

# SITE PLAN FOR

# ACE RETAIL CENTER

1209 TN HIGHWAY-12 SOUTH  
ASHLAND CITY, TN 37015

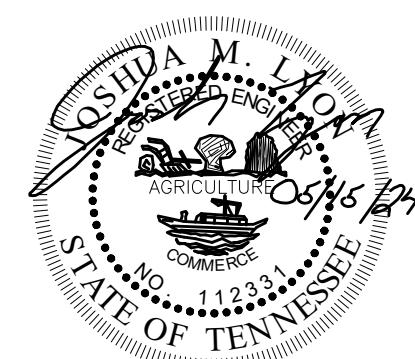
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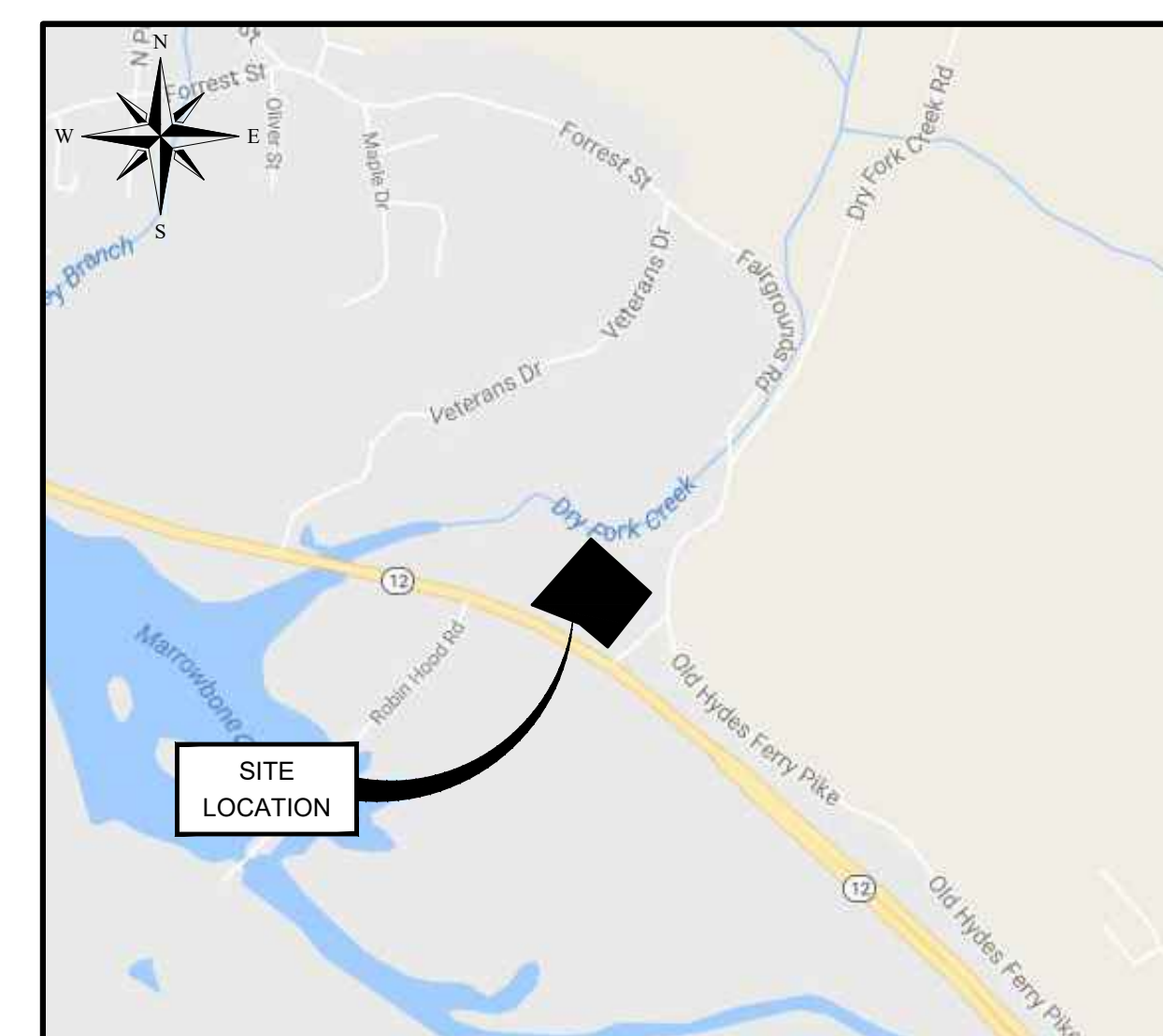
**NOT FOR CONSTRUCTION**



SERVING CLIENTS WITH CIVIL ENGINEERING & LAND DEVELOPMENT SERVICES  
3556 TOM AUSTIN HWY, SUITE 1, SPRINGFIELD, TN 37172  
PHONE: (615) 382-2000 FAX: (888) 373-4485  
www.klobereng.com



JOSHUA M. LYON, P.E. TN#112331



**Vicinity Map**  
Not to Scale

**DATE: 05/15/2024    ACE RETAIL CENTER**

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**PRESENT OWNER:**  
MARK & TONYA YARBROUGH  
400 WARIOTO WAY #708  
ASHLAND CITY, TN 37105

**DEED REFERENCE:**  
MAP 55, PARCEL 36  
LEE BAXSON COMMERCIAL LOTS - LOT 1

**PROPERTY INFORMATION:**  
AREA: 226,164 S.F. = 5.19 ACRES

**ZONING:**  
COMMERCIAL C-2

**SITE USE:**  
EXISTING USE: MINI STORAGE  
PROPOSED USE: GENERAL RETAIL,  
PROFESSIONAL SERVICES-NON MEDICAL

**SIGN NOTE:**  
ALL SIGNS SHALL COMPLY WITH THE MOST CURRENT EDITION OF THE ASHLAND CITY ZONING ORDINANCE. SEPARATE PERMIT REQUIRED.

**SECURITY GATE:**  
SECURITY GATES OR BARRIERS SHALL BE EQUIPPED WITH A RADIO OPERATED RECEIVER/CONTROLLER CAPABLE OF RECEIVING SIGNALS FROM A POLICE DEPARTMENT, SHERIFF'S DEPARTMENT (IF THE GATED FACILITY OR COMMUNITY IS IN THE COUNTY), FIRE DEPARTMENT, UTILITY AND EMERGENCY MEDICAL SERVICES' RADIO TRANSMITTERS SERVING THE GATED FACILITY OR COMMUNITY WHICH ALLOW EMERGENCY RESPONDERS AND OTHER NECESSARY ON-DUTY EMPLOYEES TO OPEN THE SECURITY GATE OR BARRIER BY USE OF SUCH EQUIPMENT. ALL SECURITY GATES OR BARRIERS MUST MEET POLICIES DEEMED NECESSARY BY THE AUTHORITY HAVING JURISDICTION OVER THE GATED FACILITY OR COMMUNITY FOR RAPID, RELIABLE, AND MUTUAL AID ACCESS. SUCH EQUIPMENT SHALL BE FURNISHED, INSTALLED AND MAINTAINED BY THE GATED FACILITY OR COMMUNITY THAT IS SERVED BY SUCH EQUIPMENT.

**GENERAL NOTES:**

**LOT COVERAGE:**  
EXISTING BUILDING AREA = 49,755 S.F.  
NEW BUILDING AREA = 20,552 S.F.  
BUILDING COVERAGE = 31.1%  
PROPOSED BUILDING HEIGHT: 33'-1"  
MAX BUILDING HEIGHT: 40'-0"  
EXISTING CONCRETE SURFACE: ±350 S.F.  
EXISTING ASPHALT SURFACE: ±59,926 S.F.  
EXISTING IMPERVIOUS AREA: ±110,511 S.F. = 48.65%  
PROPOSED ASPHALT SURFACE: ±23,008 S.F.  
PROPOSED IMPERVIOUS AREA: ±1,528 S.F.  
PROPOSED ASPHALT SURFACE: ±45,088 S.F. = 20.00%

**PARKING INFORMATION:**  
REQUIRED PARKING:  
GENERAL RETAIL: 11,000/250 = 44 SPACES  
PROFESSIONAL SERVICES: 9,562/400 = 24 SPACES  
TOTAL PARKING: 68 SPACES,  
INCLUDING 4 HANDICAP SPACES

**UTILITY NOTE:**  
COORDINATE ALL UTILITY INSTALLATIONS WITH GOVERNING ENTITIES.

1. PRIOR TO BEGINNING CONSTRUCTION ON THIS SITE THE LOCATION OF UTILITIES MUST BE IDENTIFIED BY CALLING THE TOLL-FREE TENNESSEE ONE CALL REFERENCE NUMBER 1-800-351-1111.
2. ALL CONSTRUCTION ON THIS SITE SHALL COMPLY WITH APPLICABLE REGULATIONS AS SPECIFIED BY THE CITY OF MILLERSVILLE AND THE STATE OF TENNESSEE.
3. TOPSOIL SHALL BE PLACED ON EXCAVATED AREAS WHICH REQUIRE NEW VEGETATION. GROUND COVER SHALL BE RE-ESTABLISHED WITH KENTUCKY 31 FESCUE SEED AT A MINIMUM OF 250 LBS. PER ACRE. SLOPES 3:1 OR GREATER SHALL BE LINED WITH NORTH AMERICAN GREEN S150 GRASS MATING OR EQUAL.
4. SILT FENCE SHALL BE INSTALLED IN ALL EROSION AREAS WHICH COULD ALLOW UNTREATED STORMWATER RUNOFF TO BE DISCHARGED FROM THE PROPERTY. ALL EROSION CONTROL MEASURES SHALL BE CONSISTENT WITH THE PROVISIONS DESCRIBED IN THE MOST CURRENT EDITION OF THE TENNESSEE EROSION & SEDIMENT CONTROL HANDBOOK.
5. THE STORMWATER RUNOFF CALCULATIONS ON THIS SITE HAVE BEEN PERFORMED USING THE U.S. SOIL CONSERVATION SERVICE TR-55 METHOD. STORMWATER POND HAS BEEN SIZED TO HANDLE A 25 AND 100 YEAR STORM EVENT.
6. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS TAKEN FROM A SURVEY BY CHANDLER SURVEYING OF PLEASANT VIEW, TN.
7. CONSTRUCTION WILL BEGIN FOLLOWING PLAN APPROVAL BY THE CITY OF ASHLAND CITY. ANY DUMPSTER SHALL BE FULLY ENCLOSED, MATCHING THE FACADE OF THE BUILDING, AND A WOODEN PRIVACY FENCE GATE THAT IS 8 FEET HIGH ON ALL SIDES AND ALL SERVICE BOXES AND MECHANICALS TO BE IN THE REAR OF THE BUILDING.
8. ALL ADDITIONS IN THE FUTURE MUST BE BUILT TO THESE STANDARDS.
9. ACCORDING TO MAP 47021C0170E, DATED 02/28/2021, PORTIONS OF THE SITE ARE LOCATED WITHIN FLOOD HAZARD AREAS 'AE' AND 'X'.

**NPDES PERMIT NOTE:**  
THE MAXIMUM DISTURBED AREA FOR THIS PROJECT IS OVER 1 ACRE. THIS SITE IS CURRENTLY COVERED UNDER PERMIT NUMBER TNR245326.

*Joshua M. Lyon, P.E.*  
JOSHUA M. LYON, P.E.  
PROJECT MANAGER

- EP&S NOTES:**
- AN EROSION PREVENTION SILTATION CONTROL PLAN (EP&S) AND LAND DISTURBANCE PERMIT (IF REQUIRED) SHALL BE IN PLACE PRIOR TO ANY GRADING, CLEARING AND/OR ANY OTHER CONSTRUCTION ACTIVITY. EROSION CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. GENERALLY CONSIDERED TO BE THROUGH THE COMPLETION OF RESTORATION. IF REQUIRED, THE EP&S PLAN ALONG WITH AN INSPECTION CHECKLIST AND STORMWATER PERMIT MUST BE AT THE PROJECT SITE AT ALL TIMES. THE INSPECTION CHECKLIST SHALL HAVE A RECORD OF DATES EP&S DEVICES ARE INSPECTED AND ANY CORRECTION ACTION TAKEN OR MAJOR OBSERVATIONS. BMP'S MUST BE INSPECTED BY A QUALIFIED PERSON WHO HAS TAKEN AN APPROVED EROSION AND SEDIMENTATION COURSE.
  - ALL EP&S DEVICES ARE TO REMAIN IN PLACE UNTIL THE SITE HAS BEEN STABILIZED AND A GOOD STAND OF GRASS HAS BEEN ESTABLISHED.
  - EROSION PREVENTION AND SEDIMENT CONTROLS MUST BE INSPECTED AT LEAST TWICE EVERY CALENDAR WEEK AT LEAST 72 HOURS APART. INSPECTIONS ARE TO BE DOCUMENTED AND KEPT WITH THE SWPPP (IF REQUIRED).
  - SILT FENCE, OR OTHER SEDIMENT BARRIERS ARE TO BE INSTALLED PROPERLY ALONG TOPOGRAPHICAL CONTOURS DOWN SLOPE OF THE AREA TO BE DISTURBED PRIOR TO ANY GRADING, CLEARING AND/OR ANY OTHER CONSTRUCTION ACTIVITY.
  - EXCAVATED TOPSOIL TO BE REUSED MUST BE STOCKPILED AND ENCLOSED WITH SILT FENCING.
  - THIS SITE SHALL CONTAIN A TEMPORARY STONE CONSTRUCTION ENTRANCE THAT CONFORMS TO REQUIRED SPECIFICATIONS PRIOR TO GRADING COMMENCEMENT. THE STONE SHALL BE 2 TO 3 INCH IN DIAMETER AND SHALL BE KEPT CLEAN BY ADDING STONE AS NEEDED. IT SHALL BE AT LEAST 8 INCHES DEEP UNDERLAIN WITH FILTER FABRIC AND 20 FEET WIDE.
  - APPROVED INLET PROTECTIONS FOR NEARBY STORM SEWER CURB AND DROP INLETS MUST BE INSTALLED WITHIN 24 HOURS OF GRADING COMMENCEMENT.
  - VEGETATIVE BUFFERS OR OTHER PROTECTION MUST BE PROVIDED ALONG STREAMS, RIVERS, AND PONDS TO AVOID EROSION OF BANKS.
  - STABILIZATION MEASURES MUST BE PERFORMED WITHIN SEVEN (7) DAYS IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, AND WITHIN FIFTEEN (15) DAYS AFTER FINAL GRADING.
  - ALL TREES DESIGNATED TO REMAIN, MUST BE PROTECTED. HEAVY EQUIPMENT SHOULD NOT BE OPERATED OR STORED, NOR MATERIALS HANDLED OR STORED, WITHIN THE DRIP LINES OF TREES.
  - SEDIMENT MUST BE REMOVED FROM SEDIMENT BARRIERS, PONDS, AND OTHER SEDIMENT CONTROLS WHEN DESIGN CAPACITY HAS BEEN REACHED BY 50%.
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**CALL BEFORE YOU DIG**

CALL 811 NATIONWIDE

Know what's below. Call before you dig.

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**LEGEND:**

— 6"	PROPERTY LINE	⊙	MANHOLE	— 25.42"	PIPE INVERT
— 8"	EXISTING WATER LINE	⊙	CLEAN OUT	○	SPOT ELEVATION
— 12"	EXISTING SEWER LINE	⊙	POWER POLE	— 28.14"	
— 18"	EXISTING ELECTRIC LINE	⊙	WATER METER		
—	NEW CURB	⊙	FIRE HYDRANT		
—	NEW SILT FENCE	⊙	IRON ROD OLD		
—	EXISTING 5' CONTOUR	⊙	IRON ROD NEW		
—	EXISTING 1' CONTOUR	⊙			
—	NEW 1' CONTOUR	⊙			
—	SEMO LINE	⊙			



**NOT FOR CONSTRUCTION**

**KLOBER ENGINEERING SERVICES**

SEVERING CLIENTS WITH CIVIL ENGINEERING & LAND DEVELOPMENT SERVICES  
3556 TONYA WAY, ASHLAND CITY, TN 37105  
PHONE: (615) 382-2000 FAX: (615) 371-4488  
www.klobereing.com

NO.	DATE	REVISIONS	DESCRIPTION

**OSHA 10 HOUR**

JOSHUA M. LYON, P.E. TN#112331

**ACE RETAIL CENTER**

1209 TN HWY-12 SOUTH  
ASHLAND CITY, TN 37015  
CHEATHAM COUNTY

DRAWN BY:	CIN
CHECKED BY:	JML
DATE:	5/7/24
PROJECT NO.:	C02624

**EXISTING CONDITIONS**

SHEET NUMBER  
**C1.00**

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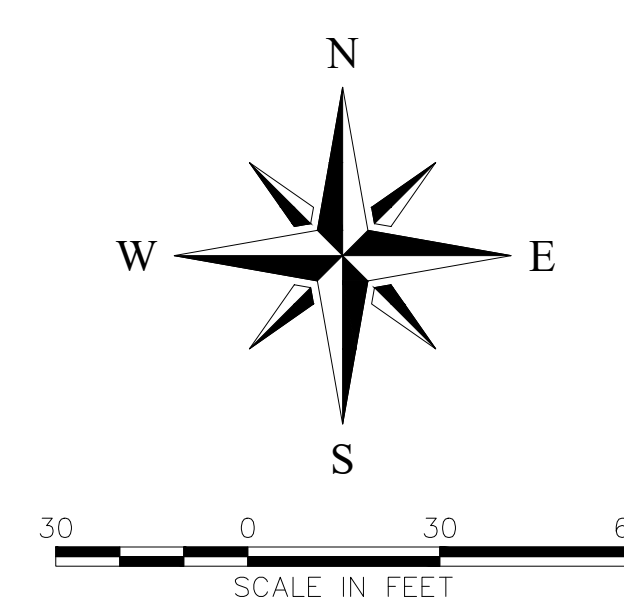
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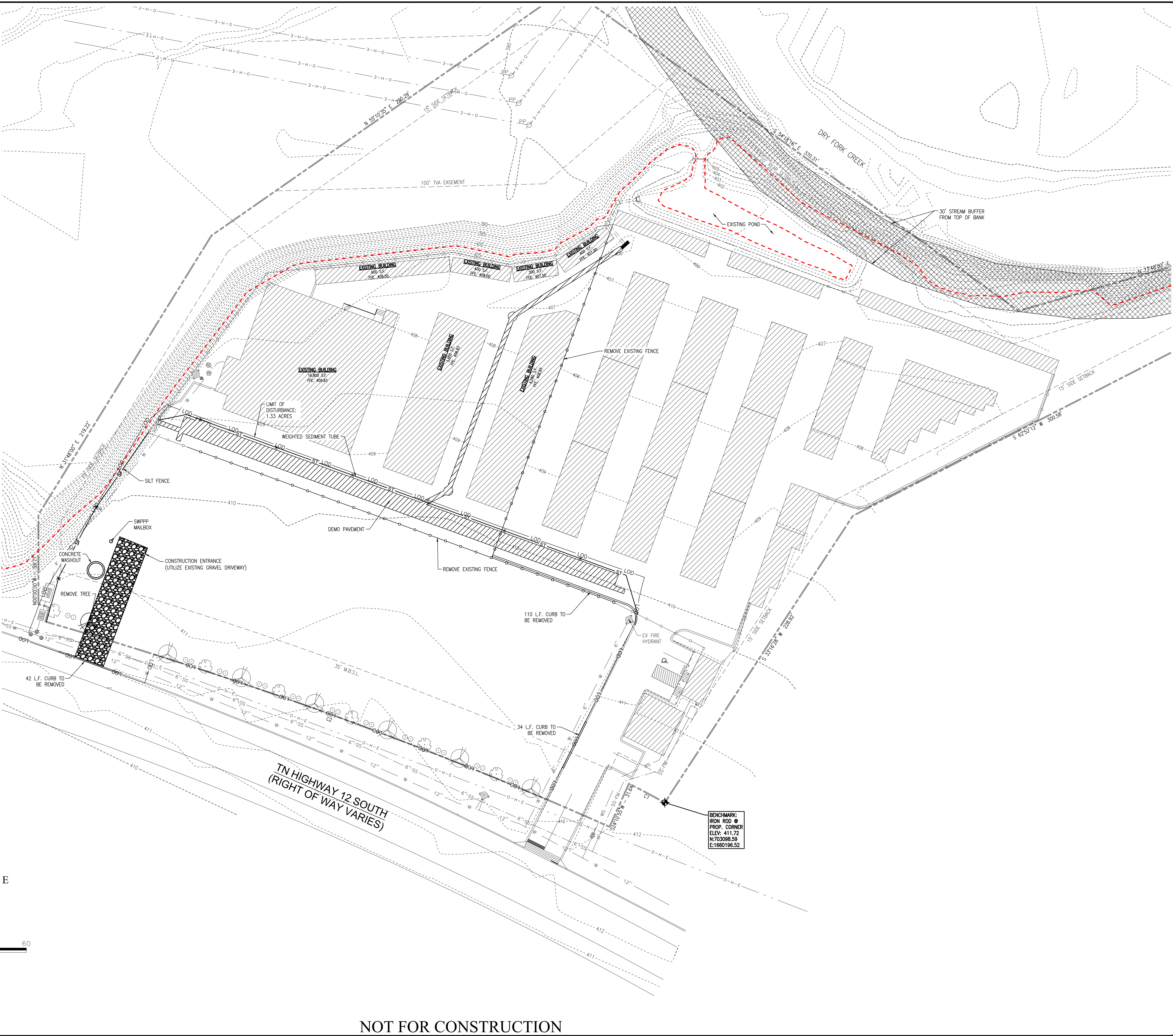
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**LEGEND:**

—	PROPERTY LINE	—	MANHOLE
—	EXISTING WATER LINE	○	CLEAN OUT
—	EXISTING SEWER LINE	○	POWER POLE
—	OVERHEAD ELECTRIC LINE	○	WATER METER
—	NEW CURB	○	FIRE HYDRANT
—	SILT FENCE	○	IRON ROD OLD
—	NEW CURB	○	IRON ROD NEW
—	EXISTING 5' CONTOUR	—	INVERT
—	EXISTING 1' CONTOUR	—	SPOT ELEVATION
—	NEW 1' CONTOUR	—	SLOPE DIRECTION
—	DEMO LINE		



**KLOBER ENGINEERING SERVICES**

SERVING CLIENTS WITH CIVIL ENGINEERING & LAND DEVELOPMENT SERVICES  
 3556 TOLSON TORCH BLVD. SUITE 300  
 ASHLAND CITY, TN 37105  
 PHONE: (615) 382-2000 FAX: (615) 371-4488  
 www.klobereg.com

NO.	DATE	DESCRIPTION

**JOSHUA M. LYON, P.E.**  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF TENNESSEE  
 LICENSE NO. 34824

**ACE RETAIL CENTER**

1209 TN HWY 12 SOUTH  
 ASHLAND CITY, TN 37105  
 CHEATHAM COUNTY

DRAWN BY: CIN  
 CHECKED BY: JML  
 DATE: 5/7/24  
 PROJECT NO.: C02624

**INITIAL EP&SC PLAN**

SHEET NUMBER  
**C1.01**

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PROPOSED IMPERVIOUS AREA: 115,528 S.F. = 20.00%

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**GENERAL NOTES:**

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2. ALL CONSTRUCTION ON THIS SITE SHALL COMPLY WITH APPLICABLE REGULATIONS AS SPECIFIED BY THE CITY OF MILLERSVILLE AND THE STATE OF TENNESSEE.
3. TOPSOIL SHALL BE PLACED ON EXCAVATED AREAS WHICH REQUIRE NEW VEGETATION. GROUND COVER SHALL BE RE-ESTABLISHED WITH KENTUCKY 31 FESCUE SEED AT A MINIMUM OF 250 LBS. PER ACRE. SLOPES 3:1 OR GREATER SHALL BE LINED WITH NORTH AMERICAN GREEN S150 GRASS MATTING OR EQUAL.
4. SILT FENCE SHALL BE INSTALLED IN ALL EROSION AREAS WHICH COULD ALLOW UNRETAINED STORMWATER RUNOFF TO BE DISCHARGED FROM THE PROPERTY. ALL EROSION CONTROL MEASURES SHALL BE CONSISTENT WITH THE PROVISIONS DESCRIBED IN THE MOST CURRENT EDITION OF THE TENNESSEE EROSION & SEDIMENT CONTROL HANDBOOK.
5. THE STORMWATER RUNOFF CALCULATIONS ON THIS SITE HAVE BEEN PERFORMED USING THE U.S. SOIL CONSERVATION SERVICE TR-55 METHOD. STORMWATER POND HAS BEEN SIZED TO HANDLE A 25 AND 100 YEAR STORM EVENT.
6. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS TAKEN FROM A SURVEY BY CHANDLER SURVEYING OF PLEASANT VIEW, TN.
7. CONSTRUCTION WILL BEGIN FOLLOWING PLAN APPROVAL BY THE CITY OF ASHLAND CITY.
8. ANY DUMPSTER SHALL BE FULLY ENCLOSED, MATCHING THE FACADE OF THE BUILDING, AND A WOODEN PRIVACY FENCE GATE THAT IS 8 FEET HIGH ON ALL SIDES AND ALL SERVICE BOXES AND MECHANICALS TO BE IN THE REAR OF THE BUILDING.
9. ALL ADDITIONS IN THE FUTURE MUST BE BUILT TO THESE STANDARDS.
10. ACCORDING TO MAP 42021C0176, DATED 02/26/2021, PORTIONS OF THE SITE ARE LOCATED WITHIN FLOOD HAZARD AREAS 'AE' AND 'X'.

**NPDES PERMIT NOTE:**

THE MAXIMUM DISTURBED AREA FOR THIS PROJECT IS OVER 1 ACRE. THIS SITE IS CURRENTLY COVERED UNDER PERMIT NUMBER TMR245326.

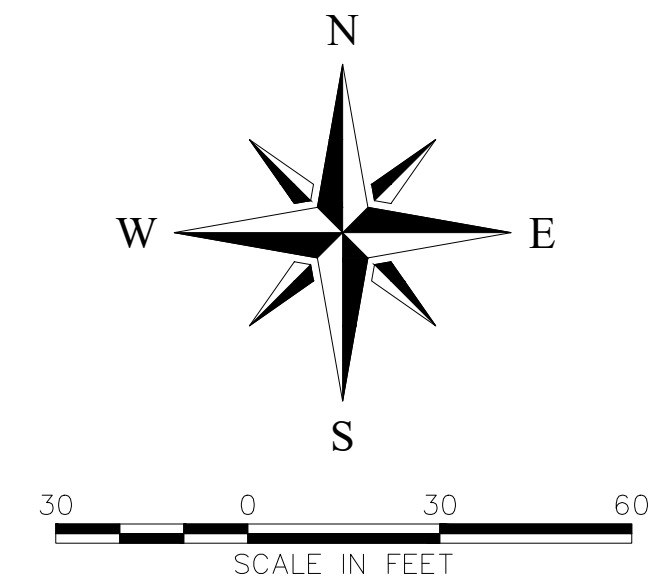
*Joshua M. Lyon*  
JOSHUA M. LYON, P.E.  
PROJECT MANAGER

**EP&SC NOTES:**

1. AN EROSION PREVENTION SILTATION CONTROL PLAN (EP&SC) AND LAND DISTURBANCE PERMIT (IF REQUIRED) SHALL BE IN PLACE PRIOR TO ANY GRADING, CLEARING AND/OR ANY OTHER CONSTRUCTION ACTIVITY. EROSION CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. GENERALLY CONSIDERED TO BE THROUGH THE COMPLETION OF RESTORATION. IF REQUIRED, THE EP&SC PLAN ALONG WITH AN INSPECTION CHECKLIST AND STORMWATER PERMIT MUST BE AT THE PROJECT SITE AT ALL TIMES. THE INSPECTION CHECKLIST SHALL HAVE A RECORD OF DATES EP&SC DEVICES ARE INSPECTED AND ANY CORRECTION ACTION TAKEN OR MAJOR OBSERVATIONS. BMP'S MUST BE INSPECTED BY A QUALIFIED PERSON WHO HAS TAKEN AN APPROVED EROSION AND SEDIMENTATION COURSE.
2. ALL EP&SC DEVICES ARE TO REMAIN IN PLACE UNTIL THE SITE HAS BEEN STABILIZED AND A GOOD STAND OF GRASS HAS BEEN ESTABLISHED.
3. EROSION PREVENTION AND SEDIMENT CONTROLS MUST BE INSPECTED AT LEAST TWICE EVERY CALENDAR WEEK AT LEAST 72 HOURS APART. INSPECTIONS ARE TO BE DOCUMENTED AND KEPT WITH THE SWPPP (IF REQUIRED).
4. SILT FENCE, OR OTHER SEDIMENT BARRIERS ARE TO BE INSTALLED PROPERLY ALONG TOPOGRAPHICAL CONTOURS DOWN SLOPE OF THE AREA TO BE DISTURBED PRIOR TO ANY GRADING, CLEARING AND/OR ANY OTHER CONSTRUCTION ACTIVITY.
5. EXCAVATED TOPSOIL TO BE REUSED MUST BE STOCKPILED AND ENCLOSED WITH SILT FENCING.
6. THIS SITE SHALL CONTAIN A TEMPORARY STONE CONSTRUCTION ENTRANCE THAT CONFORMS TO REQUIRED SPECIFICATIONS PRIOR TO GRADING COMMENCEMENT. THE STONE SHALL BE 2 TO 3 INCH IN DIAMETER AND SHALL BE KEPT CLEAN BY ADDING STONE AS NEEDED. IT SHALL BE AT LEAST 8 INCHES DEEP UNDERLAIN WITH FILTER FABRIC AND 20 FEET WIDE.
7. APPROVED INLET PROTECTIONS FOR NEARBY STORM SEWER CURB AND DROP INLETS MUST BE INSTALLED WITHIN 24 HOURS OF GRADING COMMENCEMENT.
8. VEGETATIVE BUFFERS OR OTHER PROTECTION MUST BE PROVIDED ALONG STREAMS, RIVERS, AND PONDS TO AVOID EROSION OF BANKS.
9. STABILIZATION MEASURES MUST BE PERFORMED WITHIN SEVEN (7) DAYS IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, AND WITHIN FIFTEEN (15) DAYS AFTER FINAL GRADING.
10. ALL TREES DESIGNATED TO REMAIN, MUST BE PROTECTED. HEAVY EQUIPMENT SHOULD NOT BE OPERATED OR STORED, NOR MATERIALS HANDLED OR STORED, WITHIN THE DRIP LINES OF TREES.
11. SEDIMENT MUST BE REMOVED FROM SEDIMENT BARRIERS, PONDS, AND OTHER SEDIMENT CONTROLS WHEN DESIGN CAPACITY HAS BEEN REACHED BY 50%.
12. SEDIMENT THAT HAS ESCAPED THE CONSTRUCTION SITE AND HAS COLLECTED IN THE STREET OR DRAINAGE STRUCTURES MUST IMMEDIATELY BE PHYSICALLY REMOVED.
13. BUILDING AND WASTE MATERIALS, AND NON STORM WATER DISCHARGES, SUCH AS CONCRETE, PAINT WASH WATER, OR MACHINERY LEAKAGE, OR SPILLAGE MUST BE MANAGED TO PREVENT THEM FROM ENTERING THE STORM WATER SYSTEM, GROUND WATER, OR NEARBY WATER BODY.
14. THE PROJECT IS SUBJECT TO INSPECTION BY THE CITY AT ANY TIME AND ITEMS FOUND DEFICIENT SHALL BE IMMEDIATELY CORRECTED. THE CITY MAY STOP CONSTRUCTION OR PROPERTIES, OR ADMINISTER OTHER ENFORCEMENT ACTIONS AS DEFINED BY THE CITY.

**CALL BEFORE YOU DIG**

811 CALL NATIONWIDE  
Know what's below. Call before you dig.  
IF IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UTILITY LOCATIONS, THESE PLANS ARE APPROXIMATE AND POSSIBLY INCOMPLETE. THEREFORE, CONSTRUCTION TO THE LOCATION OF ALL UNDERGROUND UTILITIES IS WARRANTEED.



**LEGEND:**

- PROPERTY LINE
- EXISTING WATER LINE
- EXISTING SEWER LINE
- OVERHEAD ELECTRIC LINE
- FENCE
- NEW CURB
- SILT FENCE
- EXISTING 3' CONTOUR
- EXISTING 1' CONTOUR
- NEW 1' CONTOUR
- SEMO LINE
- MANHOLE
- CLEAN OUT
- POWER POLE
- WATER METER
- FIRE HYDRANT
- IRON ROD OLD
- IRON ROD NEW
- 11"-25.42 PIPE INVERT
- 28.14 SPOT ELEVATION
- SLOPE DIRECTION

**TDOT DRAINAGE NOTE:**

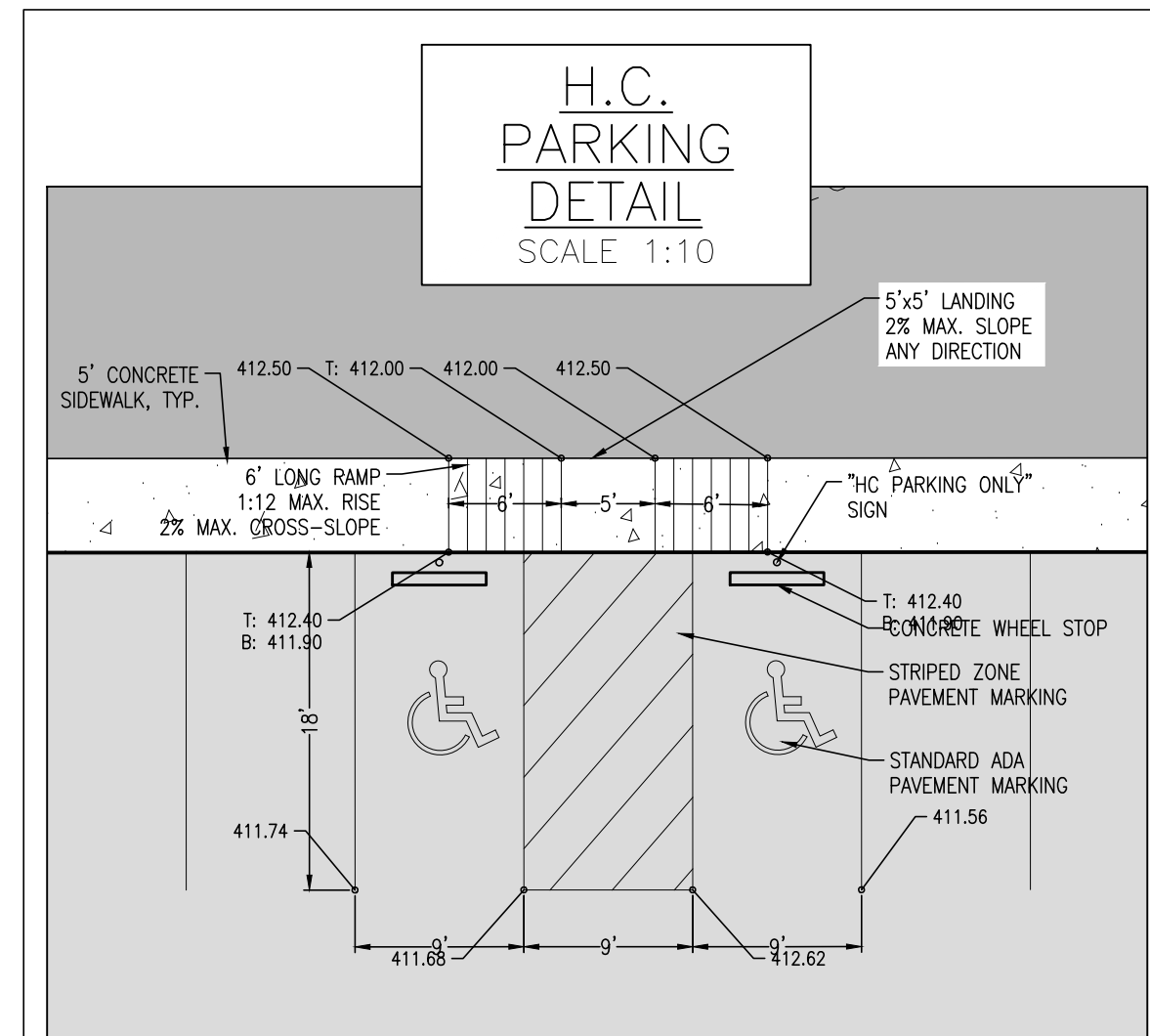
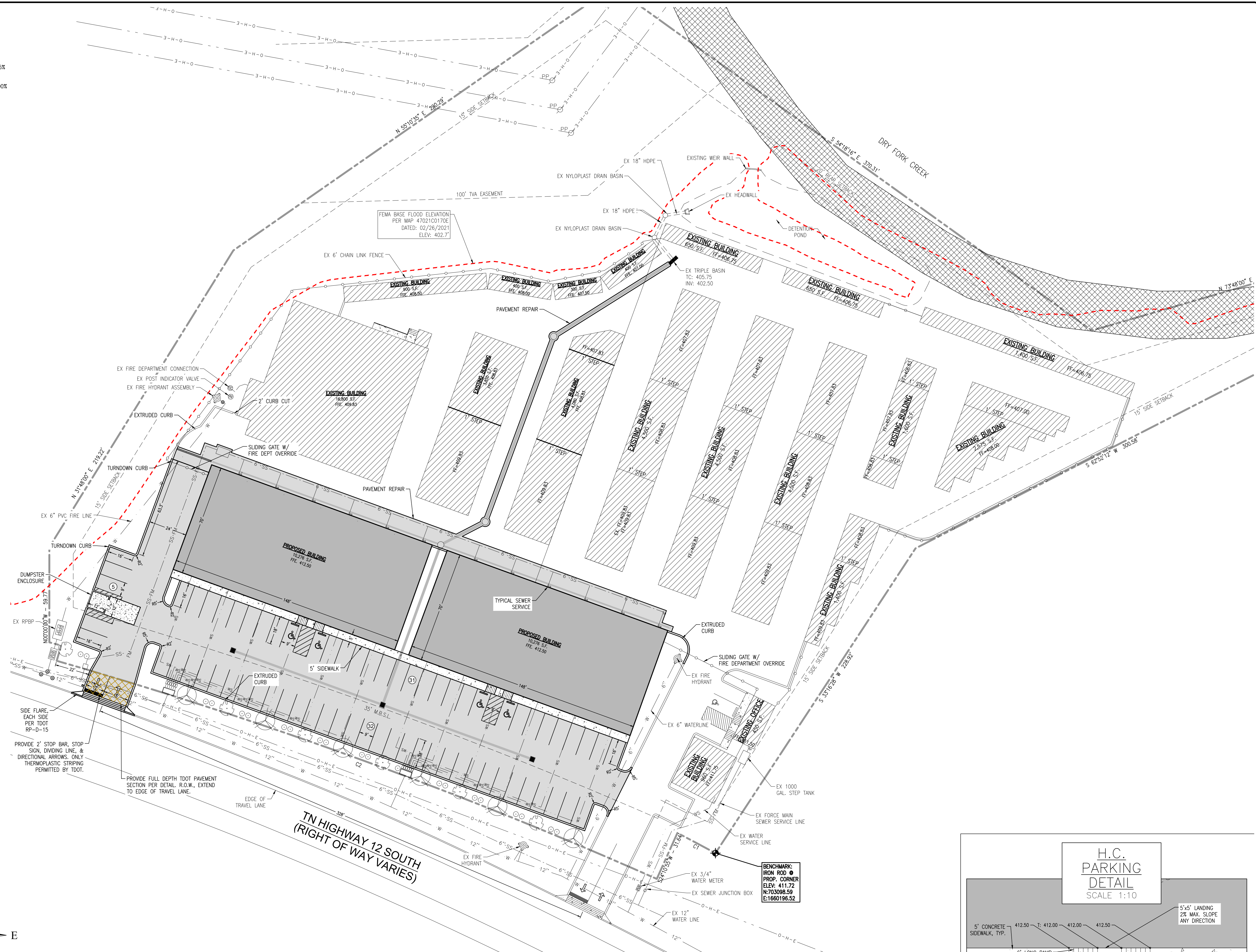
THERE WILL BE NO INCREASE IN THE  $Q_{90}$  RUNOFF FROM THE DEVELOPMENT ONTO THE STATE R.O.W.

050 POST: 27.00 CFS  
050 POST: 23.68 CFS  
0100 PRE: 30.24 CFS  
0100 POST: 26.20 CFS

**SIGHT DISTANCE NOTE:**

THIS SITE COMPLIES WITH THE AASHTO GREENBOOK INTERSECTION SITE DISTANCE.

**NOT FOR CONSTRUCTION**



**KLOBER ENGINEERING SERVICES**  
SERVING CLIENTS WITH CIVIL ENGINEERING & LAND DEVELOPMENT SERVICES  
3596 TOWN SQUARE DRIVE, ASHLAND CITY, TN 37015  
PHONE: (615) 382-2000 FAX: (615) 379-4488  
www.klobereing.com

NO.	DATE	DESCRIPTION

Professional Engineer Seal for Joshua M. Lyon, P.E., No. TN#112331, State of Tennessee.

**ACE RETAIL CENTER**  
1209 TN HWY-12 SOUTH  
ASHLAND CITY, TN 37015  
CHEATHAM COUNTY

DRAWN BY: CJC  
CHECKED BY: JML  
DATE: 5/7/24  
PROJECT NO.: C02624  
**SITE PLAN**  
SHEET NUMBER  
**C1.02**

REPRODUCTION OF THESE DRAWINGS OR ANY PART THEREOF IS PROHIBITED WITHOUT WRITTEN APPROVAL OF KLOBER ENGINEERING SERVICES. THESE DRAWINGS ARE PROTECTED BY U.S. COPYRIGHT LAWS AND VIOLATORS ARE SUBJECT TO LEGAL RECOURSE.

**PRESENT OWNER:**  
 MARK & TONYA YARBROUGH  
 400 WARIOTO WAY #708  
 ASHLAND CITY, TN 37105

**DEED REFERENCE:**  
 MAP 55, PARCEL 36  
 LEE BAXSON COMMERCIAL LOTS - LOT 1

**PROPERTY INFORMATION:**  
 AREA: 226,164 S.F. = 5.19 ACRES

**ZONING:**  
 COMMERCIAL C-2

**SITE USE:**  
 EXISTING USE: MINI STORAGE  
 PROPOSED USE: GENERAL RETAIL,  
 PROFESSIONAL SERVICES-NON MEDICAL

**SIGN NOTE:**  
 ALL SIGNS SHALL COMPLY WITH THE  
 MOST CURRENT EDITION OF THE  
 ASHLAND CITY ZONING ORDINANCE.  
 SEPARATE PERMIT REQUIRED.

**SECURITY GATE:**  
 SECURITY GATES OR BARRIERS SHALL BE EQUIPPED WITH A RADIO  
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 DEPARTMENT, SHERIFF'S DEPARTMENT (IF THE GATED FACILITY OR COMMUNITY IS IN  
 THE COUNTY), FIRE DEPARTMENT, UTILITY AND EMERGENCY MEDICAL SERVICES' RADIO  
 TRANSMITTERS SERVING THE GATED FACILITY OR COMMUNITY WHICH ALLOW EMERGENCY  
 RESPONDERS AND OTHER NECESSARY ON-DUTY EMPLOYEES TO OPEN THE SECURITY  
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 MUST MEET POLICIES DEEMED NECESSARY BY THE AUTHORITY HAVING JURISDICTION  
 OVER THE GATED FACILITY OR COMMUNITY FOR RAPID, RELIABLE, AND MUTUAL AID  
 ACCESS. SUCH EQUIPMENT SHALL BE FURNISHED, INSTALLED AND MAINTAINED BY THE  
 GATED FACILITY OR COMMUNITY THAT IS SERVED BY SUCH EQUIPMENT.

**LOT COVERAGE:**  
 EXISTING BUILDING AREA = 49,755 S.F.  
 NEW BUILDING AREA = 20,552 S.F.  
 BUILDING COVERAGE = 31.1%  
 PROPOSED BUILDING HEIGHT: 33'-1"  
 MAX BUILDING HEIGHT: 40'-0"  
 EXISTING CONCRETE SURFACE: ±350 S.F.  
 EXISTING ASPHALT SURFACE: ±59,926 S.F.  
 EXISTING IMPERVIOUS AREA: ±110,031 S.F. = 48.65%  
 PROPOSED ASPHALT SURFACE: ±23,008 S.F.  
 PROPOSED IMPERVIOUS AREA: ±1,528 S.F.  
 PROPOSED IMPERVIOUS AREA: ±45,088 S.F. = 20.00%

**PARKING INFORMATION:**  
 REQUIRED PARKING:  
 GENERAL RETAIL: 11,000/250 = 44 SPACES  
 PROFESSIONAL SERVICES: 9,582/400 = 24 SPACES  
 TOTAL PARKING: 68 SPACES,  
 INCLUDING 4 HANDICAP SPACES

**UTILITY NOTE:**  
 COORDINATE ALL UTILITY INSTALLATIONS  
 WITH GOVERNING ENTITIES.

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**NPDES PERMIT NOTE:**  
 THE MAXIMUM DISTURBED AREA FOR THIS PROJECT IS OVER 1 ACRE. THIS SITE IS CURRENTLY COVERED UNDER PERMIT NUMBER TNR245326.

*Joshua M. Lyon, P.E.*  
 JOSHUA M. LYON, P.E.  
 PROJECT MANAGER

- EP&C NOTES:**
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**CALL BEFORE YOU DIG**

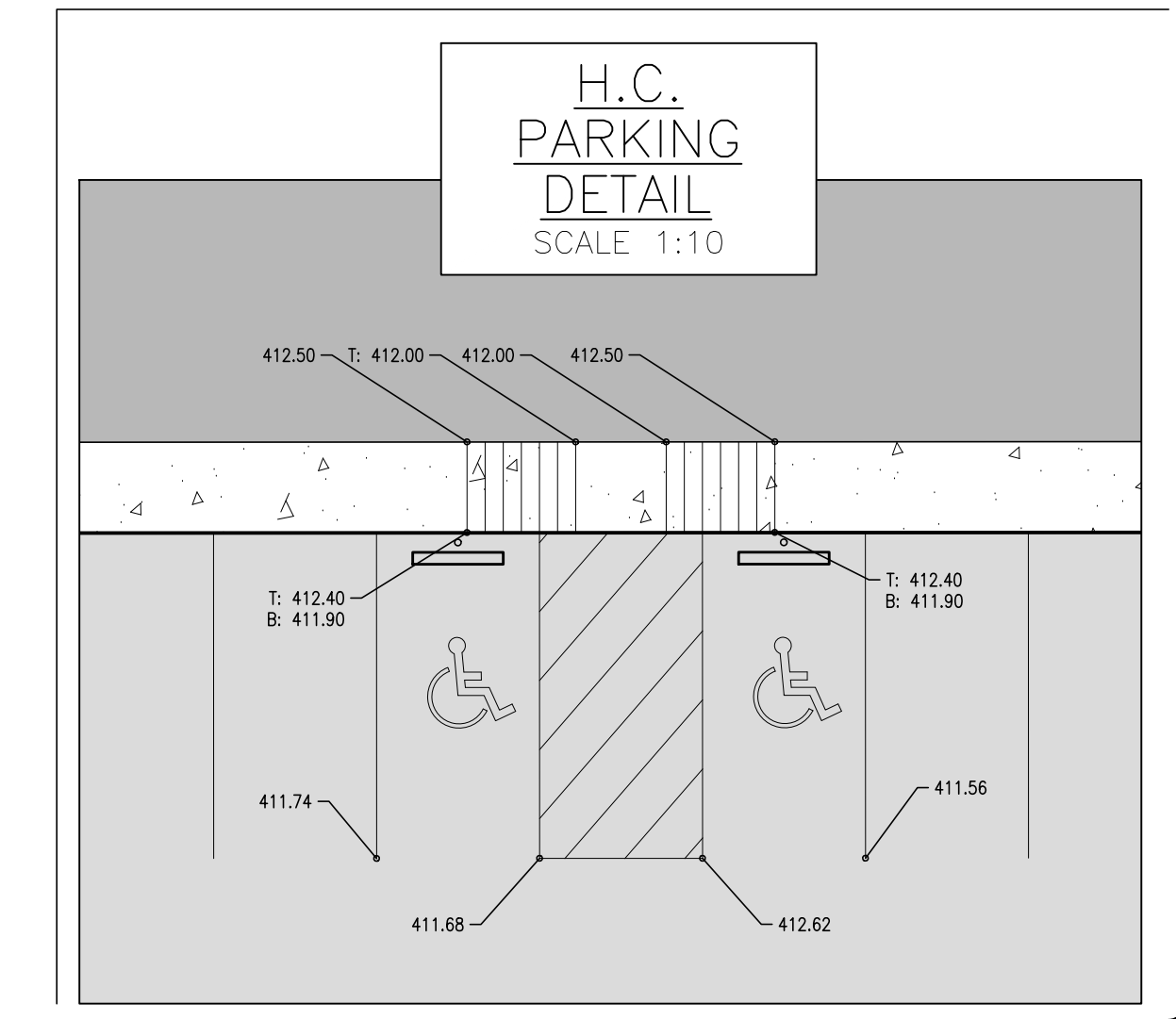
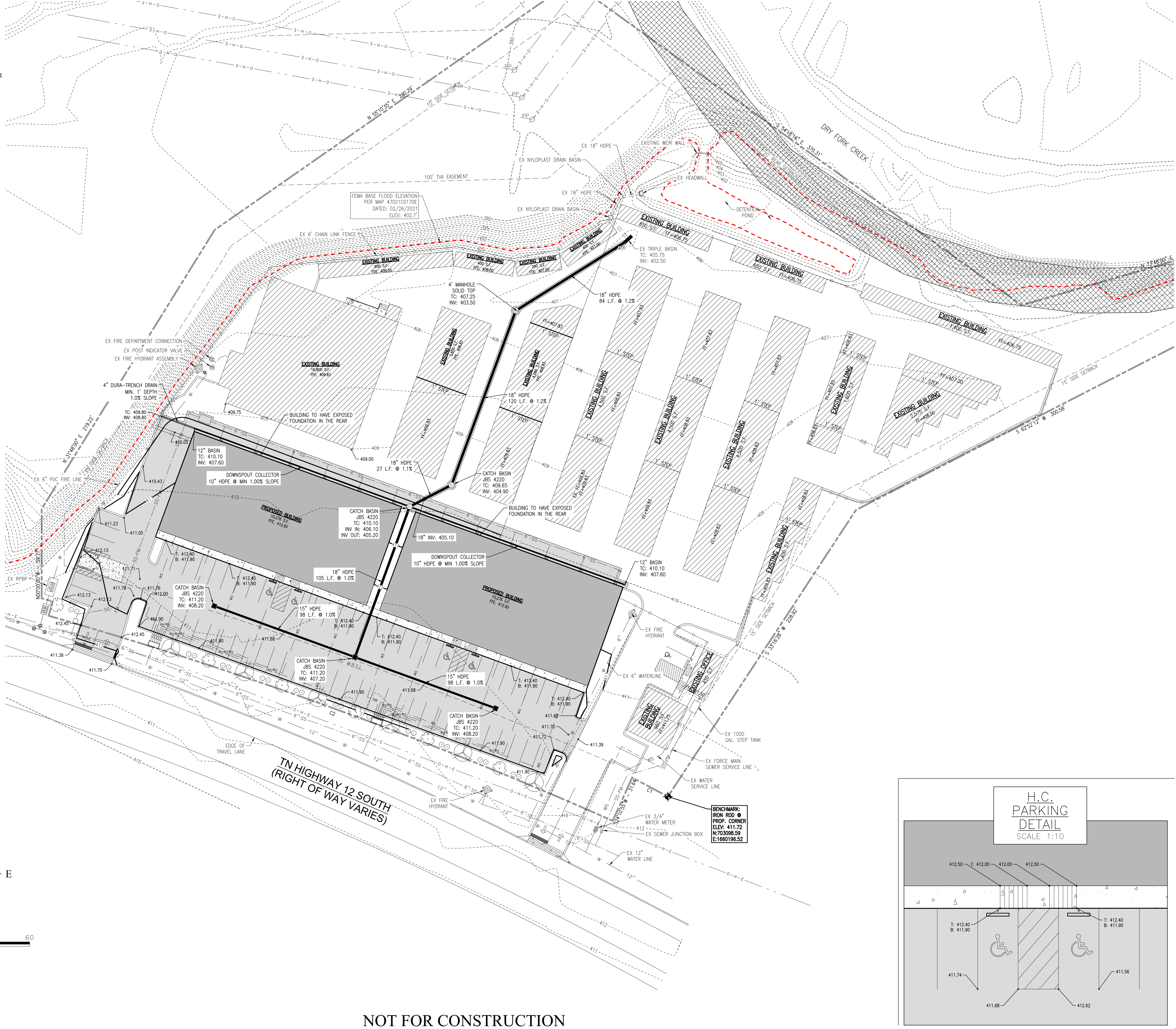
CALL 811 NATIONWIDE

Know what's below.  
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**LEGEND:**

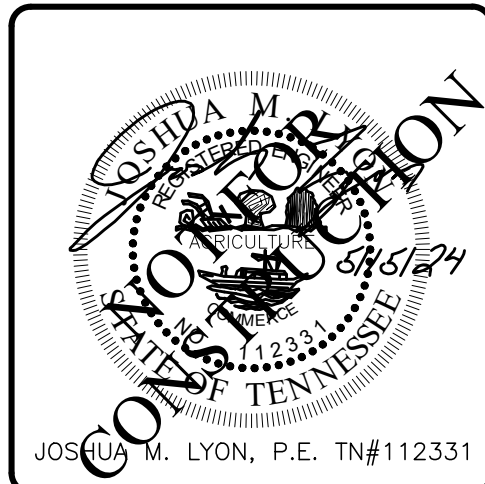
- - - PROPERTY LINE
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**KLOBER ENGINEERING SERVICES**

SEVERING CLIENTS WITH CIVIL ENGINEERING & LAND DEVELOPMENT SERVICES  
 3856 TONNERS ROAD, MILLERSVILLE, TN 37105  
 PHONE: (615) 382-2000 FAX: (615) 371-4488  
 www.klobereng.com

NO.	DATE	DESCRIPTION



**ACE RETAIL CENTER**

1209 TN HWY-12 SOUTH  
 ASHLAND CITY, TN 37015  
 CHEATHAM COUNTY

DRAWN BY: CIN  
 CHECKED BY: JML  
 DATE: 5/7/24  
 PROJECT NO.: C02624

**GRADING & DRAINAGE PLAN**

SHEET NUMBER  
**C1.03**

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**NOT FOR CONSTRUCTION**

**PRESENT OWNER:**  
 MARK & TONY YARBROUGH  
 400 WARIOTO WAY #708  
 ASHLAND CITY, TN 37105

**DEED REFERENCE:**  
 MAP 55, PARCEL 36  
 LEE HANSON COMMERCIAL LOTS - LOT 1

**PROPERTY INFORMATION:**  
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**ZONING:**  
 COMMERCIAL C-2

**SITE USE:**  
 EXISTING USE: MINI STORAGE  
 PROPOSED USE: GENERAL RETAIL,  
 PROFESSIONAL SERVICES-NON MEDICAL

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TOTAL PARKING: 68 SPACES,  
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**UTILITY NOTE:**  
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 WITH GOVERNING ENTITIES.

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**NPDES PERMIT NOTE:**  
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**EPASC NOTES:**

- AN EROSION PREVENTION SALTATION CONTROL PLAN (EPASC) AND LAND DISTURBANCE PERMIT (IF REQUIRED) SHALL BE IN PLACE PRIOR TO ANY GRADING, CLEARING AND/OR ANY OTHER CONSTRUCTION ACTIVITY. EROSION CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. GENERALLY CONSIDERED TO BE THROUGH THE COMPLETION OF RESTORATION. IF REQUIRED, THE EPASC PLAN ALONG WITH AN INSPECTION CHECKLIST AND STORMWATER PERMIT MUST BE AT THE PROJECT SITE AT ALL TIMES. THE INSPECTION CHECKLIST SHALL HAVE A RECORD OF DATES EPASC DEVICES ARE INSPECTED AND ANY CORRECTION ACTION TAKEN OR MAJOR OBSERVATIONS. BMP'S MUST BE INSPECTED BY A QUALIFIED PERSON WHO HAS TAKEN AN APPROVED EROSION AND SEDIMENTATION COURSE.
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- SILT FENCE, OR OTHER SEDIMENT BARRIERS ARE TO BE INSTALLED PROPERLY ALONG TOPOGRAPHICAL CONTOURS DOWN SLOPE OF THE AREA TO BE DISTURBED PRIOR TO ANY GRADING, CLEARING AND/OR ANY OTHER CONSTRUCTION ACTIVITY.
- EXCAVATED TOPSOIL TO BE REUSED MUST BE STOCKPILED AND ENCLOSED WITH SILT FENCING.
- THIS SITE SHALL CONTAIN A TEMPORARY STONE CONSTRUCTION ENTRANCE THAT CONFORMS TO REQUIRED SPECIFICATIONS PRIOR TO GRADING COMMENCEMENT. THE STONE SHALL BE 2 TO 3 INCH IN DIAMETER AND SHALL BE KEPT CLEAN BY ADDING STONE AS NEEDED. IT SHALL BE AT LEAST 8 INCHES DEEP UNDERLAIN WITH FILTER FABRIC AND 20 FEET WIDE.
- APPROVED INLET PROTECTIONS FOR NEARBY STORM SEWER CURB AND DROP INLETS MUST BE INSTALLED WITHIN 24 HOURS OF GRADING COMMENCEMENT.
- VEGETATIVE BUFFERS OR OTHER PROTECTION MUST BE PROVIDED ALONG STREAMS, RIVERS, AND PONDS TO AVOID EROSION OF BANKS.
- STABILIZATION MEASURES MUST BE PERFORMED WITHIN SEVEN (7) DAYS IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, AND WITHIN FIFTEEN (15) DAYS AFTER FINAL GRADING.
- ALL TREES DESIGNATED TO REMAIN, MUST BE PROTECTED. HEAVY EQUIPMENT SHOULD NOT BE OPERATED OR STORED, NOR MATERIALS HANDLED OR STORED, WITHIN THE DRIP LINES OF TREES.
- SEDIMENT MUST BE REMOVED FROM SEDIMENT BARRIERS, PONDS, AND OTHER SEDIMENT CONTROLS WHEN DESIGN CAPACITY HAS BEEN REACHED BY 50%.
- SEDIMENT THAT HAS ESCAPED THE CONSTRUCTION SITE AND HAS COLLECTED IN THE STREET OR DRAINAGE STRUCTURES MUST IMMEDIATELY BE PHYSICALLY REMOVED.
- BUILDING AND WASTE MATERIALS AND NON STORM WATER DISCHARGES, SUCH AS CONCRETE, PAINT WASH WATER, OR MACHINERY LEAKAGE, OR SPILLAGE MUST BE MANAGED TO PREVENT THEM FROM ENTERING THE STORM WATER SYSTEM, GROUND WATER, OR NEARBY WATER BODY.
- THE PROJECT IS SUBJECT TO INSPECTION BY THE CITY AT ANY TIME AND ITEMS FOUND DEFICIENT SHALL BE IMMEDIATELY CORRECTED. THE CITY MAY STOP CONSTRUCTION OR PROPERTIES, OR ADMINISTER OTHER ENFORCEMENT ACTIONS AS DEFINED BY THE CITY.

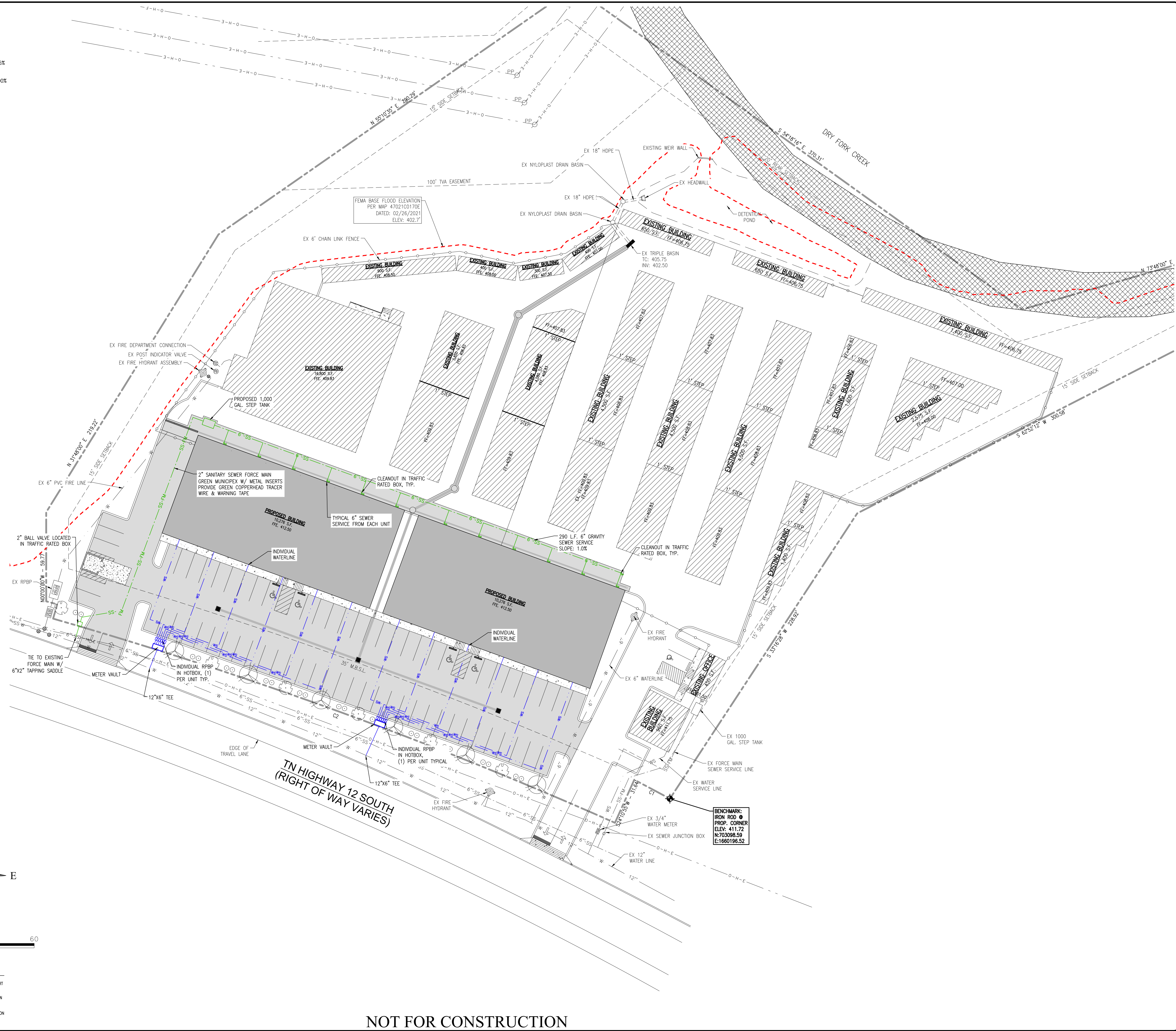
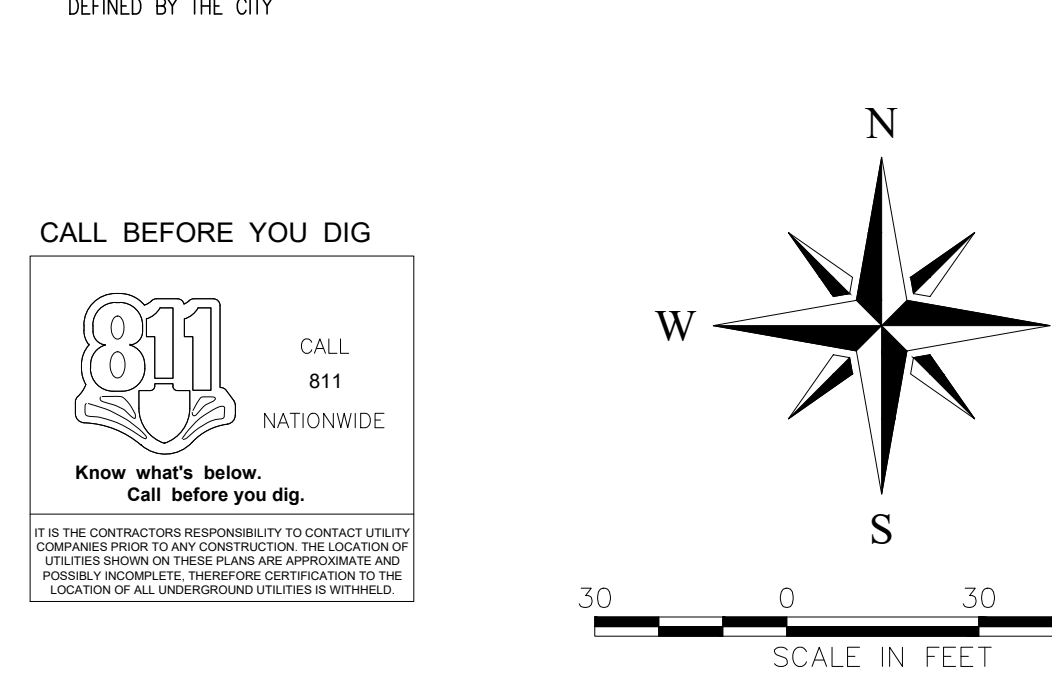
**CALL BEFORE YOU DIG**

CALL 811 NATIONWIDE  
 Know what's below. Call before you dig.

IF THE CONTRACTORS RESPONSIBILITY TO CONTACT UTILITY LOCATORS IS NOT SHOWN ON THESE PLANS ARE APPROXIMATE AND POSSIBLY INCOMPLETE. THEREFORE CONSTRUCTION TO THE LOCATION OF ALL UNDERGROUND UTILITIES IS WITHHELD.

**LEGEND:**

	PROPERTY LINE		MANHOLE
	EXISTING WATER LINE		CLEAN OUT
	EXISTING SEWER LINE		POWER POLE
	OVERHEAD ELECTRIC LINE		WATER METER
	FENCE		FIRE HYDRANT
	NEW CURB		IRON ROD OLD
	NEW SILT FENCE		IRON ROD NEW
	EXISTING 3' CONTOUR		INVERT
	EXISTING 1' CONTOUR		SPOT ELEVATION
	NEW 1' CONTOUR		SLOPE DIRECTION
	DOTTED LINE		



**811**  
 CALL 811 NATIONWIDE  
 Know what's below. Call before you dig.

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 3556 TOWN OF ASHLAND RD. #31717  
 ASHLAND, TN 37105  
 PHONE: (615) 382-2000 FAX: (615) 371-4488  
 www.klobere.com

NO.	DATE	REVISIONS	DESCRIPTION

**JOSHUA M. LYON, P.E.**  
 PROJECT MANAGER

OSHA  
 SAFETY  
 TRAINING  
 CENTER

JOSHUA M. LYON, P.E. TN#112331

**ACE RETAIL CENTER**

1209 TN HWY-12 SOUTH  
 ASHLAND CITY, TN 37105  
 CHEATHAM COUNTY

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**GRADING & DRAINAGE PLAN**

SHEET NUMBER  
**C1.04**

DRAWN BY: CJC  
 CHECKED BY: JML  
 DATE: 5/7/24  
 PROJECT NO.: C02624

NOT FOR CONSTRUCTION

**PRESENT OWNER:**  
 MARK & TONYA YARBROUGH  
 400 WARIOTO WAY #708  
 ASHLAND CITY, TN 37105

**DEED REFERENCE:**  
 MAP 55, PARCEL 36  
 LEE EATSON COMMERCIAL LOTS - LOT 1

**PROPERTY INFORMATION:**  
 AREA: 226,164 S.F. = 5.19 ACRES

**ZONING:**  
 COMMERCIAL C-2

**SITE USE:**  
 EXISTING USE: MINI STORAGE  
 PROPOSED USE: GENERAL RETAIL,  
 PROFESSIONAL SERVICES-NON MEDICAL

**SIGN NOTE:**  
 ALL SIGNS SHALL COMPLY WITH THE  
 MOST CURRENT EDITION OF THE  
 ASHLAND CITY ZONING ORDINANCE.  
 SEPARATE PERMIT REQUIRED.

**SECURITY GATE:**  
 SECURITY GATES OR BARRIERS SHALL BE EQUIPPED WITH A RADIO  
 OPERATED RECEIVER/CONTROLLER CAPABLE OF RECEIVING SIGNALS FROM A POLICE  
 DEPARTMENT, SHERIFF'S DEPARTMENT (IF THE GATED FACILITY OR COMMUNITY IS IN  
 THE COUNTY), FIRE DEPARTMENT, UTILITY AND EMERGENCY MEDICAL SERVICES' RADIO  
 TRANSMITTERS SERVING THE GATED FACILITY OR COMMUNITY WHICH ALLOW EMERGENCY  
 RESPONDERS AND OTHER NECESSARY ON-DUTY EMPLOYEES TO OPEN THE SECURITY  
 GATE OR BARRIER BY USE OF SUCH EQUIPMENT. ALL SECURITY GATES OR BARRIERS  
 MUST MEET POLICIES DEEMED NECESSARY BY THE AUTHORITY HAVING JURISDICTION  
 OVER THE GATED FACILITY OR COMMUNITY FOR RAPID, RELIABLE, AND MUTUAL AID  
 ACCESS. SUCH EQUIPMENT SHALL BE FURNISHED, INSTALLED AND MAINTAINED BY THE  
 GATED FACILITY OR COMMUNITY THAT IS SERVED BY SUCH EQUIPMENT.

**LOT COVERAGE:**  
 EXISTING BUILDING AREA = 49,755 S.F.  
 NEW BUILDING AREA = 20,552 S.F.  
 BUILDING COVERAGE = 31.1%  
 PROPOSED BUILDING HEIGHT: 33'-1"  
 MAX BUILDING HEIGHT: 40'-0"  
 EXISTING CONCRETE SURFACE: ±350 S.F.  
 EXISTING ASPHALT SURFACE: ±59,926 S.F.  
 EXISTING IMPERVIOUS AREA: ±110,031 S.F. = 48.65%  
 PROPOSED ASPHALT SURFACE: ±23,008 S.F.  
 PROPOSED IMPERVIOUS AREA: ±145,088 S.F. = 20.00%

**PARKING INFORMATION:**  
 REQUIRED PARKING:  
 GENERAL RETAIL: 11,000/250 = 44 SPACES  
 PROFESSIONAL SERVICES: 9,562/400 = 24 SPACES  
 TOTAL PARKING: 68 SPACES,  
 INCLUDING 4 HANDICAP SPACES

**UTILITY NOTE:**  
 COORDINATE ALL UTILITY INSTALLATIONS  
 WITH GOVERNING ENTITIES.

**GENERAL NOTES:**

1. PRIOR TO BEGINNING CONSTRUCTION ON THIS SITE THE LOCATION OF UTILITIES MUST BE IDENTIFIED BY CALLING THE TOLL-FREE TENNESSEE ONE CALL REFERENCE NUMBER 1-800-351-1111.
2. ALL CONSTRUCTION ON THIS SITE SHALL COMPLY WITH APPLICABLE REGULATIONS AS SPECIFIED BY THE CITY OF MILLERSVILLE AND THE STATE OF TENNESSEE.
3. TOPSOIL SHALL BE PLACED ON EXCAVATED AREAS WHICH REQUIRE NEW VEGETATION. GROUND COVER SHALL BE REESTABLISHED WITH KENTUCKY 31 FESCUE SEED AT A MINIMUM OF 250 LBS. PER ACRE. SLOPES 3:1 OR GREATER SHALL BE LINED WITH NORTH AMERICAN GREEN S150 GRASS MATING OR EQUAL.
4. SILT FENCE SHALL BE INSTALLED IN ALL EROSION AREAS WHICH COULD ALLOW UNTREATED STORMWATER RUNOFF TO BE DISCHARGED FROM THE PROPERTY. ALL EROSION CONTROL MEASURES SHALL BE CONSISTENT WITH THE PROVISIONS DESCRIBED IN THE MOST CURRENT EDITION OF THE TENNESSEE EROSION & SEDIMENT CONTROL HANDBOOK.
5. THE STORMWATER RUNOFF CALCULATIONS ON THIS SITE HAVE BEEN PERFORMED USING THE U.S. SOIL CONSERVATION SERVICE TR-55 METHOD. STORMWATER POND HAS BEEN SIZED TO HANDLE A 25 AND 100 YEAR STORM EVENT.
6. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS TAKEN FROM A SURVEY BY CHANDLER SURVEYING OF PLEASANT VIEW, TN.
7. CONSTRUCTION WILL BE FOLLOWING PLAN APPROVAL BY THE CITY OF ASHLAND CITY.
8. ANY DUMPSTER SHALL BE FULLY ENCLOSED, MATCHING THE FACADE OF THE BUILDING, AND A WOODEN PRIVACY FENCE GATE THAT IS 8 FEET HIGH ON ALL SIDES AND ALL SERVICE BOXES AND MECHANICALS TO BE IN THE REAR OF THE BUILDING.
9. ALL ADDITIONS IN THE FUTURE MUST BE BUILT TO THESE STANDARDS.
10. ACCORDING TO MAP 47021C0170E, DATED 02/28/2021, PORTIONS OF THE SITE ARE LOCATED WITHIN FLOOD HAZARD AREAS 'AE' AND 'X'.

**NPDES PERMIT NOTE:**  
 THE MAXIMUM DISTURBED AREA FOR THIS PROJECT IS OVER 1 ACRE. THIS SITE IS CURRENTLY COVERED UNDER PERMIT NUMBER TNR245326.

**EP&SC NOTES:**

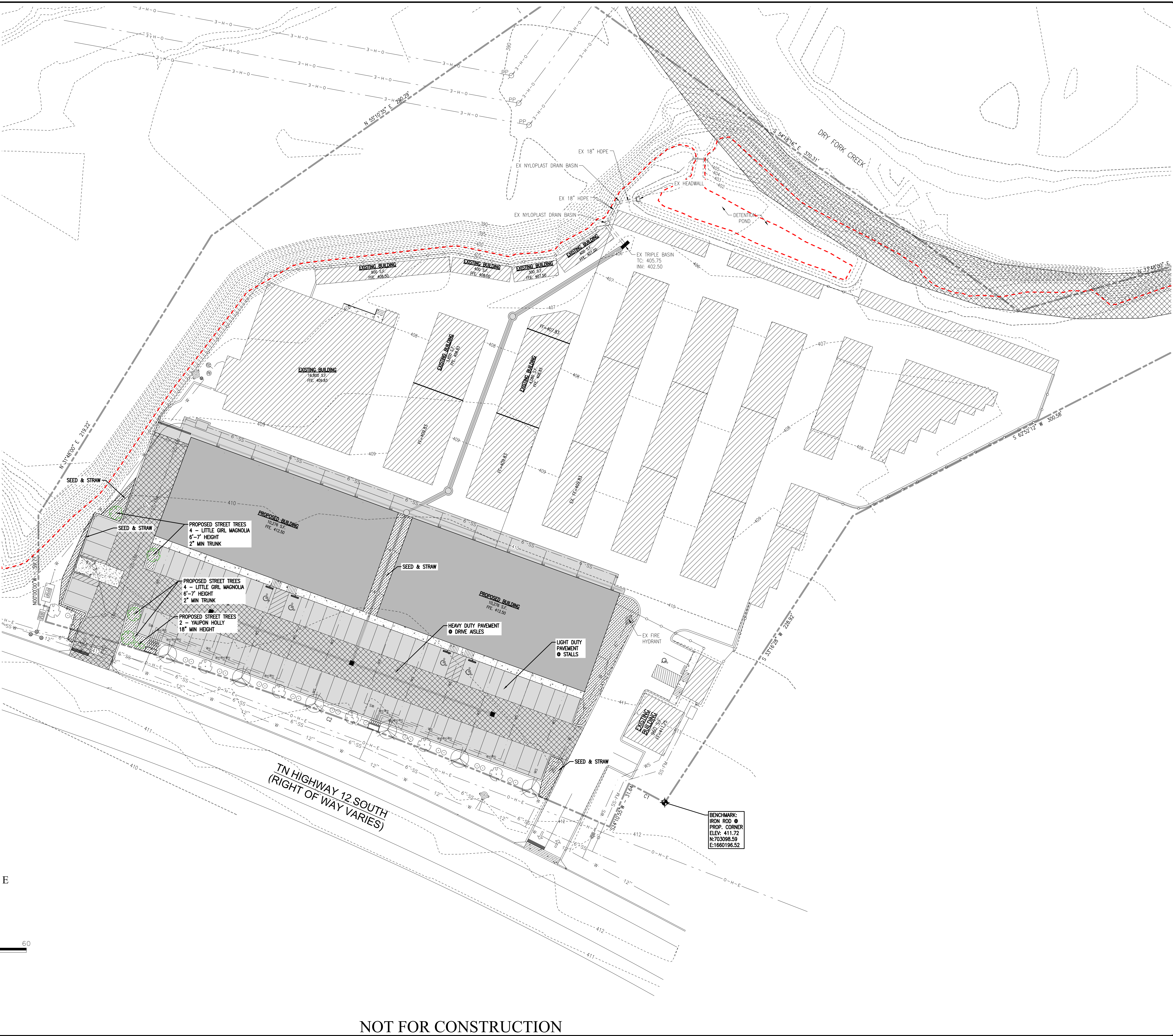
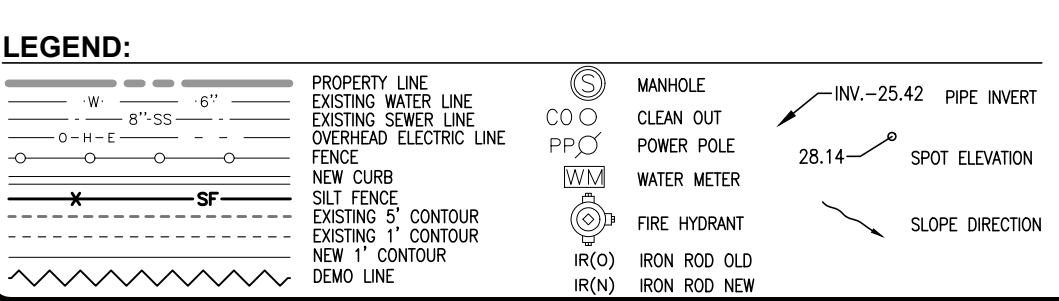
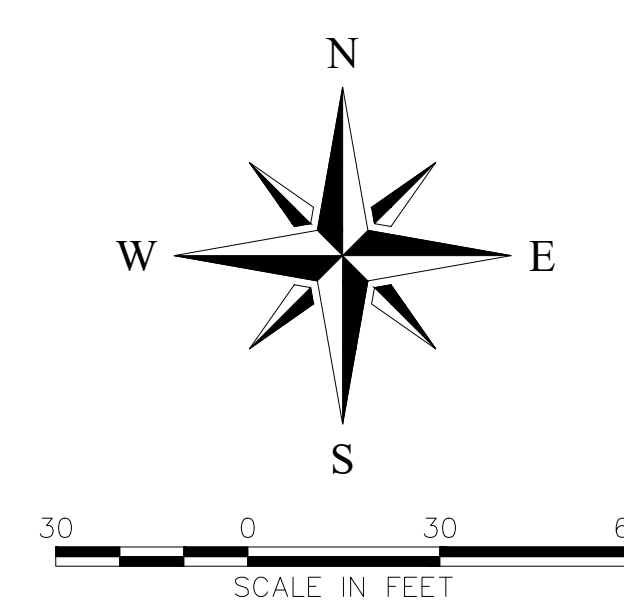
1. AN EROSION PREVENTION SILTATION CONTROL PLAN (EP&SC) AND LAND DISTURBANCE PERMIT (IF REQUIRED) SHALL BE IN PLACE PRIOR TO ANY GRADING, CLEARING AND/OR ANY OTHER CONSTRUCTION ACTIVITY. EROSION CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD, GENERALLY CONSIDERED TO BE THROUGH THE COMPLETION OF RESTORATION. IF REQUIRED, THE EP&SC PLAN ALONG WITH AN INSPECTION CHECKLIST AND STORMWATER PERMIT MUST BE AT THE PROJECT SITE AT ALL TIMES. THE INSPECTION CHECKLIST SHALL HAVE A RECORD OF DATES EP&SC DEVICES ARE INSPECTED AND ANY CORRECTION ACTION TAKEN OR MAJOR OBSERVATIONS. BMP'S MUST BE INSPECTED BY A QUALIFIED PERSON WHO HAS TAKEN AN APPROVED EROSION AND SEDIMENTATION COURSE.
2. ALL EP&SC DEVICES ARE TO REMAIN IN PLACE UNTIL THE SITE HAS BEEN STABILIZED AND A GOOD STAND OF GRASS HAS BEEN ESTABLISHED.
3. EROSION PREVENTION AND SEDIMENT CONTROLS MUST BE INSPECTED AT LEAST TWICE EVERY CALENDAR WEEK AT LEAST 72 HOURS APART. INSPECTIONS ARE TO BE DOCUMENTED AND KEPT WITH THE SWPPP (IF REQUIRED).
4. SILT FENCE, OR OTHER SEDIMENT BARRIERS ARE TO BE INSTALLED PROPERLY ALONG TOPOGRAPHICAL CONTOURS DOWN SLOPE OF THE AREA TO BE DISTURBED PRIOR TO ANY GRADING, CLEARING AND/OR ANY OTHER CONSTRUCTION ACTIVITY.
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11. SEDIMENT MUST BE REMOVED FROM SEDIMENT BARRIERS, PONDS, AND OTHER SEDIMENT CONTROLS WHEN DESIGN CAPACITY HAS BEEN REACHED BY SIX (6) INCHES. SEDIMENT THAT HAS ESCAPED THE CONSTRUCTION SITE AND HAS COLLECTED IN THE STREET OR DRAINAGE STRUCTURES MUST IMMEDIATELY BE PHYSICALLY REMOVED.
12. BUILDING AND WASTE MATERIALS, AND NON STORM WATER DISCHARGES, SUCH AS CONCRETE, PAINT WASH WATER, OR MACHINERY LEAKAGE, OR SPILLAGE MUST BE MANAGED TO PREVENT THEM FROM ENTERING THE STORM WATER SYSTEM, GROUND WATER, OR NEARBY WATER BODY.
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NO.	BY	DATE	DESCRIPTION



**ACE RETAIL CENTER**

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 ASHLAND CITY, TN 37015  
 CHEATHAM COUNTY

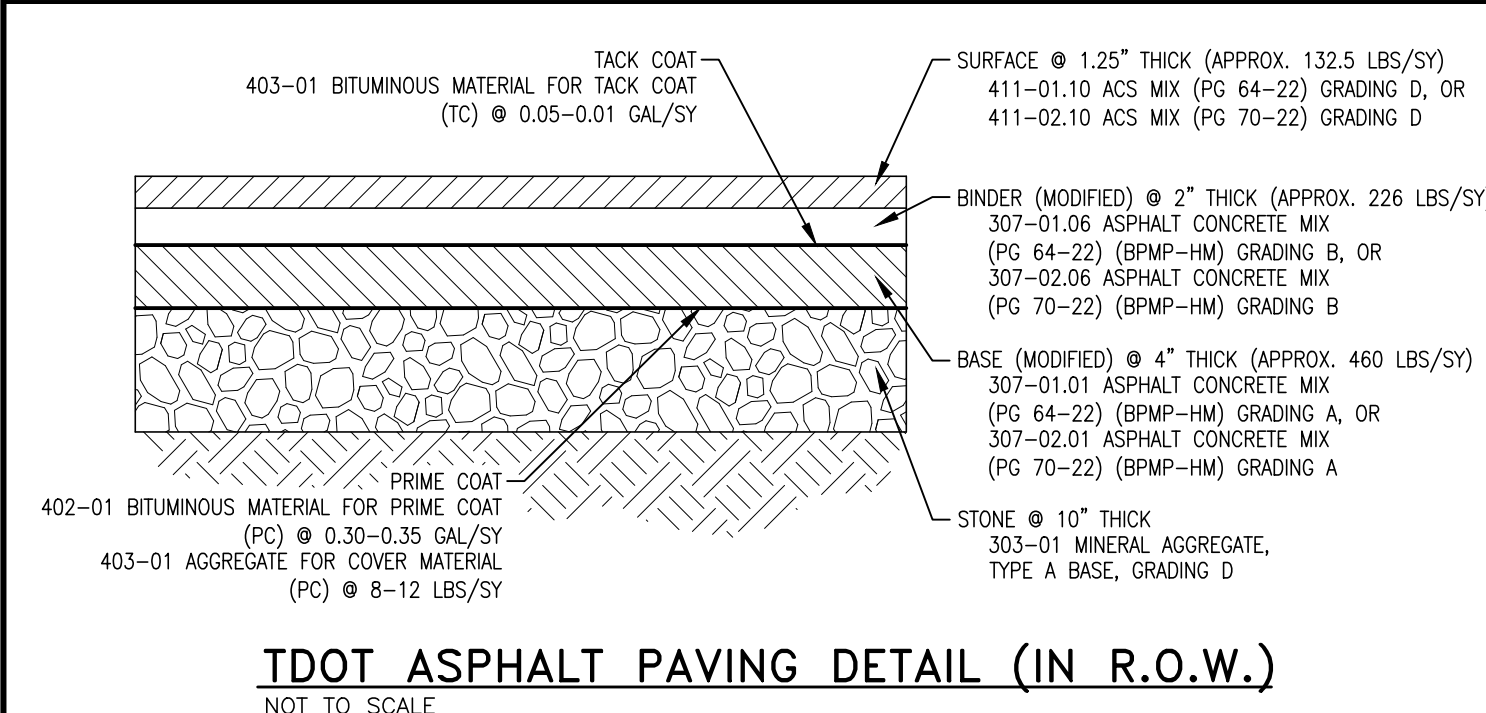
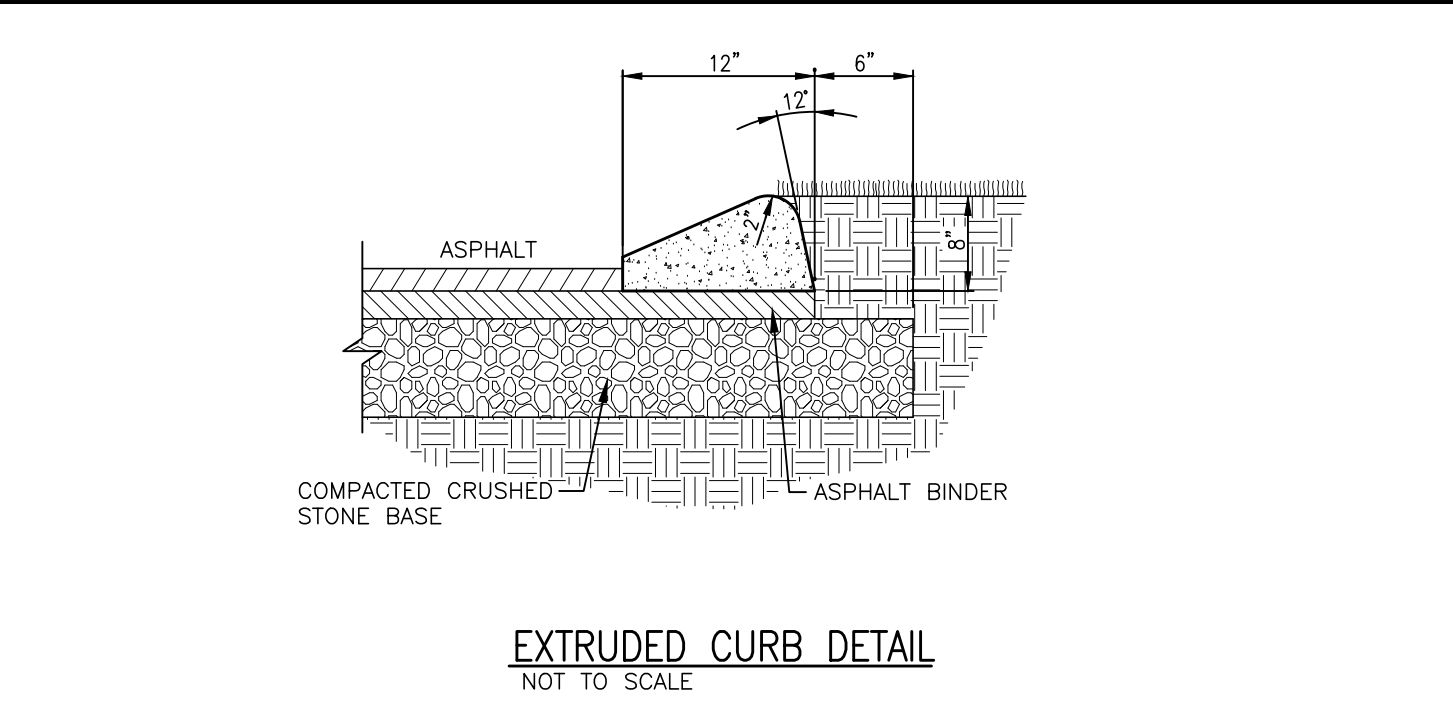
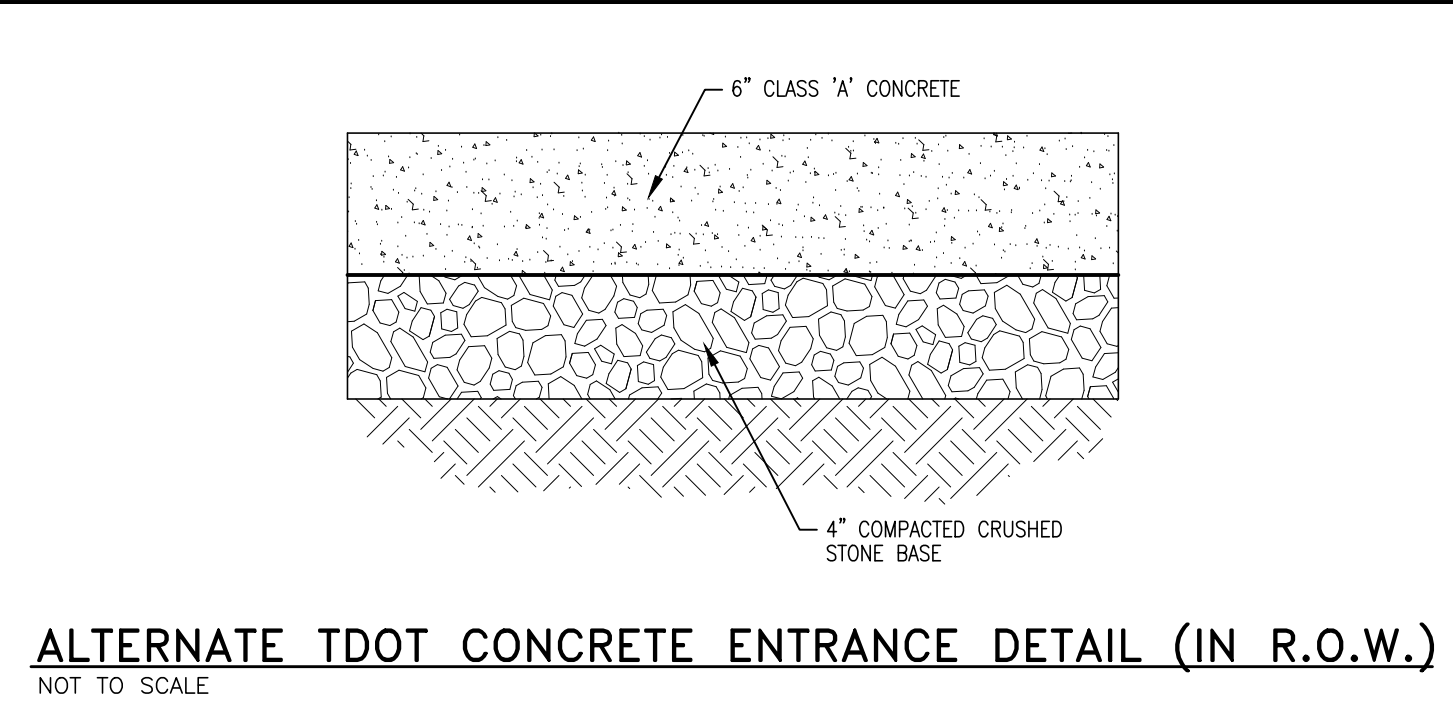
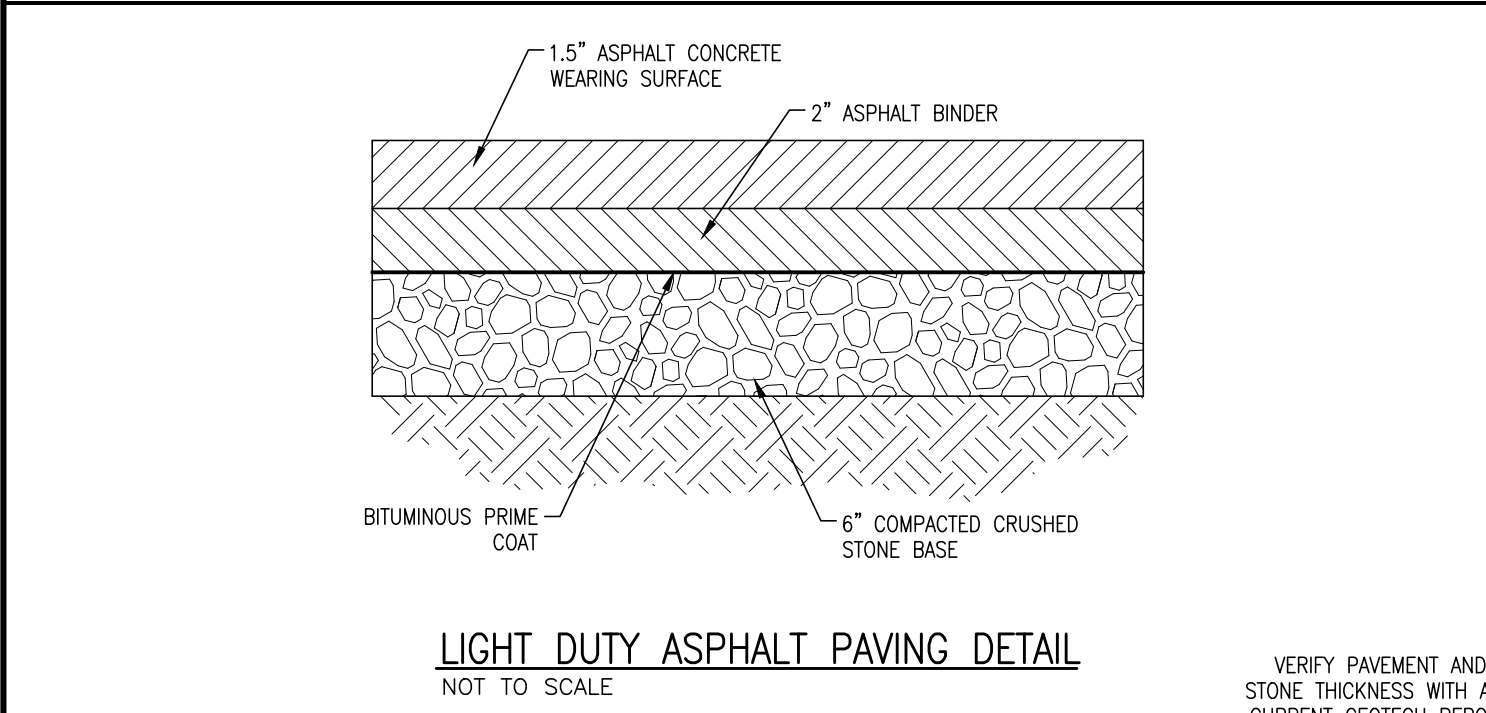
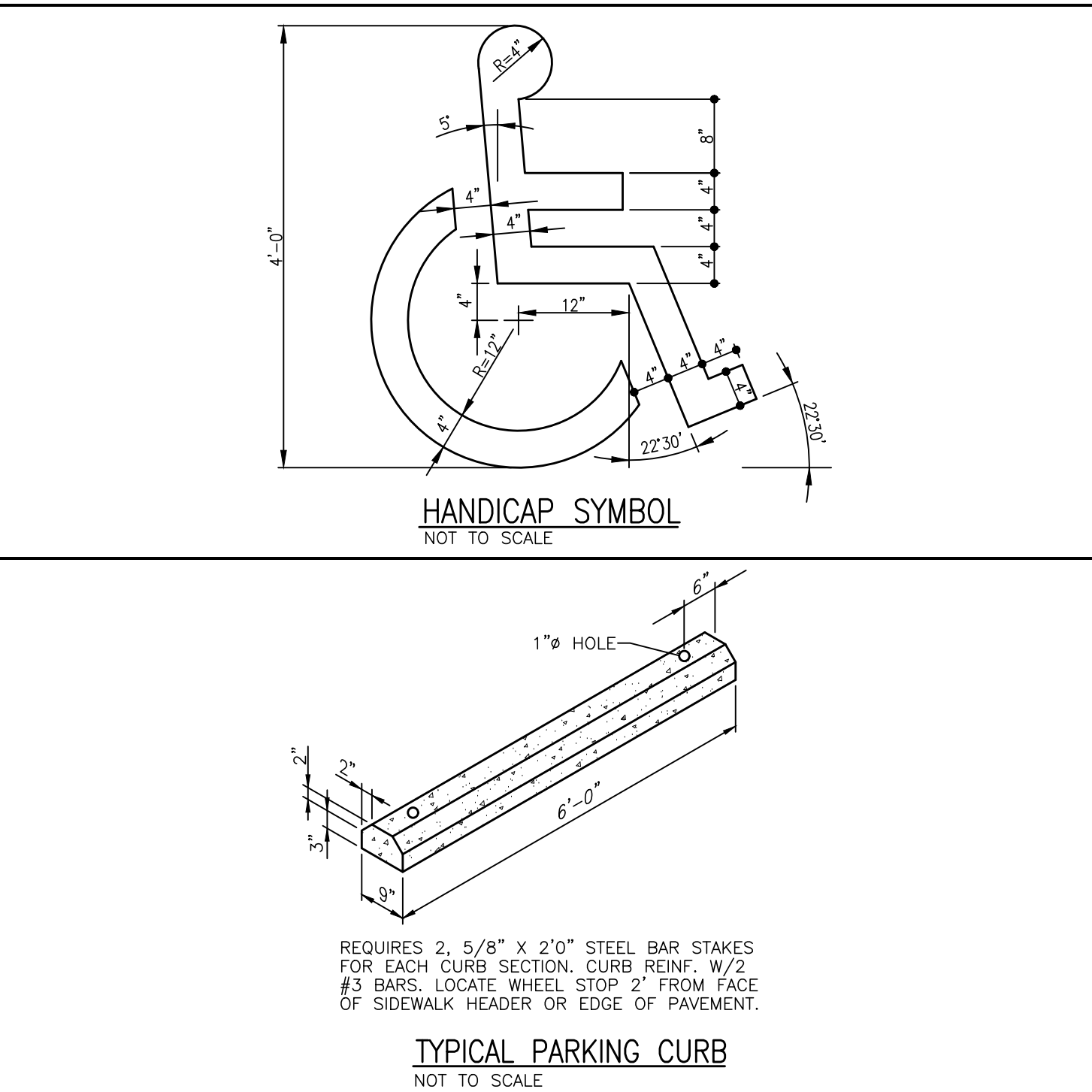
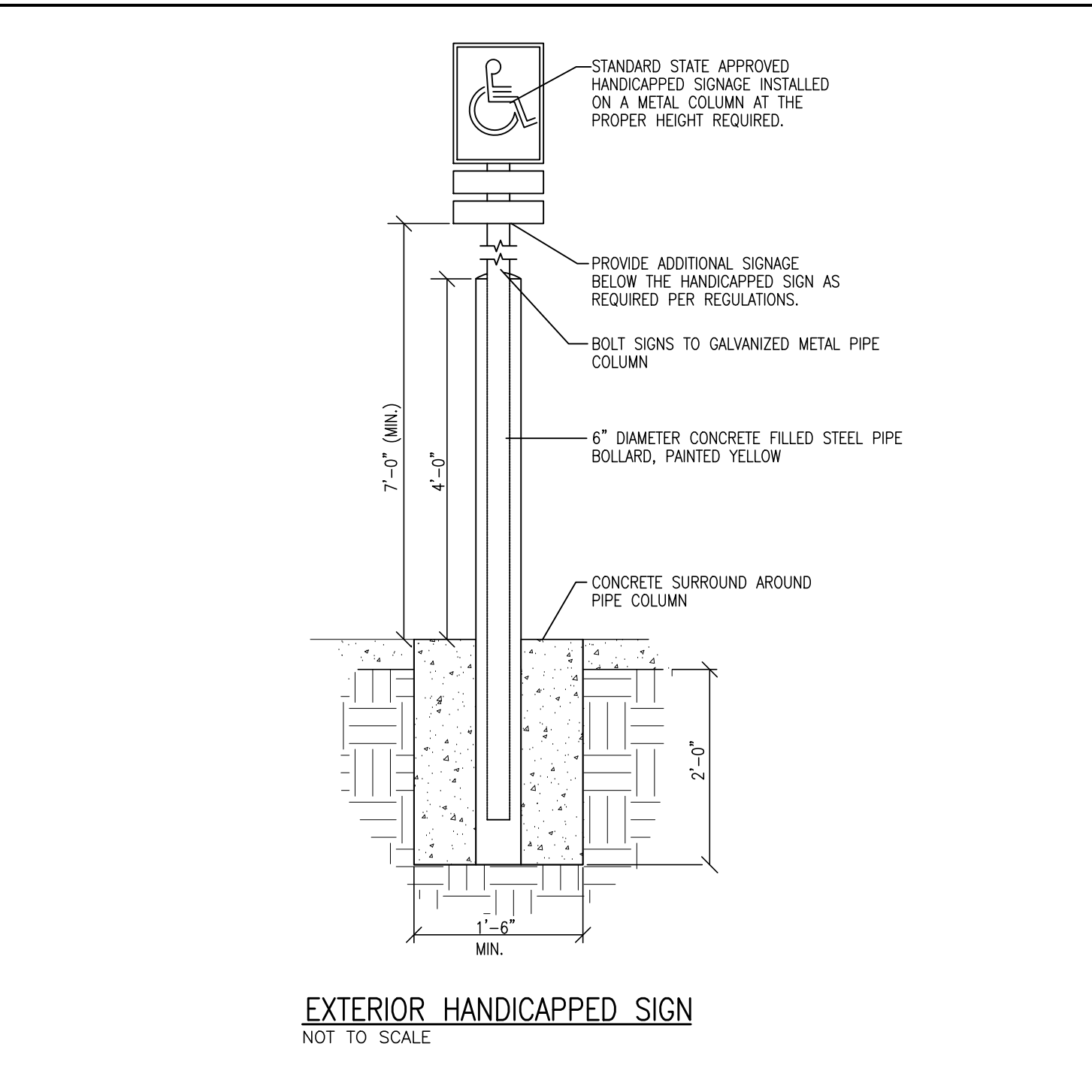
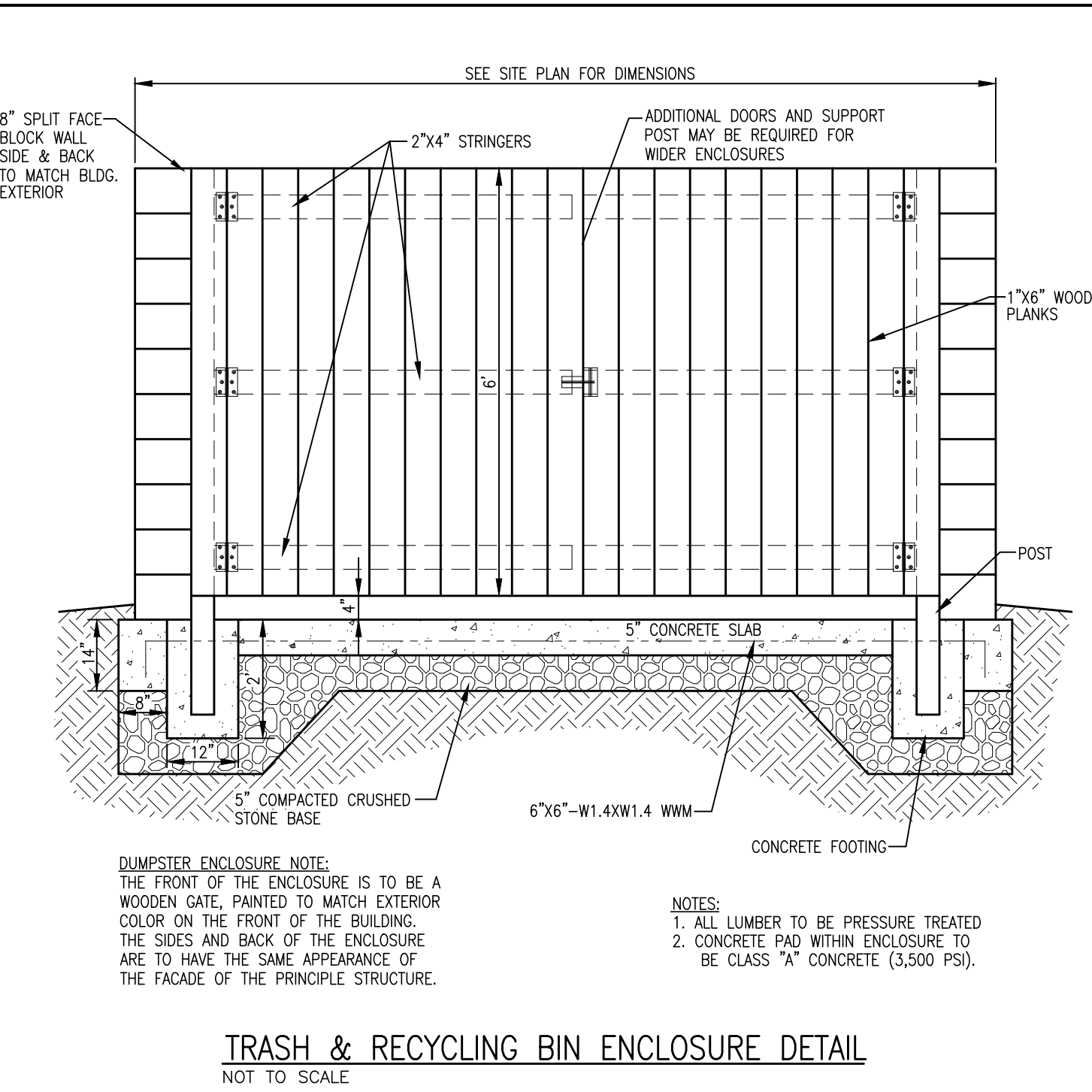
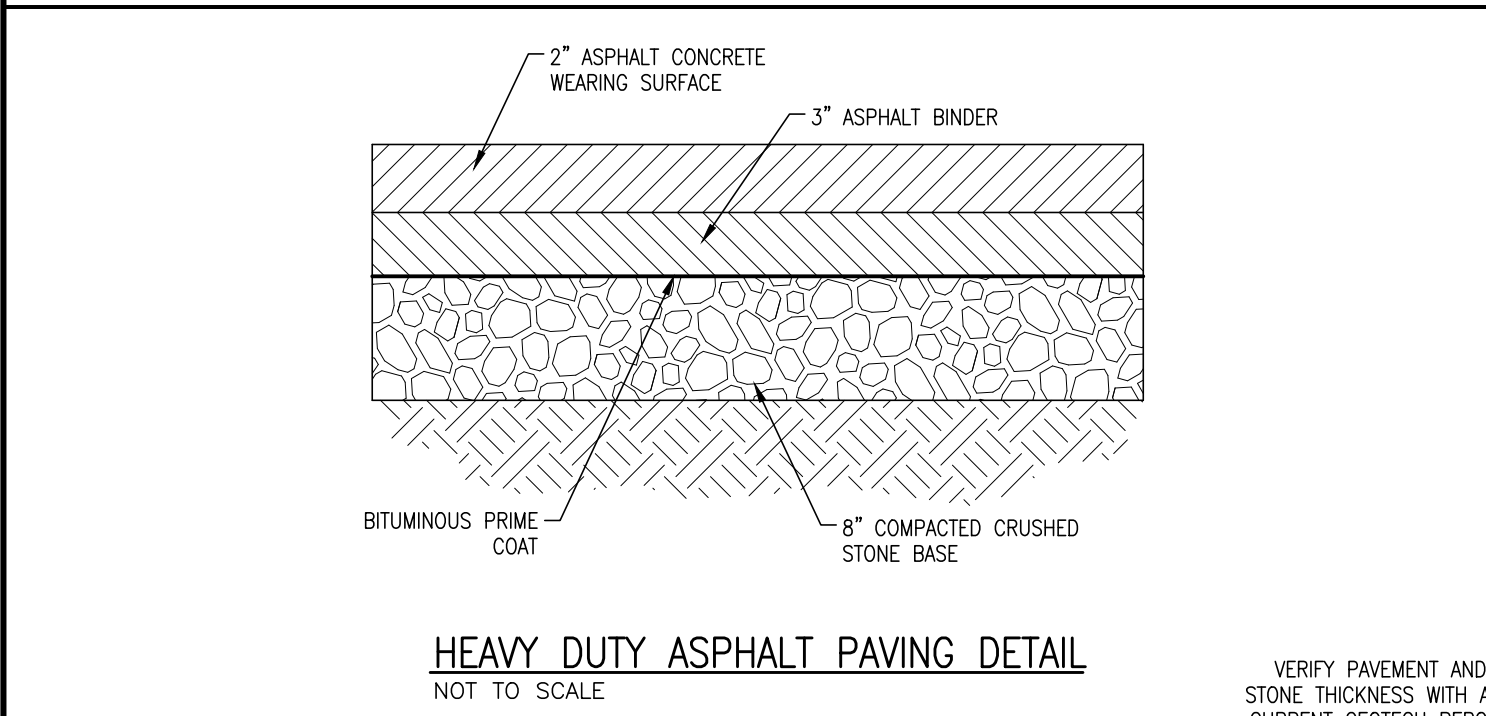
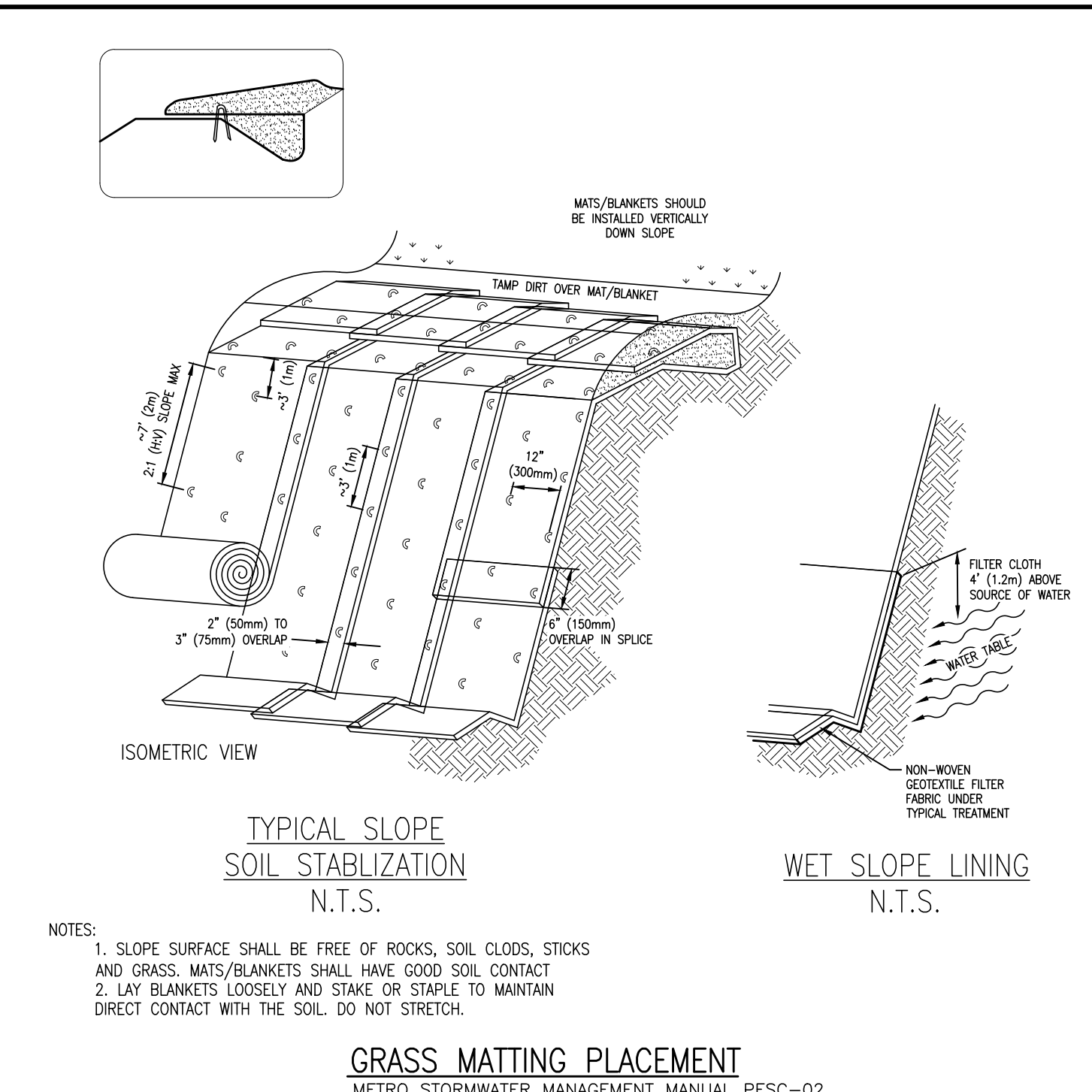
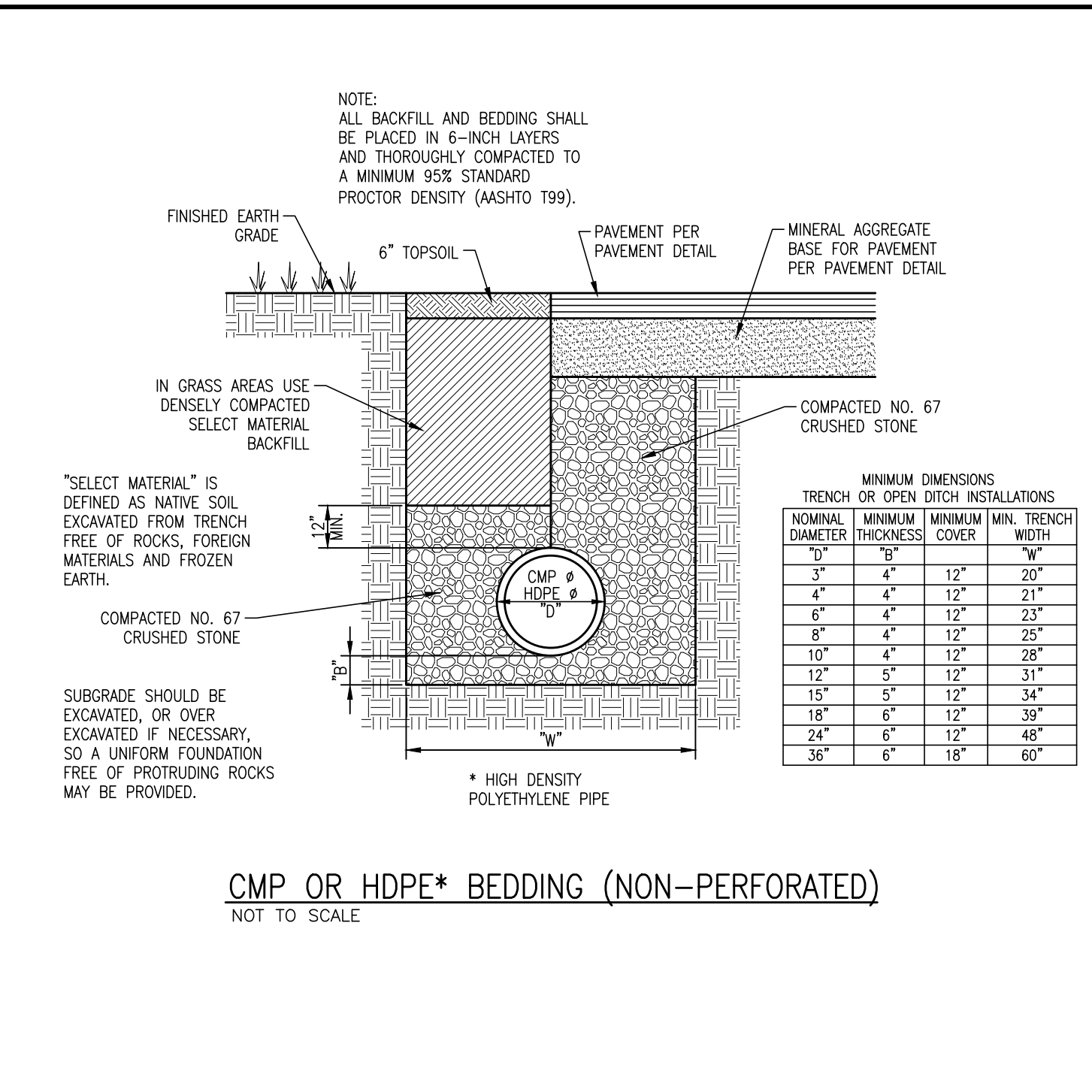
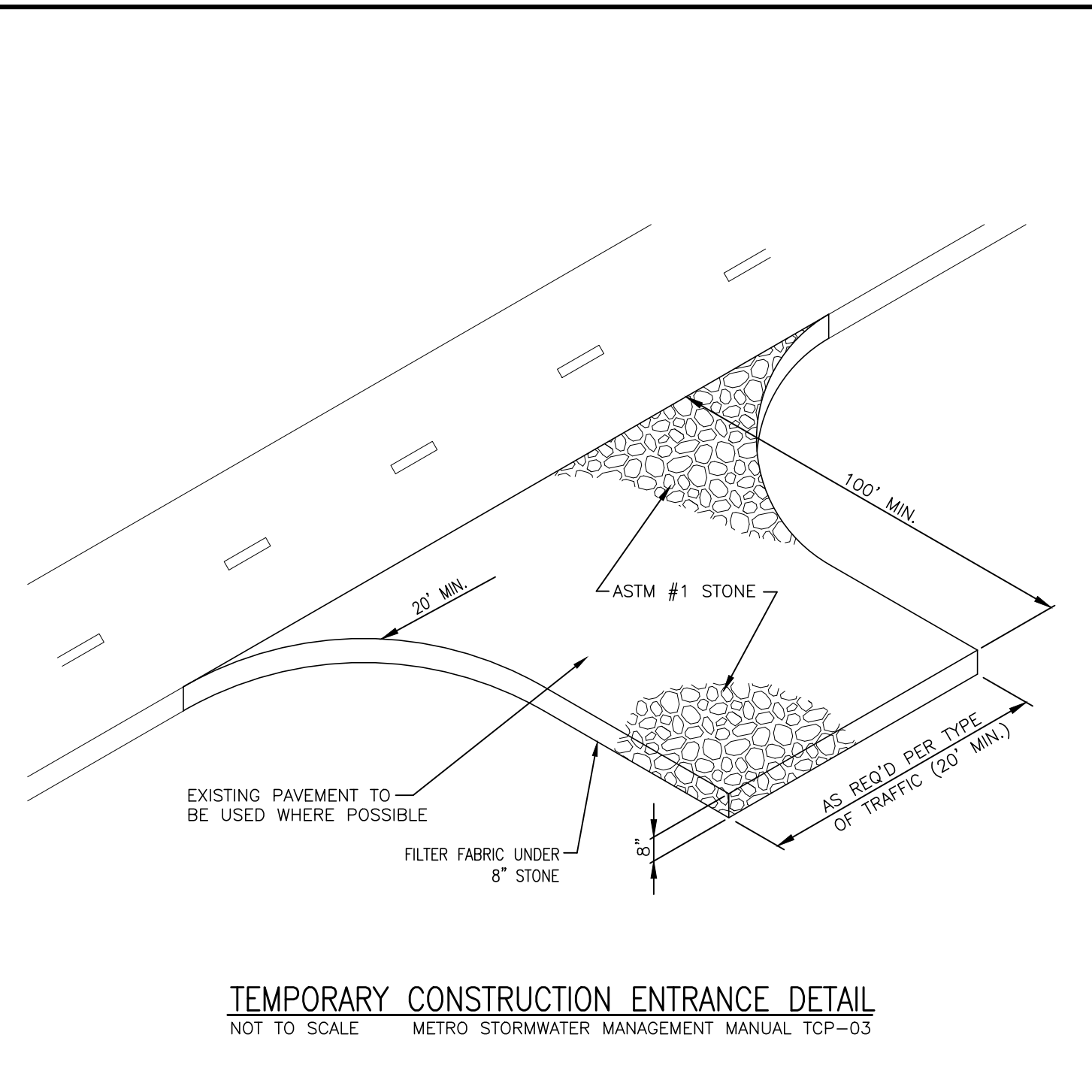
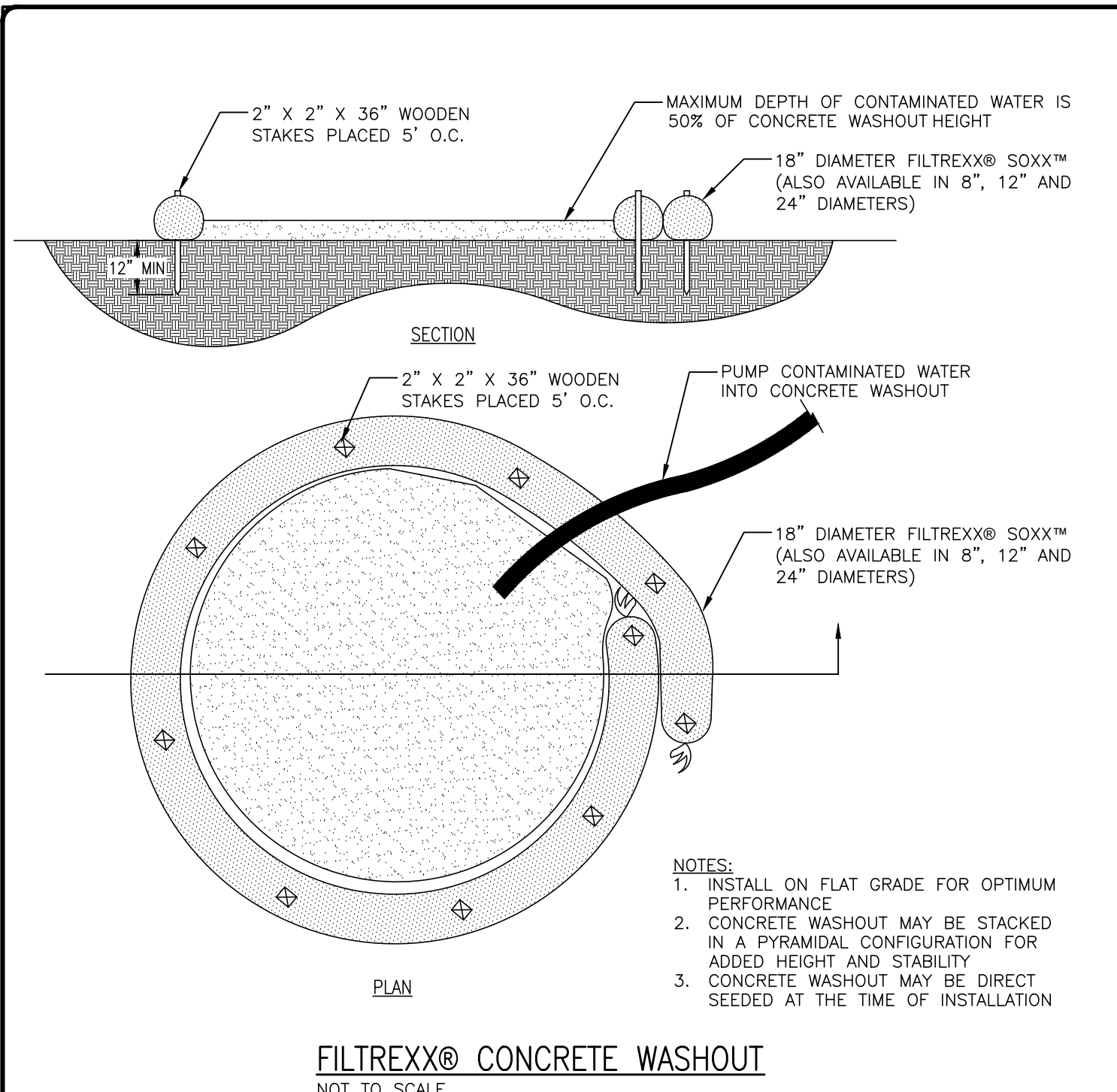
DRAWN BY: CIN  
 CHECKED BY: JML  
 DATE: 5/7/24  
 PROJECT NO.: C02624

**FINAL STABILIZATION PLAN**

SHEET NUMBER  
**C1.05**

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ENGINEERING SERVICES

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BIRMINGHAM, AL 35226-2000 FAX: (888) 374-4488  
www.klobereing.com

SERVING CLIENTS WITH CIVIL ENGINEERING & LAND DEVELOPMENT SERVICES

NO.	BY	DATE	DESCRIPTION

**CONCRETE DESIGN**

REGISTERED PROFESSIONAL ENGINEER

JOS (L) M. LYON, P.E. TN#112331

**ACE RETAIL CENTER**

1209 TN HWY-12 SOUTH  
ASHLAND CITY, TN 37015  
CHEATHAM COUNTY

DRAWN BY:	CJN
CHECKED BY:	JML
DATE:	5/7/24
PROJECT NO.:	C02624

**CONSTRUCTION DETAILS**

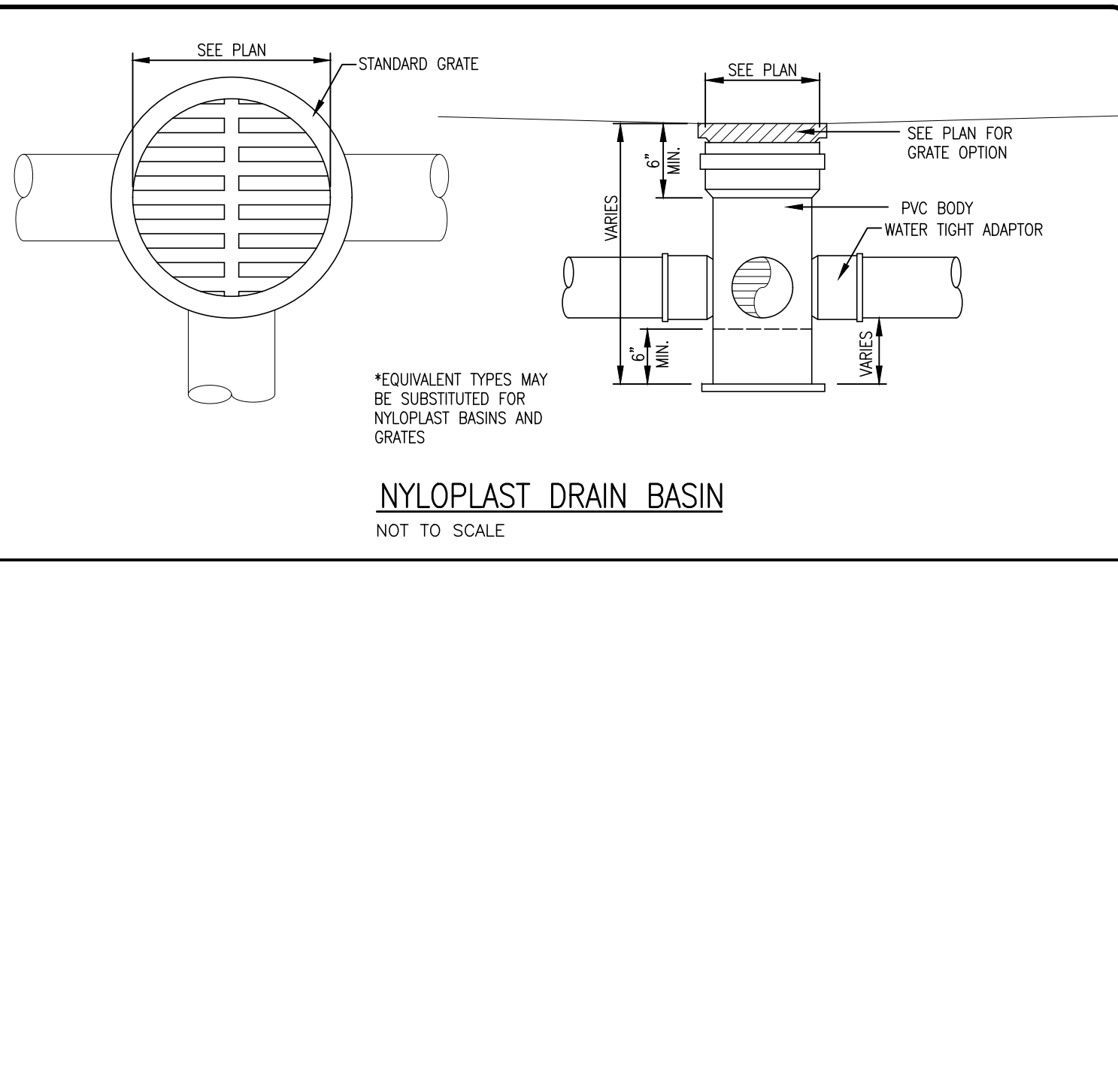
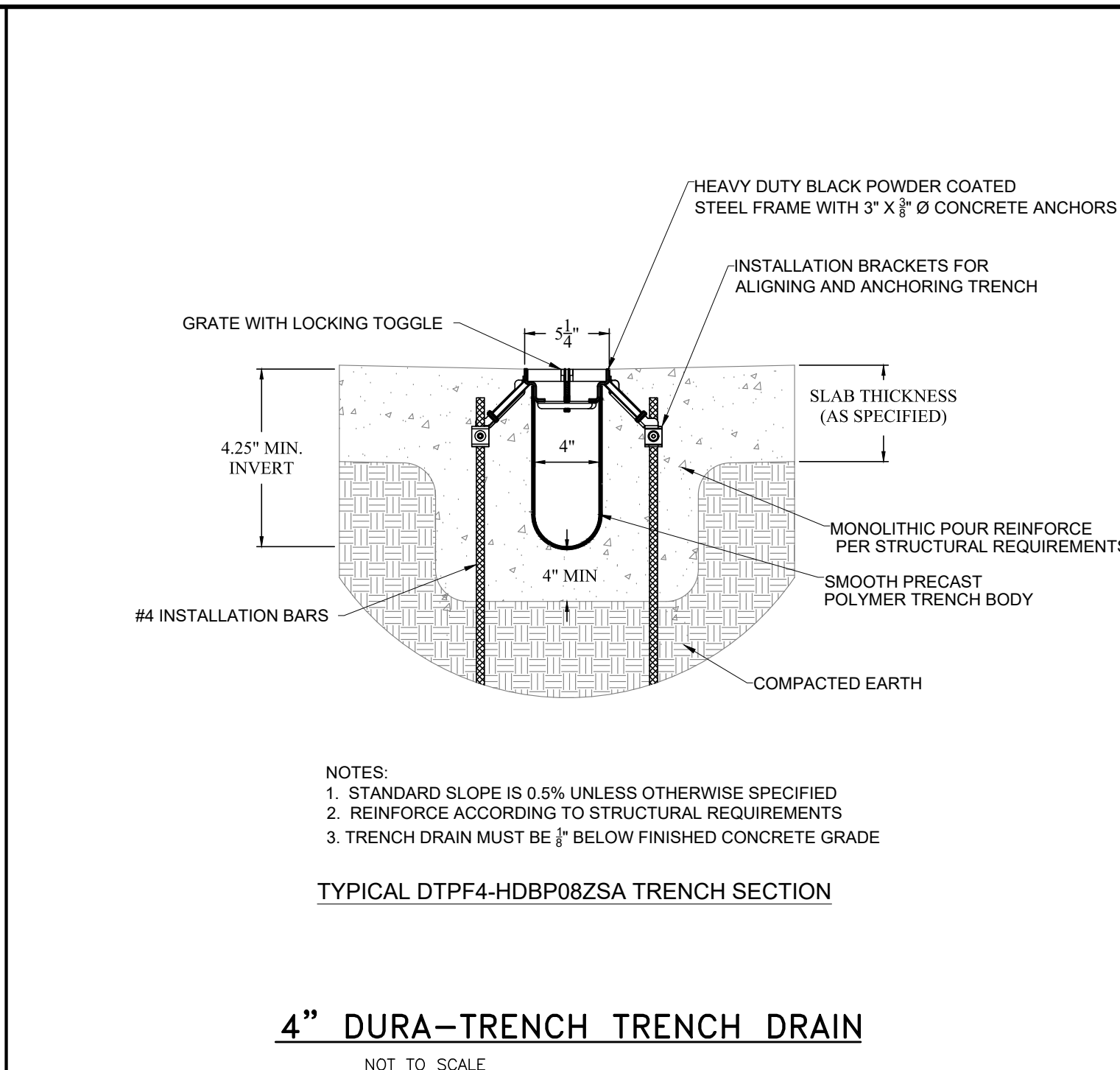
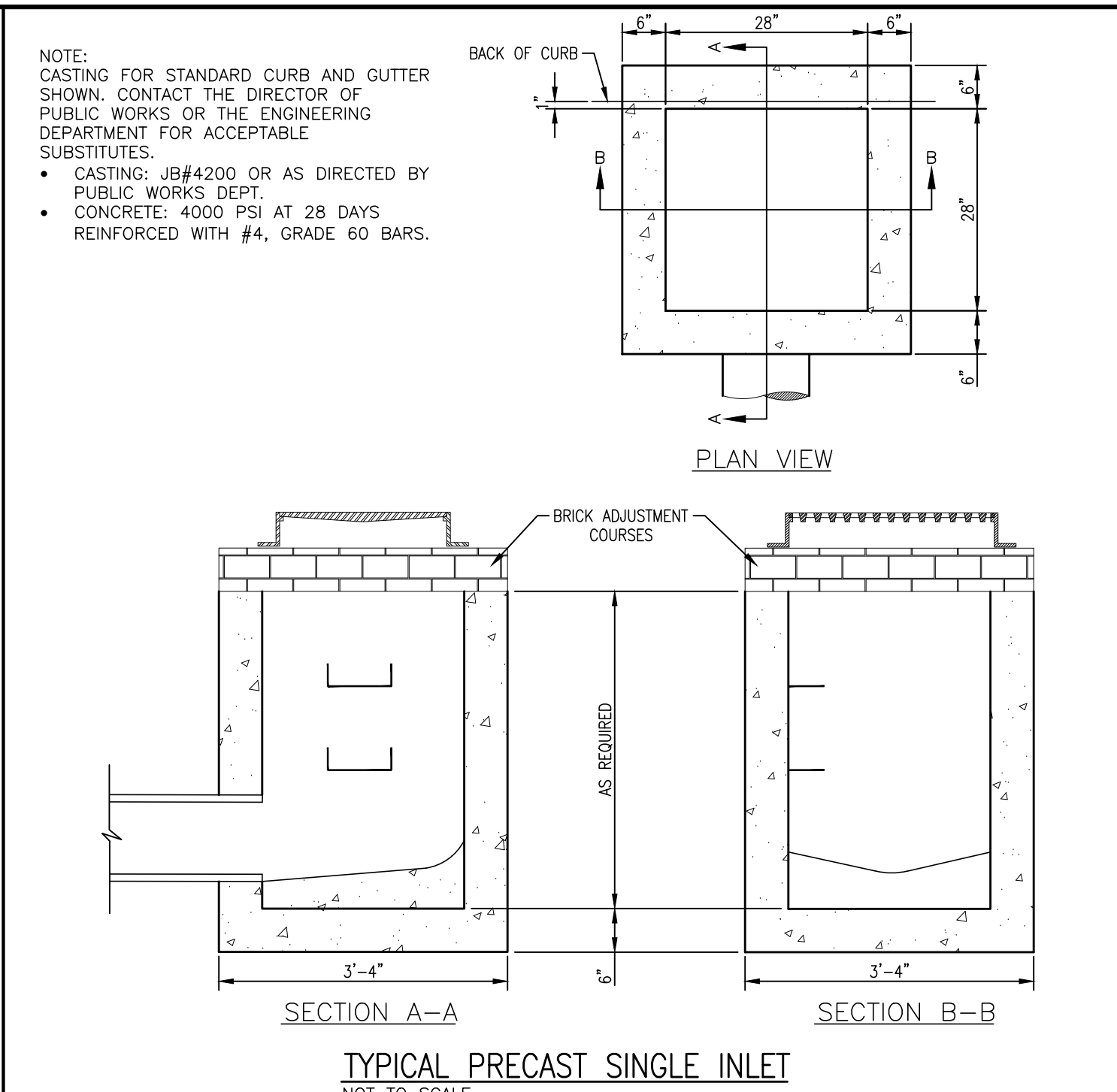
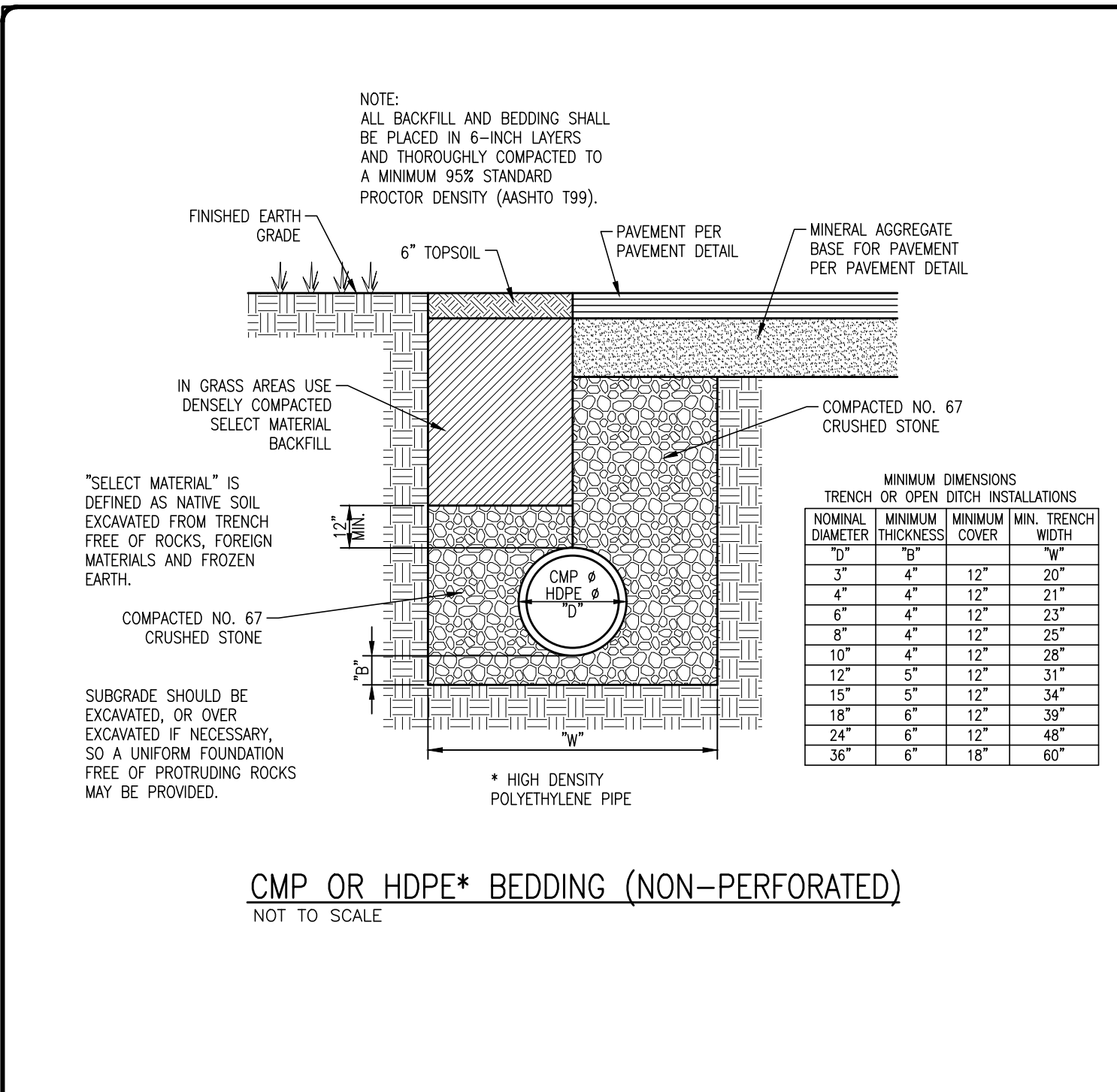
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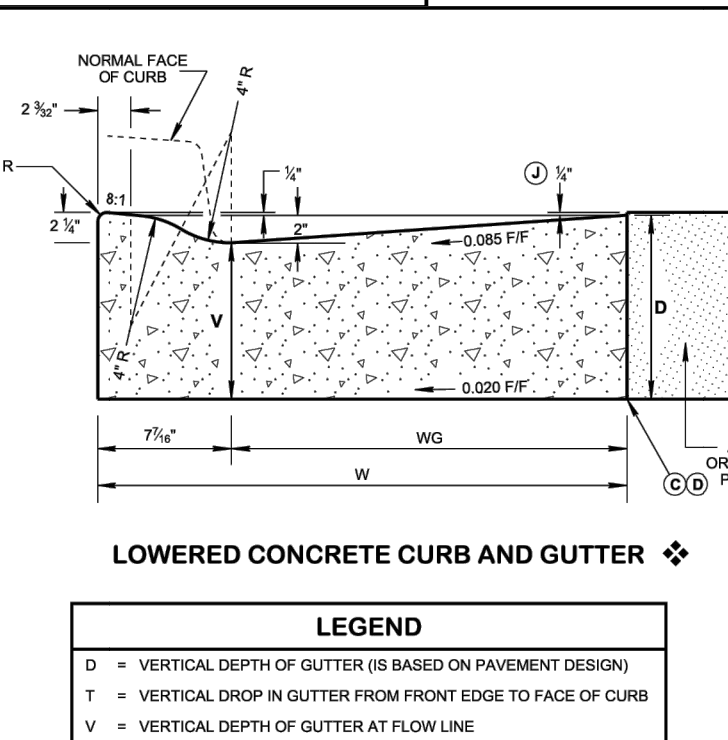
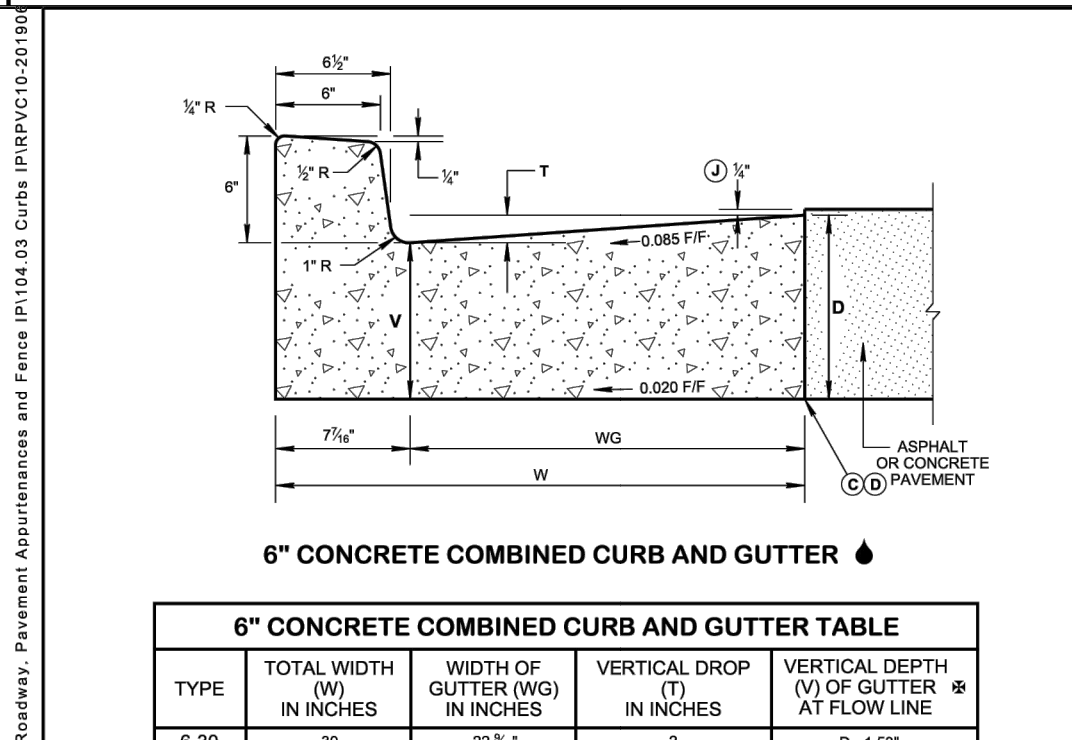
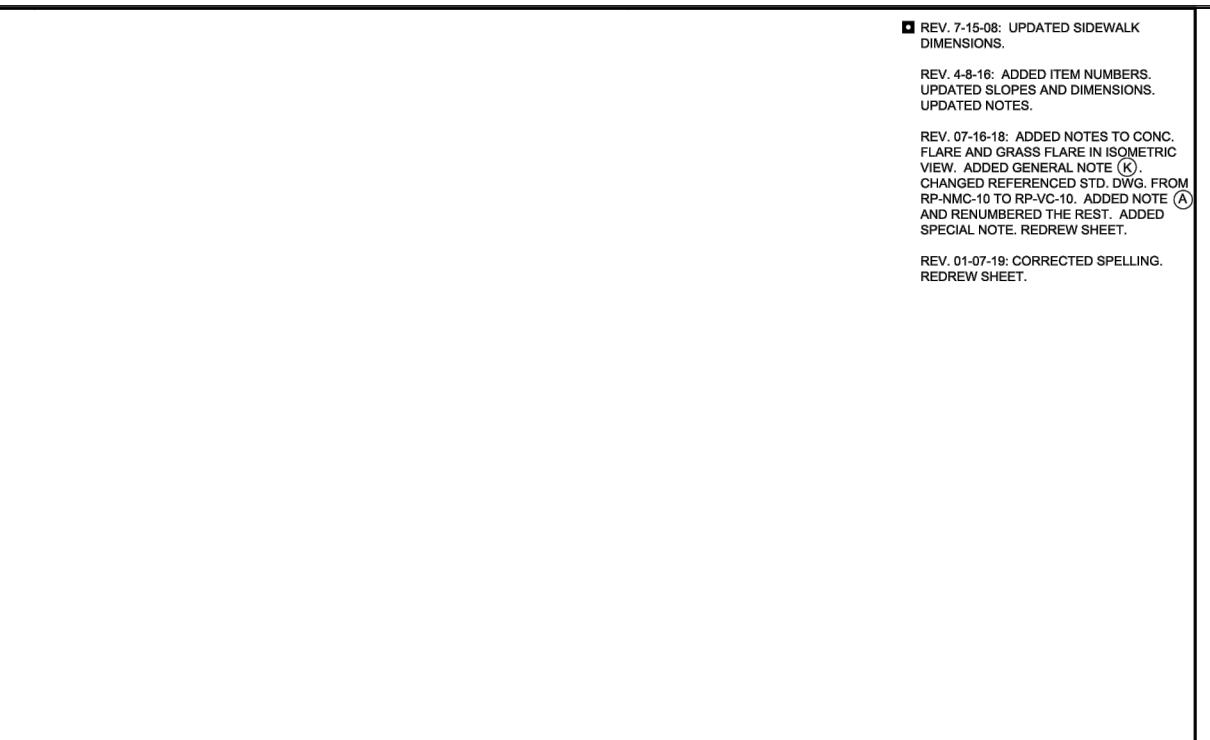
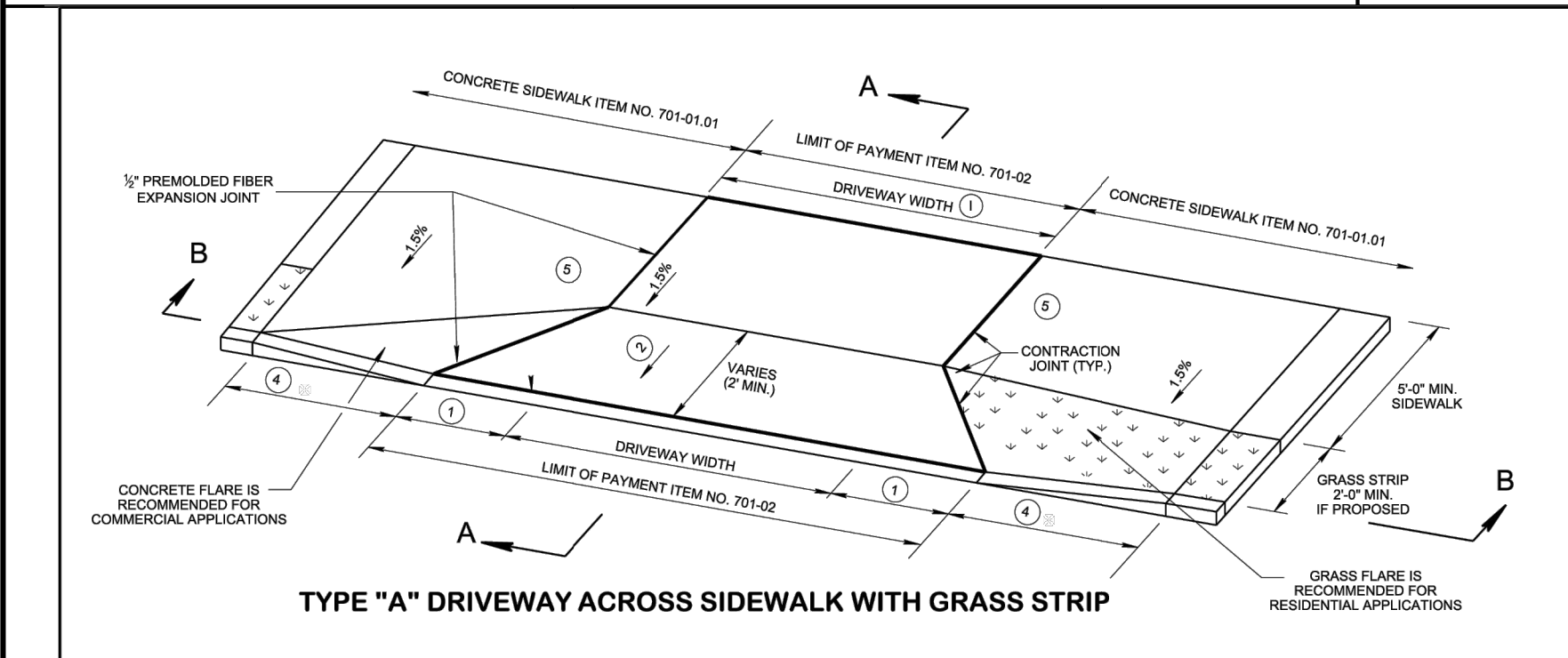
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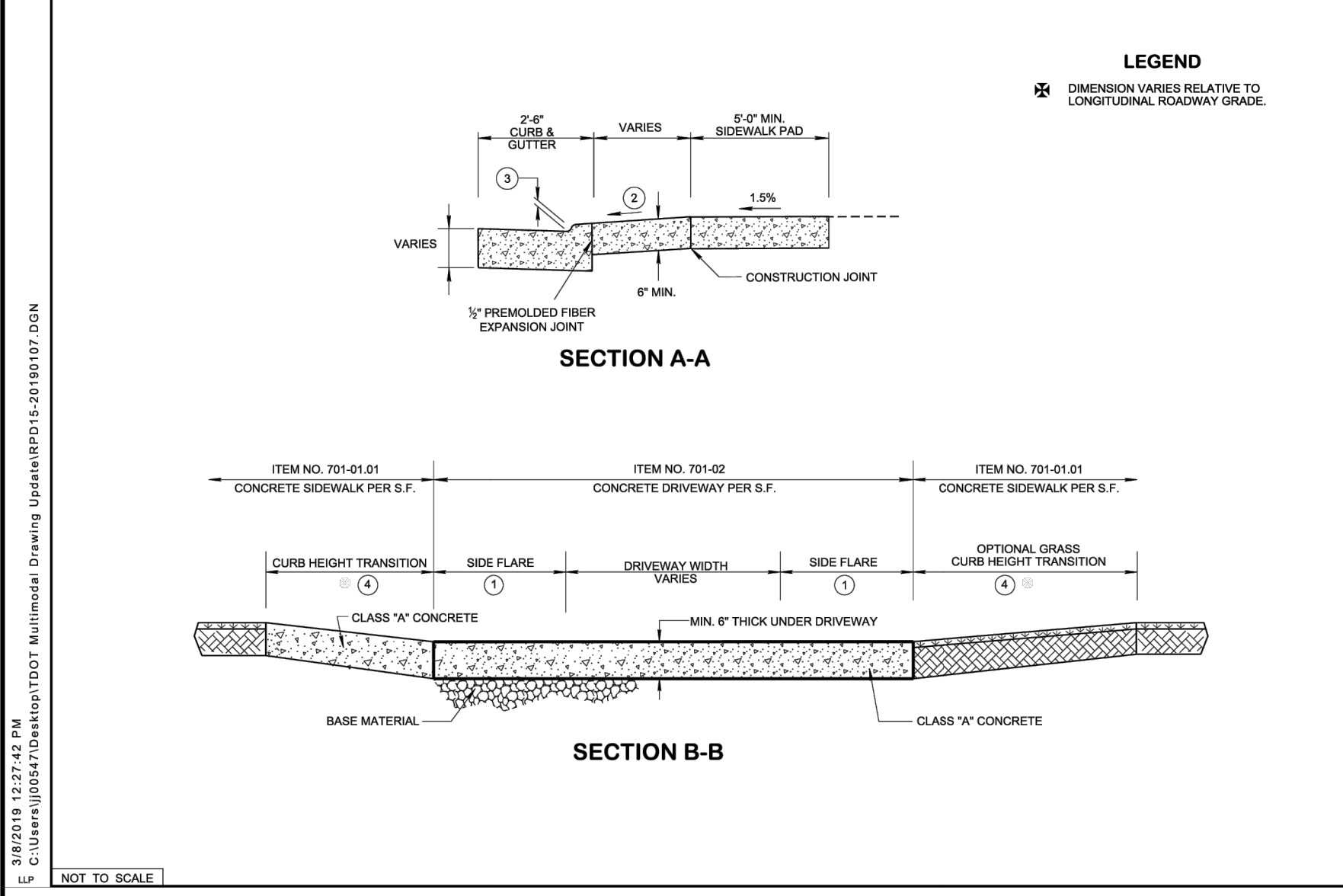


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3556 TOLSON ROAD, SUITE 300, MEMPHIS, TN 38117  
PHONE: (901) 382-2000 FAX: (901) 374-4488  
www.klobere.com



**QUANTITIES FOR DETACHED CURB**

HEIGHT OF CURB	CUBIC YARD PER LINEAR FOOT
6"	0.0290
LOWERED CURB	0.0234



**FOOTNOTES**

- SIDE FLARE WIDTH SHOULD BE A MINIMUM 7" FOR COMMERCIAL DRIVEWAYS. SIDE FLARE WIDTH SHOULD BE A MINIMUM 2" FOR RESIDENTIAL DRIVEWAYS.
- DRIVEWAY RAMP GRADE VARIES: 1% MAX. (1% RECOMMENDED) APRON GRADE FOR RESIDENTIAL DRIVEWAYS. 8% MAX. (5% RECOMMENDED) APRON GRADE FOR COMMERCIAL DRIVEWAYS.
- HEIGHT OF LOWERED CURB SHALL BE 2.25 INCHES. SEE STD DWG RP-VC-10 & RP-VC-11.
- THE SLOPE OF THE SIDEWALK AND/OR CURB HEIGHT TRANSITION VARIES TO A MAXIMUM OF 8.33% LENGTH OF TRANSITION IS RELATIVE TO THE LONGITUDINAL ROADWAY GRADE.
- COMMERCIAL DRIVEWAY ENTRANCE TYPICALLY 8' MAX. 40' WIDE MAY REQUIRE DETECTABLE WARNING SURFACES AT ENTRANCE SERVICES MORE THAN 400 VEHICLES PER DAY. SEE STD. DWG. NOS. M&S-C SERIES FOR DETAILS.
- 3% PROJECTS MAY REQUIRE SLOPE CONNECTION PARALLEL CROSS WALK MARKINGS (ESPECIALLY AT TWO WAY DRIVEWAY ENTRANCES) AND DETECTABLE DOME SURFACE TO MAINTAIN CONTINUITY AT COMMERCIAL DRIVE ENTRANCES. ADDITIONAL SIGNS (WATCH FOR PED) MAY BE ADDED AT DRIVEWAYS BY THE DIRECTION OF AN ENGINEER IF NEEDED.

**GENERAL NOTES**

- THIS TYPE OF DRIVEWAY IS PREFERRED OVER THE LOWERED TYPE AS SHOWN ON RP-D-16 BECAUSE THE ELEVATION OF THE SIDEWALK REMAINS A CONSTANT FOR PEDESTRIANS.
- 5" MINIMUM SIDEWALK WITH A MAXIMUM CROSS SLOPE OF 1.5% THROUGH DRIVEWAYS.
- DESIGNER TO CHECK GUTTER FLOW DEPTH AT DRIVEWAY LOCATIONS TO ASSURE THAT THE DESIGN FLOW DOES NOT OVERTOP THE SIDEWALK AREA. IF OVERTOPPING OCCURS, PLACE AN INLET AT THE UPSTREAM SIDE OF THE DRIVEWAY OR PERFORM OTHER DESIGN MITIGATION.
- THE SLOPE OF THE LANDING AREA SHALL NOT EXCEED 1.5% IN THE SIDEWALK AREA.
- DRIVEWAYS TO BE BUILT COMPLETE OR IN PART AS INDICATED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
- ALL DRIVEWAYS TO BE 6" UNIFORM THICKNESS, UNLESS OTHERWISE SHOWN ON PLANS.
- EXPANSION JOINTS TO BE PLACED AS INDICATED ON THE PLANS EXCEPT JOINT AT BACK OF DRIVEWAY WHICH WILL BE PLACED WHEN DRIVEWAY ADJUTS A RIGID DRIVEWAY OR BUILDING.
- THE ROADWAY DESIGNER SHALL CONSIDER THE USE OF A DATCH BASIN ON EITHER SIDE OF THE DRIVEWAY. CAREFUL CONSIDERATION TO THE PLACEMENT OF CATCH BASINS SHALL BE TAKEN IF THE DRIVEWAY IS IN A VERTICAL SAG CURVE.
- ITEM NUMBERS: 701-02, CONCRETE DRIVEWAY, PER SF.
- TYPICAL DRIVEWAY WIDTHS ARE 12' (14' TWO WAY) FOR RESIDENTIAL AND 24' (42' MAX.) FOR COMMERCIAL.
- REFER TO SECTION 5.3 IN THE RULES AND REGULATIONS FOR CONSTRUCTING DRIVEWAY ENTRANCES ON STATE HIGHWAY RIGHTS-OF-WAY (2015) FOR RADII OF CURVATURE GUIDANCE.
- ALL SIDEWALKS SHALL BE A MINIMUM THICKNESS OF 4" CONCRETE.

**QUANTITIES FOR COMBINED CURB AND GUTTER**

HEIGHT OF CURB	TOTAL WIDTH (W) IN INCHES	DEPTH (D) OF GUTTER IN INCHES	CUBIC YARDS PER LINEAR FOOT	DEPTH (D) OF GUTTER IN INCHES	CUBIC YARDS PER LINEAR FOOT	DEPTH (D) OF GUTTER IN INCHES	CUBIC YARDS PER LINEAR FOOT	DEPTH (D) OF GUTTER IN INCHES	CUBIC YARDS PER LINEAR FOOT
LOWERED CURB	30	8	0.0711	9	0.0943	10	0.0724	11	0.0628
	36	8	0.0765	9	0.0911	10	0.0934	11	0.1028
6"	42	8	0.0849	9	0.0761	10	0.0793	11	0.0874
	36	8	0.0778	9	0.0876	10	0.0932	11	0.1058
	42	8	0.0828	9	0.1028	10	0.1149	11	0.1307

**LEGEND**

- D = VERTICAL DEPTH OF GUTTER (S BASED ON PAVEMENT DESIGN)
- T = VERTICAL DROP IN GUTTER FROM FRONT EDGE TO FACE OF CURB
- V = VERTICAL DEPTH OF GUTTER AT FLOW LINE
- W = TOTAL WIDTH OF COMBINED CURB AND GUTTER
- WG = WIDTH OF GUTTER

**GENERAL NOTES**

- FOR SPECIFICATIONS SEE "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION, SECTION 702 - CEMENT CONCRETE CURBS, GUTTER AND COMBINED CURB AND GUTTER.
- THE FRONT FACE OF THE CONCRETE CURBS FOR ALL DEGREES OF CURVATURE SHALL CONFORM TO THE CONTOUR OF THE CURBS AND NO CHORD SECTIONS WILL BE PERMITTED.
- CONCRETE EXPANSION JOINT MATERIAL IS TO BE 1/2" IN THICKNESS AT ALL LOCATIONS. ALL MATERIAL IS TO BE PRE-MOLDED FIBER IN ACCORDANCE WITH SECTION 805 - JOINT MATERIALS OF THE STANDARD SPECIFICATIONS.
- EXPANSION JOINTS ARE TO BE PLACED AS FOLLOWS:
  - AT TANGENT POINTS OF CURVATURE CURBS.
  - BETWEEN CURBS AND ADJUTING RIGID OBJECTS.
  - AT OTHER PLACES WHERE STRESSES MAY DEVELOP.
  - TO LINE UP WITH PAVEMENT JOINTS WHERE THE ADJACENT PAVEMENT IS CONCRETE.
  - THE MAXIMUM SPACING IS TO BE 100 FEET.
  - BETWEEN CONCRETE CURBS OR CURB AND GUTTERS AND CONCRETE PAVEMENT. IT IS NOT REQUIRED WHEN CURBS OR CURB AND GUTTERS ARE ADJUTING TO ASPHALT.
- CONTRACTION JOINTS ARE TO BE SPACED AT 10 FEET. THE SPACING OF 10 FEET MAY BE REDUCED FOR CLOSURES, BUT NOT LESS THAN 6 FEET.
- EDGES OF JOINTS SHALL BE FINISHED ON 1/4" RADIUS.
- ALL COST OF JOINTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR CONCRETE CURBS AND CONCRETE CURBS AND GUTTERS.
- THE UNIT PRICE BID FOR CONCRETE CURB, CONCRETE CURB AND GUTTER AND CONCRETE PAVEMENT WILL INCLUDE ANY CIRCULAR SECTION REQUIRED TO BE BUILT CONFORMING TO SECTIONS SHOWN ON THIS SHEET.
- PAYMENT WILL BE AS FOLLOWS:
 

ITEM NO. 702-01, CONCRETE CURB,	PER C.Y.
ITEM NO. 702-03, CONCRETE COMBINED CURB AND GUTTER,	PER C.Y.
- THE 1/4" HEIGHT IS FOR WHEN ASPHALT PAVEMENT IS ADJUTING TO CONCRETE CURB AND GUTTER ONLY. CONCRETE PAVEMENT WILL BE FLUSH WITH THE TOP OF THE GUTTER.
- LOWERED CONCRETE CURB NOTES**
  - TO BE BUILT AS COMBINED CURB AND GUTTER, DETACHED CURB OR INTEGRAL CURB AS NOTED ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
  - FOR DETACHED CURB, OMIT RADIUS AT FLOW LINE.
  - TO BE USED FOR PROPOSED RAMP OPENINGS.

STATE OF TENNESSEE  
DEPARTMENT OF TRANSPORTATION  
STANDARD DRAWING  
DETAILS OF STANDARD CONCRETE DRIVEWAYS  
02-15-2007 RP-D-15

MINOR REVISION - FHWA APPROVAL NOT REQUIRED  
STATE OF TENNESSEE  
DEPARTMENT OF TRANSPORTATION  
STANDARD DRAWING  
DETAILS OF STANDARD CONCRETE DRIVEWAYS  
02-15-2007 RP-D-15

STATE OF TENNESSEE  
DEPARTMENT OF TRANSPORTATION  
STANDARD DRAWING  
VERTICAL CONCRETE CURBS AND CONCRETE CURBS AND GUTTERS  
05-15-2018 RP-VC-10

NO. BY DATE DESCRIPTION

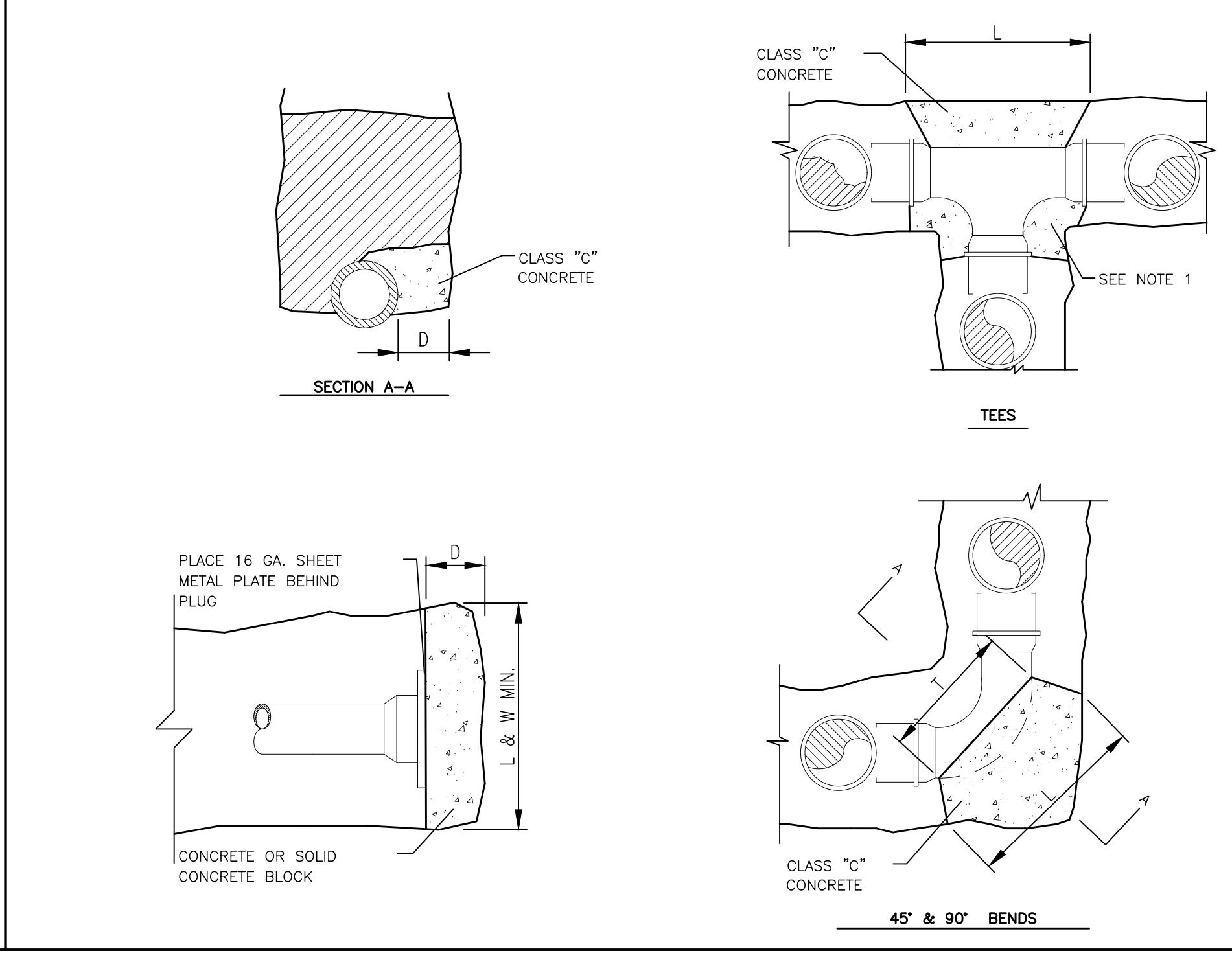
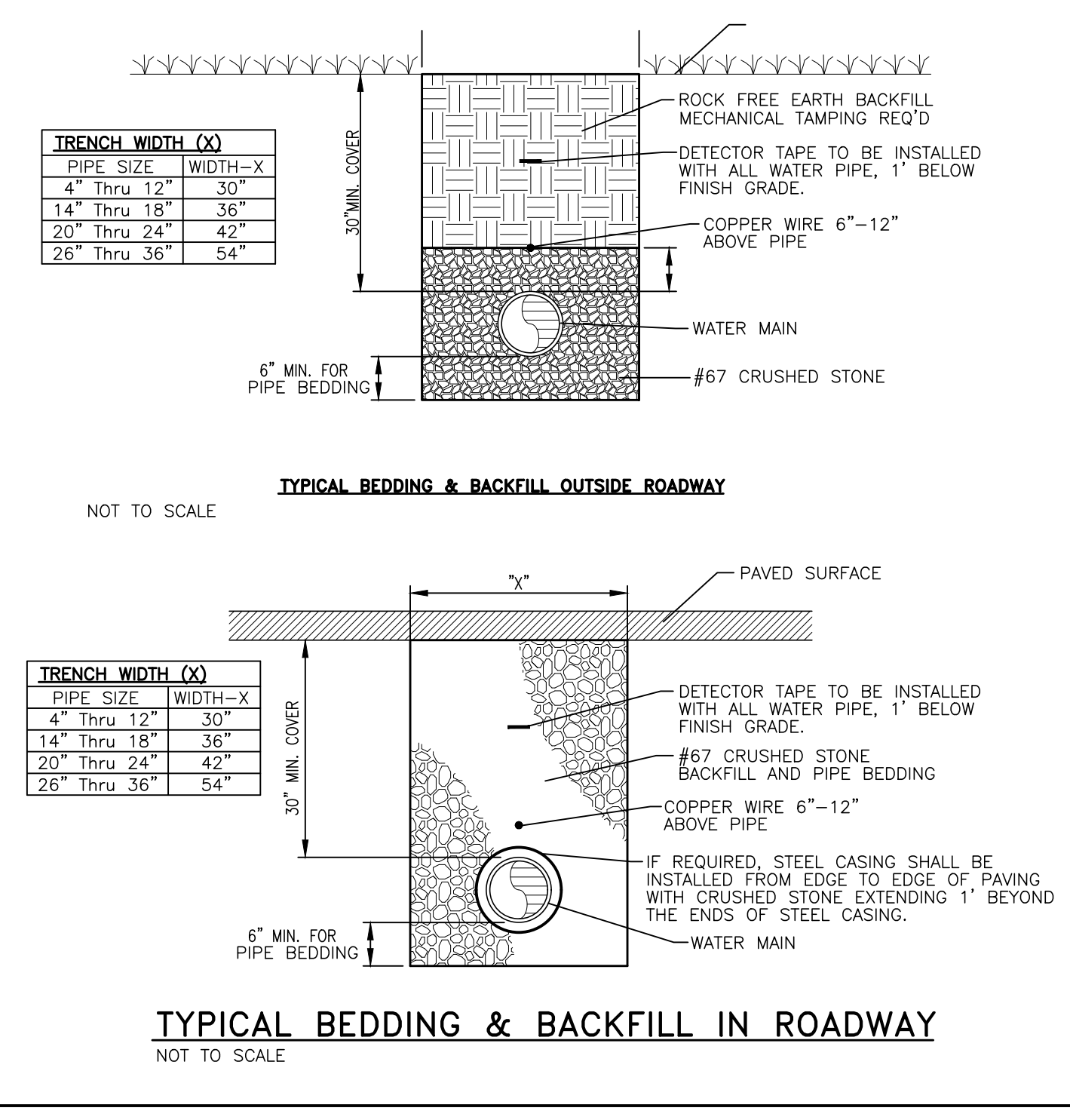
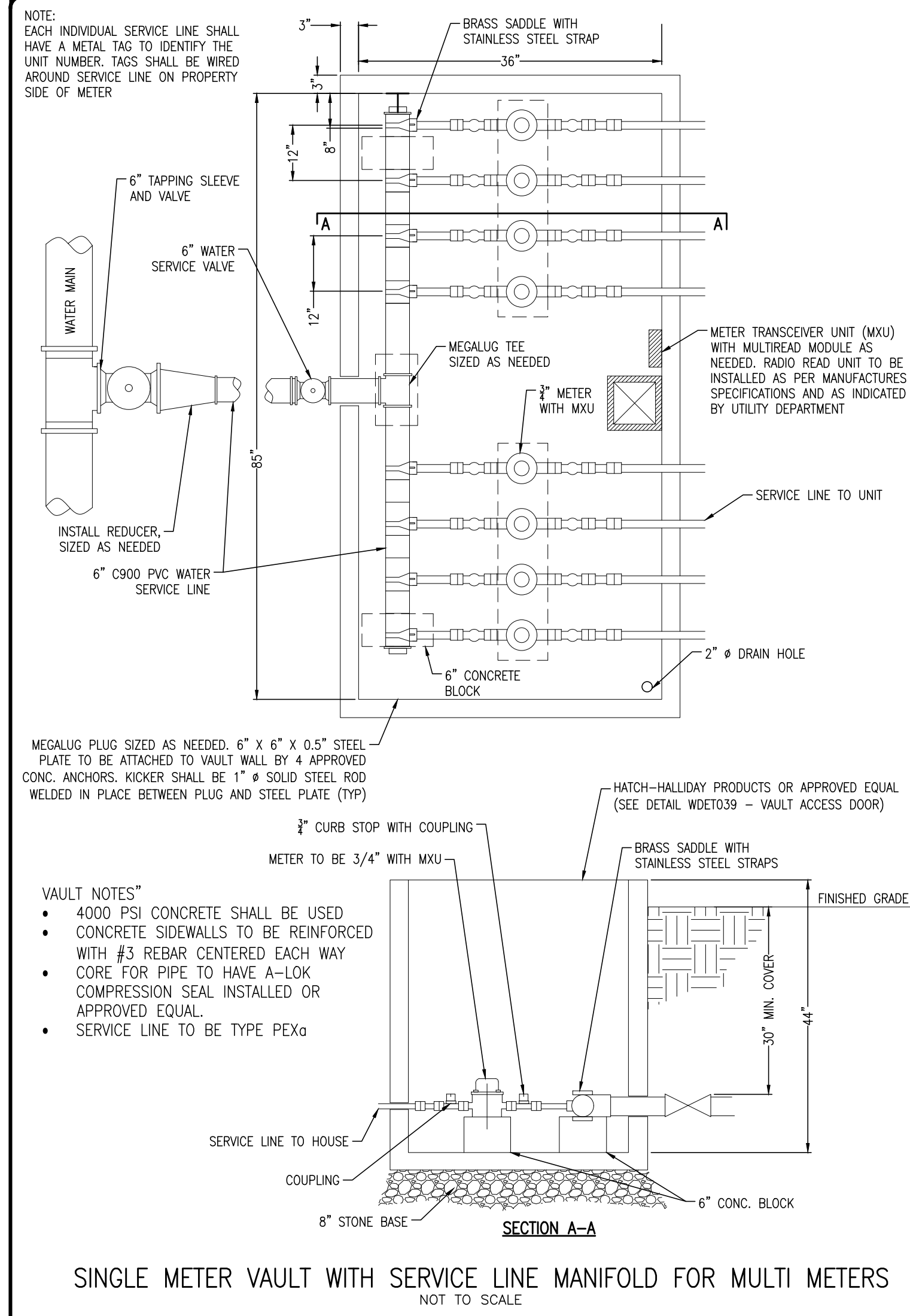
**ACE RETAIL CENTER**  
1209 TN HWY-12 SOUTH  
ASHLAND CITY, TN 37015  
CHEATHAM COUNTY

DRAWN BY: CIN  
CHECKED BY: JML  
DATE: 5/7/24  
PROJECT NO.: C02624

**WATERLINE DETAILS**  
SHEET NUMBER  
**C2.02**

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NOT FOR CONSTRUCTION



NOTE 1:  
 RESTRAINED JOINTS REQUIRED: CONCRETE THRUST BLOCKS MAY BE USED IN ADDITION TO RESTRAINED JOINTS, PER 3.3.1 AND 3.3.2.

NOTE 2:  
 FELT PAPER OR PLASTIC SHEET SHALL BE INSTALLED AROUND TEE BEFORE KICKER IS POURED TO PROTECT HARDWARE.

PLUGS & TEES						
SIZE	2"	3"	4"	6"	8"	12"
D	6"	6"	6"	6"	6"	6"
L&W	14"	16"	18"	20"	22"	24"

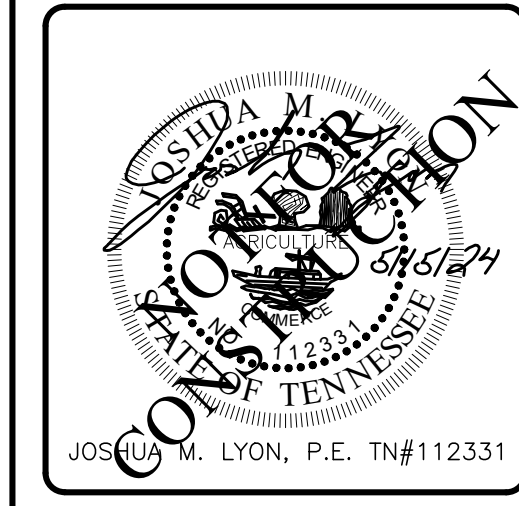
°(45 ) EIGHTH BENDS						
SIZE	2"	3"	4"	6"	8"	12"
D	6"	6"	6"	6"	6"	6"
L	12"	14"	16"	18"	20"	24"
T	10"	12"	14"	16"	18"	18"

°(90 ) QUARTER BENDS						
SIZE	2"	3"	4"	6"	8"	12"
D	6"	6"	6"	8"	10"	12"
L	15"	18"	21"	24"	27"	34"
T	10"	12"	14"	16"	20"	22"

**KLOBER ENGINEERING SERVICES**  
 SERVING CLIENTS WITH CIVIL ENGINEERING & LAND DEVELOPMENT SERVICES  
 3556 TORRENT AVENUE, SUITE 31717  
 PHONE: (615) 362-2000 FAX: (615) 371-4488  
 www.klobereing.com

NO.	BY	DATE	DESCRIPTION

REVISIONS



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 CHEATHAM COUNTY

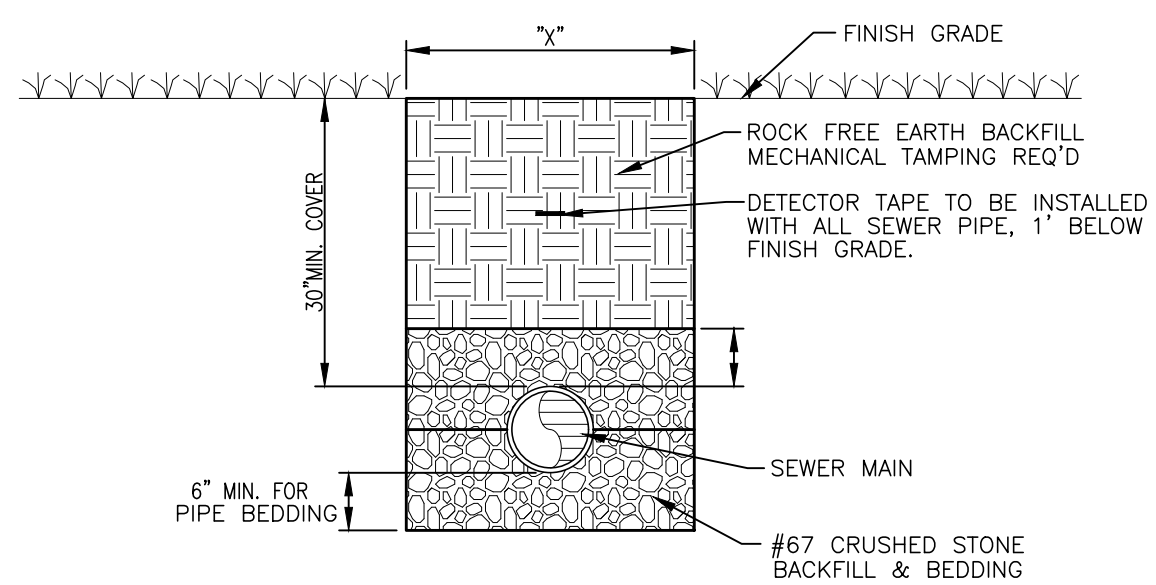
DRAWN BY:	CJN
CHECKED BY:	JML
DATE:	5/7/24
PROJECT NO.:	C02624

**WATERLINE DETAILS**

SHEET NUMBER  
**C2.03**

NOT FOR CONSTRUCTION

TRENCH WIDTH (X)	
PIPE SIZE	BUCKET WIDTH-X
6"	18"
8"	24"
10"	30"



**TYPICAL BEDDING & BACKFILL OUTSIDE ROADWAY**  
NOT TO SCALE

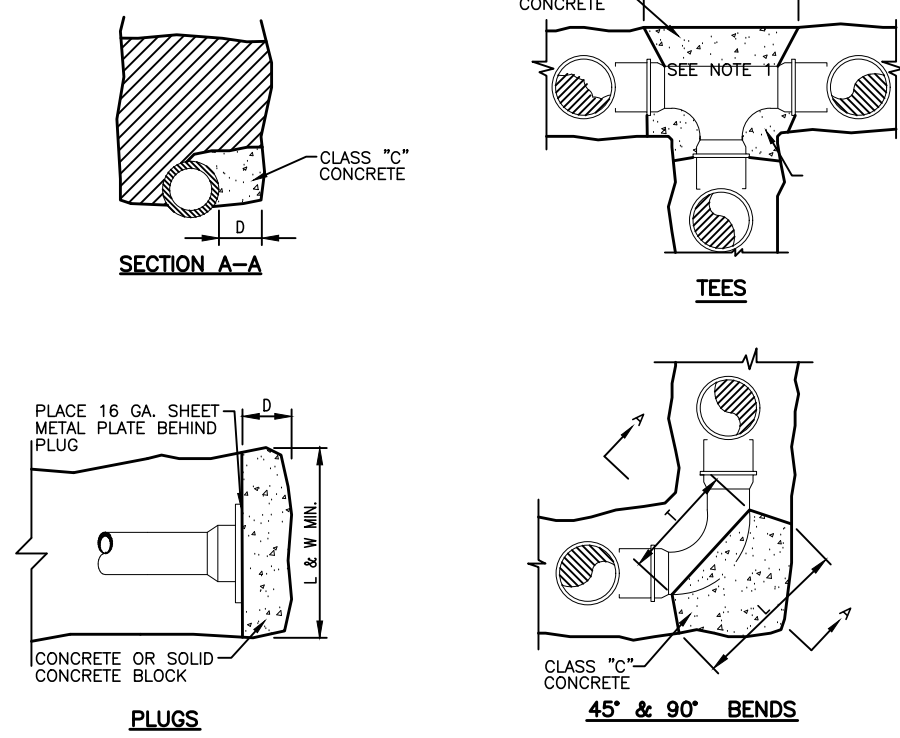
PLUGS & TEES	
SIZE	BUCKET WIDTH-X
2"	6"
3"	9"
4"	12"
6"	18"
8"	24"
10"	30"

(45°) EIGHTH BENDS	
SIZE	BUCKET WIDTH-X
2"	6"
3"	9"
4"	12"
6"	18"
8"	24"
10"	30"

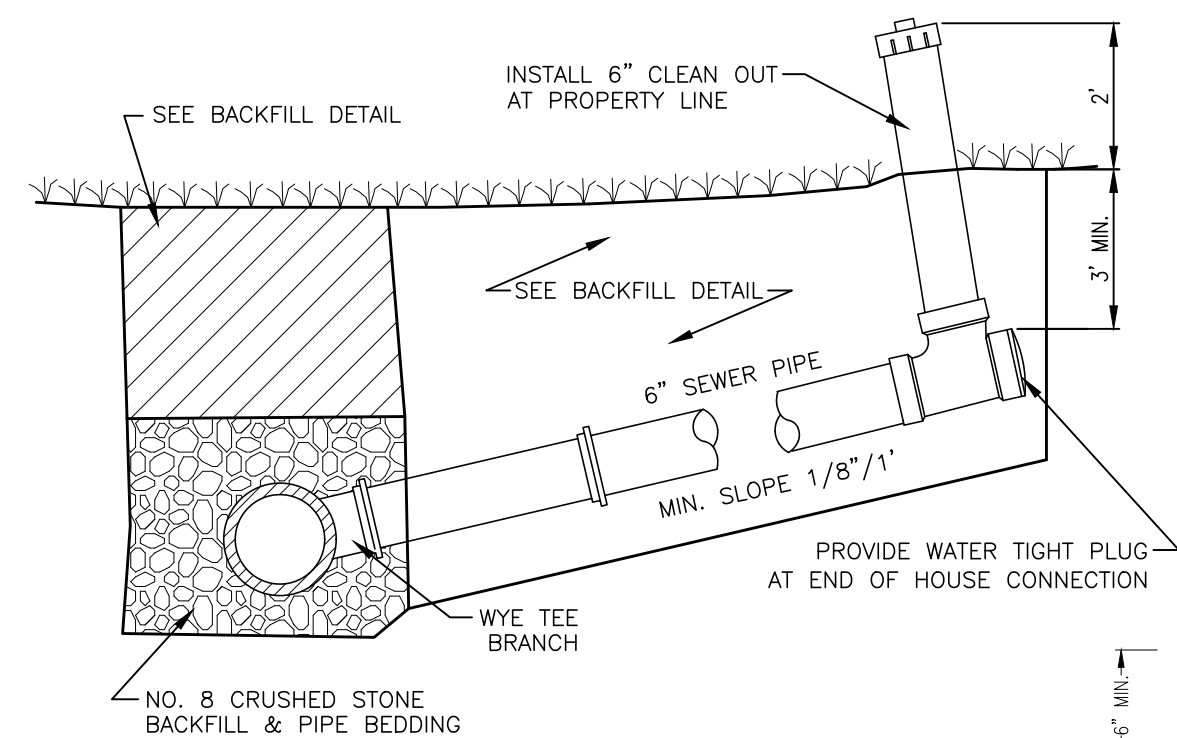
(90°) QUARTER BENDS	
SIZE	BUCKET WIDTH-X
2"	6"
3"	9"
4"	12"
6"	18"
8"	24"
10"	30"

NOTE 1:  
Restrained Joints Required:  
Concrete Thrust Blocks May  
Be Used In Addition To  
Restrained Joints, Per 5.3.1  
And 5.3.2.

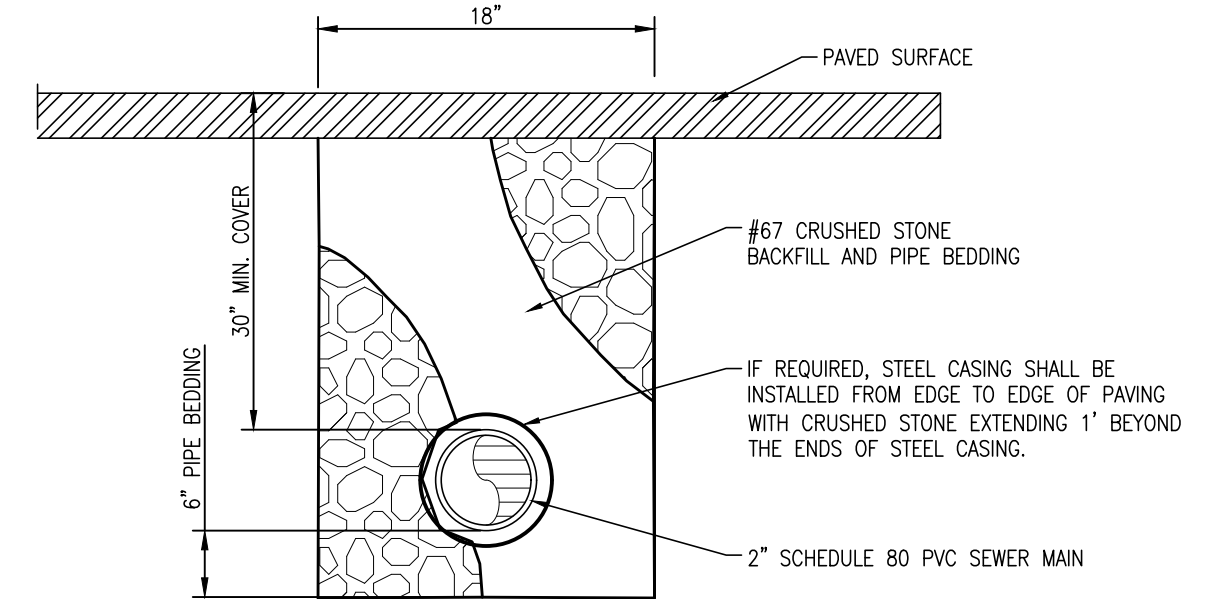
NOTE 2:  
Felt Paper Or Plastic Sheet  
Shall Be Installed Around Tee  
Before Kicker Is Placed  
To Protect Hardware.



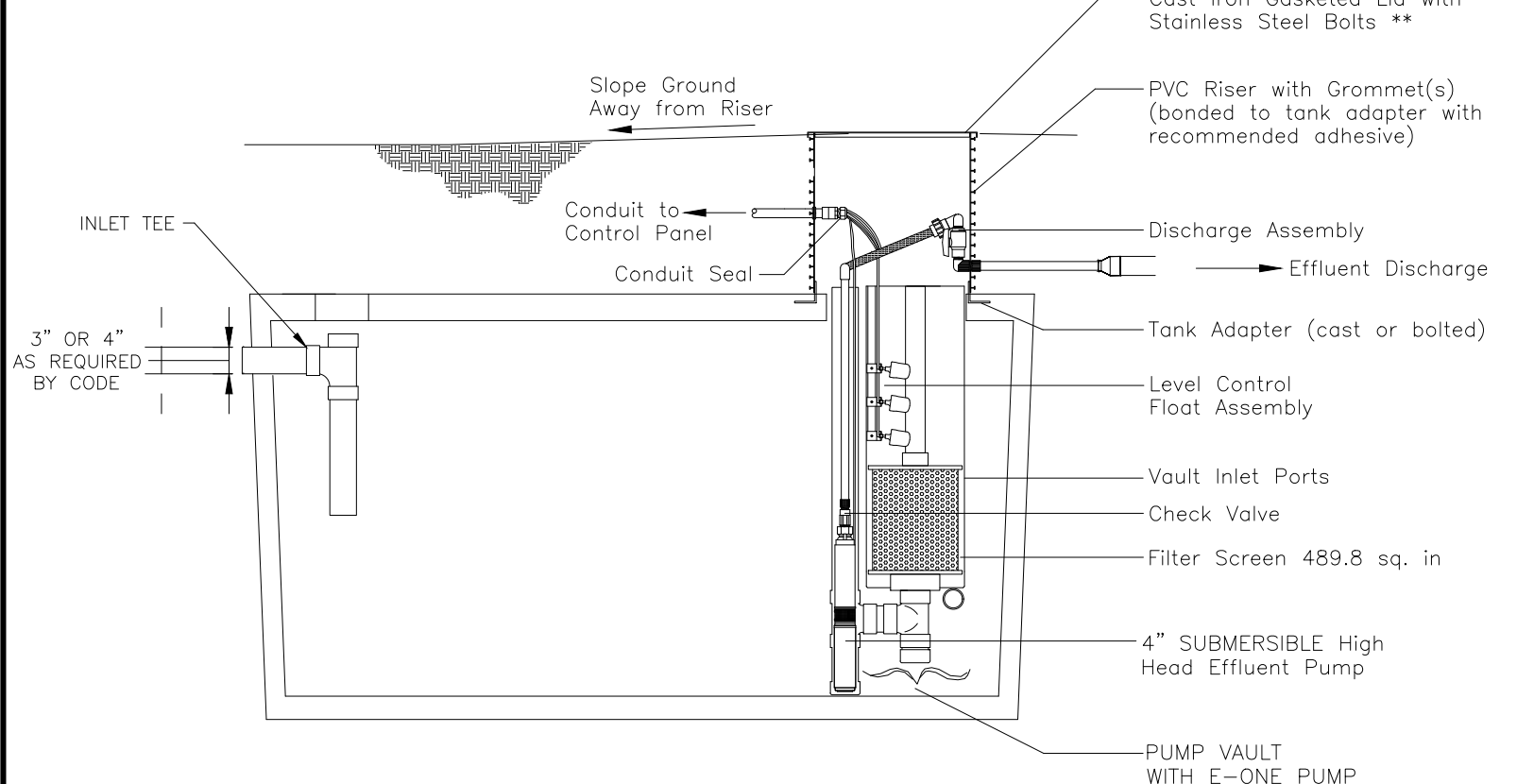
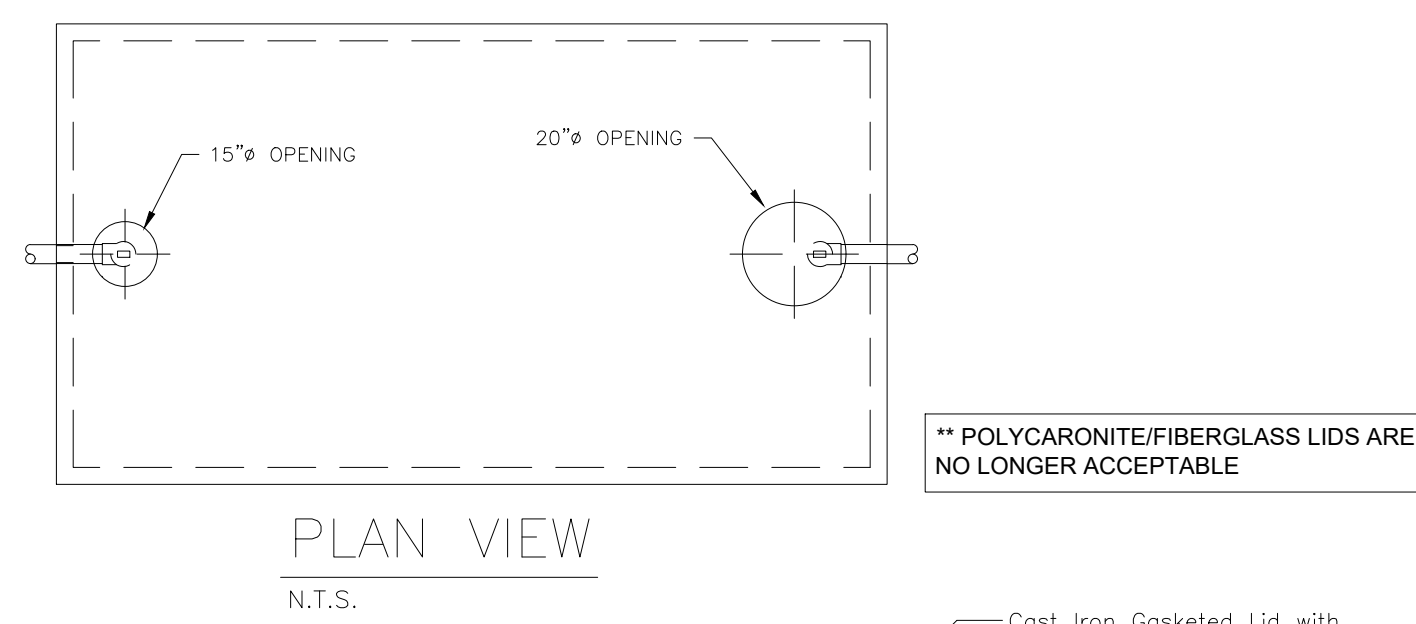
**CONCRETE THRUST BLOCK DETAIL**  
NOT TO SCALE



**TYPICAL SERVICE CONNECTION**  
NOT TO SCALE



**TYPICAL BEDDING & BACKFILL IN ROADWAY**  
NOT TO SCALE

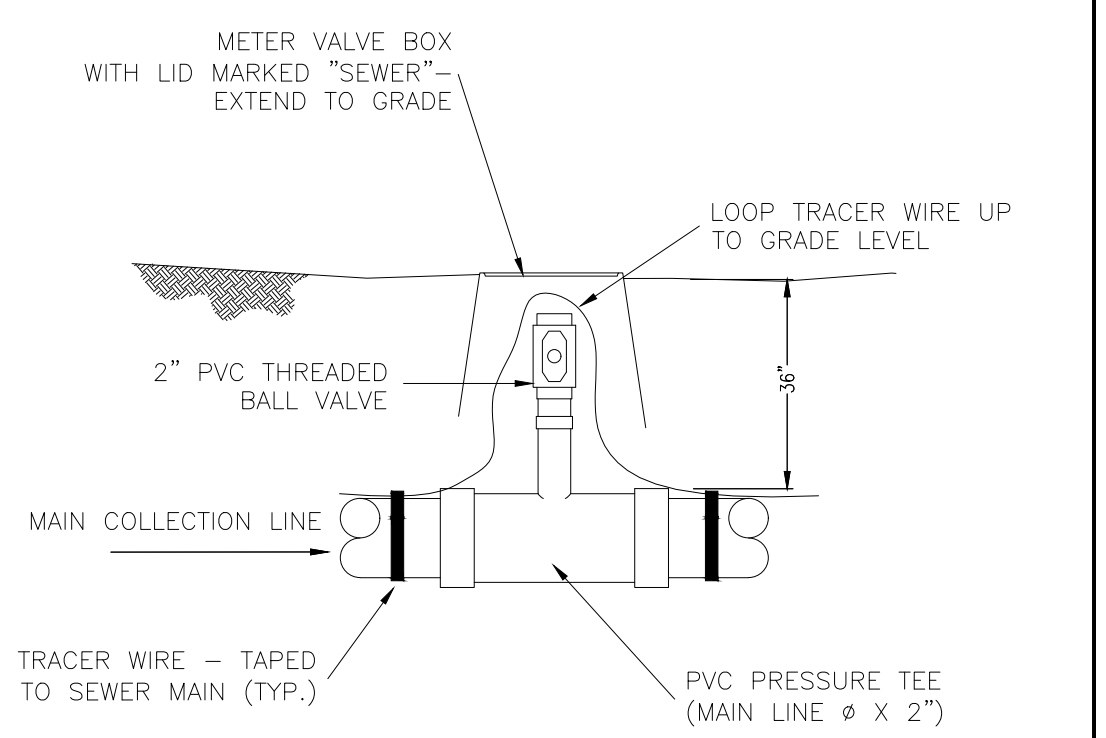


**1500 GALLON STEP TANK**  
N.T.S.

TANK WILL BE A 1500 GALLON, WATERTIGHT PRE-CAST STEP TANK, AS MANUFACTURED BY JARRETT CONCRETE PRODUCTS, OR APPROVED EQUAL. CONTACT: 615.792.9332

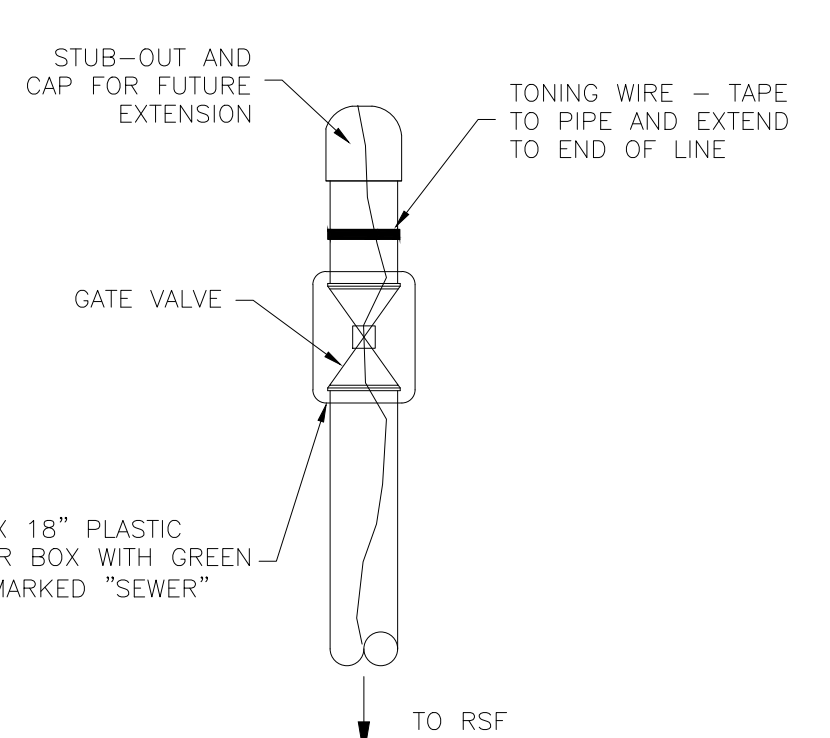
ALL TANKS SHALL BE ONE-PIECE, STRUCTURALLY SOUND, WATERTIGHT TANKS AS MANUFACTURED BY JARRETT CONCRETE PRODUCTS, OR APPROVED EQUAL

\*\* IN ORDER TO DEMONSTRATE WATER TIGHTNESS, TANKS SHALL BE TESTED TWICE PRIOR TO ACCEPTANCE. EACH TANK SHALL BE TESTED AT THE FACTORY, PRIOR TO SHIPPING, BY FILLING TO TWO (2) INCHES ABOVE THE TOP OF THE LID AND THE EXFILTRATION RATE SHALL BE DETERMINED BY MEASURING THE WATER LOSS DURING THE NEXT TWO HOURS. THE SAME TEST WILL BE CONDUCTED ONCE THE TANK IS IN THE FIELD, PRIOR TO BACKFILLING. AFTER TANKS ARE FILLED 2" INTO THE RISER, THERE SHOULD BE LESS THAN 1/2" DROP IN 24 HOURS.



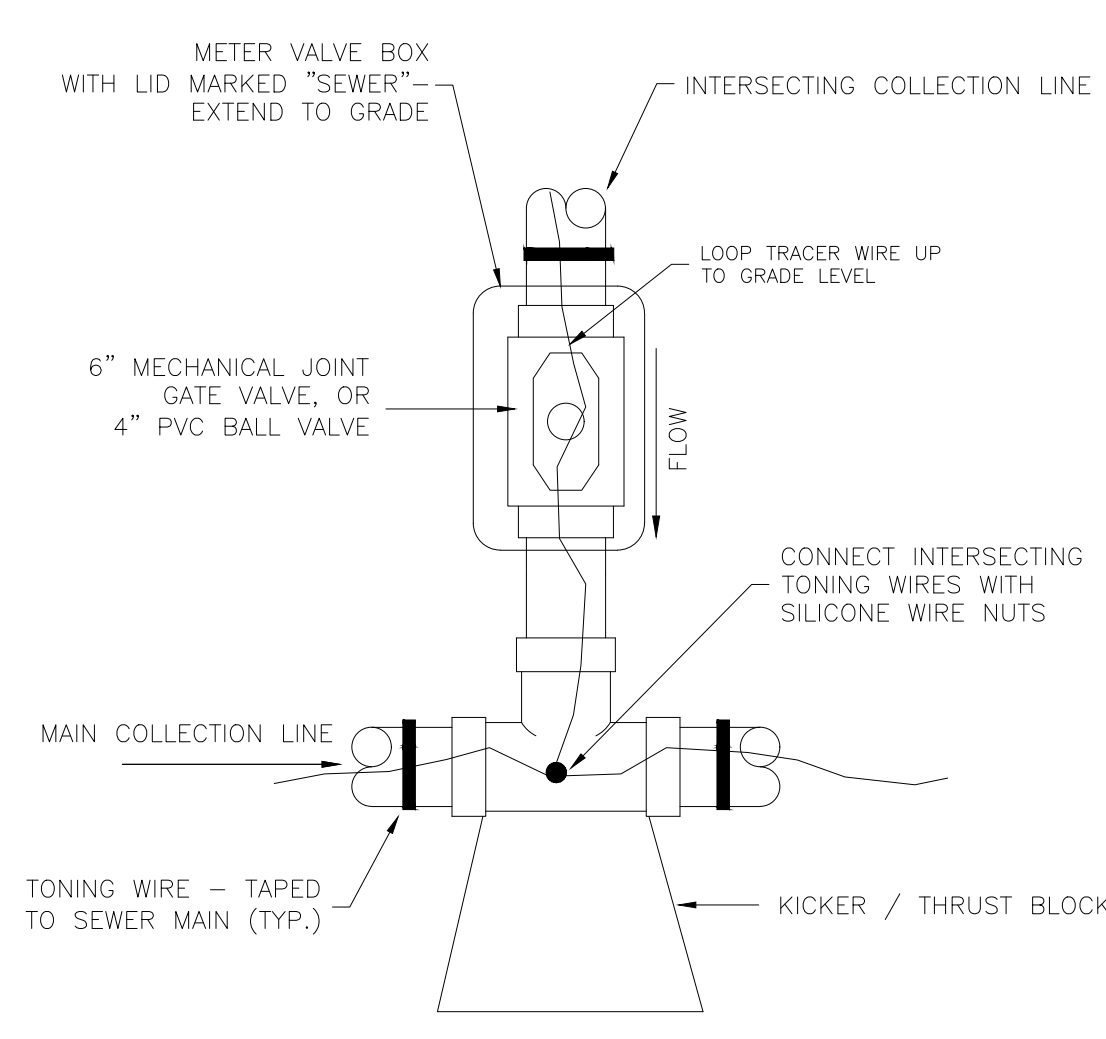
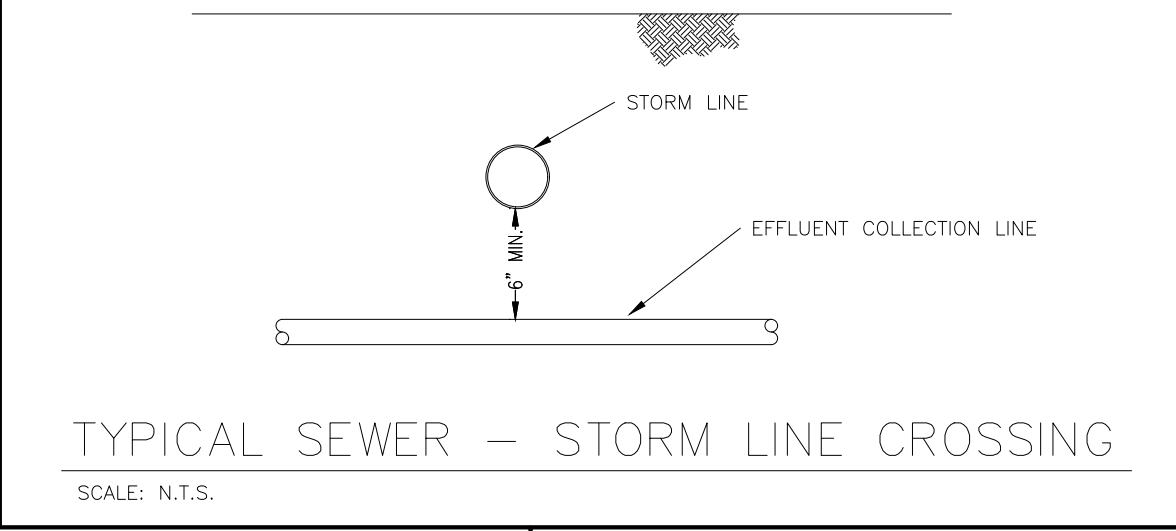
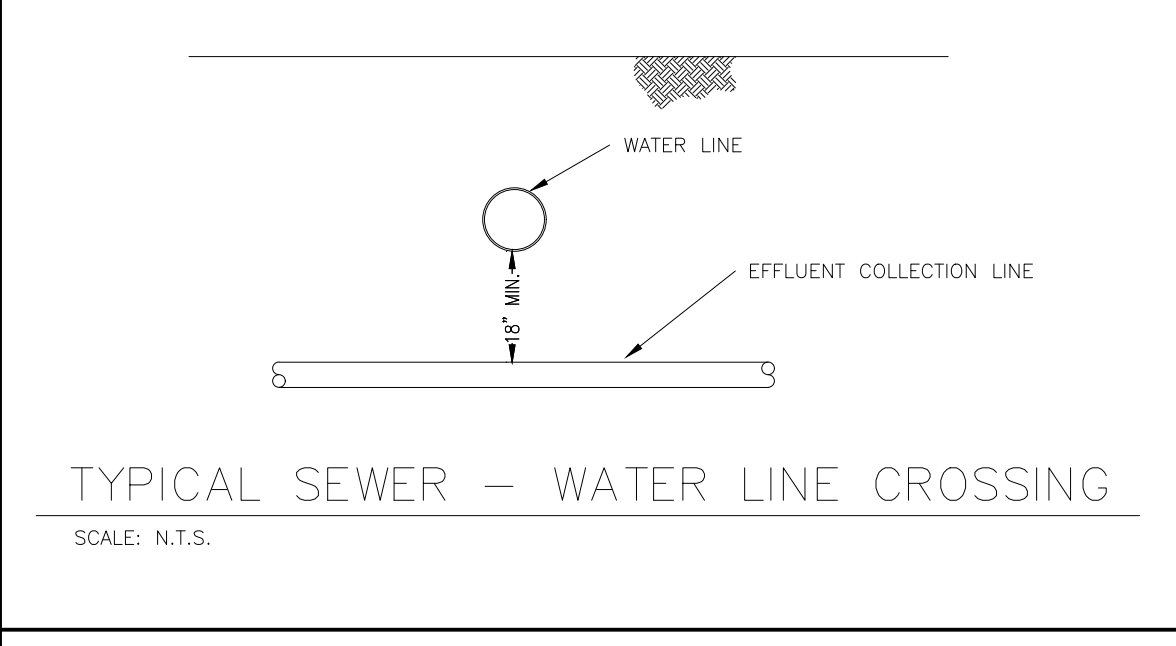
**TYPICAL COLLECTION MAIN TESTING PORT**  
N.T.S.

INSTALL ONE (1) TESTING PORT PER COLLECTION LINE. COORDINATE INSTALLATION/LOCATION WITH UTILITY INSPECTOR, OR ADENUS ENGINEER. LOCATION OF TESTING PORT TO BE NOTED ON AS-BUILT DRAWINGS.



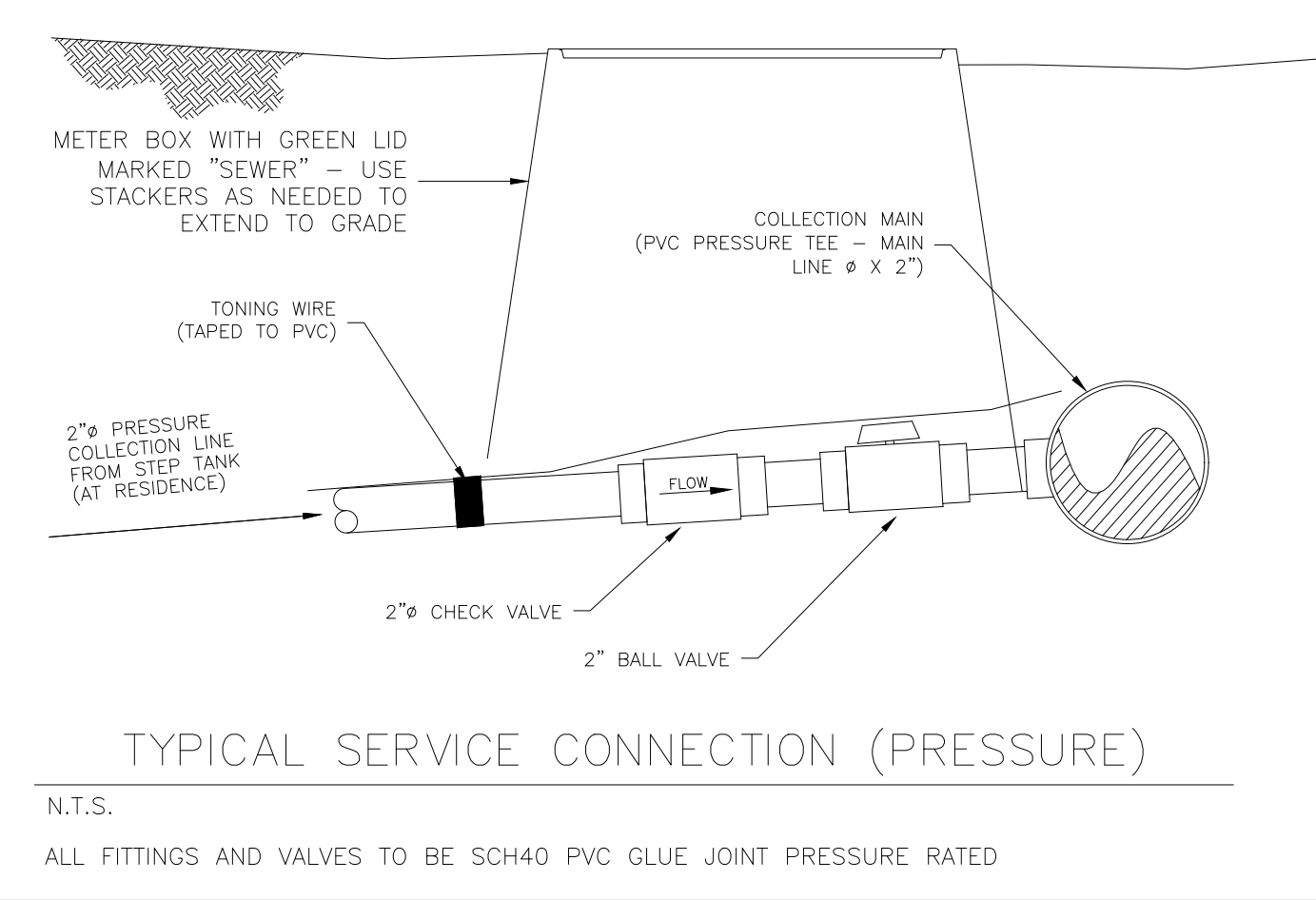
**TYPICAL STUB FOR EXTENSION**  
N.T.S.

\*\* GATE VALVE / BALL VALVE NOTE  
ON COLLECTION LINES 4", AND SMALLER, SCH40 PVC BALL VALVES WILL BE USED.  
ON COLLECTION LINES 6", AND LARGER, FLOWMASTER MECHANICAL JOINT SQUARE HEAD VALVES, OR EQUAL WILL BE USED.



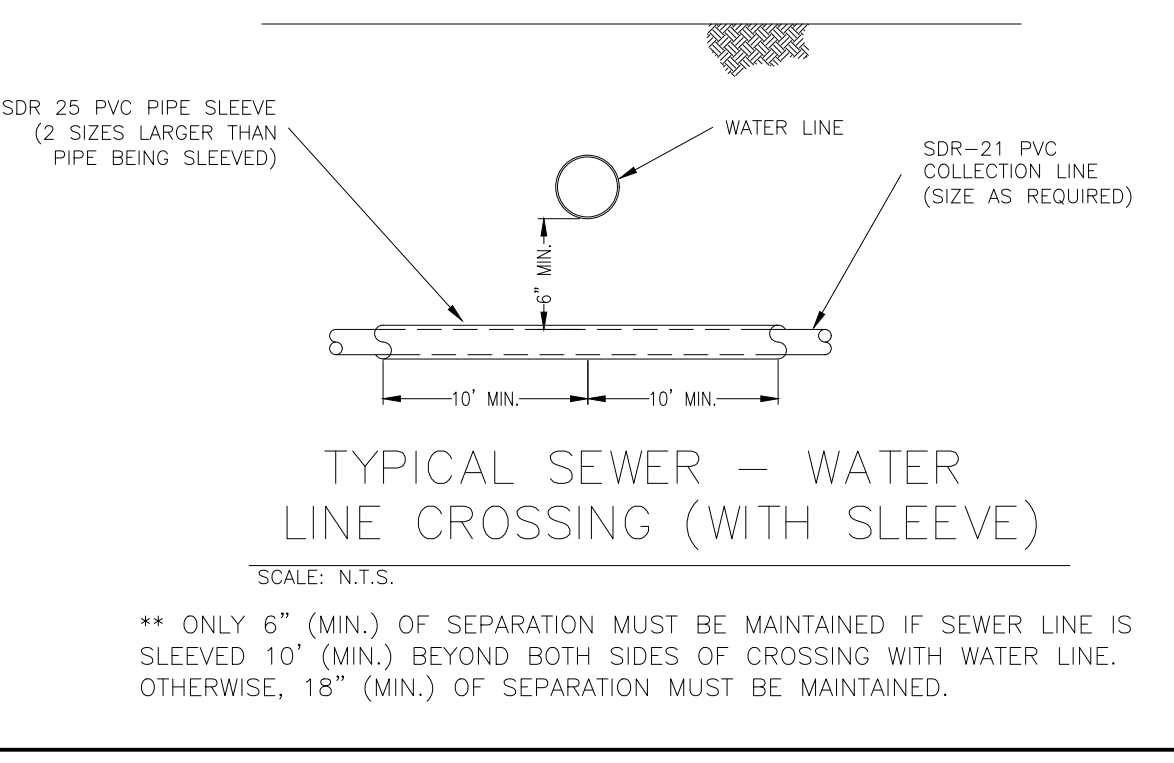
**TYPICAL COLLECTION LINE INTERSECTION**  
SCALE: N.T.S.

\*\* GATE VALVE / BALL VALVE NOTE  
ON COLLECTION LINES 4", AND SMALLER, SCH40 PVC BALL VALVES WILL BE USED.  
ON COLLECTION LINES 6", AND LARGER, MECHANICAL JOINT GATE VALVES WILL BE USED.



**TYPICAL SERVICE CONNECTION (PRESSURE)**  
N.T.S.

ALL FITTINGS AND VALVES TO BE SCH40 PVC GLUE JOINT PRESSURE RATED



**TYPICAL SEWER - WATER LINE CROSSING (WITH SLEEVE)**  
SCALE: N.T.S.

\*\* ONLY 6" (MIN.) OF SEPARATION MUST BE MAINTAINED IF SEWER LINE IS SLEEVED 10" (MIN.) BEYOND BOTH SIDES OF CROSSING WITH WATER LINE. OTHERWISE, 18" (MIN.) OF SEPARATION MUST BE MAINTAINED.

**KLOBER ENGINEERING SERVICES**

SEWER LINE DETAILS

3556 TOLSON ROAD, SUITE 200  
MEMPHIS, TN 38117  
PHONE: (901) 382-2000 FAX: (901) 374-4488  
www.klobereing.com

NO.	BY	DATE	DESCRIPTION

**OSHA**

**OSHA**

JOS (L) M. LYON, P.E. TN#112331

**ACE RETAIL CENTER**

1209 TN HWY-12 SOUTH  
ASHLAND CITY, TN 37015  
CHEATHAM COUNTY

DRAWN BY:	CJN
CHECKED BY:	JML
DATE:	5/7/24
PROJECT NO.:	C02624

**SEWER LINE DETAILS**

SHEET NUMBER

**C2.04**