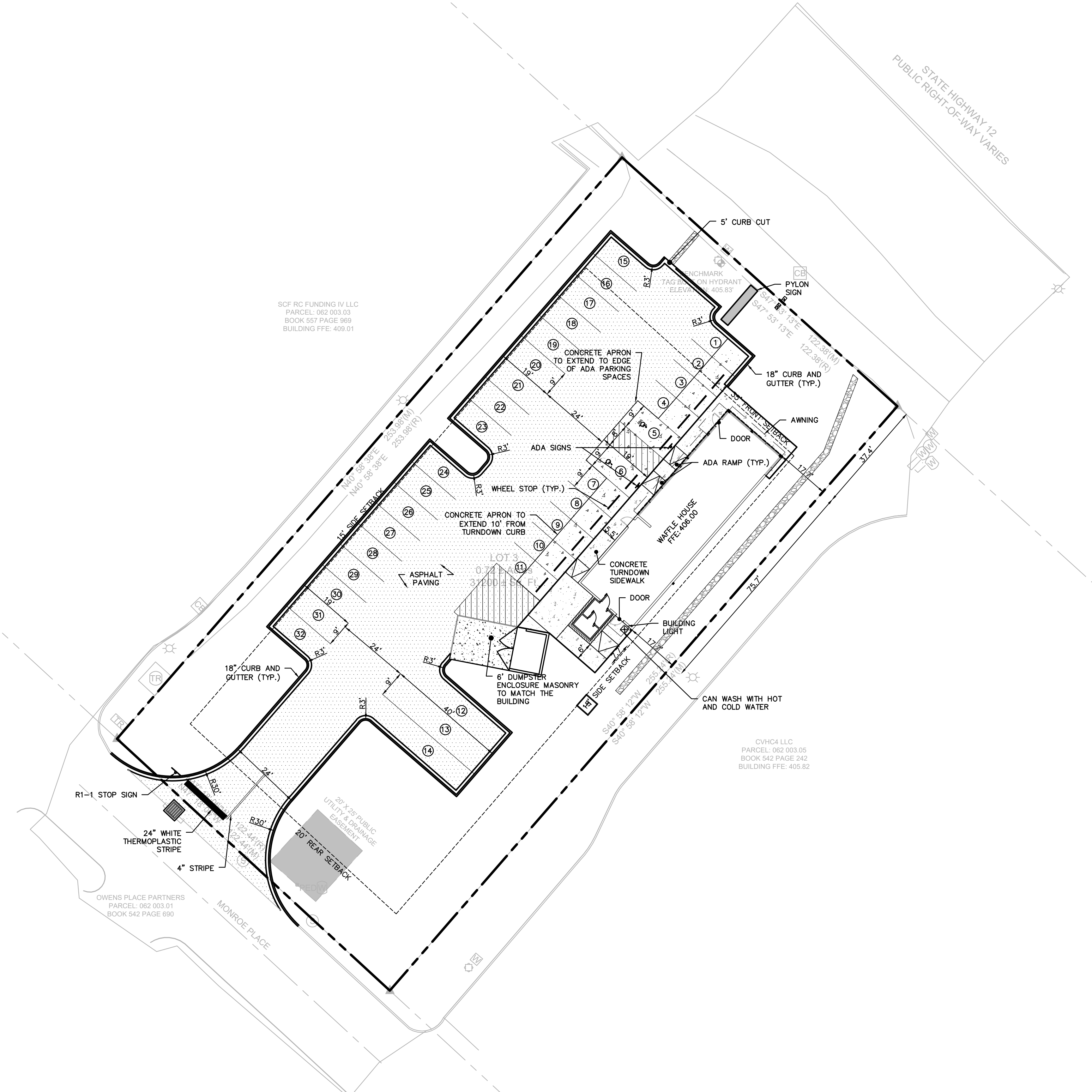
SITE SUMMARY

JURISDICTION	CITY OF ASHLAND CITY
ZONING DISTRICT	C2 (COMMERCIAL)
EXISTING AND PROPOSED USE	RESTAURANT
TOTAL SITE AREA	APPROX. 0.51 AC
PROPOSED BUILDING AREA	1,775 SF (ESTIMATE)
FRONT BUILDING SETBACK	35'
SIDE BUILDING SETBACK	15'
REAR BUILDING SETBACK	20'

PARKING SUMMARY

	REQUIRED	PROPOSED
STANDARD STALLS	11	30
HANDICAP STALLS	1	2
TOTAL STALLS	12	32

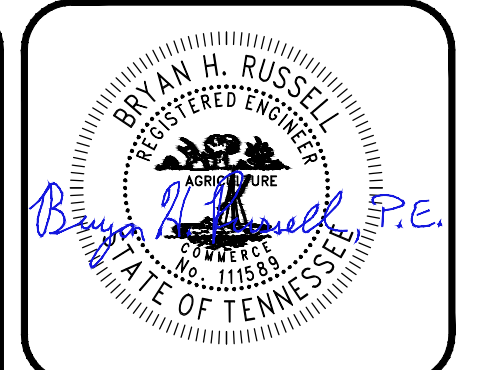
REQUIRED SPACES:
 1 SPACE PER 150 GROSS SF MINIMUM:
 1775 SF / 150 SF = 11.83 = 12 SPACES
 REQUIRED



SCF RC FUNDING IV LLC
 PARCEL: 062 003 03
 BOOK 567 PAGE 989
 BUILDING FFE: 409.01

CIVIC4 LLC
 PARCEL: 062 003 05
 BOOK 542 PAGE 242
 BUILDING FFE: 405.82

OWENS PLACE PARTNERS
 PARCEL: 062 003 01
 BOOK 542 PAGE 690



CONTINIO GROUP
 755 COMMERCE DRIVE
 SUITE 800
 DECATUR, GA 30030
 770.335.9403
 www.fcgroup.com



"A UNIQUE AMERICAN PHENOMENON"
WAFFLE HOUSE
 "AMERICA'S PLACE TO EAT, AMERICA'S PLACE TO WORK"
 5986 Financial Drive, Norcross, GA 30071
 (770) 729-5700

WAFFLE HOUSE ASHLAND CITY, TENNESSEE
 ISSUED FOR: PERMIT
 JURISDICTION: CITY OF ASHLAND CITY
 LOCATION: SOUTH OF 133 HUTTON PLACE ASHLAND CITY, TN 37015

#	DATE	REVISIONS

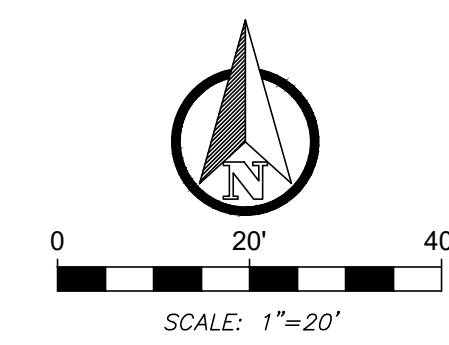
This drawing was prepared by the author and is not to be used for any other project without the express written consent of the author. The author is not responsible for any errors or omissions in this drawing. The author is not responsible for any damage or injury resulting from the use of this drawing.

DRAWN: CDB CHECK: BHR
 JOB NO: 21-329 DATE: 12/07/21

SITE SHEET C02



D:\DROPPBOX (CONTINUED-MASTER)\DROPPBOX (CONTINUED-MASTER)\PROJECTS\2021\21-329 - WH - ASHLAND CITY, TN - NEW BUILD\CIVIL

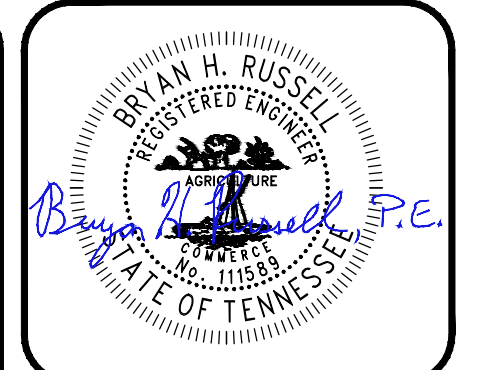
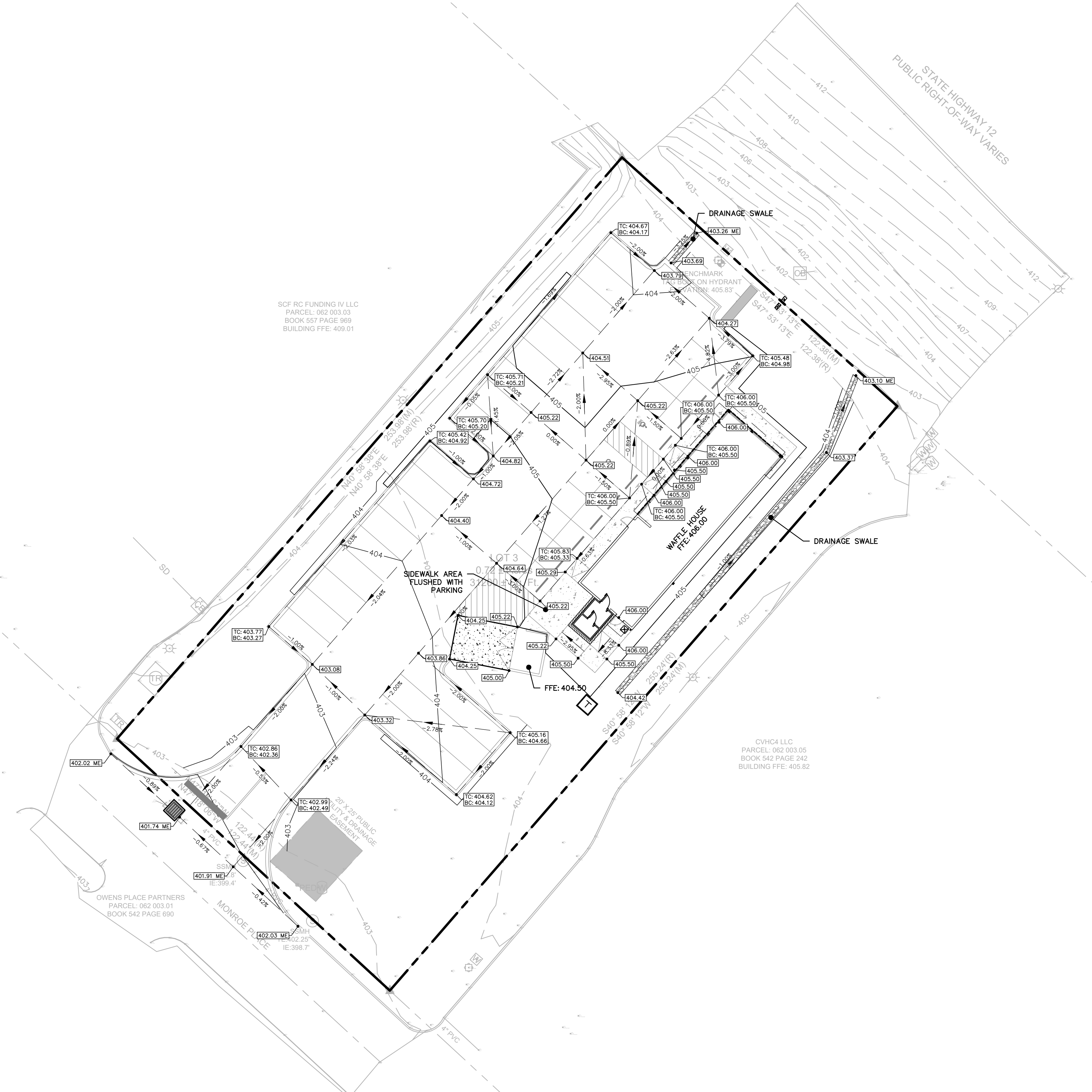


LEGEND

- PV PAVEMENT
- TS TOP OF SIDEWALK
- BS BOTTOM OF SIDEWALK
- ME MATCH EXISTING
- TC TOP OF CURB
- BC BOTTOM OF CURB
- X 100.00 EXISTING SPOT ELEVATION
- 100.00 PROPOSED SPOT ELEVATION
- LIMITS OF CONSTRUCTION
- ♿ HANDICAP STALL
- ♿ HANDICAP SIGN
- PROPOSED WHEEL STOP
- PROPOSED CONCRETE SIDEWALK
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT

GRADING NOTES:

1. PRIOR TO WORK COMMENCEMENT, CONTRACTOR IS TO CONTACT LOCAL "CALL DIG" SERVICES FOR LOCATION OF ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK, WHICH INCLUDES, BUT NOT LIMITED TO, RELOCATION OF UTILITIES ALONG ROADWAYS AND OFFSITE IMPROVEMENTS IN ORDER TO DELIVER THE PROJECT.
2. REFER TO THE GEOTECHNICAL REPORT FOR INFORMATION ON EXISTING SOIL CONDITIONS.
3. CONTRACTOR IS TO REMOVE ALL MATERIALS DEEMED UNSUITABLE BY THE OWNER AND/OR ENGINEER.
4. POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS SHALL BE MAINTAINED AT ALL TIMES.
5. CONTRACTOR SHALL VALIDATE AND ACCEPT TOPOGRAPHIC INFORMATION PROVIDED PRIOR TO COMMENCEMENT OF WORK. ANY DEVIATIONS SHALL BE SUBMITTED TO THE ENGINEER AND OWNER.
6. CONTRACTOR TO PROVIDE CLEAN PAVEMENT AND CURB EDGES, VIA SAW CUTTING OR OTHER METHODS, IF WORK IS WITHIN EXISTING PAVEMENT AREAS.
7. REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ALL STRUCTURAL FOUNDATIONS, SLABS AND EARTHEN BUILDING PADS.
8. EXISTING AND REMAINING FACILITIES, WHETHER ON THE PROPERTY OR ON ADJACENT PROPERTIES, SHALL BE MAINTAINED IN THEIR ORIGINAL CONDITIONS. IF DISTURBED, THESE STRUCTURES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
9. ALL DISTURBED AREAS WITHOUT PERMANENT HARD SURFACES SHALL BE TREATED WITH PERMANENT STABILIZATION PER THE APPROPRIATE STATE OR LOCAL EROSION CONTROL AND DEVELOPMENT STANDARDS.
10. CONTRACTOR SHALL DELIVER THE EARTHWORK FOR THE PROJECT ON AN UNCLASSIFIED BASIS.
11. IN THE ABSENCE OF OTHER DIRECTION FROM SOURCES SUCH AS GEOTECHNICAL REPORTS, THE PLACEMENT OF FILL MATERIAL SHALL BE PER THE FOLLOWING:
 - CLEAN, GRANULAR MATERIAL AND SHALL BE VERIFIED BY THE CONTRACTOR FOR SUITABILITY BY PERFORMING A GRADATION TEST.
 - PLACED IN LIFT THICKNESS NOT TO EXCEED EIGHT INCH
 - POSSESS MOISTURE WITHIN 3% OF OPTIMUM
 - COMPACTED TO 95% MINIMUM DENSITY OF THE MAXIMUM DRY DENSITY UTILIZING THE MODIFIED PROCTOR METHOD (ASTM D-1557)
12. ALL STORM WATER SYSTEMS ARE TO BE DELIVERED TO THE OWNER CLEAN AND FREE OF DEBRIS.
13. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR IS TO NOTIFY THE ENGINEER OF ANY POTENTIAL CONFLICTS BETWEEN EXISTING AND PROPOSED GRAVITY UTILITIES.
14. ANY RETAINING WALLS DEPICTED WITHIN THESE PLANS ARE TO BE DESIGNED UNDER THE DIRECTION OF THE CONTRACTOR AND ARE SHOWN FOR COORDINATION PURPOSES ONLY. THE CIVIL ENGINEER ACCEPTS NO RESPONSIBILITY FOR THESE WALL.
15. ALL PIPES SYSTEMS ARE MEASURED BETWEEN THE CENTERS OF MANHOLES.



CONTINIO GROUP
 755 COMMERCE DRIVE
 SUITE 800
 DECATUR, GA 30030
 770.335.9403
 www.fcjengineer.com



WAFFLE HOUSE
 "A UNIQUE AMERICAN PHENOMENON"
 "AMERICA'S PLACE TO EAT, AMERICA'S PLACE TO WORK"
 5986 Financial Drive, Norcross, GA 30071
 (770) 729-5700

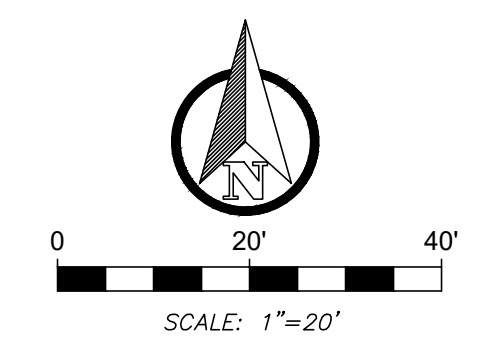
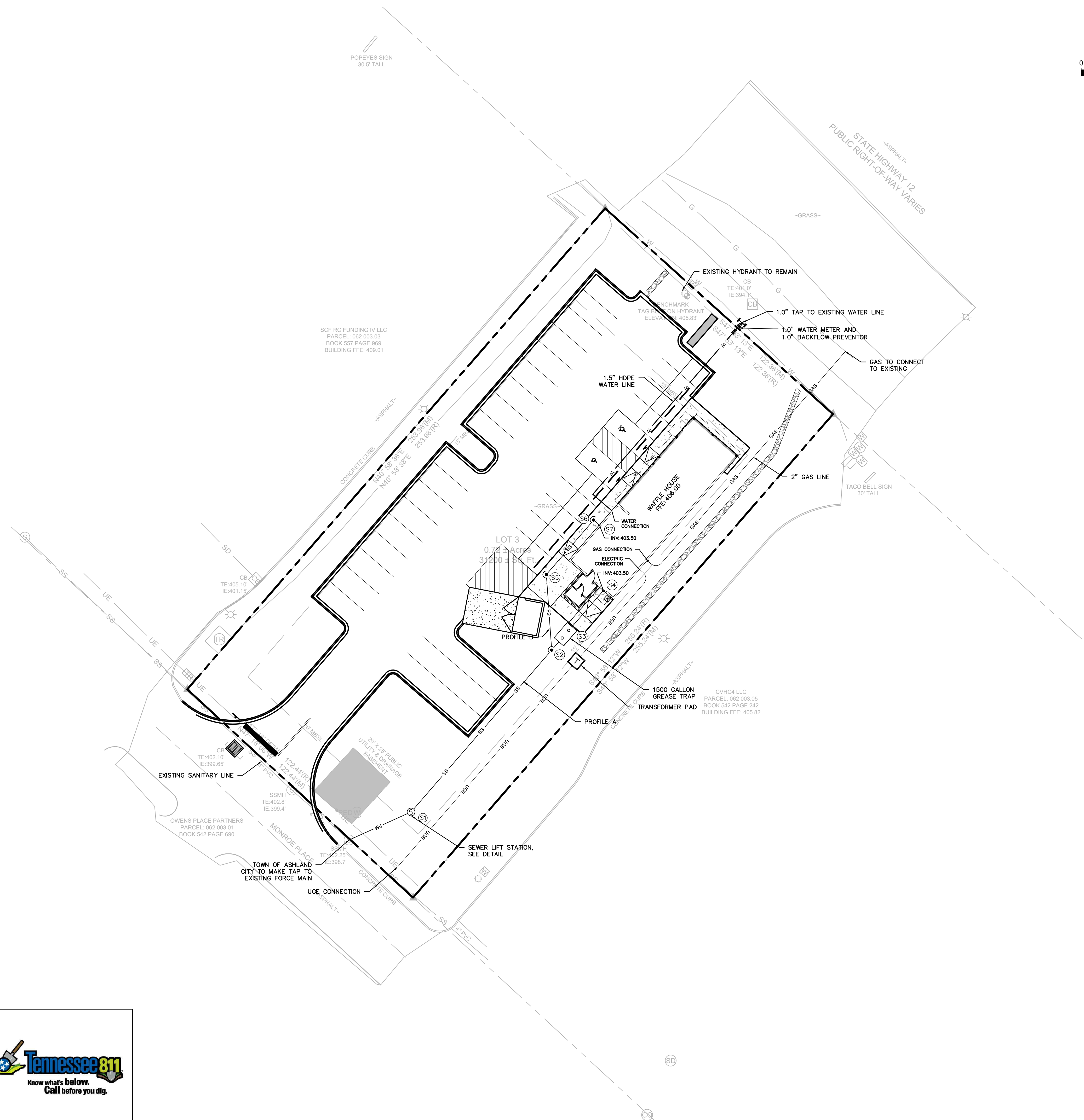
WAFFLE HOUSE ASHLAND CITY, TENNESSEE
 ISSUED FOR: PERMIT
 JURISDICTION: CITY OF ASHLAND CITY
 LOCATION: SOUTH OF 133 HUTTON PLACE ASHLAND CITY, TN 37015

#	DATE	REVISIONS

DRAWN: CDB	CHECK: BHR
JOB NO: 21-329	DATE: 12/07/21

GRADING
 SHEET C03

D:\DROPPBOX (CONTINUED-MASTER)\DROPPBOX (CONTINUED-MASTER)\PROJECTS\2021\21-329 - WH - ASHLAND CITY, TN - NEW BUILD\CIVIL

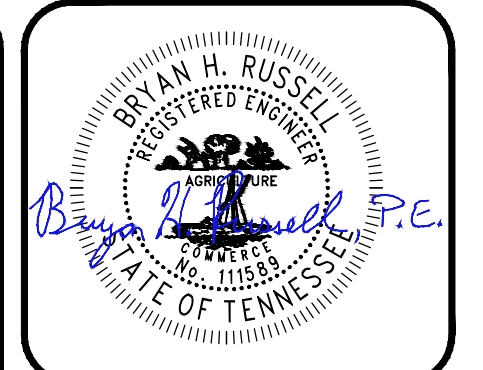
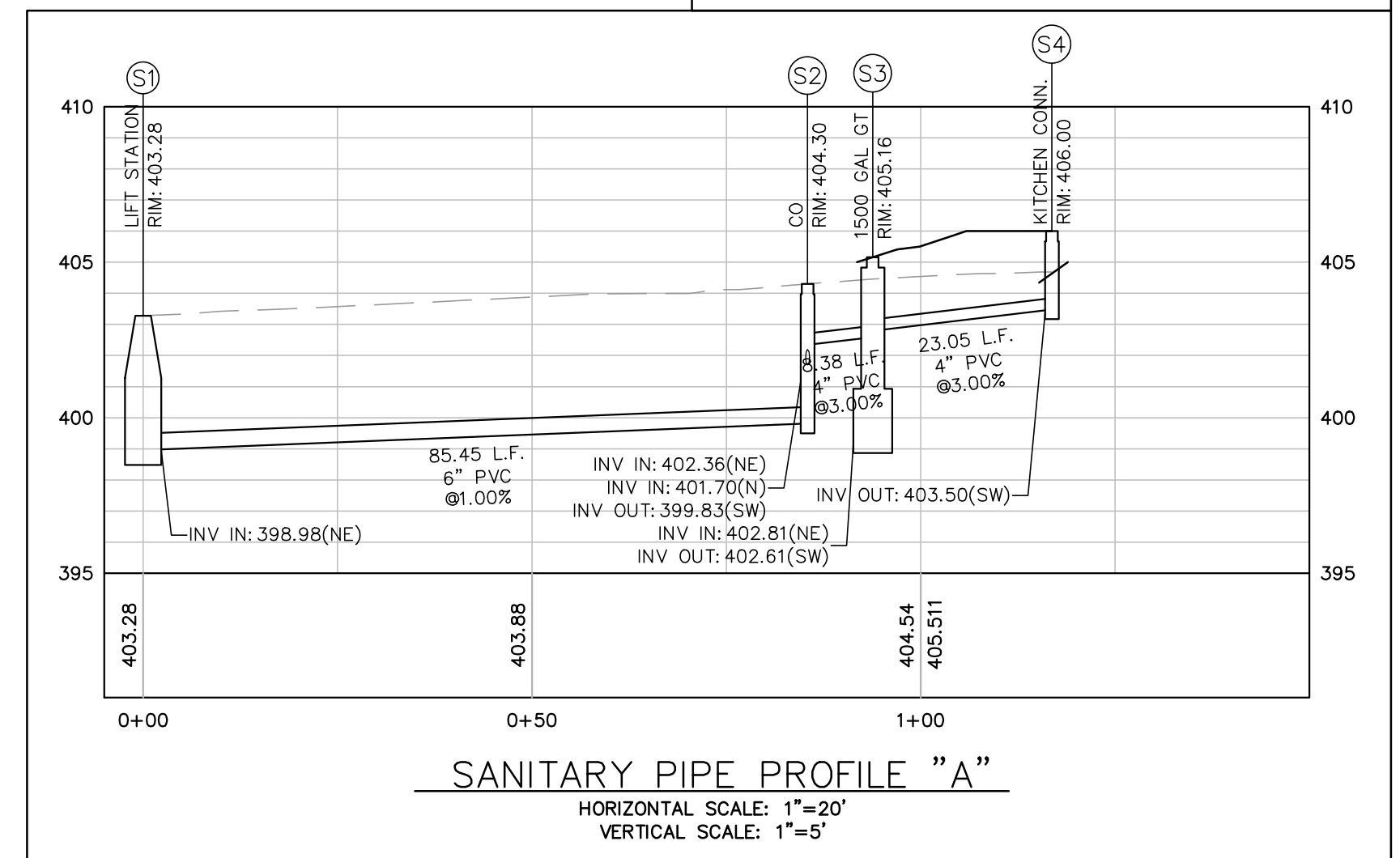
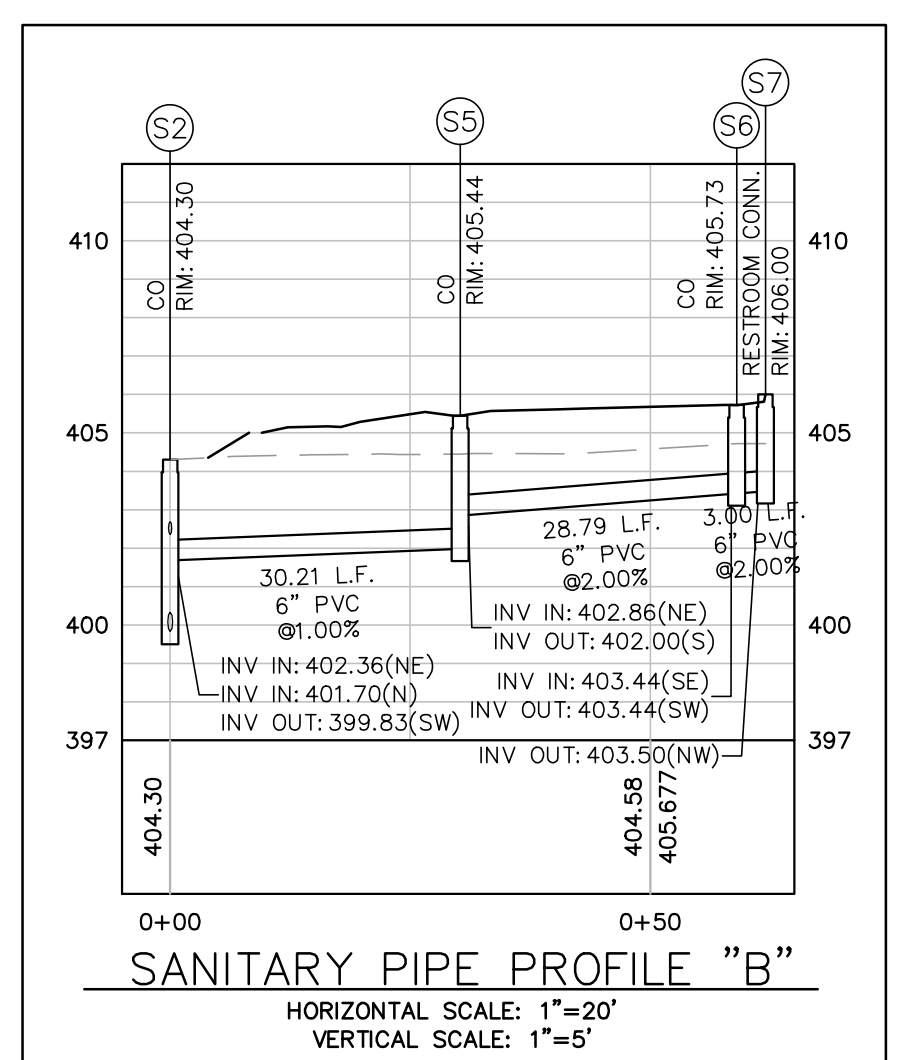


LEGEND

PV	PAVEMENT
TS	TOP OF SIDEWALK
BS	BOTTOM OF SIDEWALK
ME	MATCH EXISTING
TC	TOP OF CURB
BC	BOTTOM OF CURB
X 100.00	EXISTING SPOT ELEVATION
100.00	PROPOSED SPOT ELEVATION
[Symbol]	LIMITS OF CONSTRUCTION
[Symbol]	HANDICAP STALL
[Symbol]	HANDICAP SIGN
[Symbol]	PROPOSED WHEEL STOP
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PROPOSED CONCRETE PAVEMENT
[Symbol]	PROPOSED ASPHALT PAVEMENT

UTILITY NOTES:

1. PRIOR TO WORK COMMENCEMENT, CONTRACTOR IS TO CONTACT LOCAL "CALL DIG" SERVICES FOR LOCATION OF ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL COORDINATE WITH ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK, WHICH INCLUDES, BUT NOT LIMITED TO, RELOCATION OF UTILITIES ALONG ROADWAYS AND OFFSITE IMPROVEMENTS IN ORDER TO DELIVER THE PROJECT.
2. ALL UTILITY WORK SHALL BE IN ACCORDANCE WITH GOVERNING LOCAL STANDARDS, LATEST EDITION.
3. CONTRACTOR SHALL UTILIZE SCHEDULE 40 PVC OR DUCTILE IRON PIPE FOR ALL SEWER SYSTEMS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING ANY FINAL AS-BUILTS AND EASEMENT PLATS.
5. CONTRACTOR TO DELIVER ALL WATER AND SEWER SYSTEMS WITH A MINIMUM OF 10' HORIZONTAL AND 2' VERTICAL SEPARATIONS.
6. BUILDING CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL ELECTRICAL SERVICES TO THE BUILDING, WHICH INCLUDE, BUT NOT LIMITED TO, TRANSFORMERS, TRANSFORMER PADS, METERS, ETC--
7. CONTRACTOR SHALL COMPARE ALL CIVIL AND BUILDING PLAN SETS PRIOR TO CONSTRUCTION. THE ENGINEER AND ARCHITECT SHALL BE NOTIFIED OF ANY UTILITY DISCREPANCIES.



CONTINIO GROUP
 755 COMMERCE DRIVE
 SUITE 800
 DECATUR, GA 30030
 770.335.9403
 www.fcjengineer.com



WAFLE HOUSE
 "A UNIQUE AMERICAN PHENOMENON"
 "AMERICA'S PLACE TO EAT, AMERICA'S PLACE TO WORK"
 5986 Financial Drive, Norcross, GA 30071
 (770) 729-5700

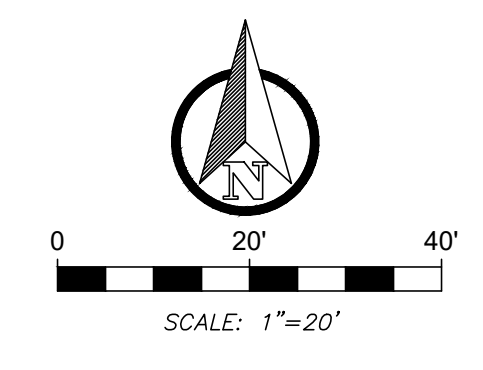
WAFLE HOUSE ASHLAND CITY, TENNESSEE
 ISSUED FOR: PERMIT
 JURISDICTION: CITY OF ASHLAND CITY
 LOCATION: SOUTH OF 133 HUTTON PLACE ASHLAND CITY, TN 37015

#	DATE	REVISIONS

DRAWN: CDB
 CHECK: BHR
 JOB NO: 21-329
 DATE: 12/07/21

UTILITY SHEET C04

D:\DROPPBOX (CONTINUED-MASTER)\DROPPBOX (CONTINUED-MASTER)\PROJECTS\2021\21-329 - WH - ASHLAND CITY, TN - NEW BUILD\CIVIL



LEGEND

- PV PAVEMENT
- TS TOP OF SIDEWALK
- BS BOTTOM OF SIDEWALK
- ME MATCH EXISTING
- TC TOP OF CURB
- BC BOTTOM OF CURB
- X 100.00 EXISTING SPOT ELEVATION
- 100.00 PROPOSED SPOT ELEVATION
- LIMITS OF CONSTRUCTION
- Handicap symbol HANDICAP STALL
- Handicap symbol HANDICAP SIGN
- Proposed wheel stop symbol PROPOSED WHEEL STOP
- Proposed concrete sidewalk symbol PROPOSED CONCRETE SIDEWALK
- Proposed concrete pavement symbol PROPOSED CONCRETE PAVEMENT
- Proposed asphalt pavement symbol PROPOSED ASPHALT PAVEMENT

DEMO NOTES:

1. ALL MATERIALS FROM DEMOLITION SHALL BE REMOVED FROM THE SITE BY THE GENERAL CONTRACTOR OR SUBCONTRACTOR UNLESS APPROVED FOR REUSE ON SITE BY THE STRUCTURAL, GEOTECHNICAL ENGINEERS AND GOVERNING AGENCIES.
2. REMOVAL OF THE EXISTING STRUCTURES SHALL BE AS REQUIRED FOR THE PROJECT. THE MATERIALS REMOVED FROM THE SITE SHALL BE DISPOSED OF IN A PROPER AND LEGAL MANNER PER FEDERAL, STATE, AND OR LOCAL LAWS AND ORDINANCES.
3. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED, THE OWNER SHALL BE NOTIFIED. THOSE MATERIALS SHALL BE REMOVED AND DISPOSED OF IN A MANNER AS APPROVED BY ALL GOVERNING AGENCIES AND IN A LANDFILL OR DISPOSAL FACILITY LICENSED TO ACCEPT HAZARDOUS MATERIAL.
4. PREDEMOLITION PHOTOGRAPHS SHALL BE TAKEN BY THE CONTRACTOR FOR OWNER, SHOWING EXISTING CONDITIONS OF THE SITE AND ADJOINING BUILDINGS TO REMAIN. PHOTOS SHALL INCLUDE DAMAGE TO FINISH SURFACES THAT MIGHT BE MISCONSTRUED AS DAMAGE CAUSED BY DEMOLITION OPERATIONS.
5. EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR. ANY DAMAGE INCURRED DURING THE CONSTRUCTION SHALL BE RESTORED, RECONSTRUCTED OR REPLACED TO AT LEAST THEIR ORIGINAL CONDITION OR AS REQUIRED OR DICTATED BY FEDERAL, STATE, COUNTY, CITY OR LOCAL GOVERNING AGENCIES.
6. IT IS THE RESPONSIBILITY OF CONTRACTOR TO INSPECT EACH DAY AND REMOVE ALL MUD, DIRT, GRAVEL AND LOOSE MATERIALS DUMPED FROM THIS SITE ONTO OTHER PROPERTIES. THE CONTRACTOR MUST CLEAN OR PICK UP DAILY IF NECESSARY. THE CONTRACTOR SHALL TRY TO REDUCE AIRBORNE DUST THROUGHOUT THE ENTIRE JOB. THIS MAY BE DONE BY WATERING DOWN AREAS AFFECTED BY THIS WORK.
7. THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL DEVICES AS REQUIRED DURING DEMOLITION.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNER AND ALL UTILITY COMPANIES AND DEPARTMENTS 72 HOURS OR AS REQUIRED, BEFORE DEMOLITION IS TO START, TO VERIFY ANY UTILITIES THAT MAY BE PRESENT ON SITE. ALL VERIFICATIONS, LOCATIONS, SIZE AND DEPTHS SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES OR DEPARTMENTS. WHEN EXCAVATING AROUND OR OVER UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANY, SO A REPRESENTATIVE OF THE UTILITY MAY BE PRESENT DURING THE EXCAVATION TO INSTRUCT AND OBSERVE DURING THE PROCESS. VERIFY THAT UTILITIES HAVE BEEN DISCONNECTED AND CAPPED BEFORE STARTING DEMOLITION OPERATIONS. NO TRENCHES SHALL BE LEFT OPEN OVERNIGHT.
9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN AND PAY ALL FEDERAL, STATE, COUNTY, CITY AND LOCAL PERMITS FOR ANY AND ALL WORK REQUIRED UNLESS OTHERWISE NOTED.
10. CONTRACTOR SHALL MAKE AN EFFORT TO SALVAGE ANY VEGETATION OR OTHER LANDSCAPING MATERIALS WHEN AND WHERE POSSIBLE. NOTIFY LANDSCAPE ARCHITECT AND OWNER OF RELOCATION AREA TO PREVENT ANY FUTURE ISSUES.
11. ALL ASPHALT AND CONCRETE CUTS SHALL BE SMOOTH, CLEAN AND IN STRAIGHT LINES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE MADE TO CONCRETE THAT IS TO REMAIN AS PART OF THE NEW DEVELOPMENT.

24-HOUR EMERGENCY CONTACT:

DAVID MITCHELL
CELL: (678) 873-6842
EMAIL: DAVIDMITCHELL@WAFFLEHOUSE.COM

OWNER / DEVELOPER
NAME: WAFFLE HOUSE
ADDRESS: 5986 FINANCIAL DRIVE, NORCROSS, GA 30071
PHONE: 770-729-5700
CONTACT: WALTER BARINEAU
EMAIL: WALTERBARINEAU@WAFFLEHOUSE.COM

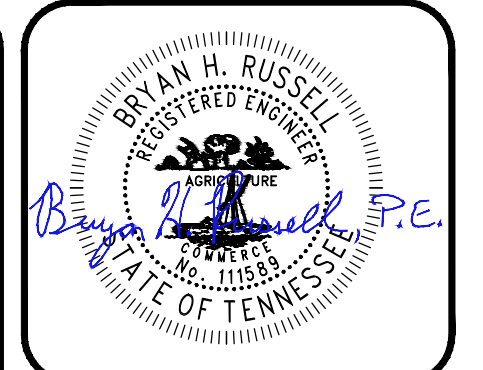
ENGINEER
NAME: CONTINUED GROUP, LLC
ADDRESS: 755 COMMERCE DRIVE, SUITE 800,
DECATUR, GA 30030
PHONE: 770-335-9403
EMAIL: COLLEEN@THECONTINUEDGROUP.COM

STRUCTURAL PRACTICES

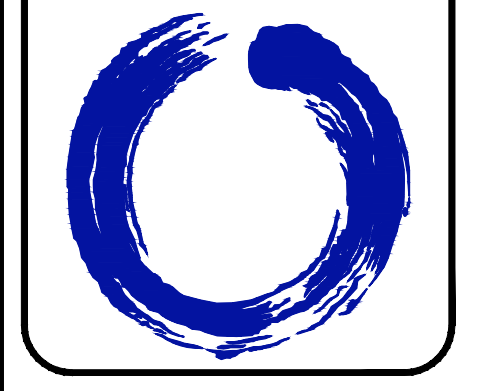
CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION EXIT			A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
S	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, logs and poles, gravel, or a silt fence.

VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
MU	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)			Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
TS	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)			Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
PS	DISTURBED AREA STABILIZATION (WITH PERM SEEDING)			Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas.



CONTINUED GROUP
755 COMMERCE DRIVE
SUITE 800
DECATUR, GA 30030
770.335.9403
www.fcgroup.com



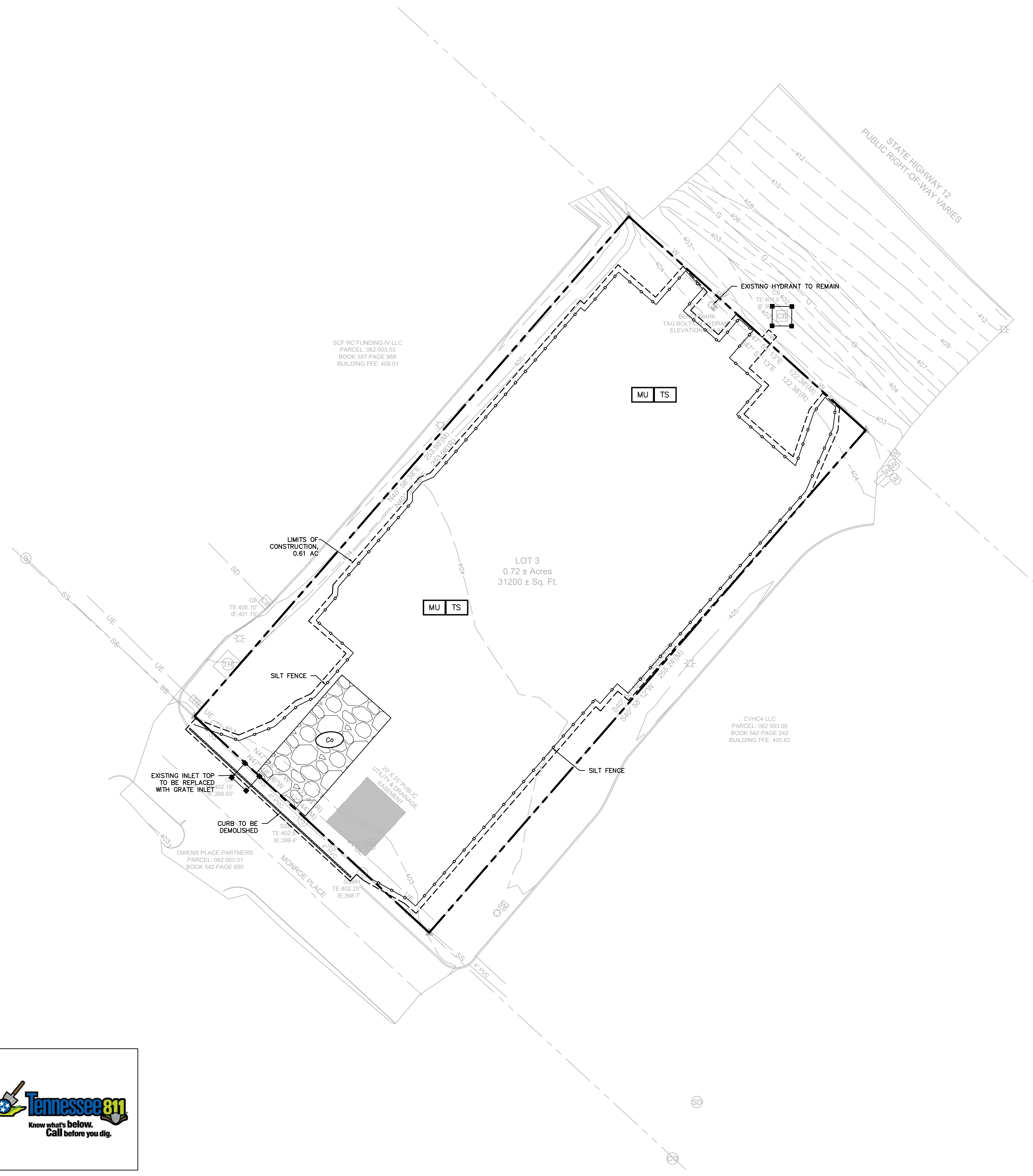
WAFFLE HOUSE
"A UNIQUE AMERICAN PHENOMENON"
"AMERICA'S PLACE TO EAT, AMERICA'S PLACE TO WORK"
5986 Financial Drive, Norcross, GA 30071
(770) 729-5700

WAFFLE HOUSE ASHLAND CITY, TENNESSEE
ISSUED FOR: PERMIT
JURISDICTION: CITY OF ASHLAND CITY
LOCATION: SOUTH OF 133 HUTTON PLACE ASHLAND CITY, TN 37015

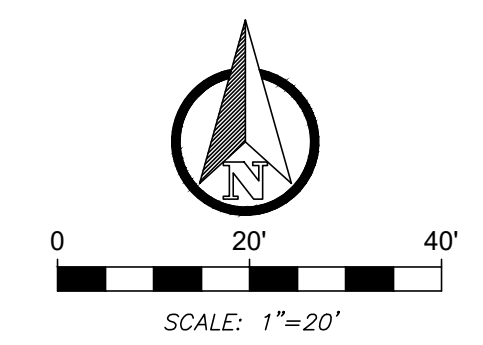
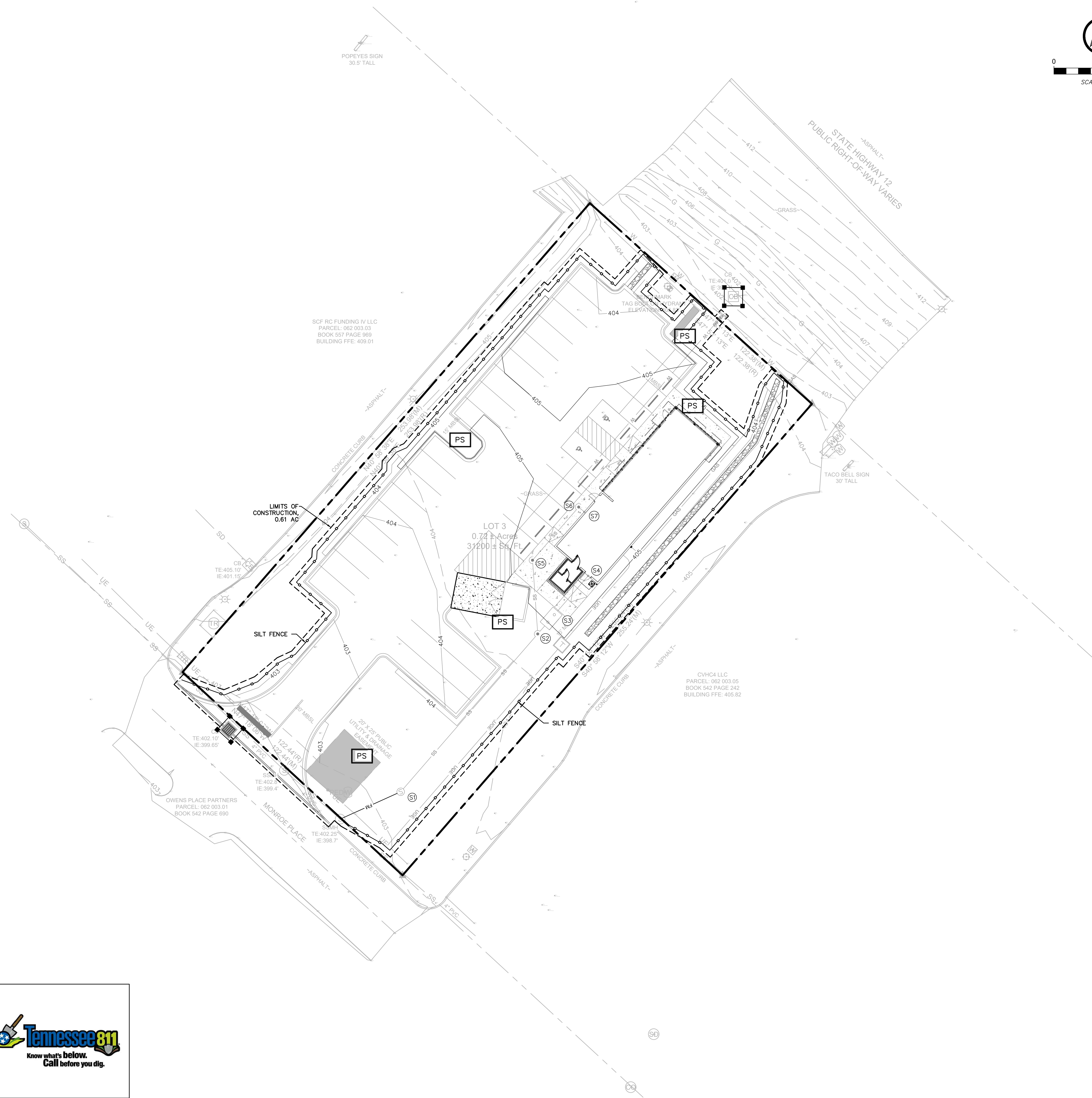
#	DATE	REVISIONS

DRAWN: CDB
CHECK: BHR
JOB NO: 21-329
DATE: 12/07/21

INITIAL EROSION CONTROL SHEET C05

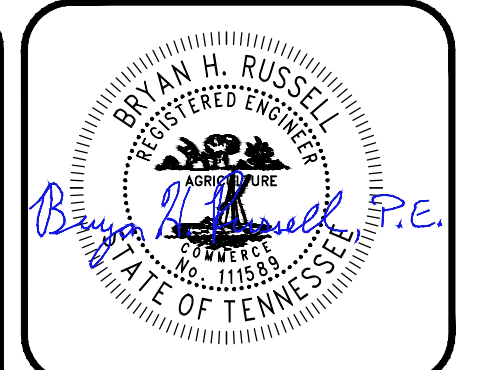


D:\DROPPBOX (CONTINUED-MASTER)\DROPPBOX (CONTINUED-MASTER)\PROJECTS\2021\21-329 - WH - ASHLAND CITY, TN - NEW BUILD\CIVIL



LEGEND

PV	PAVEMENT
TS	TOP OF SIDEWALK
BS	BOTTOM OF SIDEWALK
ME	MATCH EXISTING
TC	TOP OF CURB
BC	BOTTOM OF CURB
X 100.00	EXISTING SPOT ELEVATION
100.00	PROPOSED SPOT ELEVATION
[Symbol]	LIMITS OF CONSTRUCTION
[Symbol]	HANDICAP STALL
[Symbol]	HANDICAP SIGN
[Symbol]	PROPOSED WHEEL STOP
[Symbol]	PROPOSED CONCRETE SIDEWALK
[Symbol]	PROPOSED CONCRETE PAVEMENT
[Symbol]	PROPOSED ASPHALT PAVEMENT



CONTINIO GROUP
 755 COMMERCE DRIVE
 SUITE 800
 DECATUR, GA 30030
 770.335.9403
 www.fcgroup.com



WAFFLE HOUSE
 "A UNIQUE AMERICAN PHENOMENON"
 "AMERICA'S PLACE TO EAT, AMERICA'S PLACE TO WORK"
 5986 Financial Drive, Norcross, GA 30071
 (770) 729-5700

WAFFLE HOUSE ASHLAND CITY, TENNESSEE
 ISSUED FOR: PERMIT
 JURISDICTION: CITY OF ASHLAND CITY
 LOCATION: SOUTH OF 133 HUTTON PLACE ASHLAND CITY, TN 37015

24-HOUR EMERGENCY CONTACT:

DAVID MITCHELL
 CELL: (678) 873-6842
 EMAIL: DAVIDMITCHELL@WAFFLEHOUSE.COM

OWNER / DEVELOPER
 NAME: WAFFLE HOUSE
 ADDRESS: 5986 FINANCIAL DRIVE, NORCROSS, GA 30071
 PHONE: 770-729-5700
 CONTACT: WALTER BARINEAU
 EMAIL: WALTERBARINEAU@WAFFLEHOUSE.COM

ENGINEER
 NAME: CONTINIO GROUP, LLC
 ADDRESS: 755 COMMERCE DRIVE, SUITE 800, DECATUR, GA 30030
 PHONE: 770-335-9403
 EMAIL: COLLEEN@THECONTINIOGROUP.COM

STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION EXIT	[Detail]	[Symbol]	A crushed stone pad located at the construction site exit to provide a place for removing mud from tires thereby protecting public streets.
S	SEDIMENT BARRIER	[Detail]	[Symbol]	A barrier to prevent sediment from leaving the construction site. It may be sandbags, bales of straw or hay, brush, logs and poles, gravel, or a silt fence.

VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
MU	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)	[Detail]	[Symbol]	Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
TS	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)	[Detail]	[Symbol]	Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
PS	DISTURBED AREA STABILIZATION (WITH PERM SEEDING)	[Detail]	[Symbol]	Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas.

DATE	REVISIONS
#	

DRAWN: CDB
 CHECK: BHR
 JOB NO: 21-329
 DATE: 12/07/21

FINAL EROSION CONTROL
 SHEET C06

These drawings were prepared by the undersigned professional engineer in accordance with the laws and regulations of the State of Tennessee. The engineer is not responsible for any errors or omissions in these drawings, and the engineer is not responsible for any damage or injury to persons or property resulting from the use of these drawings. The engineer is not responsible for any damage or injury to persons or property resulting from the use of these drawings.

GENERAL CONSTRUCTION ACTIVITIES

THE WAFFLE HOUSE SITE IMPROVEMENT PROJECT WILL INVOLVE THE CONSTRUCTION OF A WAFFLE HOUSE RESTAURANT AND ASSOCIATED PARKING, UTILITIES, SIDEWALKS, AND STORMWATER INFRASTRUCTURE. EROSION CONTROL WILL BE PROVIDED FOR THE SITE. THE SITE WILL BE UPDATED AND GRADED AS NECESSARY, AND WILL BE PAVED AND PERMANENTLY STABILIZED FOR EROSION CONTROL.

PROPERTY AREA DATA

TOTAL SITE ACREAGE: 0.72-AC
 TOTAL DISTURBED ACREAGE: 0.62-AC
 TOTAL IMPERVIOUS ACREAGE (PROP): 0.36-AC

PRIMARY PERMIT HOLDER

WAFFLE HOUSE
 5986 FINANCIAL DRIVE
 NORCROSS, GA 30071
 CONTACT: WALTER BARINEAU
 PHONE: 770-729-5700

SITE LOCATION - USGS MAP

SEE MAP ON THE COVER SHEET. THERE ARE NO BORROW/ RECEIVING AREAS ASSOCIATED WITH THE PROJECT.

EXISTING SITE DESCRIPTION

THE SITE CURRENTLY EXISTS AS AN EMPTY, PAD GRADED, OUTPARCEL LOT. A WAFFLE HOUSE RESTAURANT WILL BE CONSTRUCTED.

RUNOFF COEFFICIENT

$C = Q / (I \times A)$
 =>

RUNOFF WILL BE MANAGED BY A OVERGROUND FLOW TO VEGETATION AS CURRENTLY EXISTS ON SITE.

POSSIBLE ON-SITE STORED CHEMICALS

- DIESEL PETROLEUM FUEL PRODUCTS FOR CONSTRUCTION EQUIPMENT.
- ADHESIVES AND SEALANTS.
- PAINT PRODUCTS.
- FERTILIZERS AND HERBICIDES.

COMMON STORMWATER FEATURES

THE PROJECT IS NOT A COMMON DEVELOPMENT.

PROJECT OUTFALLS

THERE ARE TWO OUTFALLS FOR THE SITE. THERE IS AN EXISTING STORM INLET AT THE NORTH OF THE SITE AND AN EXISTING STORM INLET AT THE SOUTH OF THE SITE. THESE INLETS FORM PART OF THE SAME DRAINAGE BASIN, WITH THE WATER BEING TREATED THROUGH THE MASTER DETENTION POND FOR THE SITE. THIS OUTFALL EVENTUALLY LEADS TO MARROWBONE CREEK.

IMPAIRED STREAMS MAP

THIS SITE DOES NOT DRAIN TO AN IMPAIRED STREAM.

CONSTRUCTION SEQUENCE

PHASE 1

1. PICK-UP LAND DISTURBANCE PERMIT AND PROVIDE THE APPROPRIATE PAPERWORK AND COPIES TO THE LOCAL JURISDICTION ISSUING AUTHORITY. CONTRACTOR IS RESPONSIBLE TO SUPPLY, AND PAY THE APPLICABLE FEES TO THE LOCAL ISSUING AUTHORITIES. A COPY OF THE SIGNED PAPERWORK, ALONG WITH A COPY OF THE PERMIT FROM THE JURISDICTION, MUST BE PROVIDED TO THE OWNER/DEVELOPER AND THE CIVIL ENGINEER, AS WELL AS KEPT ON SITE AT ALL TIMES.
2. IF FOUND TO BE NEEDED BY THE LOCAL JURISDICTION, CALL FOR THE ON SITE PRE CONSTRUCTION MEETING OR S.M.P.P. (STORM WATER POLLUTION PROTECTION PLAN) PRE CONSTRUCTION MEETING. ATTENDEES SHALL INCLUDE CONTRACTORS, SUBCONTRACTORS, ENGINEERS, E.P.D., CITY / COUNTY OFFICIALS AND OR ANY OTHER PERSONNEL WHOM MAY INSPECT OR REVIEW THE STORM WATER MANAGEMENT ON THIS PROJECT. GOALS AND EXPECTATIONS SHALL BE REVIEWED IN DETAIL.
3. ANY NON DISTURBANCE OR RESTRICTED AREA BUFFERS SHALL BE LOCATED AND FLAGGED TO ENSURE COMPLIANCE.
4. TREE SAVE FENCE SHALL BE INSTALLED IF NEEDED.
5. THE STABILIZED CONSTRUCTION EXIT / ENTRANCE SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY OCCURRING ON SITE. ANY REQUIRED TRAFFIC BARRIERS SHALL ALSO BE INSTALLED AT THIS TIME.
6. SILT FENCE AND/OR ORANGE SAFETY / CONSTRUCTION FENCE INSTALLATION SHALL BE COMPLETED. NOTE: THE CONTRACTOR IS ONLY ALLOWED TO CLEAR PORTIONS NECESSARY FOR B.M.P. (BEST MANAGEMENT PRACTICES) INSTALLATION. THE CONTRACTOR IS TO ENSURE THERE ARE NO ADVERSE IMPACTS TO ANY ON SITE STREAMS OR WETLANDS, IF APPLICABLE.
7. THE PREPARATION OF ANY TEMPORARY PARKING AND STORAGE AREA SHALL COMMENCE IF NEEDED, INCLUDING BUT NOT LIMITED TO SITE TRAILER, PARKING AREA, LAY DOWN, PORTABLE TOILETS, CONCRETE WALKER WASH OUT IF PERMITTED, MASONRY AREA, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, SOIL STOCKPILE AREA ETC. THESE ITEMS ARE TO BE DENOTED ON THE EROSION CONTROL SITE MAPS BY THE CONTRACTOR IMMEDIATELY AND SHALL BE REVISED WITH ANY CHANGES IN LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
8. THE TEMPORARY SEDIMENT STORAGE/WHEEL WASH AREA SHALL BE INSTALLED AS Delineated ON THE PLANS. CLEARING AND GRUBBING SHALL BE LIMITED TO ONLY WHAT IS REQUIRED FOR THE INSTALLATION PROCEDURE.
9. CONTACT THE JURISDICTIONAL AUTHORITY TO DETERMINE IF A PRE-CONSTRUCTION MEETING IS NEEDED. IF SO, THE GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT THE STORM WATER PRE-CONSTRUCTION MEETING WITH THE ENGINEER AND ALL GROUND DISTURBING CONTRACTORS BEFORE PROCEEDING WITH CONSTRUCTION.
10. THE CONTRACTOR SHALL BEGIN CLEARING AND GRUBBING OF VEGETATION AS NEEDED. REMOVAL OF TOPSOIL FOR LATER USE MAY BE PERFORMED.
11. IMMEDIATELY UPON COMPLETING THE INSTALLATION OF ALL INITIAL PERIMETER EROSION CONTROL MEASURES AND THE CONSTRUCTION ACTIVITIES COMMENCE, THE GENERAL CONTRACTOR MUST CONTACT THE CIVIL ENGINEER CONSULTANT TO INSPECT THE INSTALLATION OF THE B.M.P.'S. IT IS LEGALLY REQUIRED PER THE GENERAL PERMIT THAT THE CIVIL ENGINEER PERFORM A SITE INSPECTION OF THE B.M.P. INSTALLATION WITHIN 7-DAYS AFTER CONSTRUCTION COMMENCEMENT. CIVIL ENGINEER WILL NOT BE LIABLE TO FOLLOW UP WITH CONTRACTOR, IT IS SOLELY CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH CIVIL ENGINEER FOR OBTAINING THE REQUIRED 7-DAY INSPECTION.

PHASE 2

12. GRADE SITE AS BEST NEEDED FOR INSTALLATION OF ALL UTILITIES, PAVING, BUILDING SLAB, AND RETAINING WALL(S) IF APPLICABLE.
13. AS EACH LIFT IN ELEVATION IS COMPLETED CARE SHALL BE TAKEN AS TO ENSURE THAT STABILIZATION AND EROSION PREVENTION HAS OCCURRED, ESPECIALLY AT THE END OF EACH WORK DAY.
14. AS THE SITE IS BROUGHT UP TO SUB GRADE, THE STORM DRAINAGE SYSTEM IS TO BE CONSTRUCTED. UTILIZE APPROPRIATE INLET PROTECTION DEVICES TO MINIMIZE SEDIMENT INTRUSION INTO THE STORM DRAINAGE SYSTEM.
15. THE GENERAL CONTRACTOR SHALL CONTACT THE CIVIL ENGINEERING CONSULTANT TO PERFORM SITE REVIEW AND SURVEY VERIFICATION, IF NEEDED. THE CONTRACTOR AND GEOTECHNICAL MATERIALS TESTING CONSULTANT ARE TO CERTIFY PLAN COMPLIANCE TO THE OWNER/DEVELOPER AT THE COMPLETION OF THE GRADING.
16. BUILDING PAD PREPARATION AND STABILIZATION SHALL OCCUR AS SOON AS POSSIBLE. THE CONTRACTOR SHALL NOTE THE DATE OF COMPLETION ON THE EROSION PLANS. CONTRACTOR MUST BE AWARE OF ANY GEOTECHNICAL REQUIREMENTS ASSOCIATED WITH FINAL COMPACTION OR FOUNDATION PREPARATION REQUIREMENTS.
17. PAVEMENT INSTALLATION SHALL OCCUR, APPROPRIATE INLET PROTECTION DEVICES AS WORK PROGRESSES SHALL BE INSTALLED.
18. FINAL FINE GRADING, PERMANENT SEEDING AND PLANTING SHALL BE COMPLETED.
19. THE CONTRACTOR SHALL REMOVE AND CLEAN ANY SEDIMENT FROM THE STORM WATER CONVEYANCE SYSTEM AS WELL AS THE DETENTION STRUCTURES, DRAINAGE SYSTEMS, AND/OR PONDS.
20. THE CONTRACTOR SHALL CONTACT THE JURISDICTIONAL INSPECTOR AND CIVIL ENGINEERING CONSULTANT FOR THE OWNER/DEVELOPER WHEN SITE IS FULLY STABILIZED FOR INSPECTION.
21. ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES (B.M.P.'S) SHALL BE REMOVED ONCE STABILIZATION, JURISDICTIONAL AND C.E.C. APPROVAL HAS BEEN ACHIEVED. ANY AREAS DISRUPTED BY THIS REMOVAL SHALL BE STABILIZED.
22. DAILY INSPECTION REPORTS SHALL CONTINUE UNTIL THE DEVELOPER HAS AGREED THAT THE SITE IS FULLY STABILIZED AND THE PERMIT MAY BE TERMINATED.
23. THE CONTRACTOR SHALL FILE THE N.O.T. (NOTICE OF TERMINATION) WITH THE GEORGIA E.P.D. FOR THE SITE CONSTRUCTION ACTIVITY. A COPY OF THE SIGNED N.O.T. BEING FILED MUST BE PROVIDED TO THE DEVELOPER, THE JURISDICTION, AND THE CIVIL ENGINEERING CONSULTANT.

SEE THE 'EC' SERIES SHEETS FROM THE CIVIL SET, WHICH CONTAIN THE DETAILS AND SPECIFICATIONS FOR ALL EROSION CONTROL MEASURES PROPOSED ON SITE.

THERE ARE EXISTING PIPES ON SITE. THERE ARE NO ENVIRONMENTALLY SENSITIVE AREAS NEAR THE PROPERTY.

RUN-ON TO THE WAFFLE HOUSE SITE IS MINIMAL. THE GROUND IS UNPAVED AT THE EAST END OF THE LOT WHERE RUN-ON OCCURS. THERE ARE PERIMETER CONTROL FOR RUN-OFF FROM THE SITE.

TO MANAGE MINIMAL RUN-OFF, THE FOLLOWING PRACTICES WILL BE UTILIZED: SILT FENCE, MULCH, TEMPORARY SEEDING, AND PERMANENT SEEDING.

SEE THE 'EC' SERIES SHEETS IN THE CIVIL PLANS FOR EXACT PLACEMENT, AND DESIGN CALCULATIONS FOR THESE BEST MANAGEMENT PRACTICES.

THERE WILL BE NO STOCKPILING OF MATERIALS ON SITE.

SEE THE 'EC' SERIES OF THE CIVIL PLAN SET FOR PRECISE LOCATIONS OF EACH BEST MANAGEMENT PRACTICE PROPOSED. DETAILS OF EACH PRACTICE ARE INCLUDED ON SHEETS C05 AND C06 OF THE CIVIL PLAN SET.

NO ARAP BOUNDARIES ARE PRESENT ON SITE.

SEE THE 'EC' SERIES OF THE CIVIL PLAN SET FOR DELINEATION OF UNDISTURBED AREAS. THESE AREAS WILL BE MARKED THROUGH THE USE OF HIGH VISIBILITY FENCING OR SIGNAGE ALONG THE EDGE OF THE ZONE.

NO SINKHOLES PRESENT ON SITE.

SEE SHEET C05 AND C06 FOR EROSION CONTROL LEGEND

SEE THE 'EC' SERIES OF THE CIVIL PLAN SET FOR THE BOUNDARIES OF THE DISTURBED ACREAGE BEING PERMITTED. THE BOUNDARY IS MARKED AS 'LIMITS OF DISTURBANCE' IN A THICK DASHED LINE.

EXISTING TOPOGRAPHY DISPLAYED ON EVERY PHASE OF EROSION CONTROL. ADDITIONALLY, SEE PHASE 2 FOR DELINEATION OF EACH APPROXIMATE DRAINAGE BASIN (INCORPORATING AREAS NOT TO BE DISTURBED).

THE PROPOSED PROJECT DOES NOT DISTURB MORE THAN 5 ACRES

SEE THE 'EC' SERIES OF SHEETS FROM THE CIVIL PLANS FOR ALL PHASES OF EROSION CONTROL TO BE IMPLEMENTED FOR THE PROJECT.



CONTINIO GROUP
 755 COMMERCE DRIVE
 SUITE 800
 DECATUR, GA 30030
 770.335.9403
 www.fcg.engineer



WAFFLE HOUSE
 "A UNIQUE AMERICAN PHENOMENON"
 "AMERICA'S PLACE TO EAT, AMERICA'S PLACE TO WORK"
 5986 Financial Drive, Norcross, GA 30071
 (770) 729-5700

WAFFLE HOUSE ASHLAND CITY, TENNESSEE
 ISSUED FOR: PERMIT
 JURISDICTION: CITY OF ASHLAND CITY
 LOCATION: SOUTH OF 133 HUTTON PLACE ASHLAND CITY, TN 37015

#	DATE	REVISIONS

DRAWN: CDB	CHECK: BHR
JOB NO: 21-329	DATE: 12/07/21

EROSION CONTROL NOTES
 SHEET C07

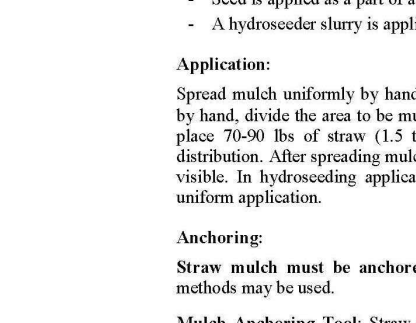


7.6 STABILIZATION WITH STRAW MULCH



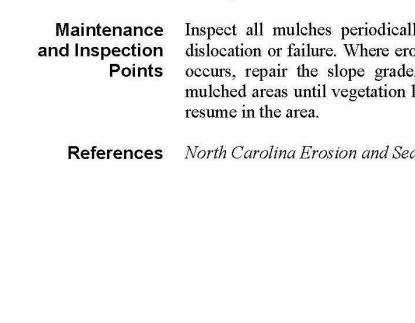
Definition Application of a temporary protective blanket of straw to the soil surface. Purpose To protect the soil surface from the forces of raindrop impact and overland flow. Mulch reduces runoff and erosion, conserves soil moisture, promotes seed germination, insulates soil, suppresses weed growth, and prevents surface crusting. Conditions Where Practice Applies Match seeded areas immediately. Areas that cannot be seeded because of the season should be mulched to provide temporary protection of the soil surface. Planning Considerations A surface mulch is considered the most effective, practical means of controlling runoff and erosion on disturbed land prior to vegetative establishment. Mulch reduces soil moisture loss by evaporation, prevents crusting and sealing of the soil surface, moderates soil temperature, provides a suitable microclimate for seed germination, and may increase the infiltration rate of soil. Straw mulch is the most common type of mulch used in conjunction with seeding or providing a temporary groundcover. The straw should come from wheat or oats ("small grains"), and may be spread by hand or with a mulch blower. Note that straw may be lost to wind and must be locked down. The recommended application rate for straw mulch is 2 tons per acre, dry unchopped, unweathered. Note that the goal is 70% uniform coverage over 100% of the site. Straw mulch is often used in conjunction with some channel lines. Design Criteria No formal design is required.

7.7 PERMANENT VEGETATION



Definition The planting of native perennial vegetation such as ground covers, shrubs, vines, trees, and/or flowering plants (forbs) on exposed areas for erosion control and final stabilization. Permanent perennial vegetation is required to achieve final stabilization. Native perennial plants are preferred for erosion control because of the following reasons: In appropriate habitats, native plants are better adapted to environmental and site conditions, resulting in lower maintenance costs. Natives are not typically aggressive and do not allow the site to become a source of exotic invasive plants that can spread to other locations and become costly to remove. Unlike most non-natives, native plants support native insect, bird, and other expected and overflown capability in the area, and nesting. Using native plants provides opportunities to educate and demonstrate various sustainable approaches for the public. The Tennessee Exotic Plant (NEPP) Council has ranked non-native plants in Tennessee based on their invasiveness and threat to the natural environment. The following plants that have been used for erosion control by TDEC and TDOE are listed in NEPPC's publication "Invasive Exotic Plant Species in Tennessee - 2009": Korean (and Kobe) Impatiens - "Severe" Category (Kobe is not ranked but has some invasive characteristics as Korean) Tall fescue - "Significant Threat" Category. The most common and conventional means of stabilizing disturbed soils is by seeding a mixture of grasses and forbs. The advantages of seeding over other means of establishing plants include the smaller initial cost, lower labor input, and greater flexibility of method. The disadvantages of seeding include the potential for erosion during the establishment phase, the need to reseed areas that fail to establish, seasonal limitations on suitable seeding dates, and a need for water and appropriate temperatures during germination and early growth. The probability of successful plant establishment can be maximized through good planning, knowledge of the soil characteristics, selection of suitable plant materials for the site, good seedbed preparation, adequate liming and fertilization, and timely planting and maintenance. Native grasses can be planted by drilling or seeding. The ground should be prepared by disking or rototilling prior to seeding in the spring or summer. Annual grasses such as ryegrass or clover can be planted prior to seeding the grass seed for erosion control. Grass seed can be planted in the dormant season as well. Permanent perennial vegetation is used to provide a protective cover for exposed areas including cuts, fill, and other disturbed areas that will not be graded. Permanent stabilization should be applied where topsoil was never stripped, or has been returned and incorporated into the soil surface. When stripping a site, topsoil should be stockpiled for later use. Stockpiled topsoil should be stabilized with temporary vegetation. Where a suitable planting medium is not present, topsoil should be imported and incorporated into the site. Block seed provides immediate cover, it is especially effective in controlling erosion adjacent to concrete structures and other structures. When mixed plantings are done during marginal planting periods, companion crops should be used. No-till planting can be effective when planting is done following a summer or winter annual cover crop. Irrigation should be used when the soil is dry or when summer plantings are done.

7.8 TEMPORARY VEGETATION



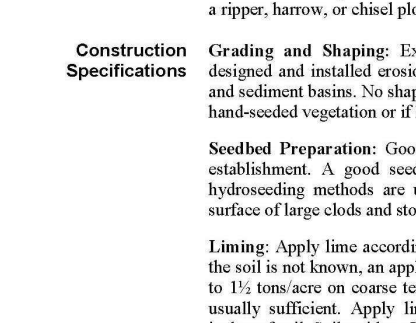
Definition The establishment of temporary vegetative cover with fast growing species for seasonal protection on disturbed or denuded areas. Purpose To temporarily stabilize denuded areas that will not be brought to final grade for a period of more than 14 days. Temporary seeding controls runoff and erosion until permanent vegetation or other erosion control measures can be established. Seeding with a temporary groundcover provides temporary stabilization until permanent stabilization can be achieved. In addition, it provides residue for soil protection and seedbed preparation, and reduces problems of mud and dust production from bare soil surfaces during construction. Conditions Where Practice Applies In any cleared, unvegetated, or sparsely vegetated surface where vegetative cover is needed for less than 1 year. For permanent seeding specifications, see Section 7.9. Planning Considerations Annual plants that sprout and grow rapidly and survive for only one season are suitable for establishing initial or temporary vegetative cover. Temporary seeding practices that are not cost prohibitive. Temporary seeding practices that are not cost prohibitive shall be applied uniformly by hand, cyclone seeder, drill, cultipacker seeder, or hydro-mulcher. Drill and cultipacker seeder are preferred. A minimum of 10 to 12 inches seed. Appropriate depth of planting is 10 times the seed diameter. Soil should be lightly tilled to cover seed with soil and seed by hand. Mulching: The use of mulch will help ensure establishment under normal conditions, and is essential to seeding success under less than ideal conditions. Harsh conditions include: Seeding in fall or winter cover Slopes steeper than 3:1 Excessively hot or dry weather Adverse wind (dusting, rocky, or high in clay or sand), and Areas receiving concentrated flow. Proper seedbed preparation, selection of appropriate species, and the use of quality seed are important. Failure to follow established guidelines and recommendations can result in an inadequate or short-lived stand of vegetation that will not control erosion. Temporary seeding provides protection for no more than 1 year, during which time permanent stabilization should be initiated.

7.9 PERMANENT VEGETATION



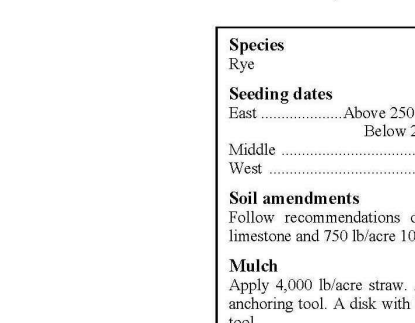
Definition The planting of native perennial vegetation such as ground covers, shrubs, vines, trees, and/or flowering plants (forbs) on exposed areas for erosion control and final stabilization. Permanent perennial vegetation is required to achieve final stabilization. Native perennial plants are preferred for erosion control because of the following reasons: In appropriate habitats, native plants are better adapted to environmental and site conditions, resulting in lower maintenance costs. Natives are not typically aggressive and do not allow the site to become a source of exotic invasive plants that can spread to other locations and become costly to remove. Unlike most non-natives, native plants support native insect, bird, and other expected and overflown capability in the area, and nesting. Using native plants provides opportunities to educate and demonstrate various sustainable approaches for the public. The Tennessee Exotic Plant (NEPP) Council has ranked non-native plants in Tennessee based on their invasiveness and threat to the natural environment. The following plants that have been used for erosion control by TDEC and TDOE are listed in NEPPC's publication "Invasive Exotic Plant Species in Tennessee - 2009": Korean (and Kobe) Impatiens - "Severe" Category (Kobe is not ranked but has some invasive characteristics as Korean) Tall fescue - "Significant Threat" Category. The most common and conventional means of stabilizing disturbed soils is by seeding a mixture of grasses and forbs. The advantages of seeding over other means of establishing plants include the smaller initial cost, lower labor input, and greater flexibility of method. The disadvantages of seeding include the potential for erosion during the establishment phase, the need to reseed areas that fail to establish, seasonal limitations on suitable seeding dates, and a need for water and appropriate temperatures during germination and early growth. The probability of successful plant establishment can be maximized through good planning, knowledge of the soil characteristics, selection of suitable plant materials for the site, good seedbed preparation, adequate liming and fertilization, and timely planting and maintenance. Native grasses can be planted by drilling or seeding. The ground should be prepared by disking or rototilling prior to seeding in the spring or summer. Annual grasses such as ryegrass or clover can be planted prior to seeding the grass seed for erosion control. Grass seed can be planted in the dormant season as well. Permanent perennial vegetation is used to provide a protective cover for exposed areas including cuts, fill, and other disturbed areas that will not be graded. Permanent stabilization should be applied where topsoil was never stripped, or has been returned and incorporated into the soil surface. When stripping a site, topsoil should be stockpiled for later use. Stockpiled topsoil should be stabilized with temporary vegetation. Where a suitable planting medium is not present, topsoil should be imported and incorporated into the site. Block seed provides immediate cover, it is especially effective in controlling erosion adjacent to concrete structures and other structures. When mixed plantings are done during marginal planting periods, companion crops should be used. No-till planting can be effective when planting is done following a summer or winter annual cover crop. Irrigation should be used when the soil is dry or when summer plantings are done.

7.10 TEMPORARY VEGETATION



Definition The establishment of temporary vegetative cover with fast growing species for seasonal protection on disturbed or denuded areas. Purpose To temporarily stabilize denuded areas that will not be brought to final grade for a period of more than 14 days. Temporary seeding controls runoff and erosion until permanent vegetation or other erosion control measures can be established. Seeding with a temporary groundcover provides temporary stabilization until permanent stabilization can be achieved. In addition, it provides residue for soil protection and seedbed preparation, and reduces problems of mud and dust production from bare soil surfaces during construction. Conditions Where Practice Applies In any cleared, unvegetated, or sparsely vegetated surface where vegetative cover is needed for less than 1 year. For permanent seeding specifications, see Section 7.9. Planning Considerations Annual plants that sprout and grow rapidly and survive for only one season are suitable for establishing initial or temporary vegetative cover. Temporary seeding practices that are not cost prohibitive. Temporary seeding practices that are not cost prohibitive shall be applied uniformly by hand, cyclone seeder, drill, cultipacker seeder, or hydro-mulcher. Drill and cultipacker seeder are preferred. A minimum of 10 to 12 inches seed. Appropriate depth of planting is 10 times the seed diameter. Soil should be lightly tilled to cover seed with soil and seed by hand. Mulching: The use of mulch will help ensure establishment under normal conditions, and is essential to seeding success under less than ideal conditions. Harsh conditions include: Seeding in fall or winter cover Slopes steeper than 3:1 Excessively hot or dry weather Adverse wind (dusting, rocky, or high in clay or sand), and Areas receiving concentrated flow. Proper seedbed preparation, selection of appropriate species, and the use of quality seed are important. Failure to follow established guidelines and recommendations can result in an inadequate or short-lived stand of vegetation that will not control erosion. Temporary seeding provides protection for no more than 1 year, during which time permanent stabilization should be initiated.

7.11 TEMPORARY VEGETATION



Definition The establishment of temporary vegetative cover with fast growing species for seasonal protection on disturbed or denuded areas. Purpose To temporarily stabilize denuded areas that will not be brought to final grade for a period of more than 14 days. Temporary seeding controls runoff and erosion until permanent vegetation or other erosion control measures can be established. Seeding with a temporary groundcover provides temporary stabilization until permanent stabilization can be achieved. In addition, it provides residue for soil protection and seedbed preparation, and reduces problems of mud and dust production from bare soil surfaces during construction. Conditions Where Practice Applies In any cleared, unvegetated, or sparsely vegetated surface where vegetative cover is needed for less than 1 year. For permanent seeding specifications, see Section 7.9. Planning Considerations Annual plants that sprout and grow rapidly and survive for only one season are suitable for establishing initial or temporary vegetative cover. Temporary seeding practices that are not cost prohibitive. Temporary seeding practices that are not cost prohibitive shall be applied uniformly by hand, cyclone seeder, drill, cultipacker seeder, or hydro-mulcher. Drill and cultipacker seeder are preferred. A minimum of 10 to 12 inches seed. Appropriate depth of planting is 10 times the seed diameter. Soil should be lightly tilled to cover seed with soil and seed by hand. Mulching: The use of mulch will help ensure establishment under normal conditions, and is essential to seeding success under less than ideal conditions. Harsh conditions include: Seeding in fall or winter cover Slopes steeper than 3:1 Excessively hot or dry weather Adverse wind (dusting, rocky, or high in clay or sand), and Areas receiving concentrated flow. Proper seedbed preparation, selection of appropriate species, and the use of quality seed are important. Failure to follow established guidelines and recommendations can result in an inadequate or short-lived stand of vegetation that will not control erosion. Temporary seeding provides protection for no more than 1 year, during which time permanent stabilization should be initiated.

7.12 TEMPORARY VEGETATION

Table with 2 columns: Species, Rate (lb/acre). Rows include Oats (30), Water hyacinth (0).

Figure 7.8.3 Temporary Seeding Recommendations for Fall

Reseed and mulch areas where seedling emergence is poor or where erosion occurs, as soon as possible. Do not use.

7.13 TEMPORARY VEGETATION



Figure 7.8.3 Temporary Seeding Recommendations for Fall

Reseed and mulch areas where seedling emergence is poor or where erosion occurs, as soon as possible. Do not use.

7.14 TEMPORARY VEGETATION

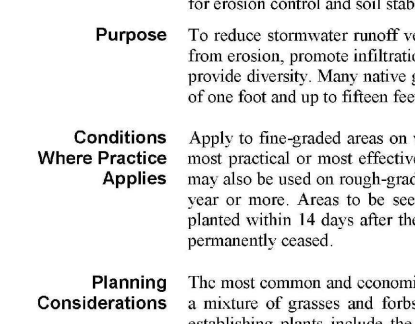


Figure 7.9.10-T Planting Regions

Reseed and mulch areas where seedling emergence is poor or where erosion occurs, as soon as possible. Do not use.

7.15 TEMPORARY VEGETATION

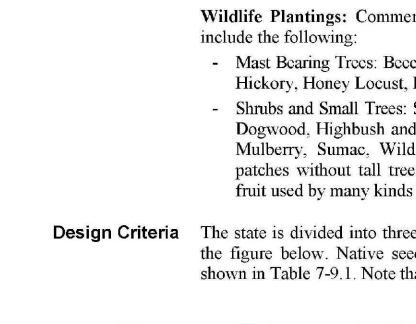


Figure 7.9.10-T Planting Regions

Reseed and mulch areas where seedling emergence is poor or where erosion occurs, as soon as possible. Do not use.

7.16 TEMPORARY VEGETATION



Figure 7.9.10-T Planting Regions

Reseed and mulch areas where seedling emergence is poor or where erosion occurs, as soon as possible. Do not use.

7.17 TEMPORARY VEGETATION

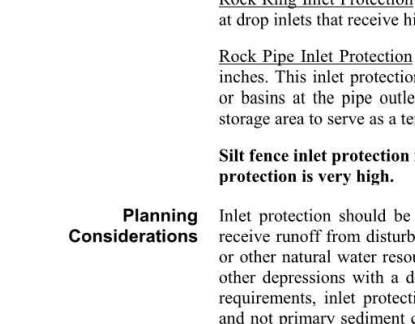


Figure 7.9.10-T Planting Regions

Reseed and mulch areas where seedling emergence is poor or where erosion occurs, as soon as possible. Do not use.

7.18 TEMPORARY VEGETATION



Figure 7.26.3 Block and Gravel Inlet Protection (Source: F-4 BSRP)

Reseed and mulch areas where seedling emergence is poor or where erosion occurs, as soon as possible. Do not use.

7.19 TEMPORARY VEGETATION



Figure 7.26.3 Block and Gravel Inlet Protection (Source: F-4 BSRP)

Reseed and mulch areas where seedling emergence is poor or where erosion occurs, as soon as possible. Do not use.

7.20 TEMPORARY VEGETATION

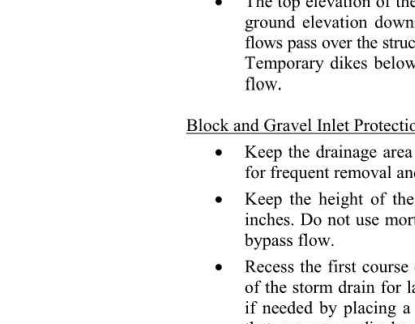


Figure 7.26.3 Block and Gravel Inlet Protection (Source: F-4 BSRP)

Reseed and mulch areas where seedling emergence is poor or where erosion occurs, as soon as possible. Do not use.

7.21 TEMPORARY VEGETATION

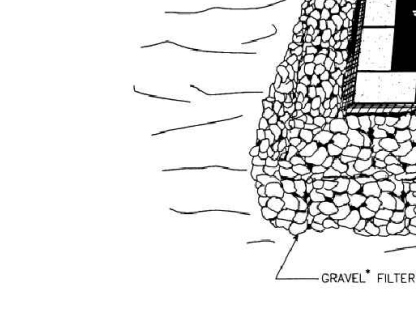


Figure 7.26.3 Block and Gravel Inlet Protection (Source: F-4 BSRP)

Reseed and mulch areas where seedling emergence is poor or where erosion occurs, as soon as possible. Do not use.

7.22 TEMPORARY VEGETATION

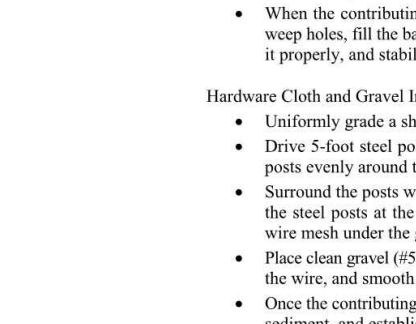


Figure 7.26.3 Block and Gravel Inlet Protection (Source: F-4 BSRP)

Reseed and mulch areas where seedling emergence is poor or where erosion occurs, as soon as possible. Do not use.

7.23 TEMPORARY VEGETATION

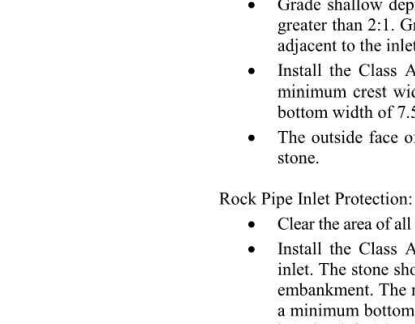


Figure 7.26.3 Block and Gravel Inlet Protection (Source: F-4 BSRP)

Reseed and mulch areas where seedling emergence is poor or where erosion occurs, as soon as possible. Do not use.



CONTINIO GROUP 755 COMMERCE DRIVE SUITE 800 DECATUR, GA 30030 770.335.9403 www.tcgengineer.com



WAFFLE HOUSE "A UNIQUE AMERICAN PHENOMENON" "AMERICA'S PLACE TO EAT, AMERICA'S PLACE TO WORK" 5986 Financial Drive, Norcross, GA 30071 (770) 728-5700

WAFFLE HOUSE ASHLAND CITY, TENNESSEE ISSUED FOR: PERMIT JURISDICTION: CITY OF ASHLAND CITY LOCATION: SOUTH OF 133 HUTTON PLACE ASHLAND CITY, TN 37015

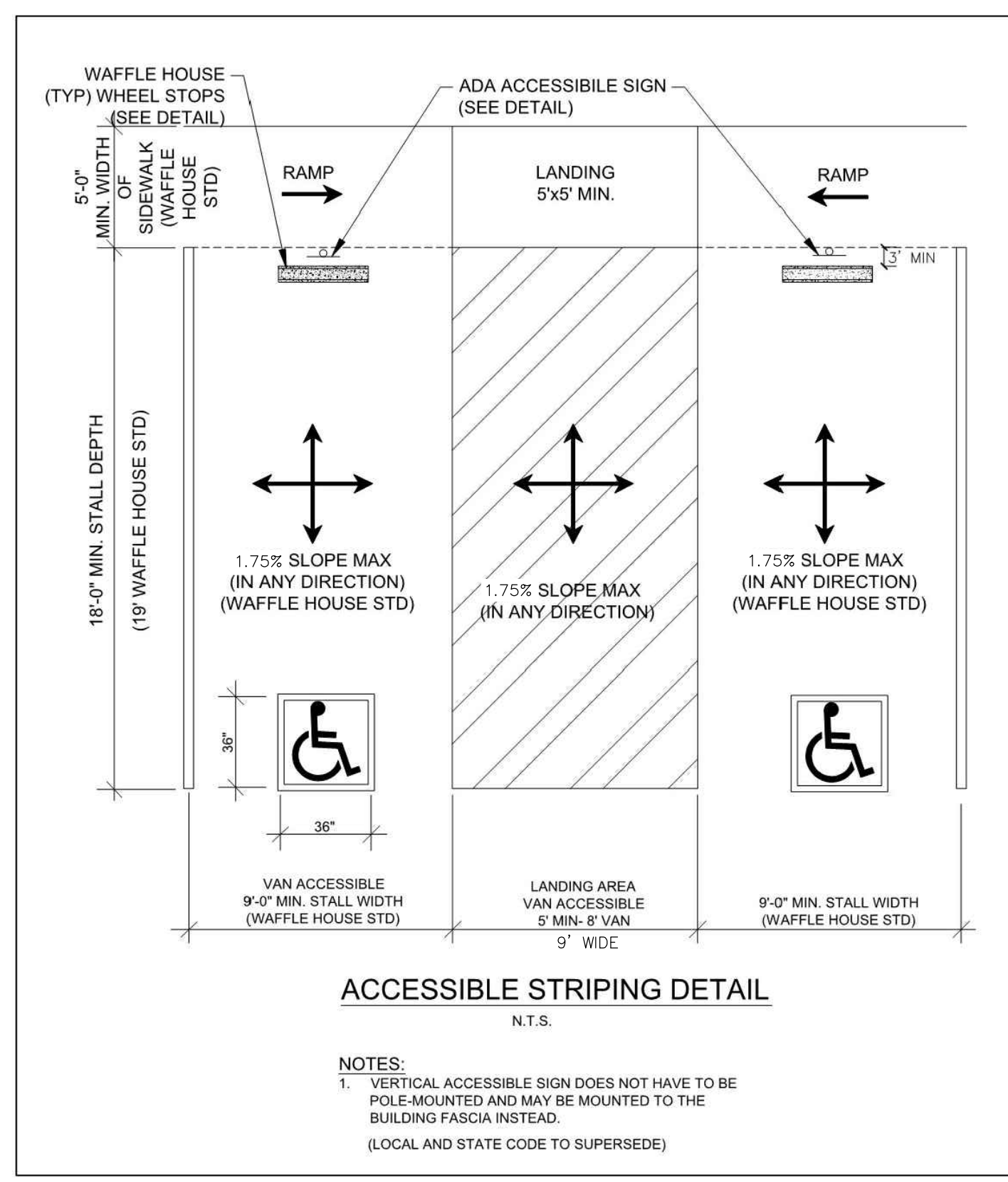
Table with 2 columns: #, DATE, REVISIONS. Includes a note about the drawing being a reproduction of a drawing from the project files.

DRAWN: CDB CHECK: BHR JOB NO: 21-329 DATE: 12/07/21

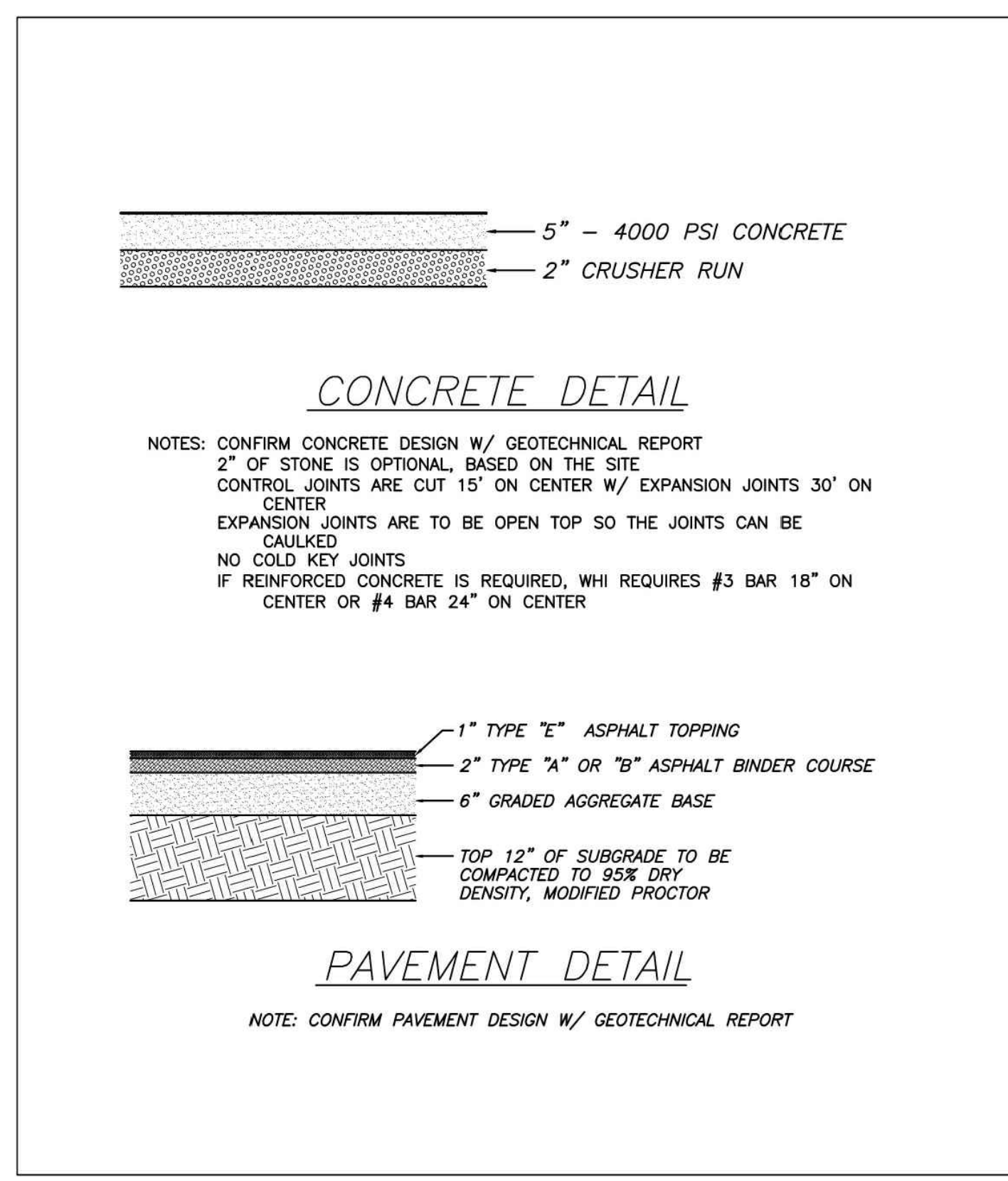
EROSION CONTROL DETAILS SHEET C08



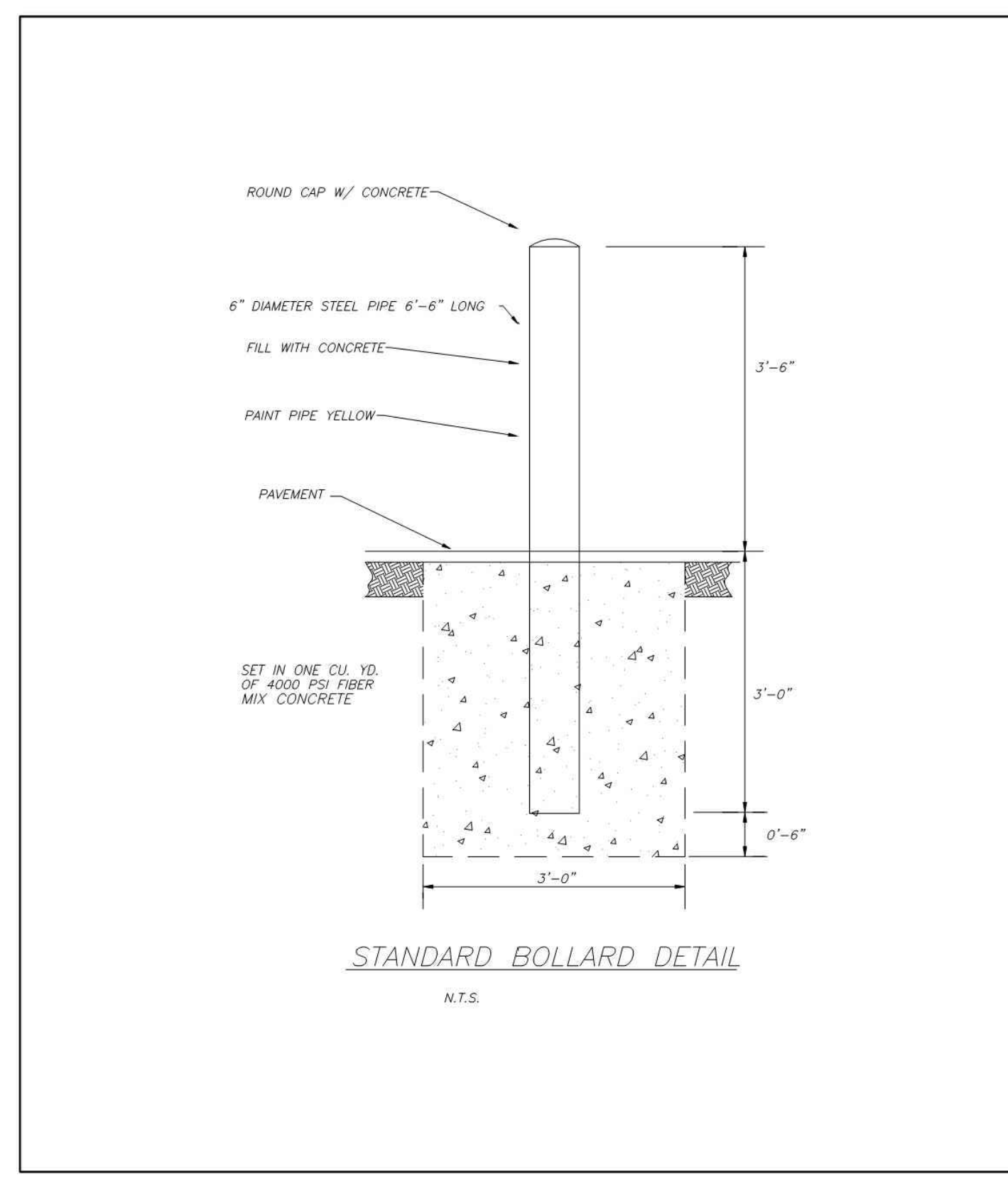
D:\DROPOBOX (CONTINUED)\DROPOBOX (CONTINUED)-MASTER\PROJECTS\2021\21-329 - WH - ASHLAND CITY, TN - NEW BUILD\CIVIL



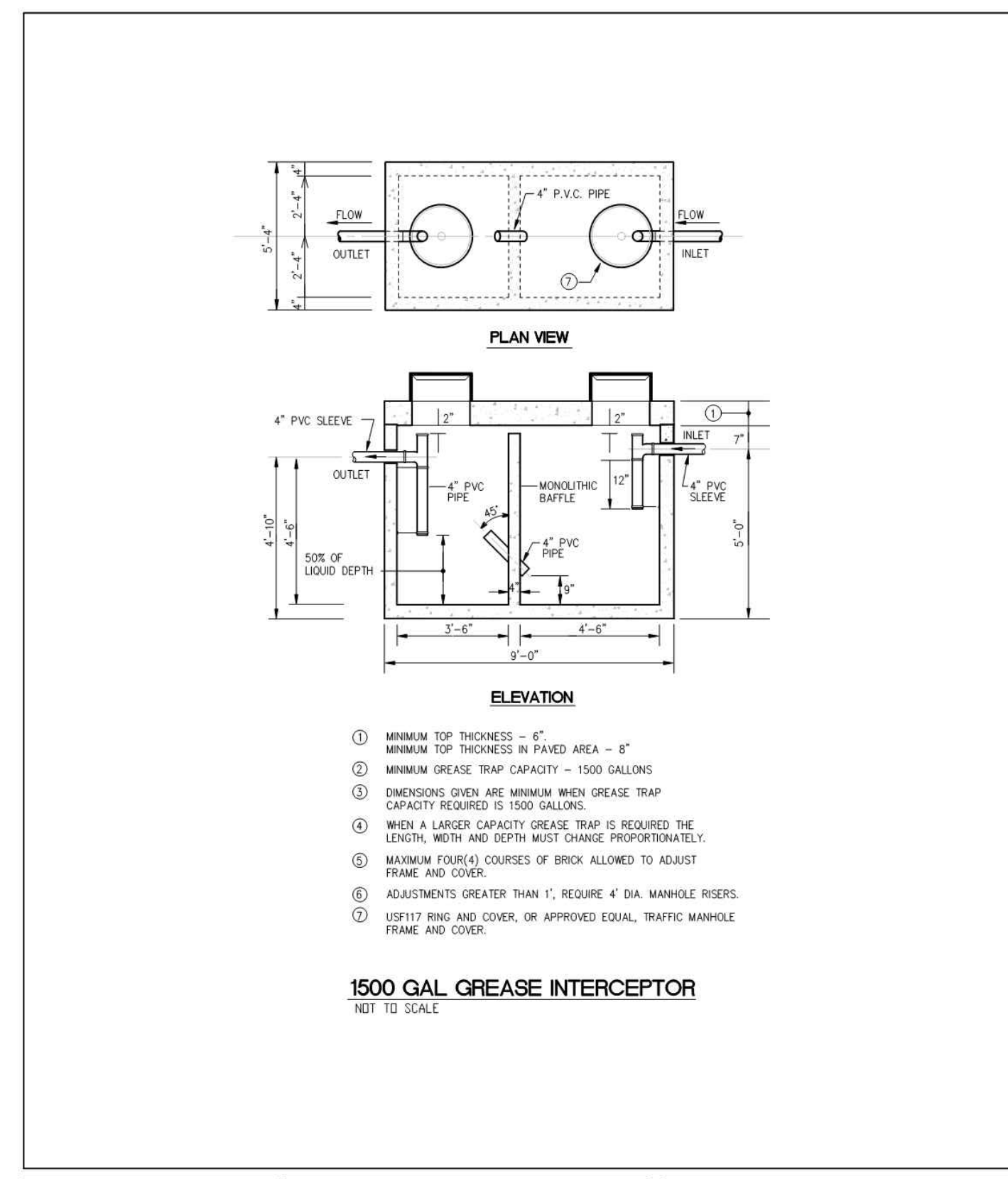
	CHECKED BY:	ADA ACCESSIBLE STRIPING DETAIL	#	DATE	DESCRIPTION
	DESIGNED BY:	WAFFLE HOUSE DETAILS	1	03.30.2016	STANDARDIZATION
	DATE:		2	05.24.2016	ADD DIMENSIONS



	CHECKED BY:	PAVING SECTIONS	#	DATE	REVISIONS
	DESIGNED BY:	WAFFLE HOUSE DETAILS	1	11.06.2015	REVISION
	DATE:		2	05.25.2016	UPDATE



	CHECKED BY:	STANDARD BOLLARD	#	DATE	REVISIONS
	DESIGNED BY:	WAFFLE HOUSE DETAILS	1	06.06.2016	UPDATES



	CHECKED BY:	1500 GAL GREASE INTERCEPTOR	#	DATE	REVISIONS
	DESIGNED BY:	WAFFLE HOUSE DETAILS	1	06.03.2016	UPDATES
	DATE:		2	08.17.2018	UPDATES

PRODUCTS FOLEY COMPANY

ROUND PRECAST
DROP INLET (GRATE & FRAME) **1.10**

MATERIALS:
CONCRETE: 4000 PSI, TYPE I/II CEMENT REINFORCEMENT PER ASTM C-478

PARTS SHOWN:
1019A GRATE & FRAME
Ø48" (5") FLAT TOP
Ø48" (5") 3'-0" RISER
Ø48" (5") 3'-0" BASE W/ Ø28" HOLE

NOTES:
WIDE RANGE OF CASTINGS ARE AVAILABLE
FLEXIBLE CONNECTORS ARE AVAILABLE

R1-1 STOP
*Reduce spacing 40%

A	B	C	D	E	F
18	.375	6	6 C	3	7.75
24	.625	8	8 C	4	10
30	.75	10	10 C	5	12.5
36	.875	12	12 C	6	15
48	1.25	16	16 C	8	20

COLORS: LEGEND
— WHITE (RETROREFLECTIVE)
BACKGROUND — RED (RETROREFLECTIVE)

WAFFLE HOUSE ADA SIGN MOUNTING AND BASE
N.T.S.

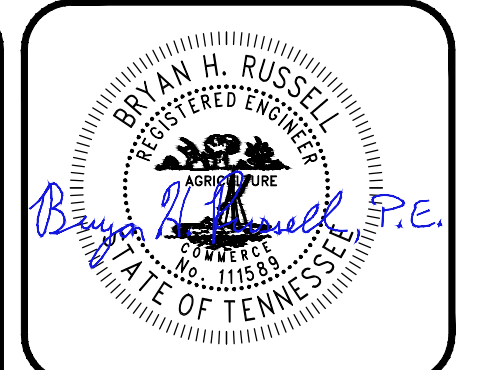
NOTES:
1. SIGNS STATING MONETARY FINE TO BE INSTALLED (IF NEEDED) BASED ON LOCAL CODE.
2. ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION FEDERAL HIGHWAY ADMINISTRATOR'S MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LOCAL CODES AND, AS SPECIFIED, MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
3. VERTICAL ACCESSIBLE SIGN DOES NOT HAVE TO BE POLE-MOUNTED AND MAY BE MOUNTED TO THE BUILDING FASCIA INSTEAD.

	CHECKED BY:	ADA SIGN MOUNTING AND BASE	#	DATE	DESCRIPTION
	DESIGNED BY:	WAFFLE HOUSE DETAILS	1	03.30.2016	STANDARDIZATION
	DATE:		2	05.25.2016	CLARIFICATIONS

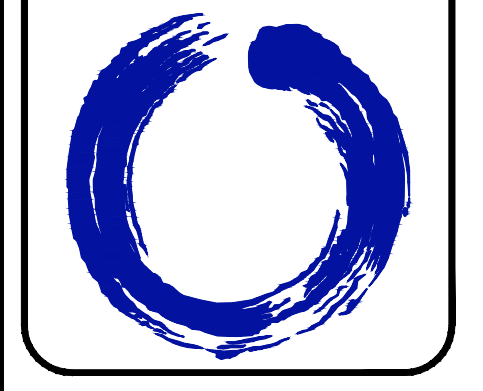
WHEEL STOP
N.T.S.

NOTES:
3' (MIN) FROM BUILDING FACE, EDGE OF PARKING STALL, FACE OF CURB, OR EDGE OF PAVEMENT (UNLESS OTHERWISE SPECIFIED)
(3) 307A BOLTS THROUGH WHEELSTOP AND PAVEMENT 3/8" X 8" HEX LAG BOLTS, (LOW STRENGTH APPLICATION)
PRECAST CONCRETE OR PLASTIC TYPE WHEELSTOP (LENGTH PER LOCAL CODES) 6' (MIN)

	CHECKED BY:	WHEEL STOP	#	DATE	REVISIONS
	DESIGNED BY:	WAFFLE HOUSE DETAILS	1	11.06.2015	REVISION
	DATE:		2	05.25.2016	UPDATE
	DATE:		3	08.17.2018	REVISION



CONTINIO GROUP
755 COMMERCE DRIVE
SUITE 800
DECATUR, GA 30030
770.335.9403
www.fcgroup.com



WAFFLE HOUSE
"A UNIQUE AMERICAN PHENOMENON"
"AMERICA'S PLACE TO EAT, AMERICA'S PLACE TO WORK"
5986 Financial Drive, Norcross, GA 30071
(770) 728-5700

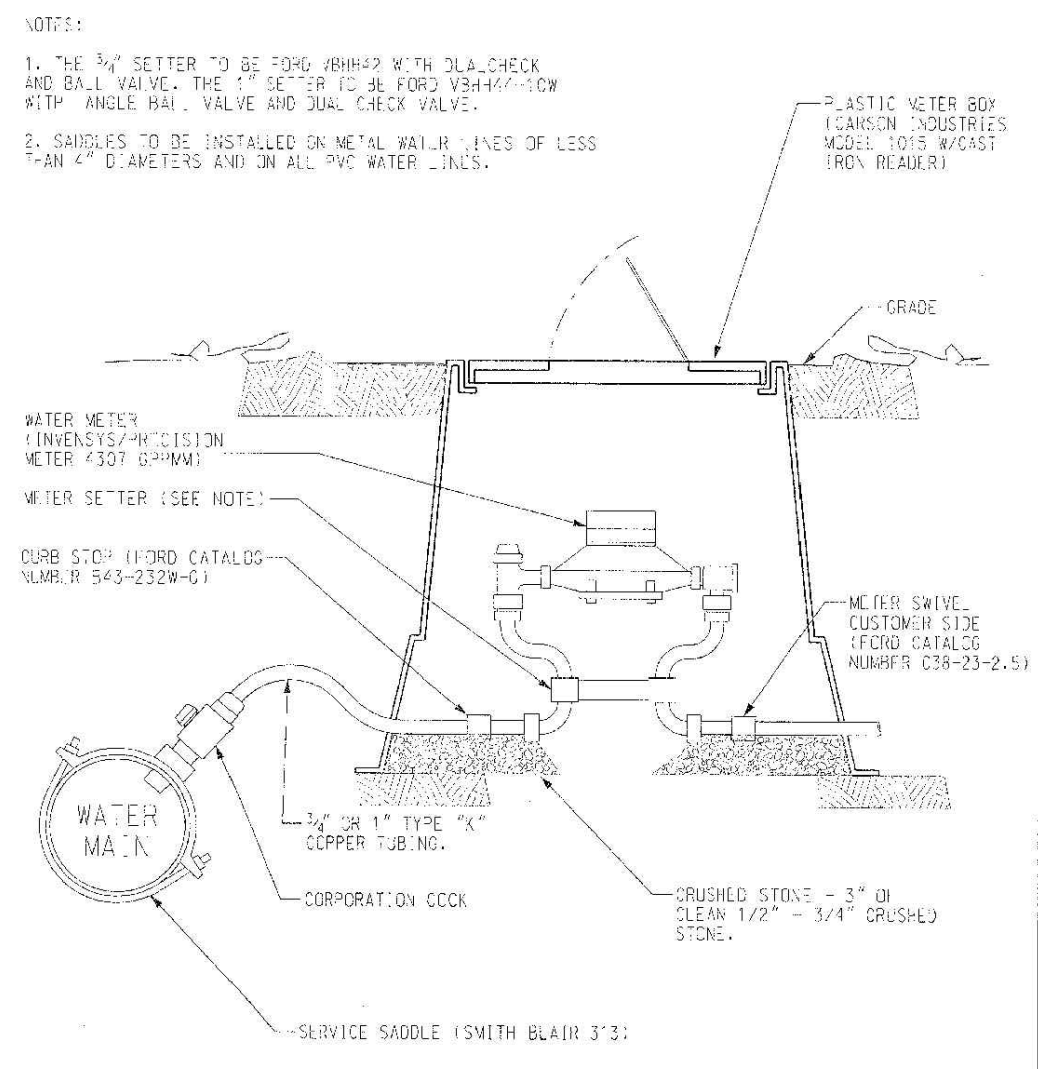
WAFFLE HOUSE ASHLAND CITY, TENNESSEE
ISSUED FOR: PERMIT
JURISDICTION: CITY OF ASHLAND CITY
LOCATION: SOUTH OF 133 HUTTON PLACE ASHLAND CITY, TN 37015

#	DATE	REVISIONS

DRAWN: CDB
CHECK: BHR
JOB NO: 21-329
DATE: 12/07/21

DETAILS
SHEET C10



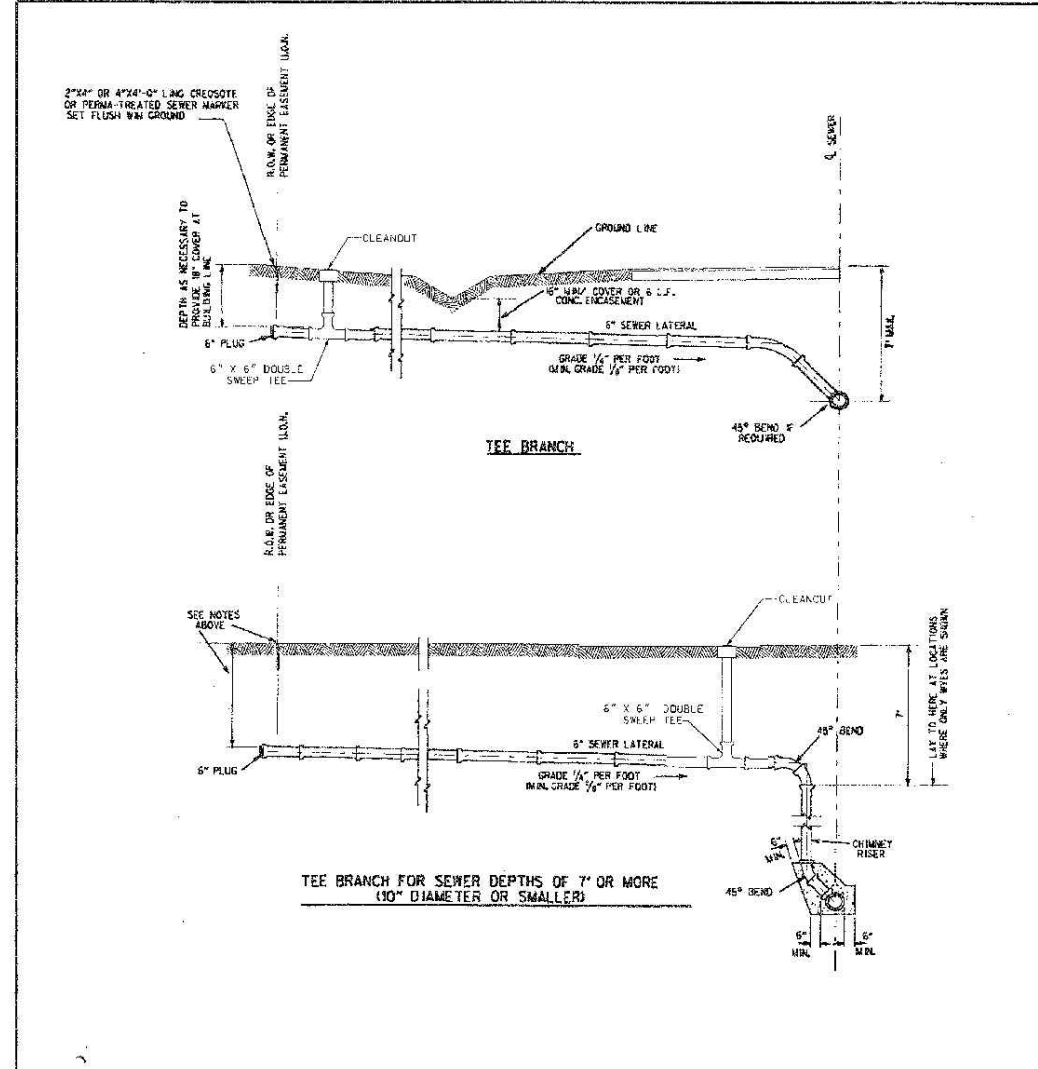


3/4" AND 1" SERVICE ASSEMBLY (NON-TRAFFIC AREAS)

STANDARD WATER AND SEWER SYSTEM DETAILS

THE TOWN OF ASHLAND CITY, TENNESSEE

HKA
HUGHES, KOONCE & ASSOCIATES, INC.
Civil and Environmental Engineering
3243 Piedmont Hill Drive, Suite 212
Nashville, Tennessee 37211 (615) 333-7200

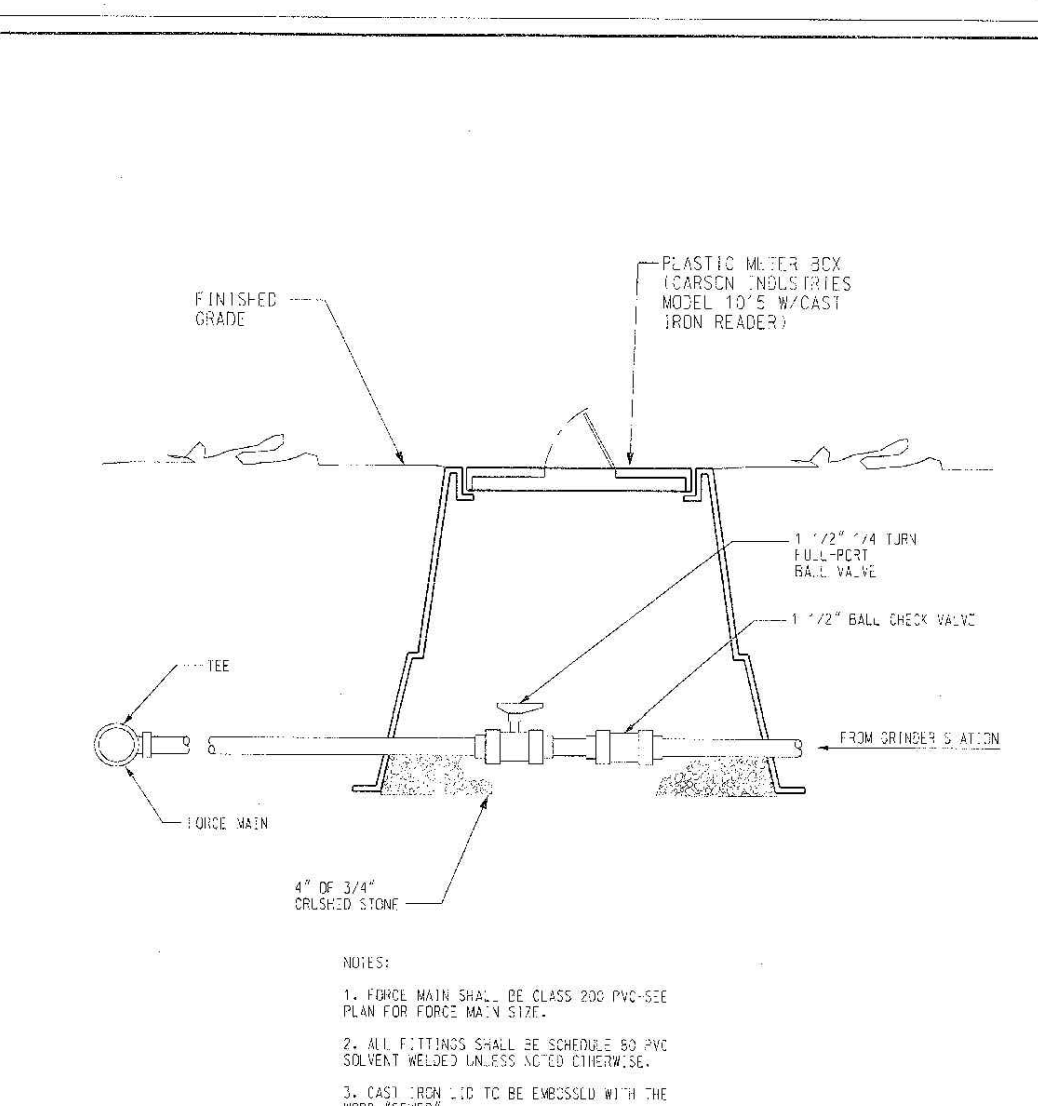


SANITARY SEWER LATERALS

STANDARD WATER AND SEWER SYSTEM DETAILS

THE TOWN OF ASHLAND CITY, TENNESSEE

HKA
HUGHES, KOONCE & ASSOCIATES, INC.
Civil and Environmental Engineering
3243 Piedmont Hill Drive, Suite 212
Nashville, Tennessee 37211 (615) 333-7200

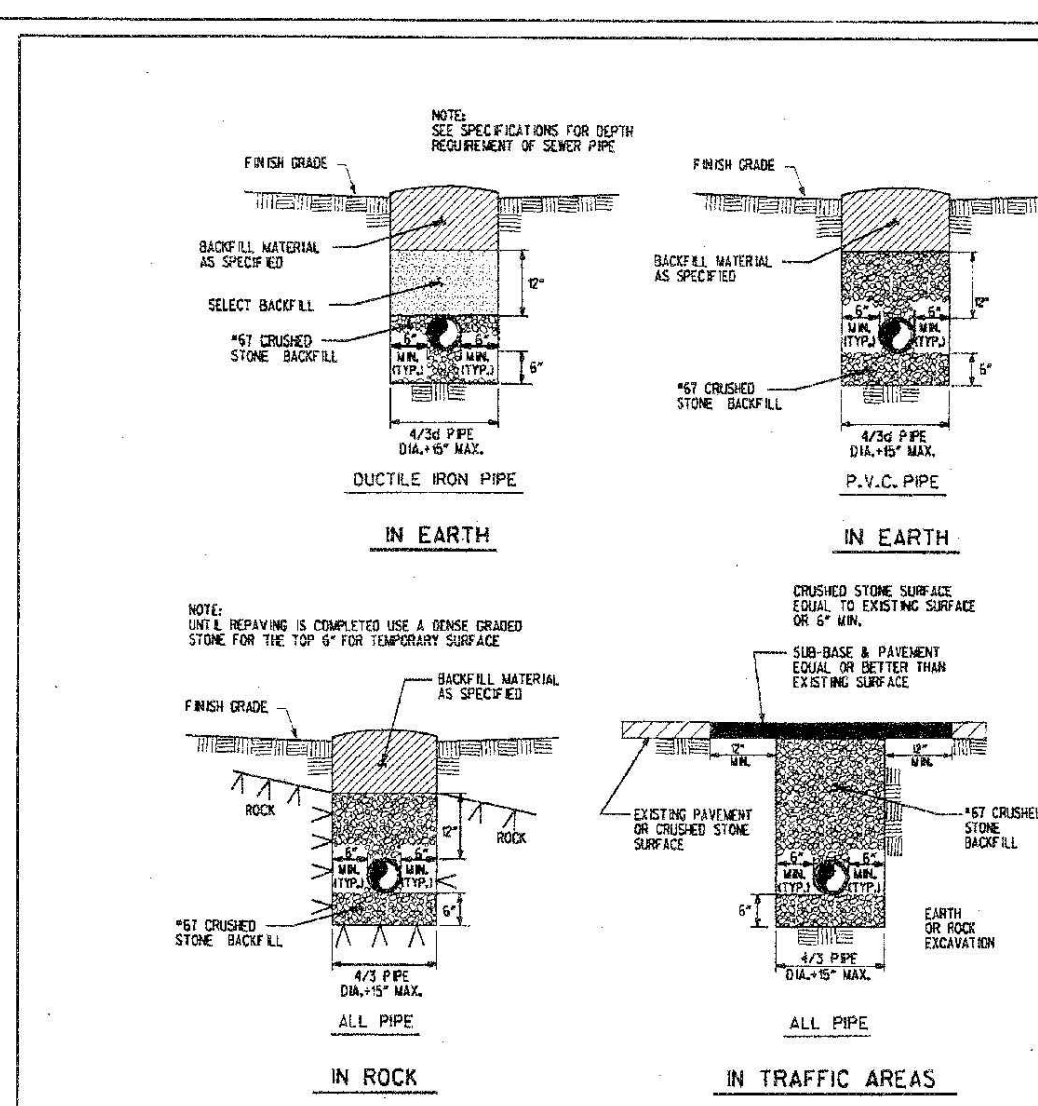


FORCE MAIN SERVICE CONNECTION

STANDARD WATER AND SEWER SYSTEM DETAILS

THE TOWN OF ASHLAND CITY, TENNESSEE

HKA
HUGHES, KOONCE & ASSOCIATES, INC.
Civil and Environmental Engineering
3243 Piedmont Hill Drive, Suite 212
Nashville, Tennessee 37211 (615) 333-7200

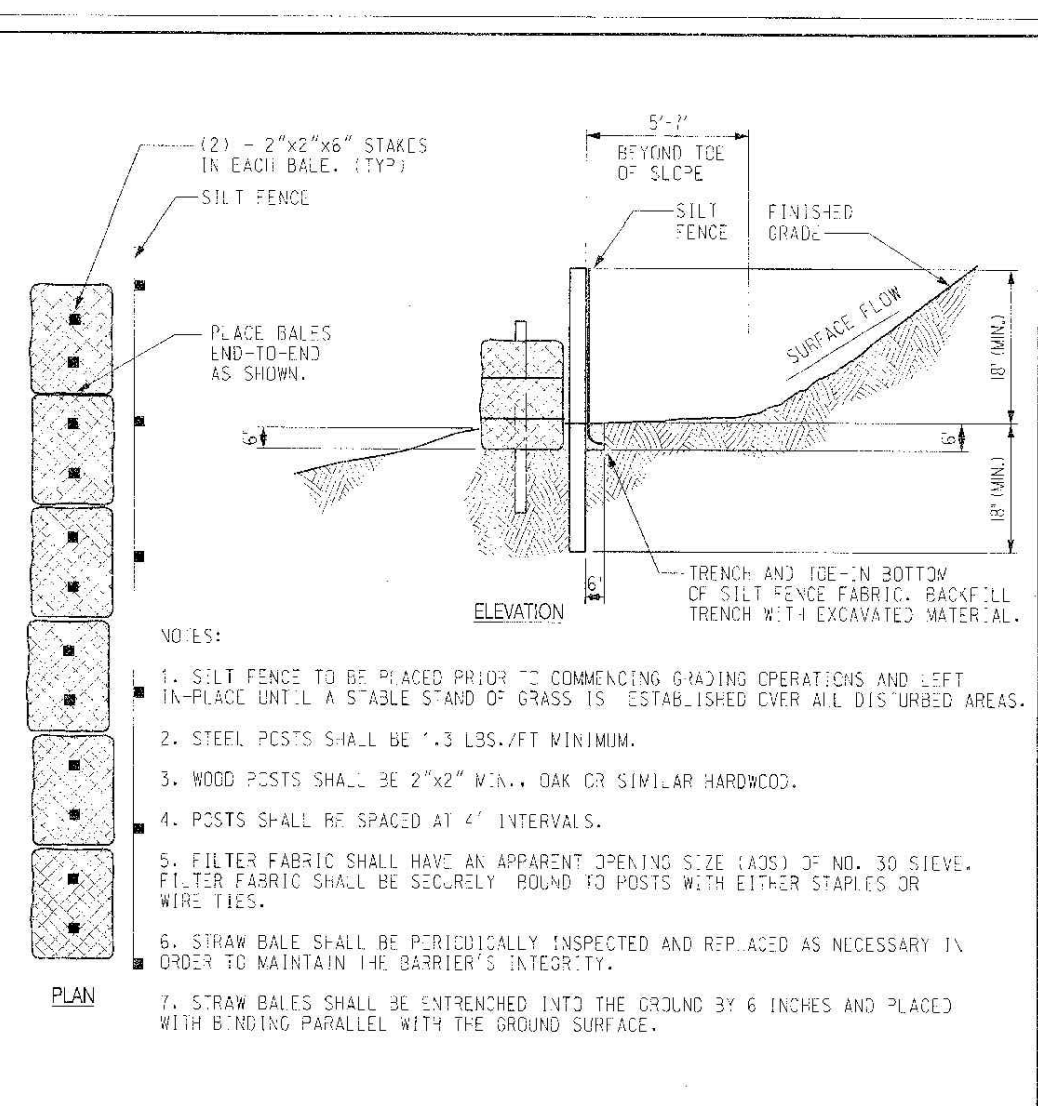


STANDARD GRAVITY SEWER BEDDING AND BACKFILLING

STANDARD WATER AND SEWER SYSTEM DETAILS

THE TOWN OF ASHLAND CITY, TENNESSEE

HKA
HUGHES, KOONCE & ASSOCIATES, INC.
Civil and Environmental Engineering
3243 Piedmont Hill Drive, Suite 212
Nashville, Tennessee 37211 (615) 333-7200

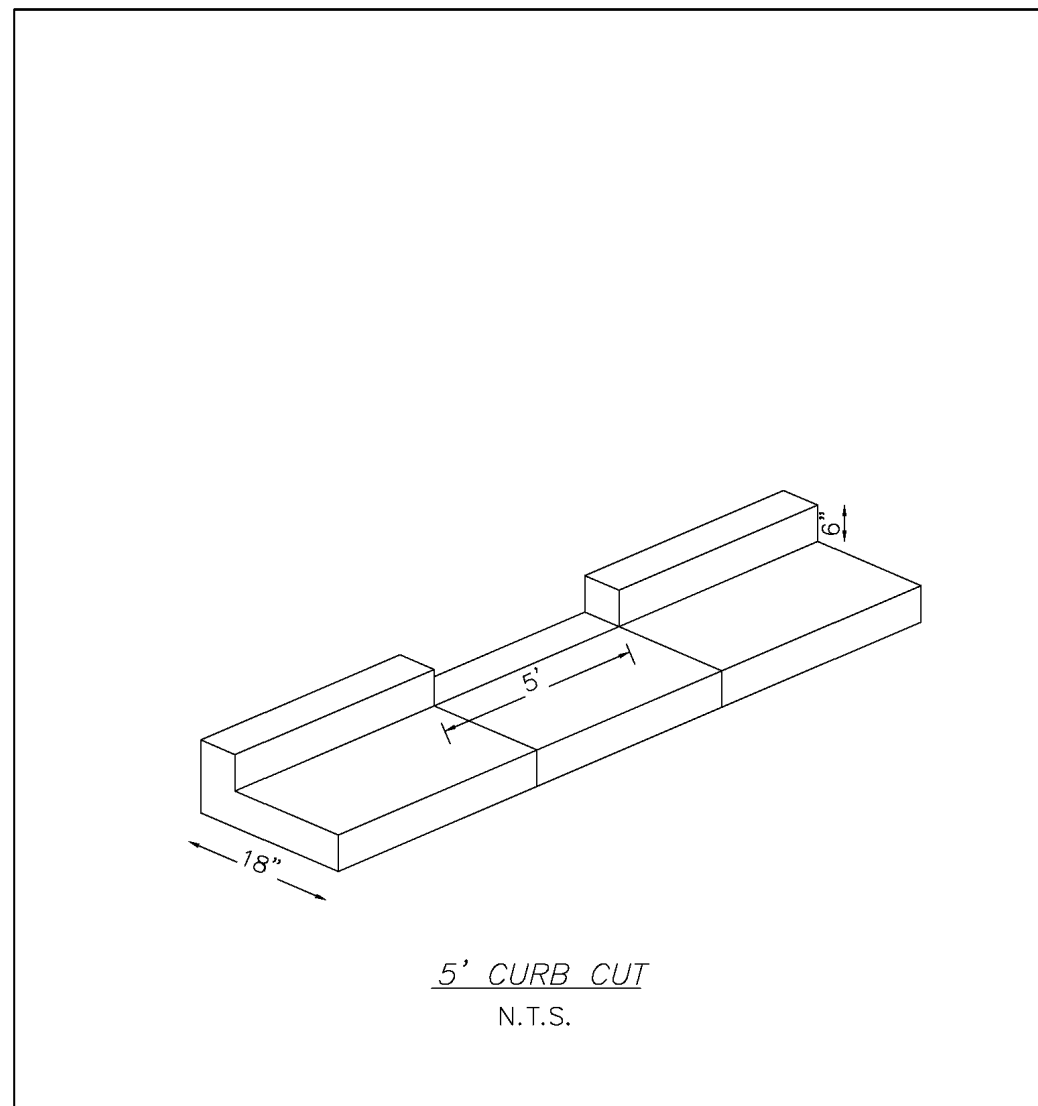


TEMPORARY STRAW BALE DETAIL

STANDARD WATER AND SEWER SYSTEM DETAILS

THE TOWN OF ASHLAND CITY, TENNESSEE

HKA
HUGHES, KOONCE & ASSOCIATES, INC.
Civil and Environmental Engineering
3243 Piedmont Hill Drive, Suite 212
Nashville, Tennessee 37211 (615) 333-7200

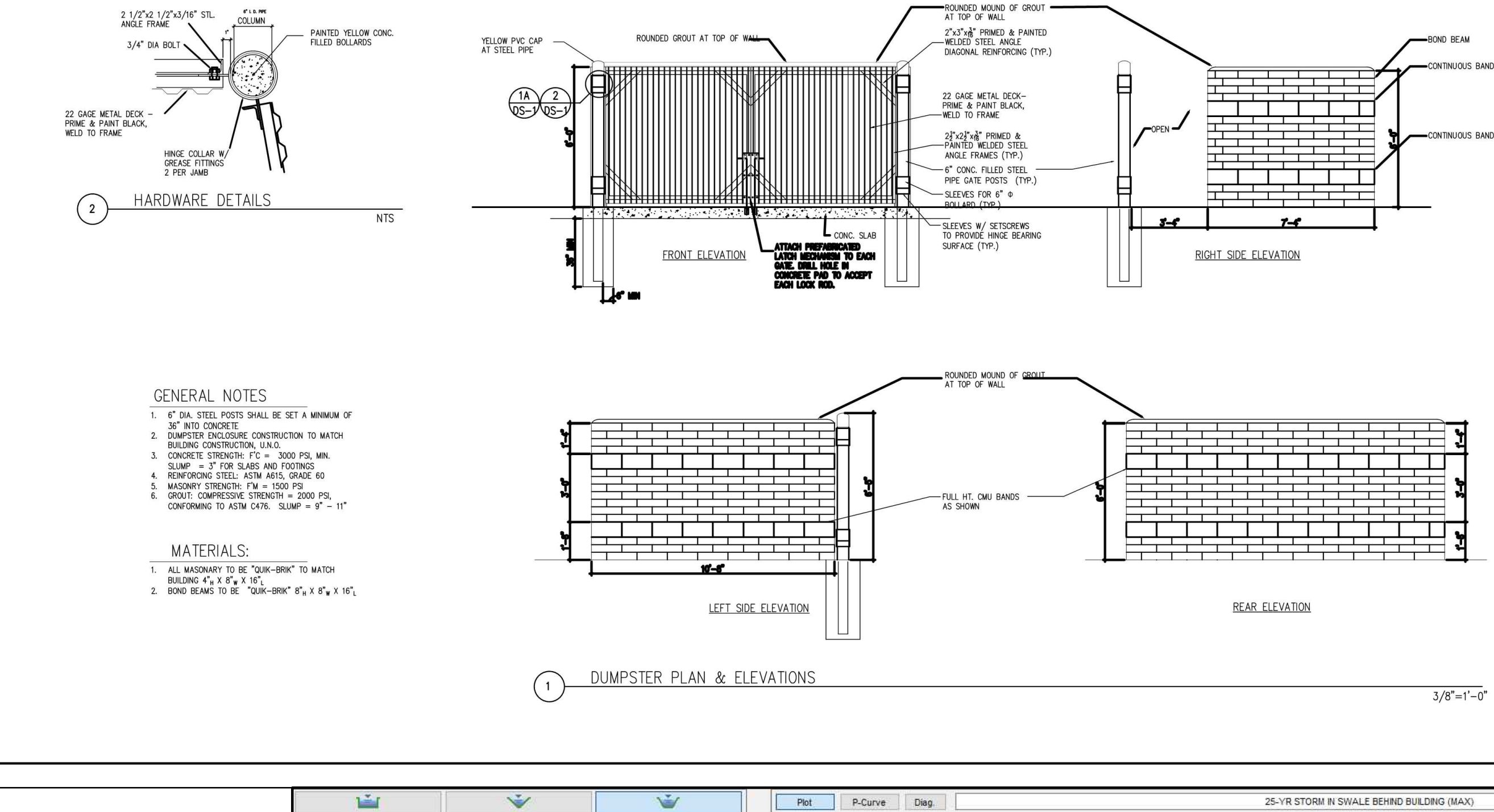
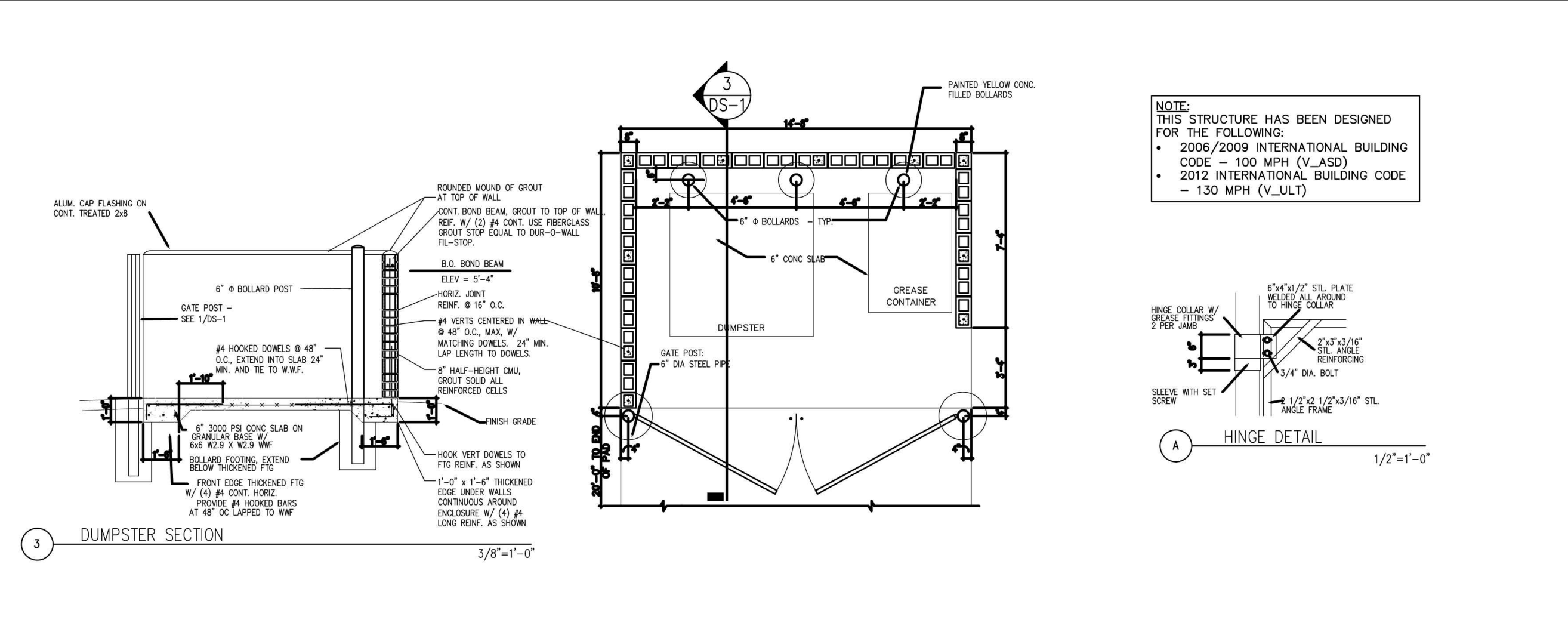


5' CURB CUT N.T.S.

STANDARD WATER AND SEWER SYSTEM DETAILS

THE TOWN OF ASHLAND CITY, TENNESSEE

HKA
HUGHES, KOONCE & ASSOCIATES, INC.
Civil and Environmental Engineering
3243 Piedmont Hill Drive, Suite 212
Nashville, Tennessee 37211 (615) 333-7200



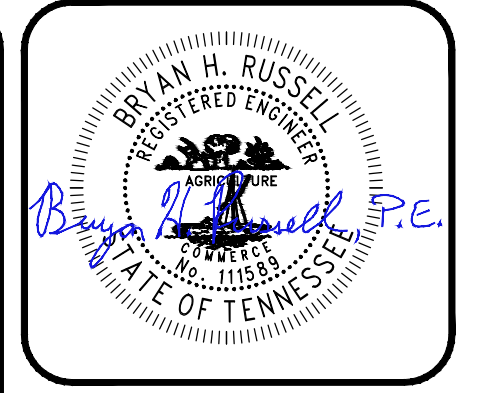
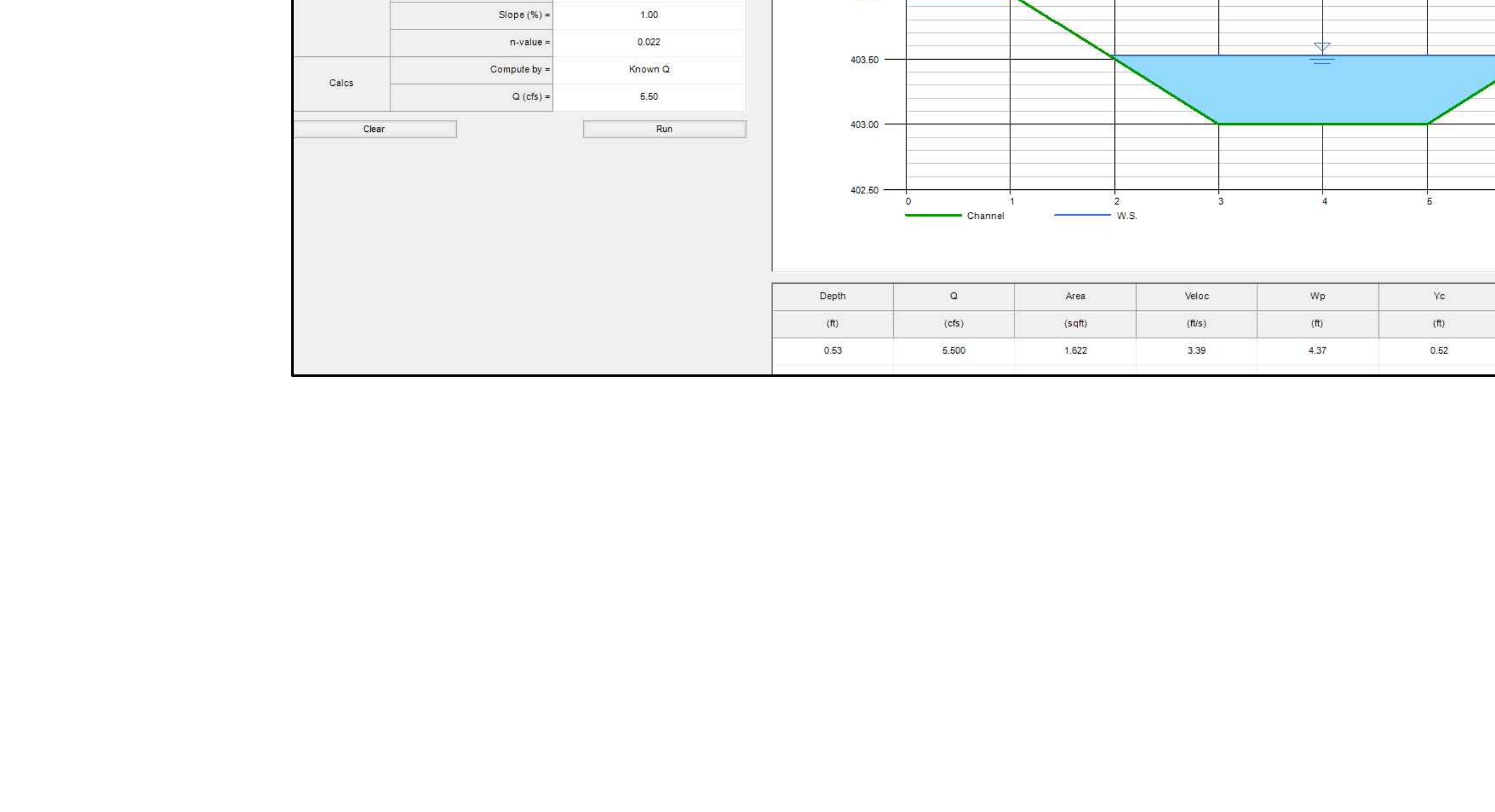
DUMPSTER PLAN & ELEVATIONS

GENERAL NOTES:

- 6" DIA. STEEL POSTS SHALL BE SET A MINIMUM OF 36" WITH CONCRETE.
- DUMPSTER ENCLOSURE CONSTRUCTION TO MATCH BUILDING CONSTRUCTION LINE.
- CONCRETE STRENGTH: FC = 3000 P.S.I. MIN. SLAB = 3" FOR SLABS AND FOOTINGS.
- REINFORCING STEEL: ASTM A618, GRADE 60.
- WALDOUGH STRENGTH: FM = 1000 P.S.I.
- GROUT: COMPRESSIVE STRENGTH = 2000 P.S.I. CONFORMING TO ASTM C109. SLUMP = 3" - 4"

MATERIALS:

- ALL WOODWORK TO BE "DUR-KOR" TO MATCH BUILDING #2 X 4 X 12.
- BOND BEAMS TO BE "DUR-KOR" #2 X 4 X 12.



CONTINIO GROUP
755 COMMERCE DRIVE
SUITE 800
DECATUR, GA 30030
770.335.9403
www.fc-engineer.com



Waffle House
"A UNIQUE AMERICAN PHENOMENON"
"AMERICA'S PLACE TO EAT, AMERICA'S PLACE TO WORK"
5986 Financial Drive, Norcross, GA 30071
(770) 728-5700

WAFFLE HOUSE ASHLAND CITY, TENNESSEE

ISSUED FOR: PERMIT

JURISDICTION: CITY OF ASHLAND CITY

LOCATION: SOUTH OF 133 HUTTON PLACE ASHLAND CITY, TN 37015

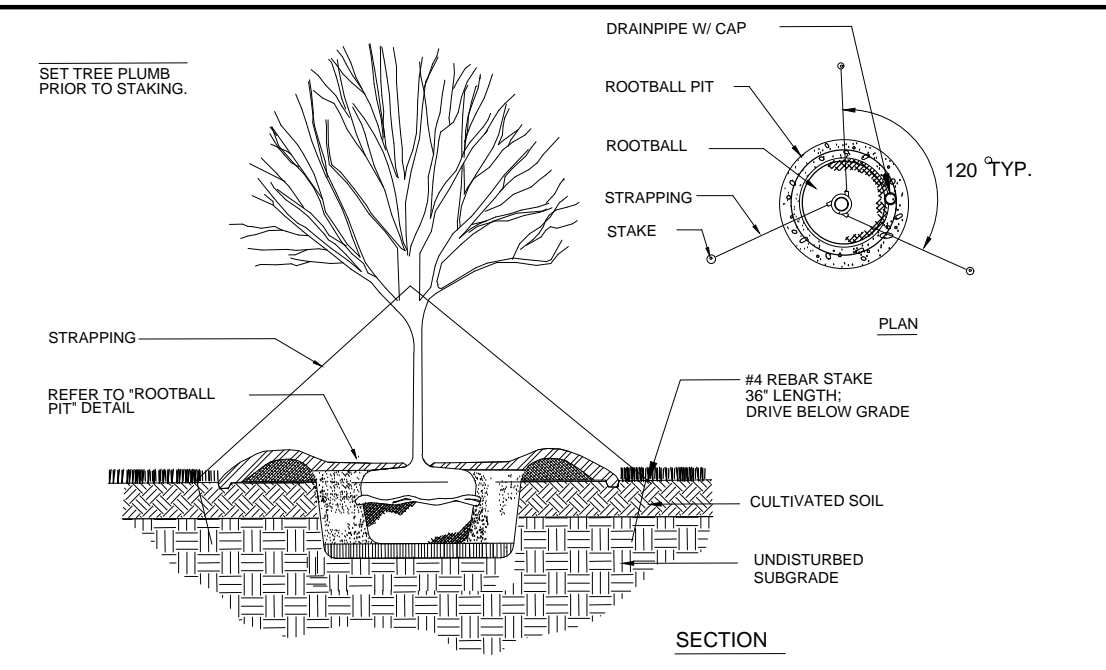
REVISIONS

#	DATE	REVISIONS

DRAWN: CDB
CHECK: BHR

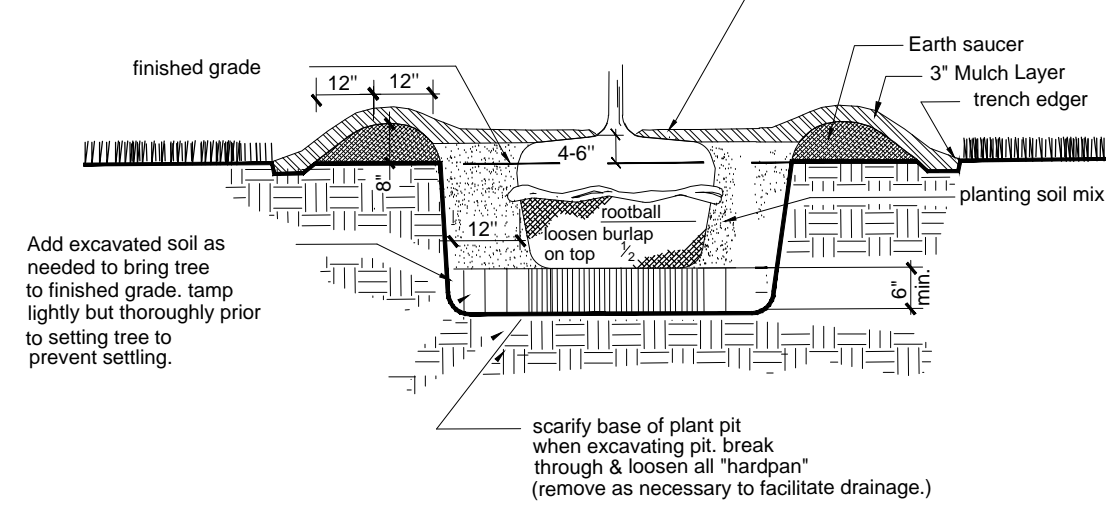
JOB NO: 21-329
DATE: 12/07/21

DETAILS II
SHEET C11



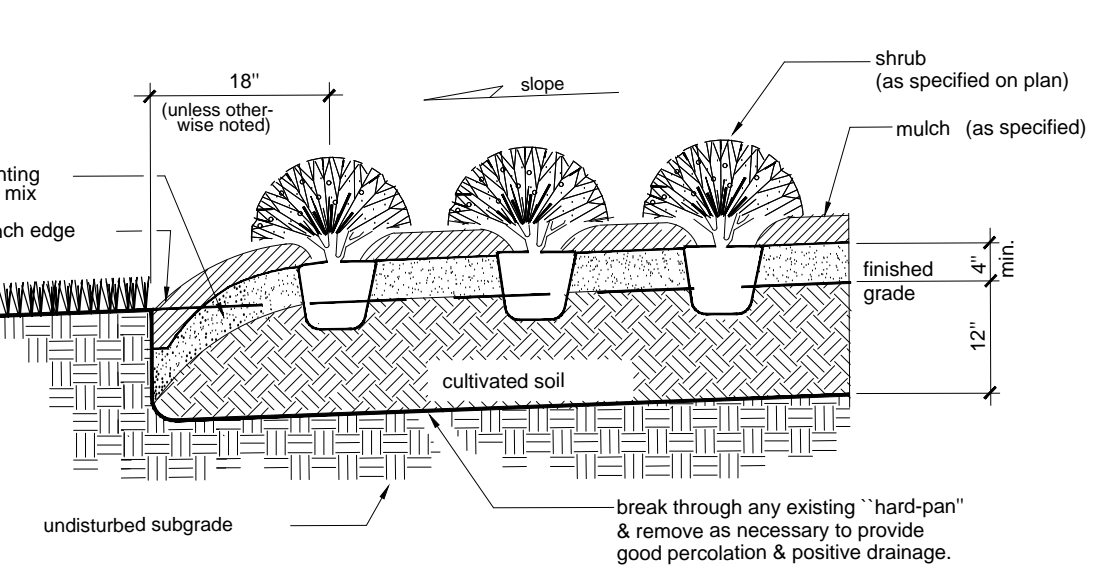
TREE STAKING & GUYING
N.T.S.

GENERAL NOTES:
1. Do not allow air pockets to form when backfilling.
2. Immediately soak with water.
3. Do not break rootball.



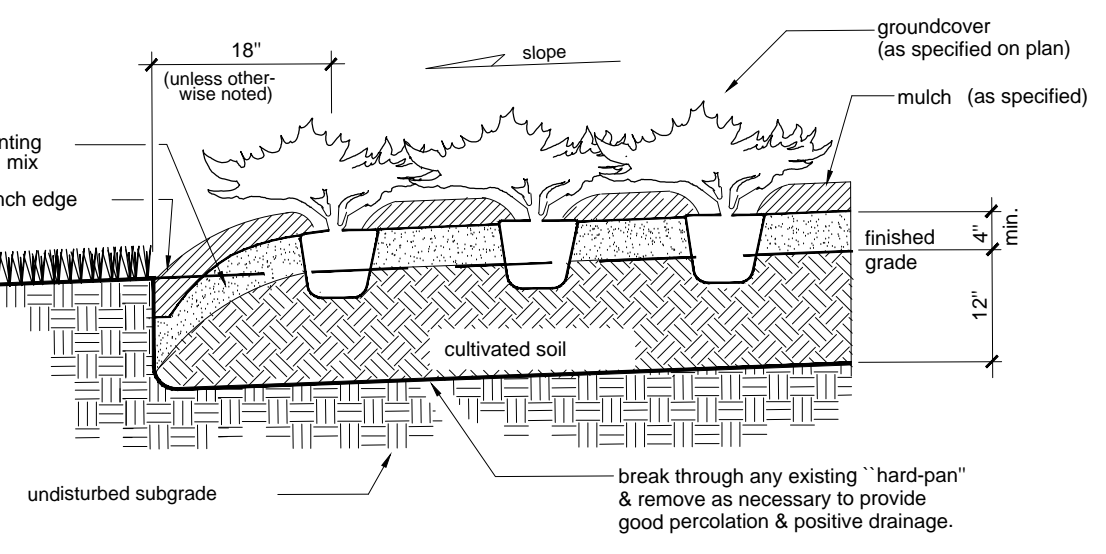
PLANTING PROCEDURE
1. excavate rootball pit.
2. add excavated soil & tamp.
3. backfill w/ soil mix & "water in".
4. stake & guy securely.
5. complete backfilling, construct trench edge & add specified mulch.

TYP. TREE ROOTBALL PIT
N.T.S.



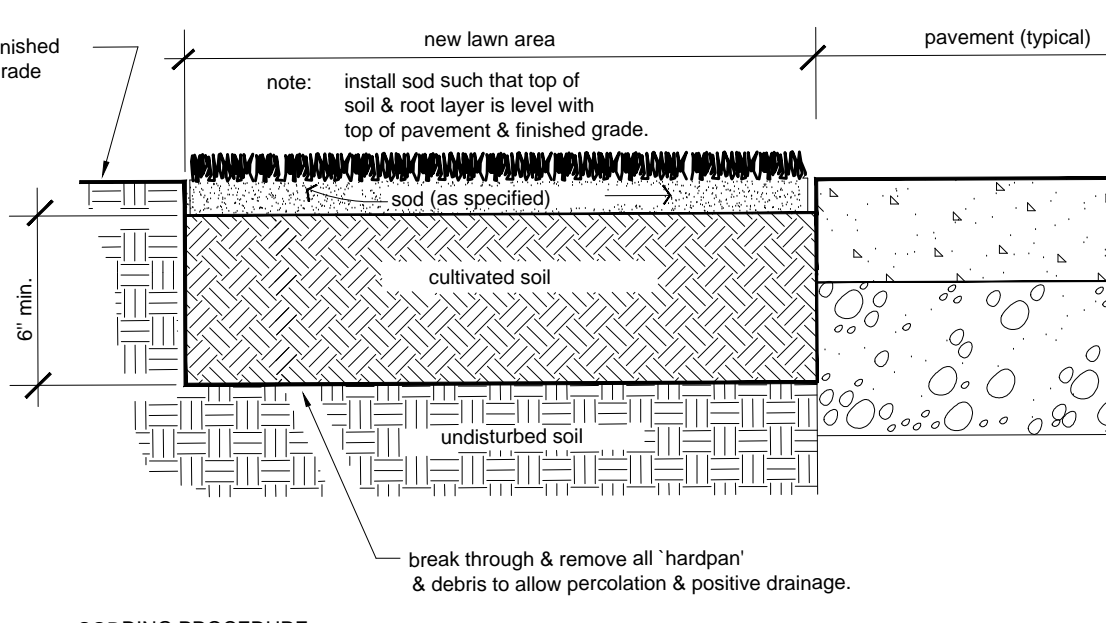
PLANTING PROCEDURE
1. lay out bed and outline with trench edge, place soil from edge within bed.
2. rototill bed to 12\"/>

SHRUB PLANTING
N.T.S.



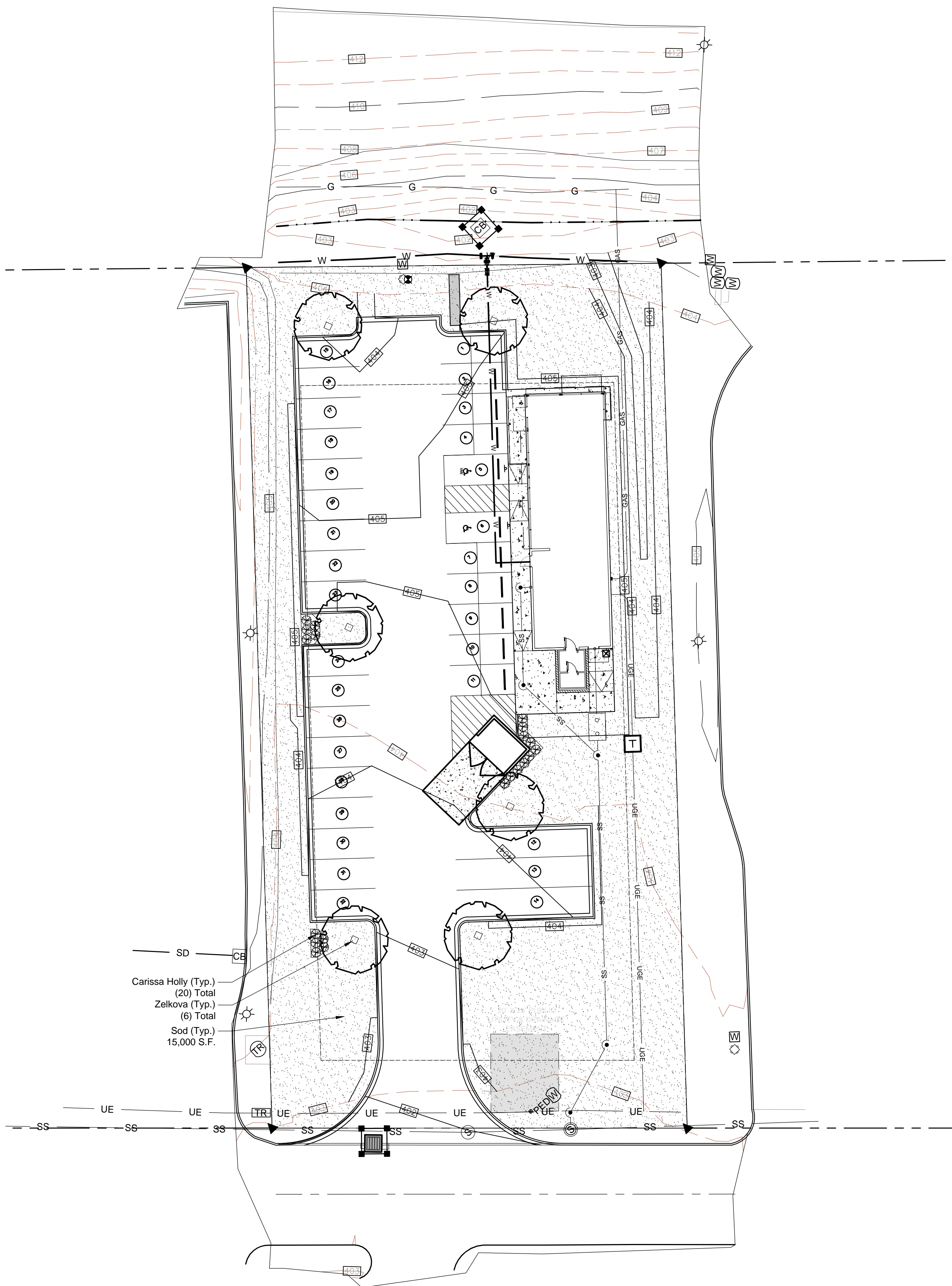
PLANTING PROCEDURE
1. lay out bed and outline with trench edge, place soil from edge within bed.
2. rototill bed to 12\"/>

GROUNDCOVER PLANTING
N.T.S.



SODDING PROCEDURE
1. the general contractor will provide grades to (+/- .20) of a foot of proposed grades.
2. cultivate entire area to a minimum 6\"/>

SOD INSTALLATION
N.T.S.

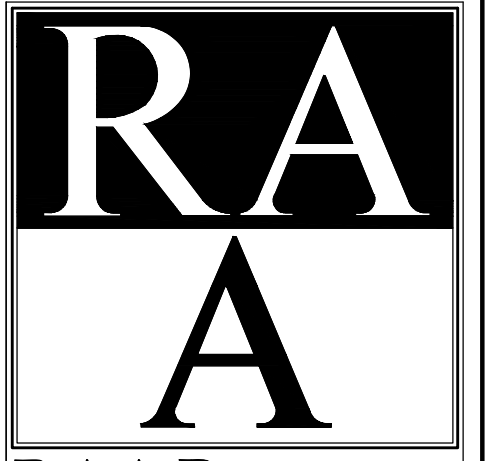


LANDSCAPE REQUIREMENTS

- SITE AREA 31,357 SQUARE FEET
- 15% OF SITE TO BE PERMEABLE, 15,302 SQUARE FEET OR 48.8% PROVIDED, REQUIREMENT MET
- 10% OF PARKING/VEHICULAR USE TO BE LANDSCAPE
- 12,589 SQUARE FEET VEHICULAR USE, 1,258.9 SQUARE FEET LANDSCAPE REQUIRED, 1,306 SQUARE FEET PROVIDED REQUIREMENT MET
- 1 TREE PER 250 SQUARE FEET REQUIRED, 5 TREES REQUIRED, 5 TREES PROVIDED, REQUIREMENT MET
- 4 SHRUBS FOR EACH REQUIRED TREE X 5 TREE REQUIRED = 20 SHRUBS PROVIDED, REQUIREMENT MET
- ADJUSTED CALIPER INCHES AT TIME OF PLANTING 30"/ACRE
- SITE AREA: 31,157 SQUARE FEET OR .72 ACRES
- CALIPER INCHES REQUIRED: 22"
- CALIPER INCHES PROVIDED: 24"
- REQUIREMENT MET

Plant List

QU	Scientific Name	Common Name	Minimum Size	Spacing
6	Zelkova serrata	Zelkova	4"-Cal	As Shown
20	Ilex cornuta 'Carissa'	Carissa Holly	1 gallon	As Shown



RAA Design, LLC
Landscape Architects / Land Planners
1135 Old Howell Road
Alpharetta, Georgia 30009
Phone (404) 852-2200
Email rmjg@raa-design.com

REVISIONS

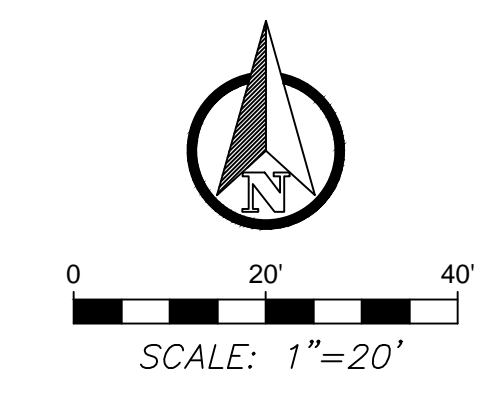
NO.	DATE	DESCRIPTION



LANDSCAPE PLAN

WAFFLE HOUSE
ASHLAND CITY, TENNESSEE

DATE 11-12-2021
JOB NO. 2012011
SCALE
DRAWN BY RM
CHKD BY RM
DISCLAIMER
THIS DRAWING IS THE PROPERTY OF RAA DESIGN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.
RAA DESIGN
SHEET
LS-1
1 OF 1



Date: Nov 17, 2021, 8:16am User: ID: BAA Design Laptop File: C:\Users\BAA Design\Desktop\Waffle House\2012011\2012011.dwg Plot: Waffle House On Demand\Waffle House\2012011.dwg Plot: Waffle House On Demand\Waffle House\2012011.dwg

ALTA/NSPS LAND TITLE SURVEY

WAFFLE HOUSE

BASED ON TITLE COMMITMENT NO. 34819 OF
FIRST AMERICAN TITLE INSURANCE COMPANY
BEARING AN EFFECTIVE DATE OF SEPTEMBER 15, 2021 AT 8:00 AM.

To Waffle House, Inc. and First American Title Insurance Company :

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6b, 7a, 8, 9, 13, 16 and 19 of Table A thereof. The field work was completed on September 27, 2021.

THOMAS A. YOUNG PLS
Tennessee License Number 2265

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF CHEATHAM, STATE OF TENNESSEE, AND IS DESCRIBED AS FOLLOWS:

LAND IN CHEATHAM COUNTY, TENNESSEE, BEING LOT NO. 3, ON THE PLAN OF REPLAT OF LOT 2, LOT 3, AND LOT 4 OF OWEN PLACE SHOPPING CENTER, OF RECORD IN PLAT BOOK 14, PAGE 153, REVISING PLAT BOOK 13, PAGE 182, REGISTER'S OFFICE FOR CHEATHAM COUNTY, TENNESSEE, REFERENCE TO WHICH IS HEREBY MADE FOR A MORE COMPLETE DESCRIPTION.

BEING PART OF THE SAME PROPERTY CONVEYED TO OWEN PLACE PARTNERS, A TENNESSEE GENERAL PARTNERSHIP, BY WARRANTY DEED FROM OWEN PLACE PARTNERSHIP, DATED JANUARY 15, 2015, OF RECORD IN RECORD BOOK 496, PAGE 1509, REGISTER'S OFFICE FOR CHEATHAM COUNTY, TENNESSEE.

THE LAND SHOWN IN THIS SURVEY IS THE SAME AS THAT DESCRIBED IN AMERICAN NATIONAL TITLE INSURANCE COMPANY TITLE REPORT NUMBER 34819 WITH AN EFFECTIVE DATE SEPTEMBER 15, 2021.

UTILITIES PROVIDERS

WATER TREATMENT: 109 ADRISSEON ST ASHLAND CITY, TN 37015 615-792-5750	GAS: FERRELL GAS 810 HIGHWAY 12 ASHLAND CITY, TN 37015 256-878-2717
WASTEWATER TREATMENT: 199 RHEA ST ASHLAND CITY, TN 37015 615-792-3074	ELECTRIC: CUMBERLAND ELECTRIC MEMBERSHIP CORPORATION 315 N MAIN ST ASHLAND CITY, TN 37015 800-987-2362
PUBLIC WORKS: 233 TENNESSEE WALTZ PARKWAY SUITE 102 ASHLAND CITY, TN 37015 615-792-4211	COMMUNICATION: 208 S AKARD ST DALLAS, TX 75202 210-821-4105

GENERAL NOTES

- SOURCE OF TITLE
RECORD BOOK 496, PAGE 1509
PARCEL ID # 062 003.04
LOT 3 HWY 12 S
ASHLAND CITY, CHEATHAM COUNTY, TENNESSEE
AREA = 0.72 ± ACRES
THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, COVENANTS, OR RESTRICTIONS, EITHER WRITTEN OR UNWRITTEN.
FIELD SURVEY DATE: 09/27/2021
C2 ZONING
THE FORGOING REAL PROPERTY IS ALL OF THE SAME PROPERTY CONVEYED TO SELLER BY OWEN PLACE PARTNERSHIP IN RECORD BOOK 496 PAGES 1509-1511.
- LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE, AND ARE BASED UPON VISIBLE EVIDENCE AND MARKINGS BY UTILITY COMPANIES AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.
- THERE ARE NO CEMETERIES APPARENT ON THIS PROPERTY.
- NO CERTIFICATION IS MADE HEREIN AS TO THE PRESENCE OF UNDERGROUND STORAGE TANKS.
- HORIZONTAL POSITIONS BASED ON STATIC GPS OBSERVATION
HORIZONTAL POSITIONS ARE TENNESSEE STATE PLANE COORDINATE SYSTEM, NORTH ZONE NAD 83.
- NO WETLANDS WERE DELINEATED AS PART OF THIS SURVEY.
- NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
- LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE, AND ARE BASED UPON VISIBLE EVIDENCE AND MARKINGS BY UTILITY COMPANIES AND SHOULD BE VERIFIED PRIOR TO CONSTRUCTION.
- SITE IS IN THE CITY LIMITS

ZONING INFORMATION

PROPERTY ZONED C2 (HIGHWAY COMMERCIAL)
NO ZONING VIOLATIONS HAVE BEEN REPORTED
MINIMUM LOT SIZE: 20,000 SF
SETBACKS:
FRONT: 35 FEET
REAR: 20 FEET
SIDE: 15 FEET

SIGNIFICANT OBSERVATIONS

NO SIGNIFICANT OBSERVATIONS MADE

PARKING INFORMATION

NONE OBSERVED AT TIME OF SURVEY

FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE X ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 47021C0235E, WHICH BEARS AN EFFECTIVE DATE OF 02/26/2021.

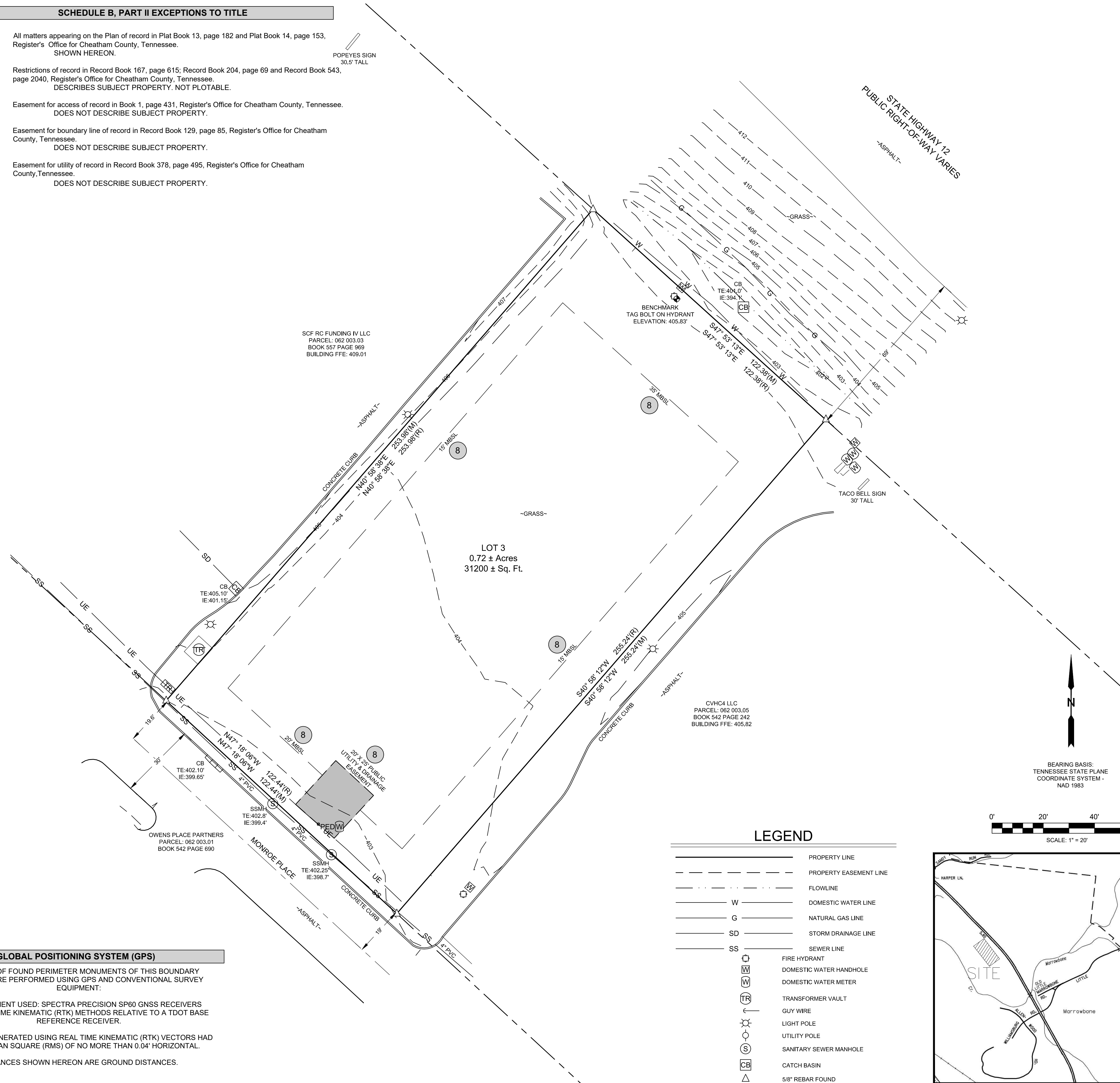
SCHEDULE B, PART II EXCEPTIONS TO TITLE

- All matters appearing on the Plan of record in Plat Book 13, page 182 and Plat Book 14, page 153, Register's Office for Cheatham County, Tennessee.
SHOWN HEREON.
- Restrictions of record in Record Book 167, page 615; Record Book 204, page 69 and Record Book 543, page 2040, Register's Office for Cheatham County, Tennessee.
DESCRIBES SUBJECT PROPERTY. NOT PLOTTABLE.
- Easement for access of record in Book 1, page 431, Register's Office for Cheatham County, Tennessee.
DOES NOT DESCRIBE SUBJECT PROPERTY.
- Easement for boundary line of record in Record Book 129, page 85, Register's Office for Cheatham County, Tennessee.
DOES NOT DESCRIBE SUBJECT PROPERTY.
- Easement for utility of record in Record Book 378, page 495, Register's Office for Cheatham County, Tennessee.
DOES NOT DESCRIBE SUBJECT PROPERTY.

GLOBAL POSITIONING SYSTEM (GPS)

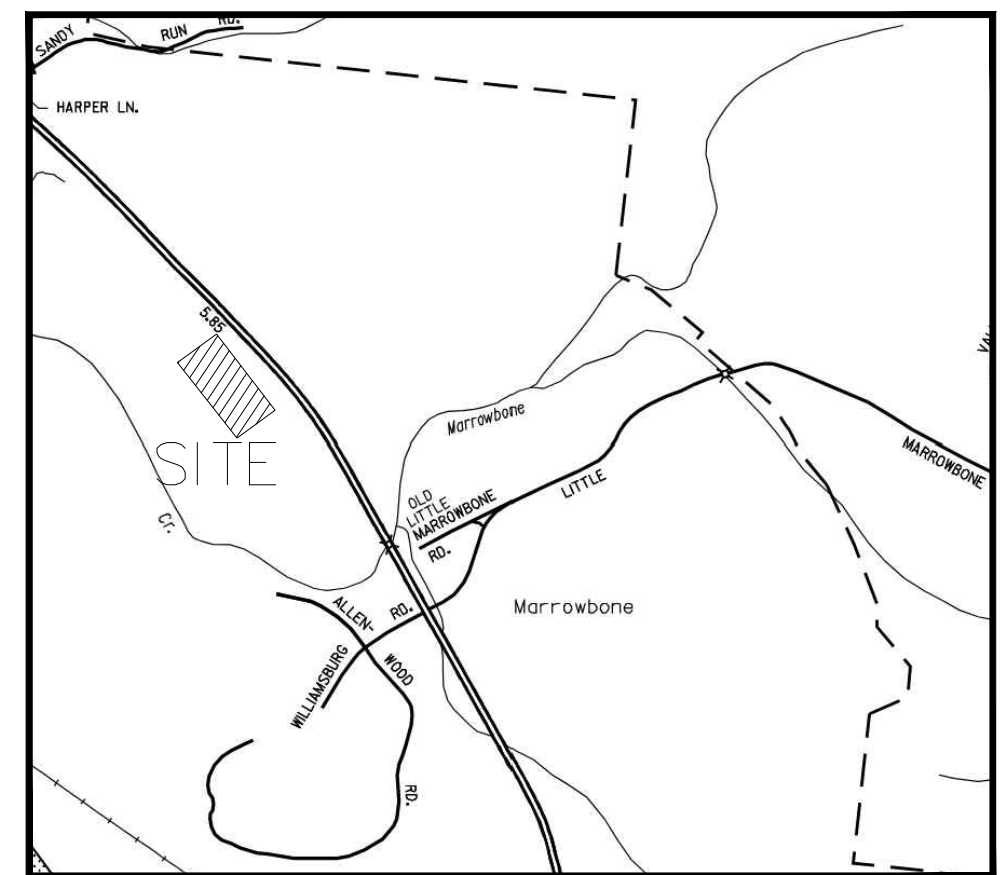
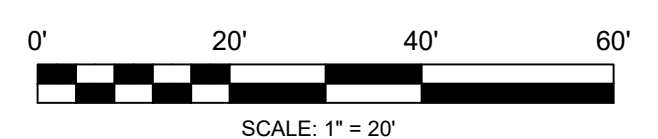
LOCATION OF FOUND PERIMETER MONUMENTS OF THIS BOUNDARY SURVEY WERE PERFORMED USING GPS AND CONVENTIONAL SURVEY EQUIPMENT:
GPS EQUIPMENT USED: SPECTRA PRECISION SP60 GNSS RECEIVERS USING REAL TIME KINEMATIC (RTK) METHODS RELATIVE TO A TDOT BASE REFERENCE RECEIVER.
LOCATIONS GENERATED USING REAL TIME KINEMATIC (RTK) VECTORS HAD A ROOT MEAN SQUARE (RMS) OF NO MORE THAN 0.04' HORIZONTAL.
DISTANCES SHOWN HEREON ARE GROUND DISTANCES.

LOT 3
0.72 ± Acres
31200 ± Sq. Ft.



LEGEND

- PROPERTY LINE
- - - PROPERTY EASEMENT LINE
- FLOWLINE
- W — DOMESTIC WATER LINE
- G — NATURAL GAS LINE
- SD — STORM DRAINAGE LINE
- SS — SEWER LINE
- ⊕ FIRE HYDRANT
- ⊙ DOMESTIC WATER HANDHOLE
- ⊙ DOMESTIC WATER METER
- ⊕ TRANSFORMER VAULT
- ⊕ GUY WIRE
- ⊕ LIGHT POLE
- ⊕ UTILITY POLE
- ⊕ SANITARY SEWER MANHOLE
- ⊕ CATCH BASIN
- ⊕ 58' REBAR FOUND
- ⊕ BENCHMARK



WAFFLE HOUSE
ALTA/NSPS LAND TITLE SURVEY
LOT 3 HWY 12S
 ASHLAND CITY, CHEATHAM COUNTY, TENNESSEE

REVISIONS <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 5%;">NO.</th> <th style="width: 15%;">DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	NO.	DESCRIPTION					NUMBER: 1 of 1 SHEET: ALTA/NSPS SURVEY	<p style="font-size: small;">THIS DRAWING SHALL BE CONSIDERED PRELIMINARY IN NATURE AND IN NO WAY SHALL BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE ENGINEER OR SURVEYOR OF RECORD AS AFFIXED HERETO.</p> <p style="font-size: x-small;">© 2021 L.I. SMITH & ASSOCIATES, INC. ALL RIGHTS RESERVED. THESE PLANS ARE THE INTELLECTUAL PROPERTY OF L.I. SMITH & ASSOCIATES, INC. THESE PLANS, DESIGNS, DATA AND/OR INFORMATION HAVE BEEN PREPARED SOLELY FOR THOSE PARTIES NAMED HEREON. USE OF THESE PLANS BY ANY OTHER PARTIES, OR USE OF THESE PLANS FOR ANY PURPOSES OTHER THAN THAT AUTHORIZED BY THESE PLANS, SHALL BE CONSIDERED A VIOLATION OF COPYRIGHT LAWS.</p>	DATE: 10/20/2021 CHECKED BY: TY DRAWN BY: CWM PROJECT # 210896
NO.	DESCRIPTION								

L.I. Smith and Associates, Inc.

LAND DEVELOPMENT | INFRASTRUCTURE DESIGN | SURVEYING SERVICES

302 North Caldwell Street, Paris, TN 38242 | 731-644-1014 | www.lismith.com
475 Metropia Drive, Suite 212 Nashville, TN 37211 | 615-556-0590