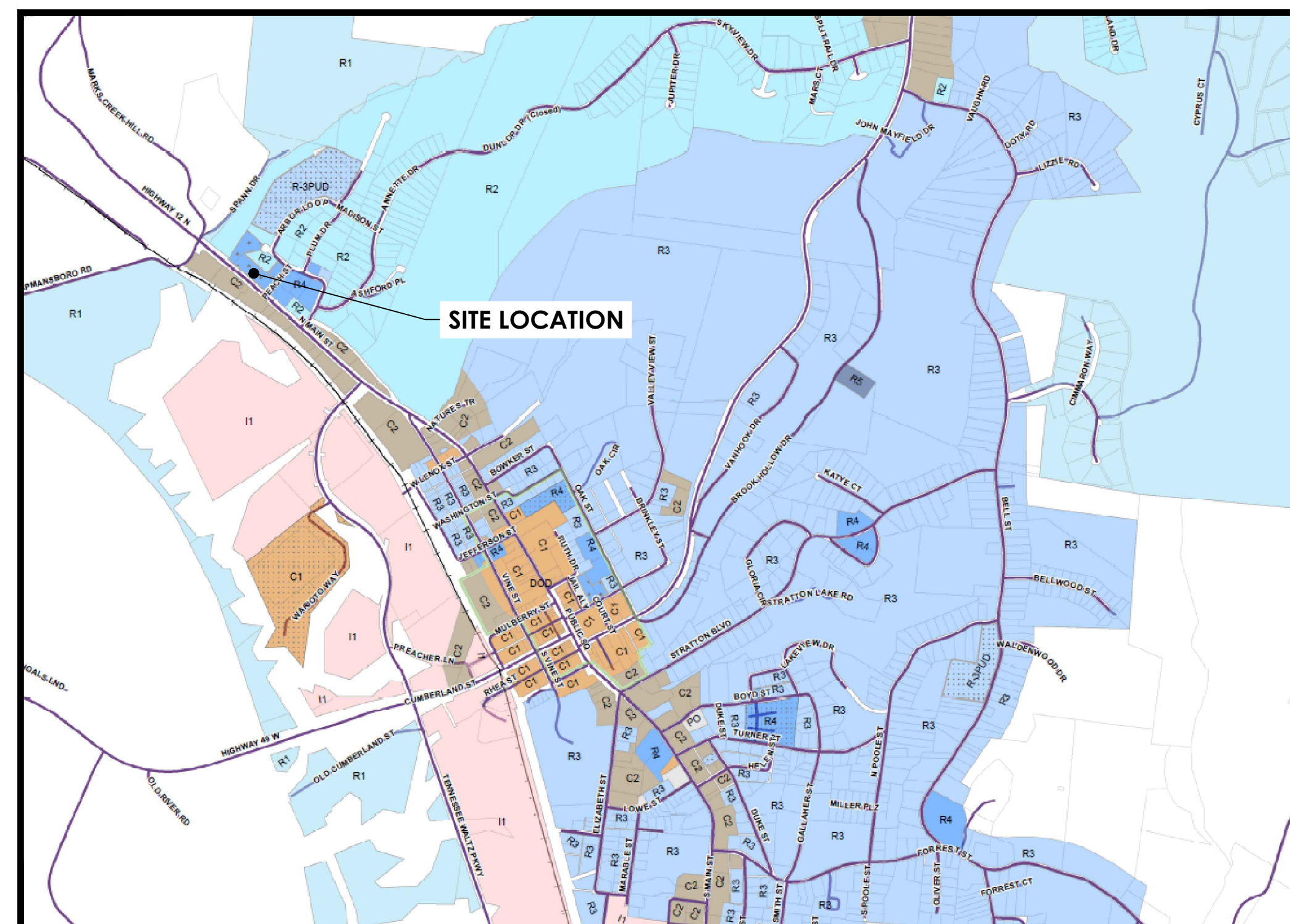
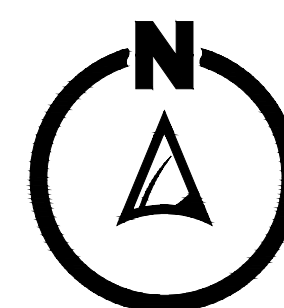


SITE IMPROVEMENTS FOR
PEACH HILL SUBDIVISION
ASHLAND CITY
CHEATHAM COUNTY, TENNESSEE
(049J D 00101 000 / CURRENTLY ZONED R-4)



SITE LOCATION MAP
(NOT TO SCALE)




FEMA NOTE:
1. A PORTION OF THE PROPERTY IS LOCATED WITHIN ZONE "AE," 100-YEAR BASE FLOOD ELEVATION = 402.0 (NAVD 88 DATUM) :

MAP NUMBER: 47021C0165D **EFFECTIVE DATE: SEPTEMBER 17, 2010**

TDEC CGP NOTE:
I HEREBY CERTIFY THAT THIS PROJECT DOES **NOT** REQUIRE COVERAGE UNDER A TENNESSEE CONSTRUCTION GENERAL PERMIT. THE TOTAL DISTURBED AREA IS: **0.88 ACRES**.

CHECK ALL THAT APPLY: THIS SITE DISCHARGES INTO WATERS IDENTIFIED BY TDEC AS:
☐ FULLY SUPPORTING ☐ NOT SUPPORTING ☐ EXCEPTIONAL ☒ NONE


PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF TENNESSEE DATE: 10/16/2020

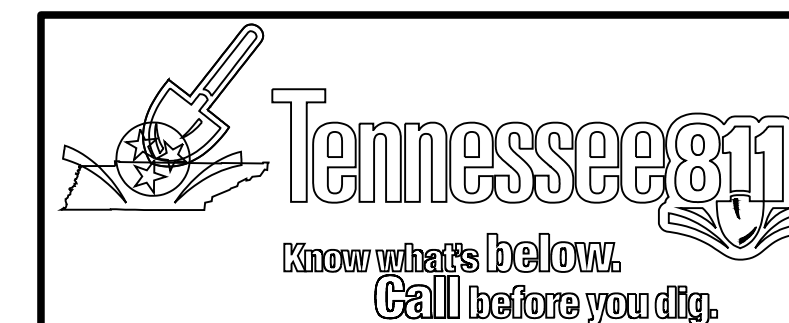
CIRCLE ONE: DEVELOPER PROJECT ENGINEER OTHER

Sheet Number	Sheet Title
C-0.0	COVER SHEET
C-0.1	EXISTING CONDITIONS
C-1.0	SITE PLAN
C-1.1	SITE PLAN DETAILS
C-2.0	GRADING & DRAINAGE PLAN
C-2.1	GRADING & DRAINAGE DETAILS
C-3.0	EPSC INITIAL PLAN
C-3.1	EPSC INTERMEDIATE & FINAL PLAN
C-3.2	EPSC DETAILS
C-4.0	UTILITY PLAN

DEVELOPER INFORMATION:
REGAL HOMES, INC.
290 ED HARRIS RD
ASHLAND CITY, TN 37015

CIVIL ENGINEER INFORMATION:
HARPETH CIVIL, INC.
179 BELLE FOREST CIRCLE, SUITE 204E
NASHVILLE, TENNESSEE, 37221
615-730-3502

LAND SURVEYOR INFORMATION:
CHANDLER SURVEYING
3421 COOPER NICHOLSON ROAD
PLEASANT VIEW, TN, 37146
615-746-5900



PEACH HILL SUBDIVISION
PEACH STREET
ASHLAND CITY, TN, 37015



HARPETH CIVIL
CIVIL ENGINEERS
179 BELLE FOREST CIR.
SUITE 204 E
NASHVILLE, TN, 37221
(615) 730-3502
WWW.HARPETHCIVIL.COM

HCI PN 0540-20A

COVER SHEET

C-0.0



DATE: 10-16-2020
DRW: AH CHK: DS

DESCRIPTION:

CONST. DOCS ISSUED TO CLIENT

DATE: -

DRW: - CHK: -

DESCRIPTION:

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DATE: -

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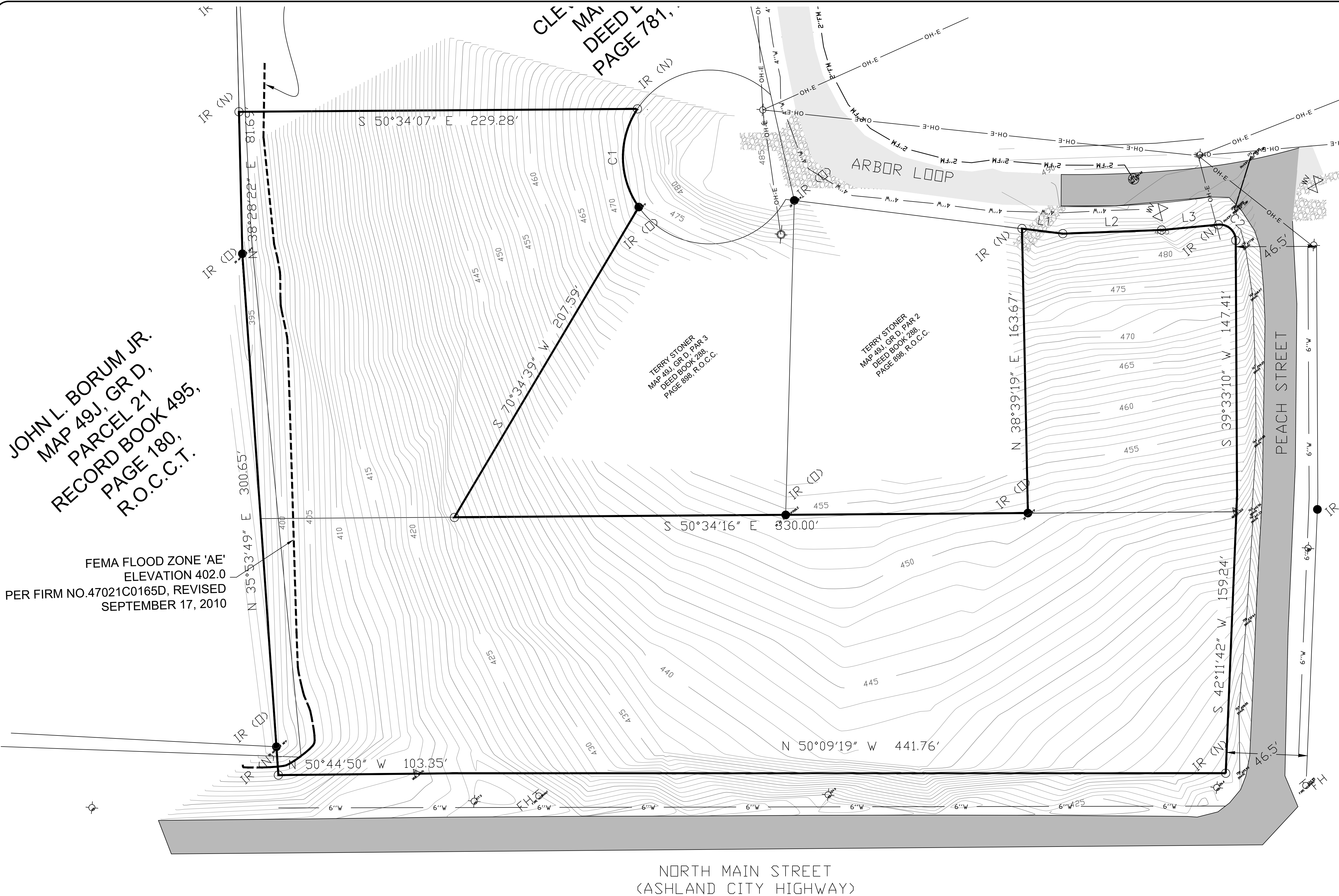
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JOHN L. BORUM JR.
MAP 49J, GR D,
PARCEL 21
RECORD BOOK 495,
PAGE 180,
R.O.C.C.T.

FEMA FLOOD ZONE 'AE'
ELEVATION 402.0
PER FIRM NO.47021C0165D, REVISED
SEPTEMBER 17, 2010

CLEAR MAP
DEED L
PAGE 781,

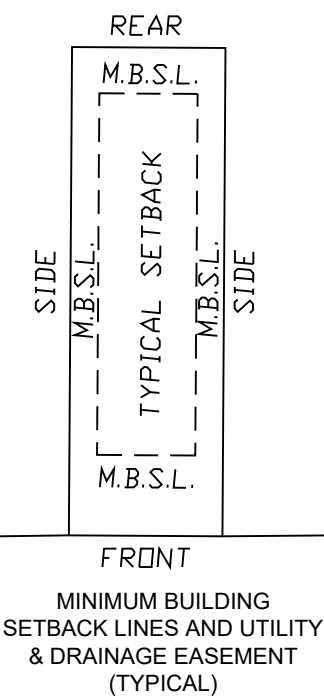


NORTH MAIN STREET
(ASHLAND CITY HIGHWAY)

LEGEND

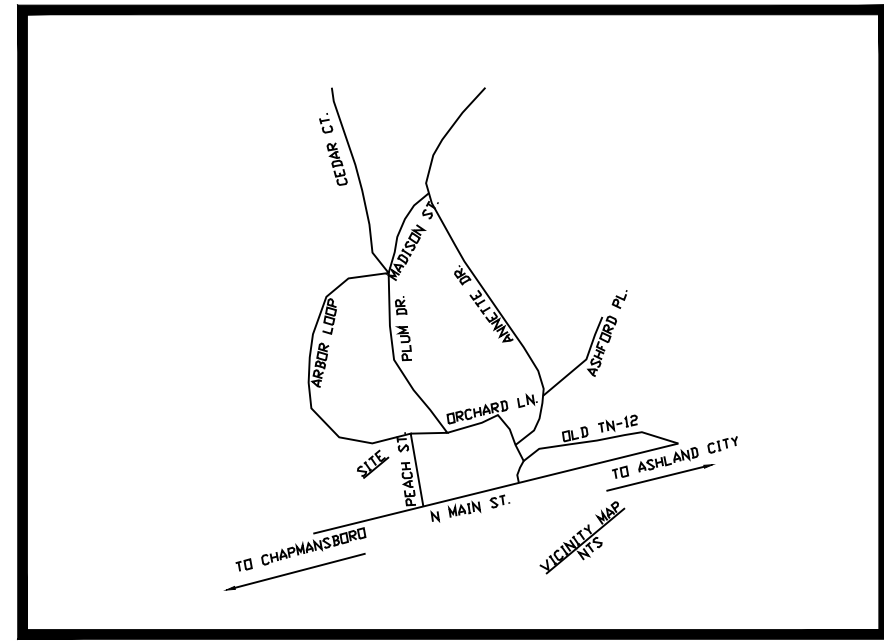
These standard symbols will
be found in the drawing.

- OHE — OVERHEAD ELECTRIC LINE
- IRON ROD (NEW) I.R. (N)
- IRON ROD (OLD) I.R. (D)
- ⊕ FIRE HYDRANT FH
- ⊗ SEWER MANHOLE MH
- PP — POWER POLE
- — — APPROXIMATE WATER LINE
- — — APPROXIMATE SEWER LINE FORCE MAIN



LINE	BEARING	DISTANCE
L1	S 43°06'09" E	23.66'
L2	S 52°16'49" E	56.87'
L3	S 55°31'07" E	32.83'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	50.00'	60.00'	56.46'	S 39°04'35" W	68°45'08"
C2	9.15'	15.19'	13.50'	S 07°58'58" E	95°04'18"



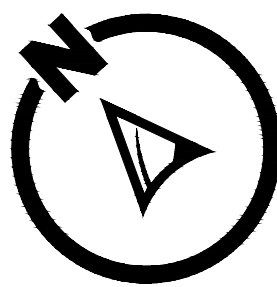
VICINITY MAP
N.T.S.

NOTES:

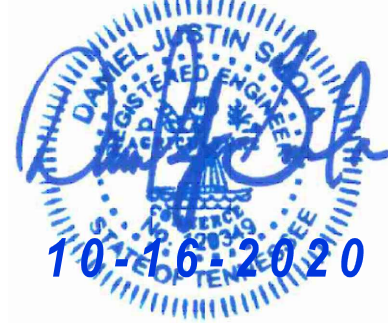
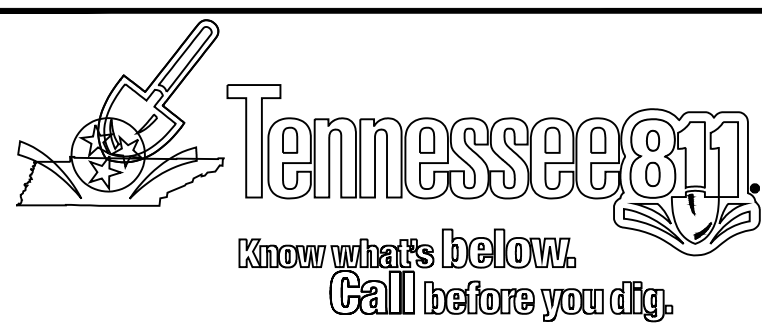
- BEARING SYSTEM IS DERIVED FROM TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD83) ZONE 4100, UNLESS OTHERWISE NOTED DISTANCES AND COORDINATES RECITED ARE BASED ON GROUND MEASUREMENTS, NO SCALE FACTOR APPLIED.
- G.P.S. EQUIPMENT USED TO ESTABLISH GRID NORTH: TRIMBLE R-8 DUAL FREQUENCY RECEIVER AND T.D.O.T. GNSS REFERENCE NETWORK.
- NUMBERS SHOWN THUS (00) PERTAIN TO CHEATHAM COUNTY PROPERTY TAX MAP NUMBER XX.
- PROPERTY SUBJECT TO ANY AND ALL FINDINGS OF A CURRENT AND ACCURATE TITLE SEARCH, NO TITLE REPORT WAS FURNISHED TO THE SURVEYOR PRIOR TO SURVEY.
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THE ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY.
- IN TENNESSEE IT IS A REQUIREMENT OF THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT, THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNER(S), NO LESS THAN (3) NOR MORE THAN (10) WORKING DAYS PRIOR TO THE DATE OF THE INTENT TO EXCAVATE AND ALSO TO AVOID ANY HAZARD OR CONFLICT. TENNESSEE ONE CALL 1-800-351-1111 UTILITIES NOT CHECKED.
- SURVEYORS LIABILITY FOR THIS DOCUMENT SHALL BE LIMITED TO THE ORIGINAL PURCHASER AND DOES NOT EXTEND TO ANY UNNAMED PERSON OR ENTITY WITHOUT AN EXPRESSED RE-CERTIFICATION BY THE SURVEYOR WHOSE NAME APPEARS UPON THIS SURVEY.
- THIS PROPERTY WAS PREPARED FROM CURRENT DEEDS AND PLATS OF RECORD AND DOES NOT REPRESENT A TITLE SEARCH OR A GUARANTEE OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS A CURRENT AND ACCURATE TITLE SEARCH MAY REVEAL. THE PROPERTY SHOWN ON THIS PLAT IS SUBJECT TO ALL COVENANTS, RIGHT-OF-WAYS, EASEMENTS, AND RESTRICTIONS WHETHER IMPLIED OR OF RECORD.
- THE CERTIFICATION AS PROVIDED ON THIS SURVEY, IS PURELY A STATE OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE PROVIDED BY OTHERS.
- THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.
- THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY ISSUED AT THE SURVEY DATE WITH ITS ORIGINAL SEAL TO INSURE THE ACCURACY OF THE INFORMATION AND NO RELIANCE SHOULD BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SEALED DOCUMENT ISSUED AT THE TIME OF THE SURVEY.

SURVEY INFORMATION NOTE:

THE EXISTING CONDITIONS SHOWN ON THESE PLANS HAS BEEN PROVIDED BY CHANDLER SURVEY. HARPETH CIVIL, INC. (HCI) TAKES NO RESPONSIBILITY AS TO THE ACCURACY, PRECISION, CORRECTNESS, OR COMPLETENESS OF THE SURVEY INFORMATION.



SCALE: 1" = 30'



DATE: 10-16-2020
DRW: AH CHK: DS
DESCRIPTION:
CONST. DOCS ISSUED TO CLIENT

DATE: -
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DRW: - CHK: -
DESCRIPTION:

PEACH HILL SUBDIVISION
PEACH STREET
ASHLAND CITY, TN, 37015



HARPETH
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SUITE 204 E
NASHVILLE, TN, 37221
(615) 730-3502
WWW.HARPETHCIVIL.COM

HCI PN 0540-20A

EXISTING CONDITIONS

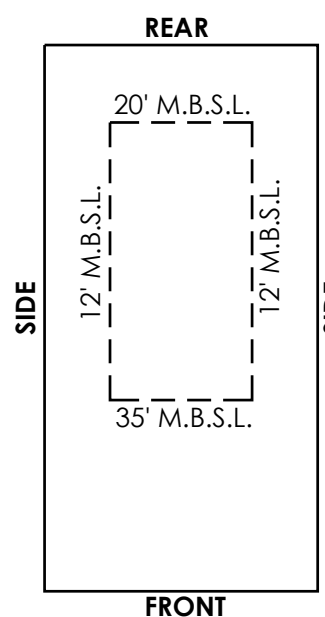
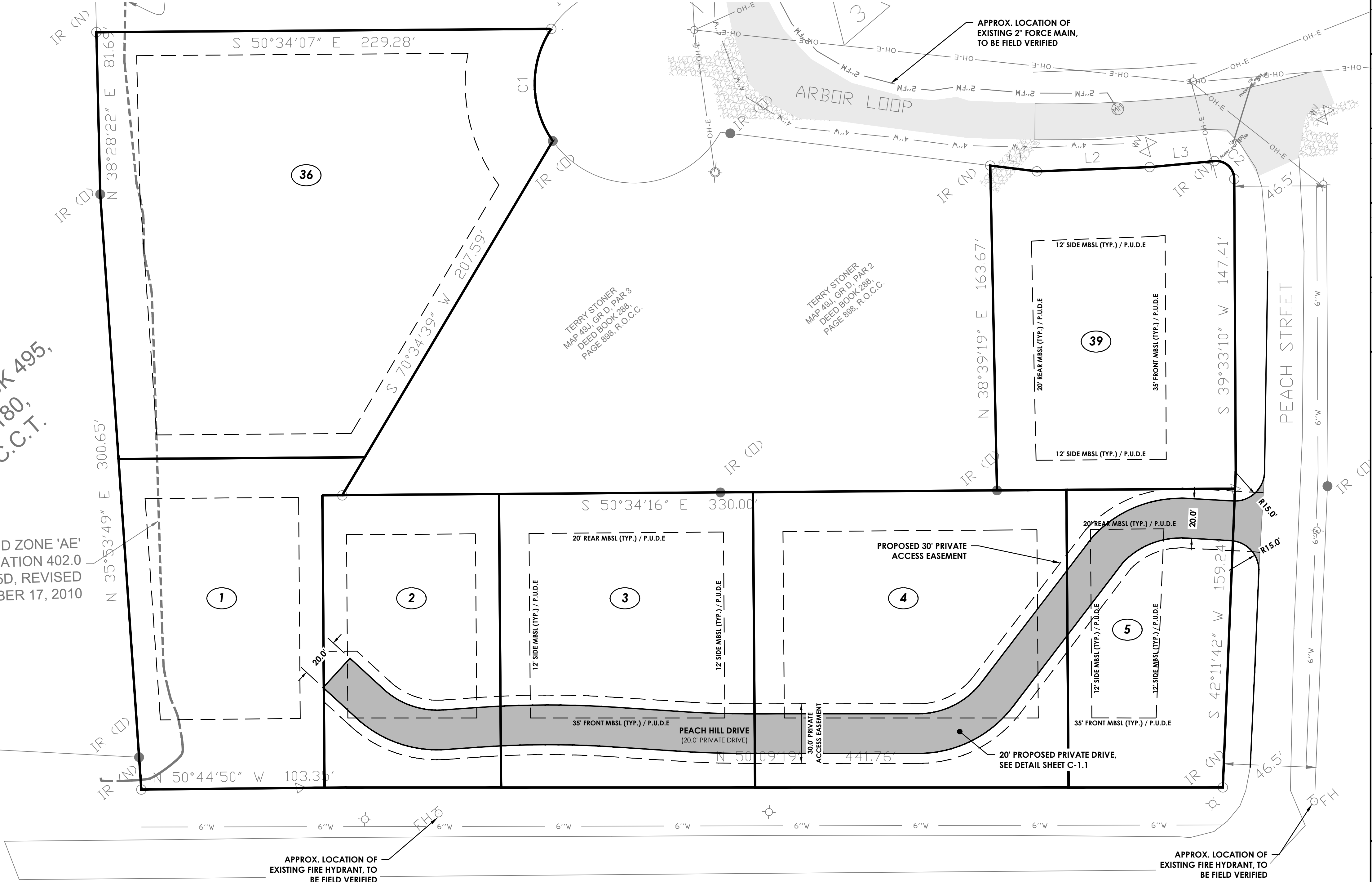
C-0.1

GENERAL SITE NOTES:

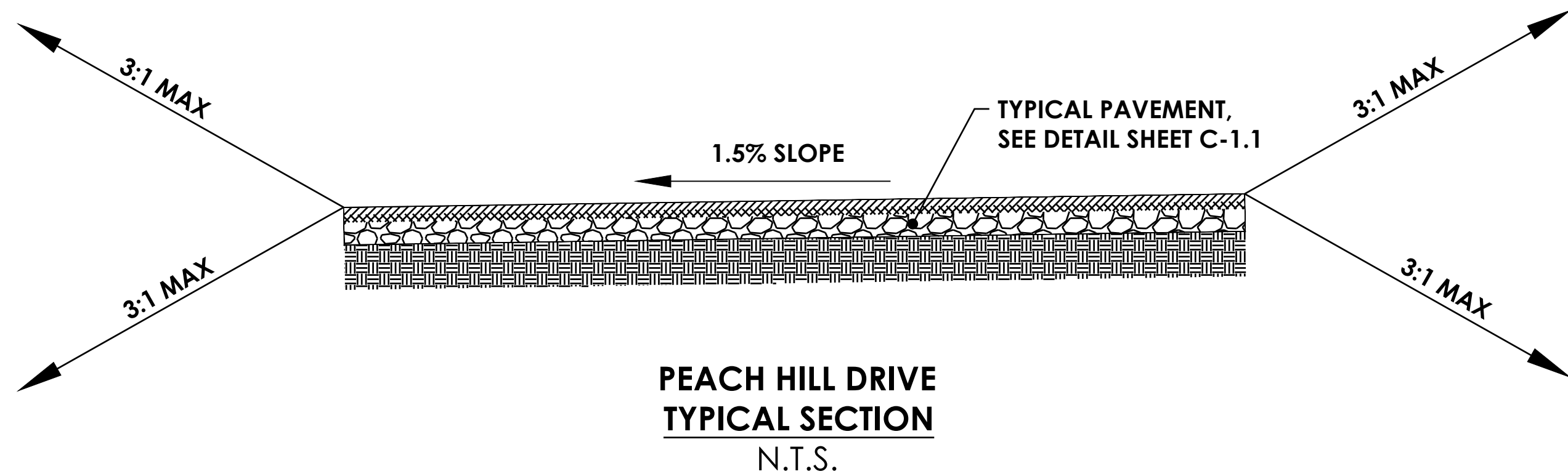
- LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
- ALL DIMENSIONS ARE TO THE FACE OF BUILDING AND / OR CURB UNLESS OTHERWISE NOTED.
- SEE ARCHITECTURAL DRAWINGS FOR BUILDING DIMENSIONS.
- CONTRACTOR TO TAKE ALL PRECAUTIONS TO FIND AND AVOID SITE UTILITIES. ALL UTILITIES MAY NOT BE SHOWN ON DRAWING. VERIFY LOCATIONS AND CONSIDER SUCH WHEN ESTIMATING AND PERFORMING WORK.
- ALL LANDSCAPE ISLANDS SHALL BE MOUNDED WITH TOPSOIL 4" ABOVE THE CURB LINE TO PROMOTE POSITIVE DRAINAGE.
- ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE INSTALLED PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- SAW CUT LINES SHALL BE DONE IN A STRAIGHT NEAT LINE A MINIMUM OF 18" FROM THE EXISTING EDGE OF PAVEMENT.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OR ENGINEER OF ANY DISCREPANCIES FOUND BETWEEN THESE PLANS, THE ARCHITECTURAL PLANS, AND/OR FIELD CONDITIONS PRIOR TO CONSTRUCTION.
- APPARENT ERRORS, DISCREPANCIES, OR OMISSIONS ON THE DRAWING SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO BID SUBMITTAL.
- THE CONTRACTOR SHALL EMPLOY A REGISTERED LICENSED SURVEYOR OF TENNESSEE TO PROVIDE CONSTRUCTION LAYOUT SURVEYING SERVICES.
- THE CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE GEOMETRIC DATA PROVIDED IN THE DRAWINGS. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO COMPLETELY STAKE AND CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL AND VERTICAL, PRIOR TO THE INSTALLATION OF ANY IMPROVEMENTS.
- AFTER COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PERFORM SITE CLEANUP TO REMOVE ALL TRASH, DEBRIS, EXCESS MATERIALS, EQUIPMENT, AND OTHER DELETERIOUS MATERIALS ASSOCIATED WITH CONSTRUCTION. THE CONTRACTOR IS EXPRESSLY RESPONSIBLE FOR ENSURING THE SITE IS CLEAN AND IN OPERABLE CONDITION AT THE TIME OF FINAL ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION AND REPLACEMENT OF ALL PROPERTY PINS ON THIS SITE.
- THESE DRAWINGS ARE INTENDED FOR USE ON THIS SITE ONLY AND AS AN INTEGRATED SET FOR THIS SPECIFIC PROJECT. THESE DRAWINGS MAY NOT BE USED IN WHOLE OR IN PART ON ANY OTHER PROJECT UNDER THE PROFESSIONAL ENGINEER'S SEAL.
- THE CONTRACTOR SHALL ASSURE TO METRO THAT ALL SERVICES PROVIDED THROUGH THIS CONTRACT SHALL BE COMPLETED IN FULL COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA), AND ARCHITECTURAL AND TRANSPORTATION BARRIERS COMPLIANCE BOARD, FEDERAL REGISTER 36, CFR PART 1190 AND 1191, ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES; ARCHITECTURAL BARRIERS ACT (ABA) ACCESSIBILITY GUIDELINES; PROPOSED RULE, PUBLISHED IN THE FEDERAL REGISTER ON JULY 23, 2004, AS HAS BEEN ADOPTED BY METRO.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ANY EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED OR NEEDED TO COMPLETE THE WORK.
- THE CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR REGULATORY AUTHORITY
- HCI EXCLUDES THE DESIGN OF SITE RETAINING WALLS OR VERTICAL STRUCTURAL FEATURES INCLUDING, BUT NOT LIMITED TO, CAST-IN-PLACE CONCRETE, MODULAR BLOCK, OR MECHANICALLY STABILIZE EARTH FEATURES.

JOHN L. BORUM JR.
MAP 49J, GR D,
PARCEL 21
RECORD BOOK 495,
PAGE 180,
R.O.C.C.T.

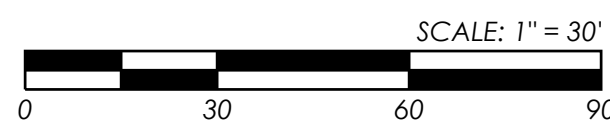
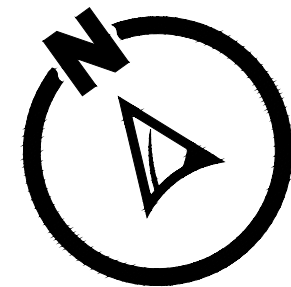
FEMA FLOOD ZONE 'AE'
ELEVATION 402.0
PER FIRM NO.47021C0165D, REVISED
SEPTEMBER 17, 2010



MINIMUM BUILDING SETBACK LINES AND
PUBLIC UTILITY & DRAINAGE EASEMENT (TYP.)
N.T.S.



PEACH HILL DRIVE
TYPICAL SECTION
N.T.S.



DATE:	10-16-2020
DRW:	AH
CHK:	DS
DESCRIPTION:	
CONST. DOCS ISSUED TO CLIENT	
DATE:	-
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DESCRIPTION:	
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CHK:	-
DESCRIPTION:	

PEACH HILL SUBDIVISION
PEACH STREET
ASHLAND CITY, TN, 37015



HARPETH
CIVIL
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179 BELLE FOREST CIR.
SUITE 204 E
NASHVILLE, TN, 37221
(615) 730-3502
WWW.HARPETHCIVIL.COM

HCI PN 0540-20A

SITE PLAN

C-1.0



DATE:	10-16-2020	
DRW:	AH	CHK: DS
DESCRIPTION:		
CONST. DOCS ISSUED TO CLIENT		
DATE:	-	
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PEACH HILL SUBDIVISION
PEACH STREET
ASHLAND CITY, TN, 37015



HCI PN 0540-20A

SITE PLAN DETAILS

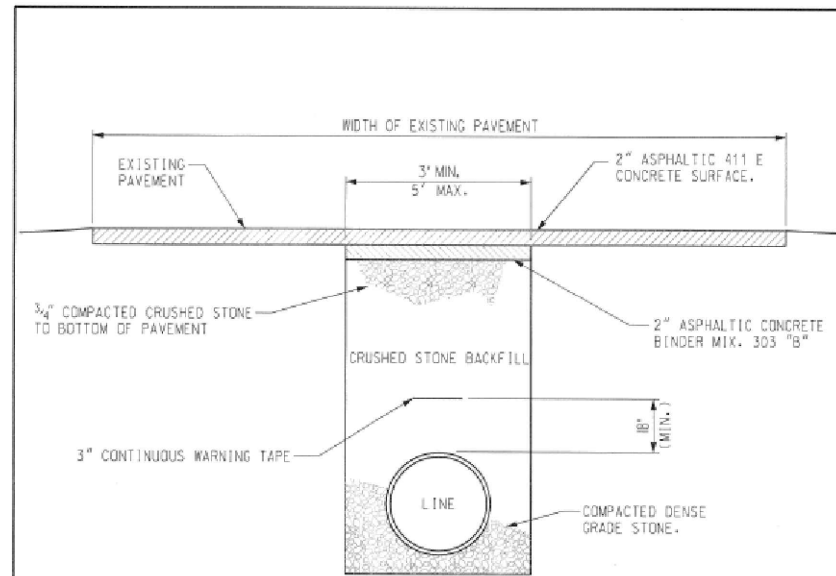
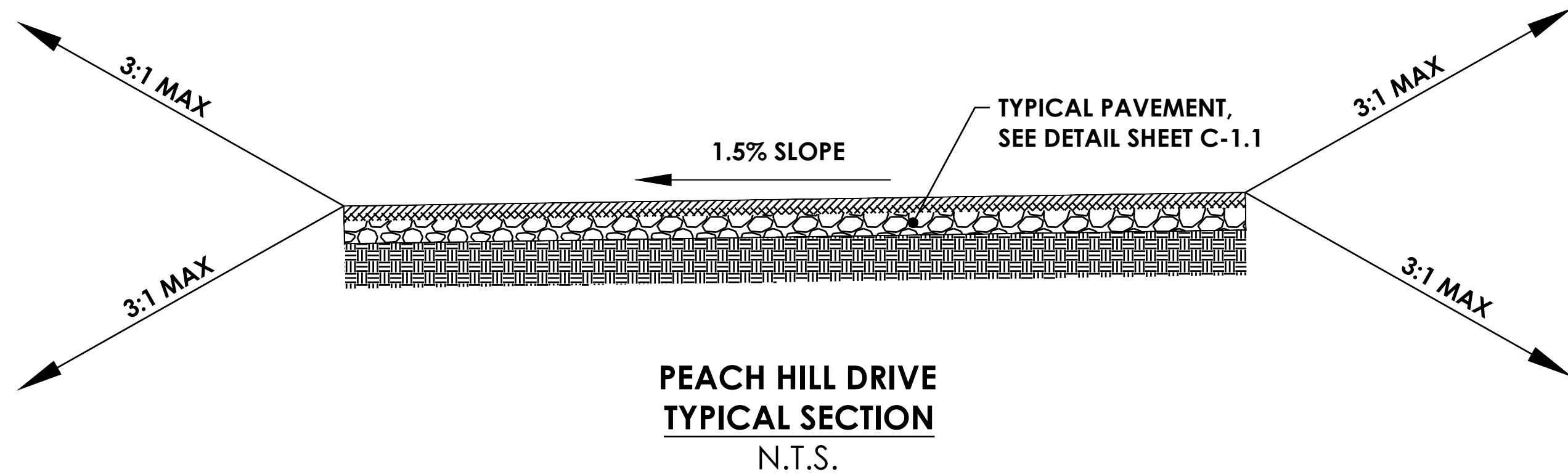
C-1.1

GENERAL SITE NOTES:

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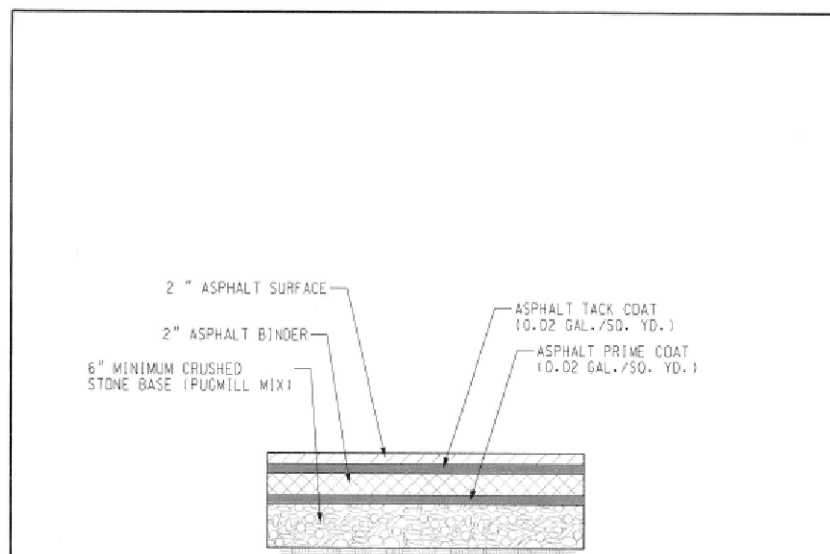
PUBLIC RIGHT OF WAY CONSTRUCTION NOTES:

- ALL ELEMENTS WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED PER THE TOWN OF ASHLAND CITY PUBLIC WORKS STANDARDS AND SPECIFICATIONS
- ALL PAVEMENT SECTION IMPROVEMENTS SHALL BE CONSTRUCTED TO THE APPROPRIATE ROAD CLASSIFICATION PER THE TOWN OF ASHLAND CITY PUBLIC WORKS STANDARDS.
- THE PROPOSED GRADES SHOWN ON PUBLIC DRIVEWAY ENTRANCE ARE FOR GENERAL GUIDANCE ONLY. THE FINISHED GRADE SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF ASHLAND CITY PUBLIC WORKS AS INDICATED ON THE CONSTRUCTION DETAILS PROVIDED.
- THE CONTRACTOR SHALL VERIFY THAT ALL CROSS SLOPES MEET THE TOWN OF ASHLAND CITY PUBLIC WORKS STANDARDS AND SPECIFICATIONS AND REQUEST AN INSPECTION BY THE TOWN OF ASHLAND CITY PUBLIC WORKS PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF DISCREPANCIES IDENTIFIED IN THE FIELD PRIOR TO CONSTRUCTION.



ASPHALT PAVEMENT REPLACEMENT DETAIL

STANDARD WATER AND SEWER SYSTEM DETAILS
THE TOWN OF
ASHLAND CITY, TENNESSEE



TYPICAL PAVEMENT DETAIL

STANDARD WATER AND SEWER SYSTEM DETAILS
THE TOWN OF
ASHLAND CITY, TENNESSEE



TOWN OF ASHLAND CITY - ASPHALT PAVEMENT REPLACEMENT DETAIL DETAIL

TOWN OF ASHLAND CITY - TYPICAL PAVEMENT DETAIL



DATE: 10-16-2020
DRW: AH CHK: DS
DESCRIPTION:
CONST. DOCS ISSUED TO CLIENT

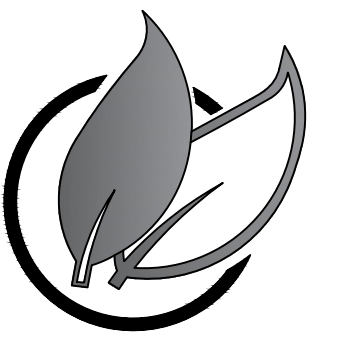
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PEACH HILL SUBDIVISION
PEACH STREET
ASHLAND CITY, TN, 37015

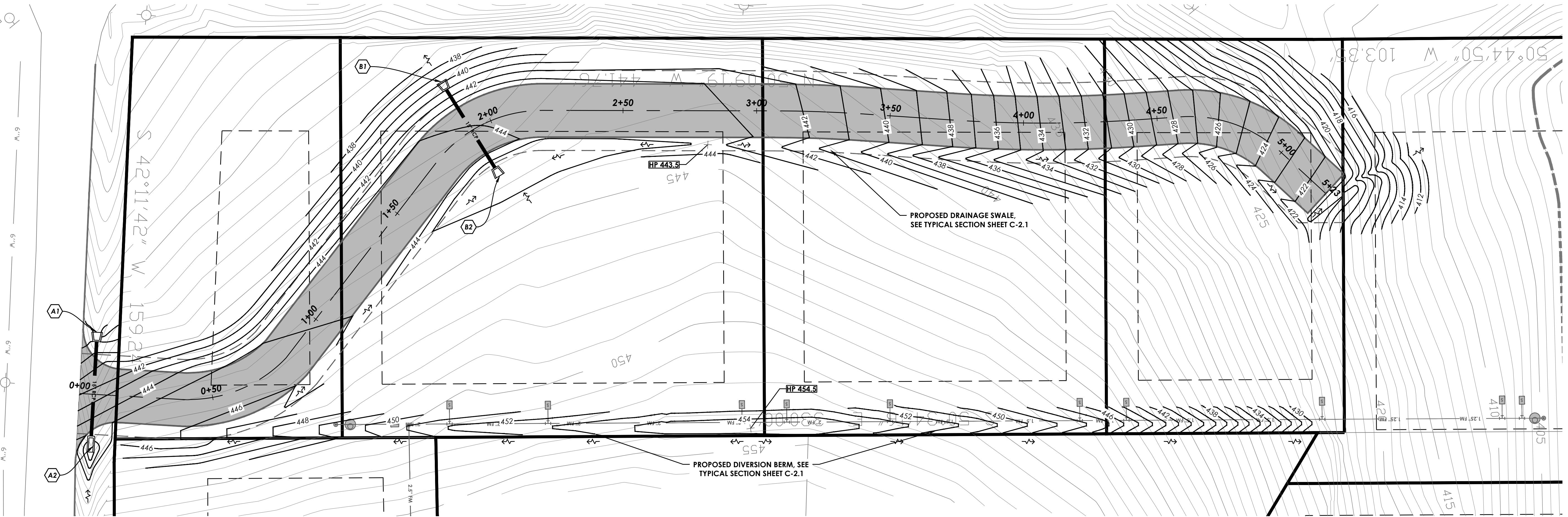


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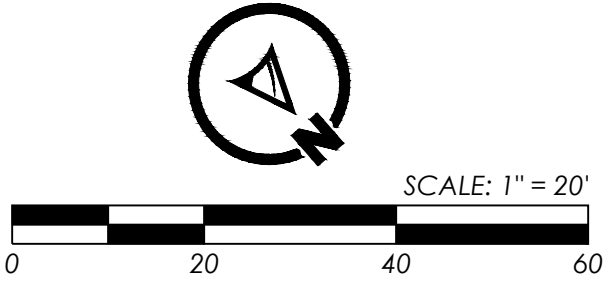
HCI/PN 0540-20A

**GRADING &
DRAINAGE PLAN**

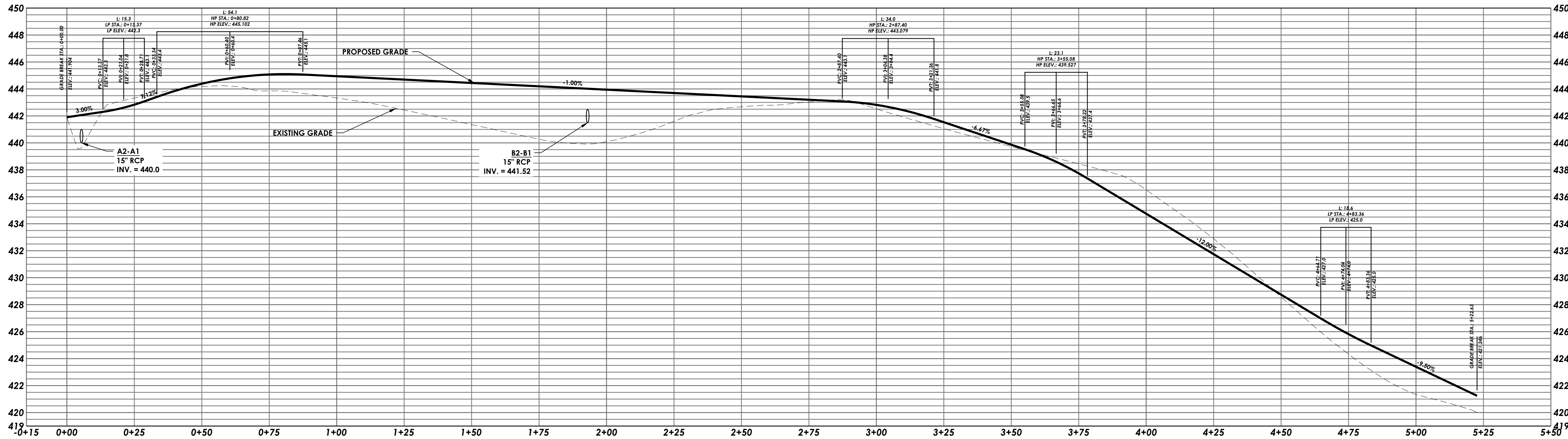
C-2.0



NOTE: PLAN VIEW ROTATED
TO ALIGN STATIONING
WITH PROFILE VIEW BELOW



PROFILE VIEW OF PEACH ST ALIGN



STATION
VERTICAL SCALE : 1" = 4'
HORIZONTAL SCALE : 1" = 20'

STORM STRUCTURE SCHEDULE

STRUCTURE ID	TYPE	CASTING TYPE	RIM ELEV.	I.E. (IN)	I.E. (OUT)
A1	HEADWALL (TYP.)	----	----	441.0	
A2	HEADWALL (TYP.)	----	----		439.0
B1	HEADWALL (TYP.)	----	----	441.0	
B2	HEADWALL (TYP.)	----	----		442.0

* SEE GRADING AND DRAINAGE DETAILS
SHEET C-2.1 FOR STRUCTURE DETAILS

STORM PIPE SCHEDULE

PIPE ID	SIZE (in.)	MATERIAL	LENGTH (FT.)	SLOPE (%)
A2 - A1	15"	RCP	36	5.56%
B2 - B1	15"	RCP	34	2.91%



DATE: 10-16-2020
DRW: AH CHK: DS
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PEACH HILL SUBDIVISION
PEACH STREET
ASHLAND CITY, TN, 37015

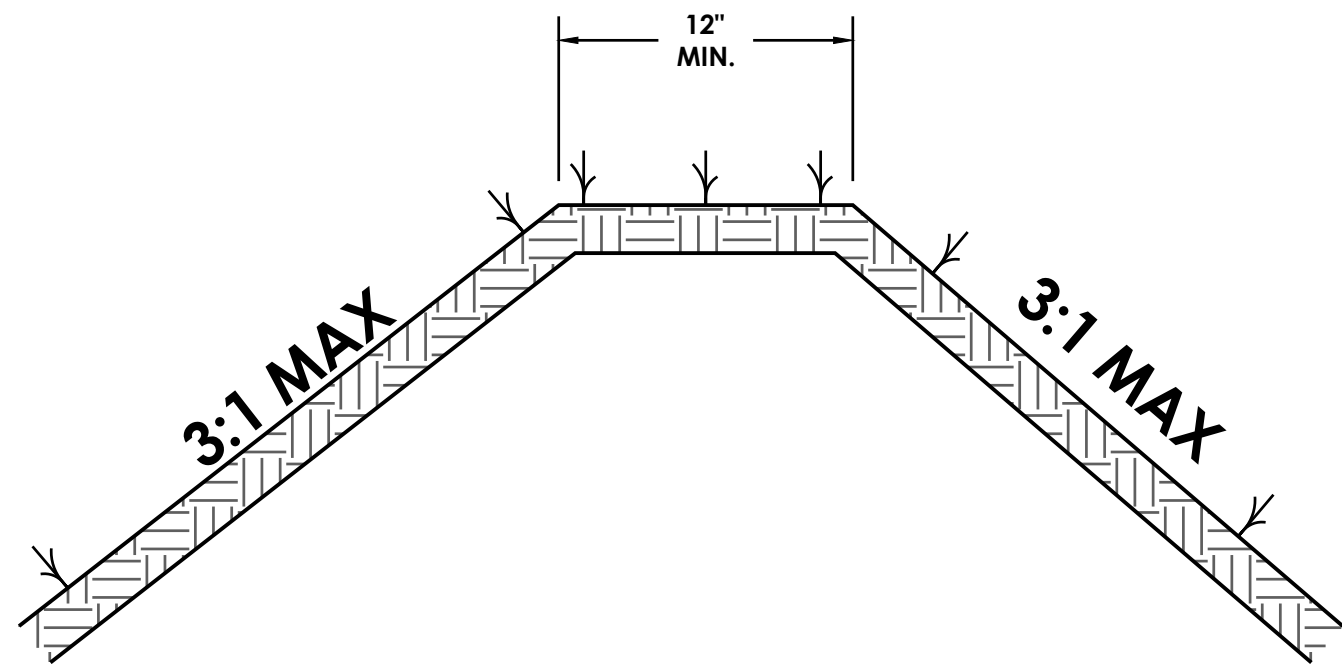


**HARPETH
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SUITE 204 E
NASHVILLE, TN. 37221
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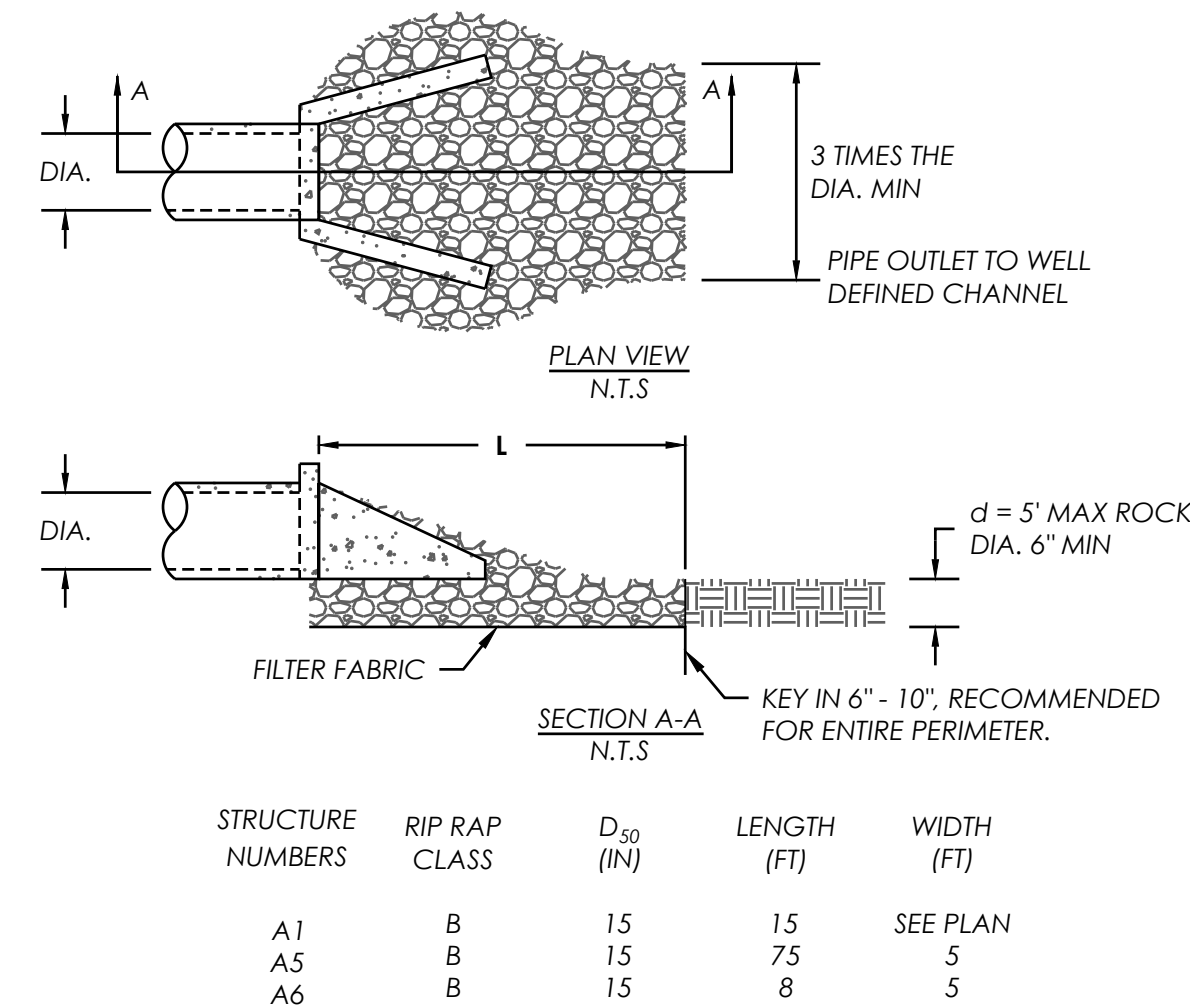
**GRADING &
DRAINAGE DETAILS**

C-2.1

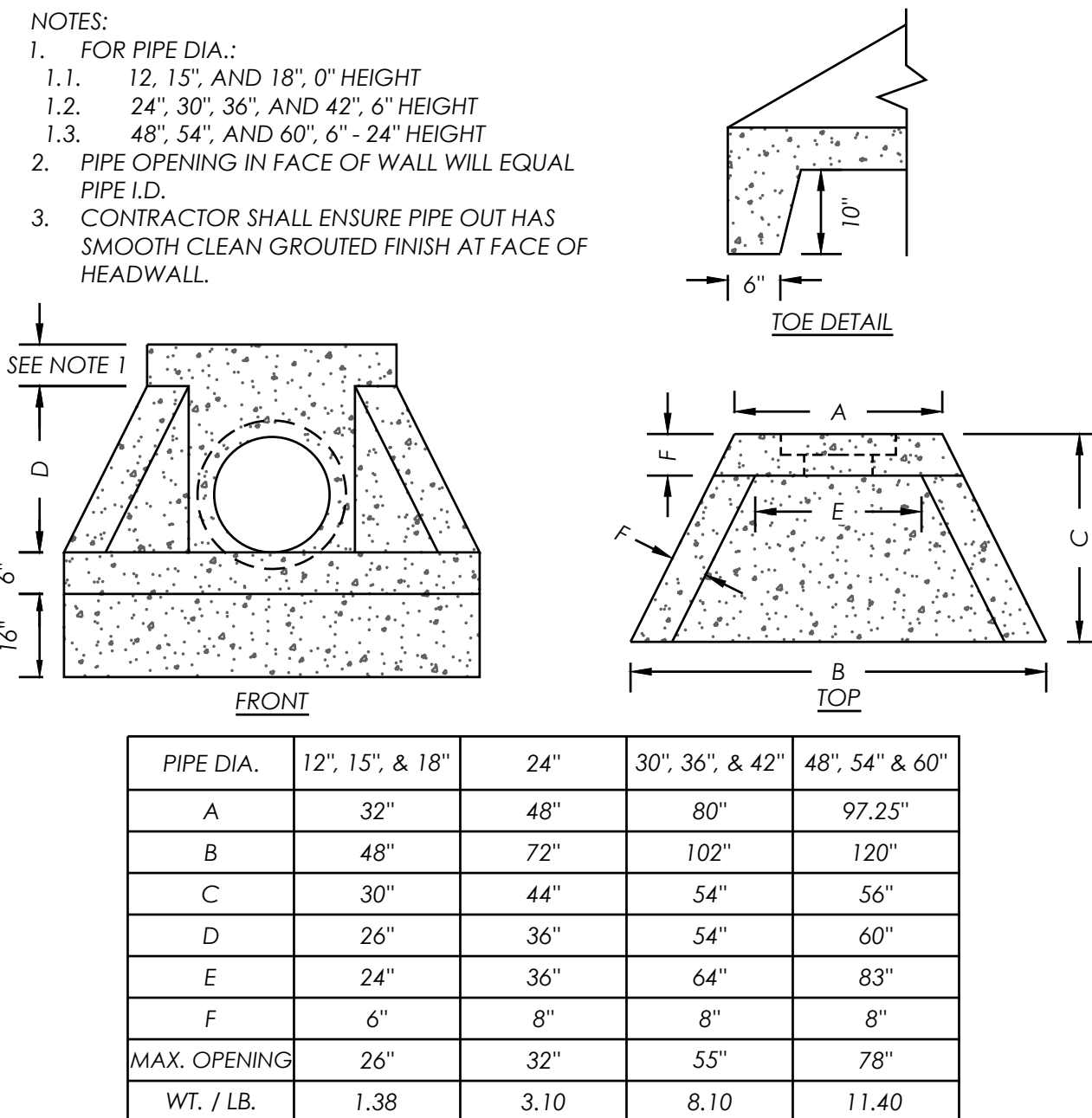


TYPICAL SECTION - DIVERSION BERM
(NOT TO SCALE)

TYPICAL SECTION - DIVERSION BERM



RIP RAP OUTLET PROTECTION (TCP-25)



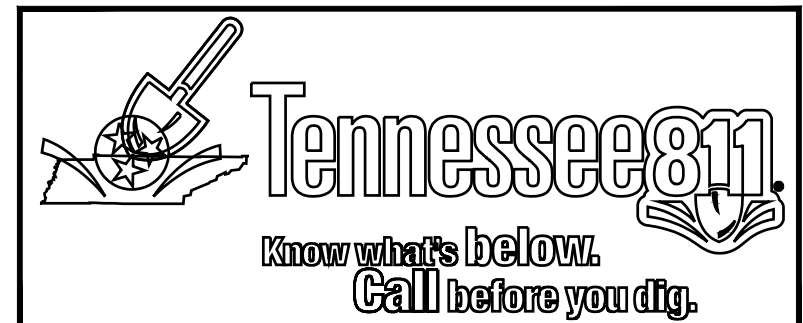
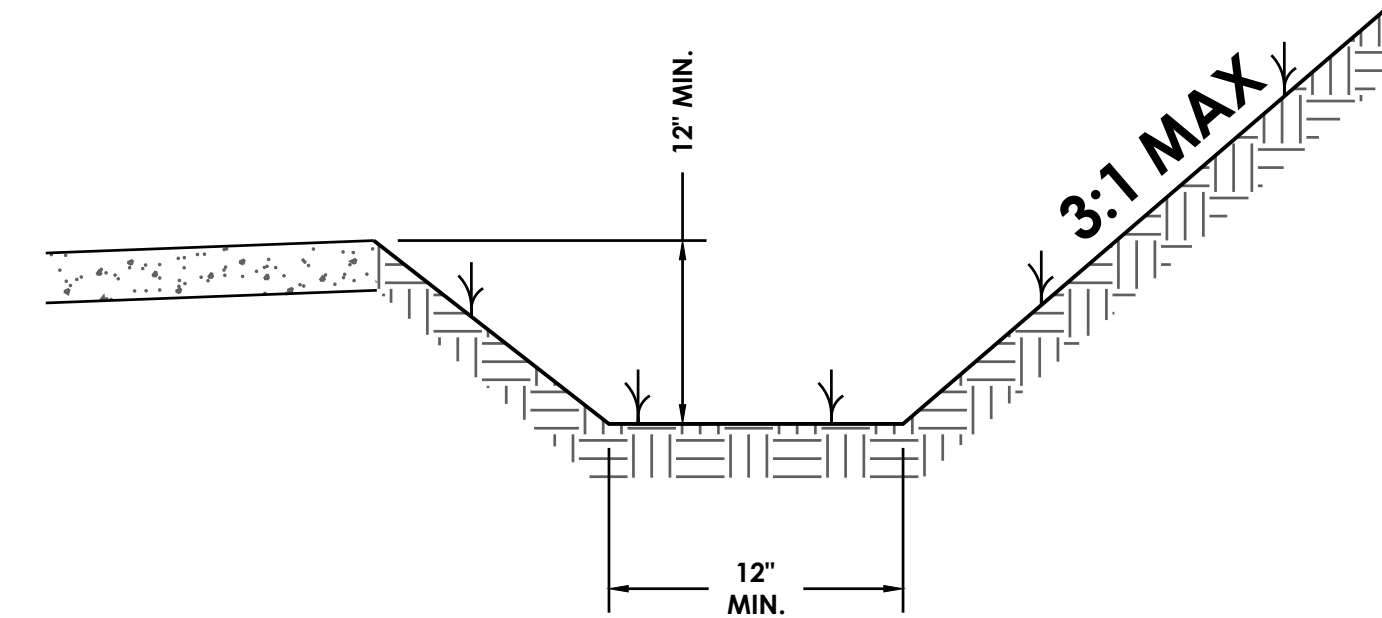
CONCRETE HEADWALL

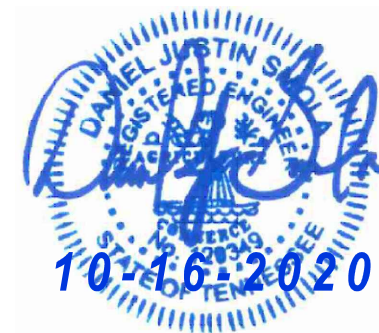
GENERAL GRADING NOTES:

- ALL UNSUITABLE SUBSURFACE MATERIAL IS TO BE EXCAVATED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS OR THE RECOMMENDATIONS OF THE CONTRACTORS TENNESSEE REGISTERED GEOTECHNICAL ENGINEER. UNSUITABLE MATERIAL IS TO BE STOCKPILED, REMOVED, AND PROPERLY DISPOSED OF OFF-SITE. EXCAVATED AREAS ARE TO BE BACK FILLED WITH APPROVED MATERIALS AND COMPACTED AS INDICATED ON THESE PLANS AND SPECIFICATIONS OR THE RECOMMENDATIONS OF THE CONTRACTORS GEOTECHNICAL ENGINEER.
- THE CONTRACTOR SHALL NOT STOCK PILE DEBRIS AND/OR SOIL NEAR ENVIRONMENTALLY SENSITIVE AREAS (I.E. STREAM BUFFERS, WETLANDS, AREAS OF EXCESSIVE SLOPE, PROTECTED TREES OR THEIR RESPECTIVE CANOPY DRIP LINES, ETC...).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING TRENCH EXCAVATIONS AGAINST COLLAPSE AND SHALL PROVIDE BRACING, SHEETING, OR SHORING WHERE NECESSARY. DEWATERING METHODS SHALL BE USED AS REQUIRED TO KEEP TRENCHES DRY WHILE PIPE AND APPURTENANCES ARE BEING INSTALLED.
- ALL NECESSARY FILL AND EMBANKMENT THAT IS PLACED DURING CONSTRUCTION SHALL CONSIST OF MATERIAL SPECIFIED BY THE CONTRACTORS TENNESSEE REGISTERED GEOTECHNICAL ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITIES, WHICH INCLUDE BUT ARE NOT LIMITED TO EARTHWORK ACTIVITIES, SUB GRADE PREPARATION, ETC. CONFORM TO THE STRICTER OF THE GEOTECHNICAL RECOMMENDATIONS OR TDOT (TENNESSEE DEPARTMENT OF TRANSPORTATION) STANDARDS AND SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (LATEST EDITION).
- THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF RECORD IMMEDIATELY IF UNSUITABLE SOIL IS ENCOUNTERED DURING EXCAVATION. UNSUITABLE SOIL SHALL NOT BE USED ON-SITE WITHOUT A WRITTEN RECOMMENDATION BY THE CONTRACTORS TENNESSEE REGISTERED GEOTECHNICAL ENGINEER AND CONSENT GRANTED IN WRITING BY THE OWNER AND THE ENGINEER OF RECORD.
- REFER TO THE PROJECT EPSC (EROSION PREVENTION AND SEDIMENT CONTROL PLANS) PLANS FOR ADDITIONAL INFORMATION.
- ALL MATERIALS SHALL CONFORM TO TDOT STANDARDS.
- PROPOSED SPOT ELEVATIONS REPRESENT FINISHED PAVEMENT OR GROUND SURFACE GRADE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- THE CONTRACTOR SHALL STABILIZE ALL DISTURBED GROUND BY SEEDING / MULCHING, SODDING, OR OTHER APPROVED MATERIAL IN ACCORDANCE WITH TDEC (TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION) VOLUME 4 HANDBOOK. DISTURBED AREAS SHALL BE STABILIZED WITHIN ONE WEEK (OR SOONER) FOLLOWING CONSTRUCTION OF THE UNDERLYING ACTIVITY. THE CONTRACTOR SHALL MAINTAIN SUCH AREAS BY REPAIRING AND WATER SOD OR SEEDED AREAS UNTIL THE AREA IS STABLE AND EROSION FREE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PREVENT EROSION. ANY DAMAGE FROM FAILURE TO ADEQUATELY STABILIZE, PROTECT, AND MAINTAIN THESE AREAS SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE ENGINEER OF RECORD OR THE OWNER ARE RESPONSIBLE FOR THE MEANS AND METHODS OF ADEQUATELY STABILIZING THE PROJECT.
- THE CONTRACTOR SHALL NOT ALTER THE EXISTING HISTORICAL DRAINAGE PATTERNS IN REGARDS TO THE EXISTING PAVING CROSS SECTIONS, SIDEWALKS AND GRASS SWALES ON OR ADJACENT TO THE PROJECT UNLESS OTHERWISE DEPICTED ON THE CONSTRUCTIONS PLANS OR AS REQUIRED BY LOCAL AGENCIES.
- ALL UNDERGROUND UTILITIES INCLUDING BUT NOT LIMITED TO WATER MAINS AND SERVICES, SEWER MAINS AND SERVICES, GAS, POWER, CONDUIT, DATA / COMMUNICATIONS, ETC., SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION. CONTRACTOR TO COORDINATE INSTALLATION OF ANY ADDITIONAL CONDUIT LOCATIONS WITH THE OWNER.
- ALL MATERIALS AND CONSTRUCTION PROCEDURES SHALL BE IN ACCORDANCE WITH THE MORE STRICT LOCAL AGENCY OR TDOT STANDARD AND SPECIFICATIONS.
- JOINTS OF THE STORM SEWER SHALL BE STAGGERED FOR CROSSINGS OF THE SANITARY SEWER WITH LESS THAN 18" VERTICAL CLEARANCE SO THAT PIPE BELL IS NOT LOCATED AT THE CROSSING.

TYPICAL SECTION - SWALE
(NOT TO SCALE)

TYPICAL SECTION - SWALE





DATE: 10-16-2020
DRW: AH CHK: DS
DESCRIPTION:
CONST. DOCS ISSUED TO CLIENT

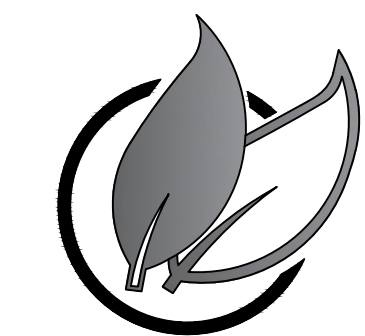
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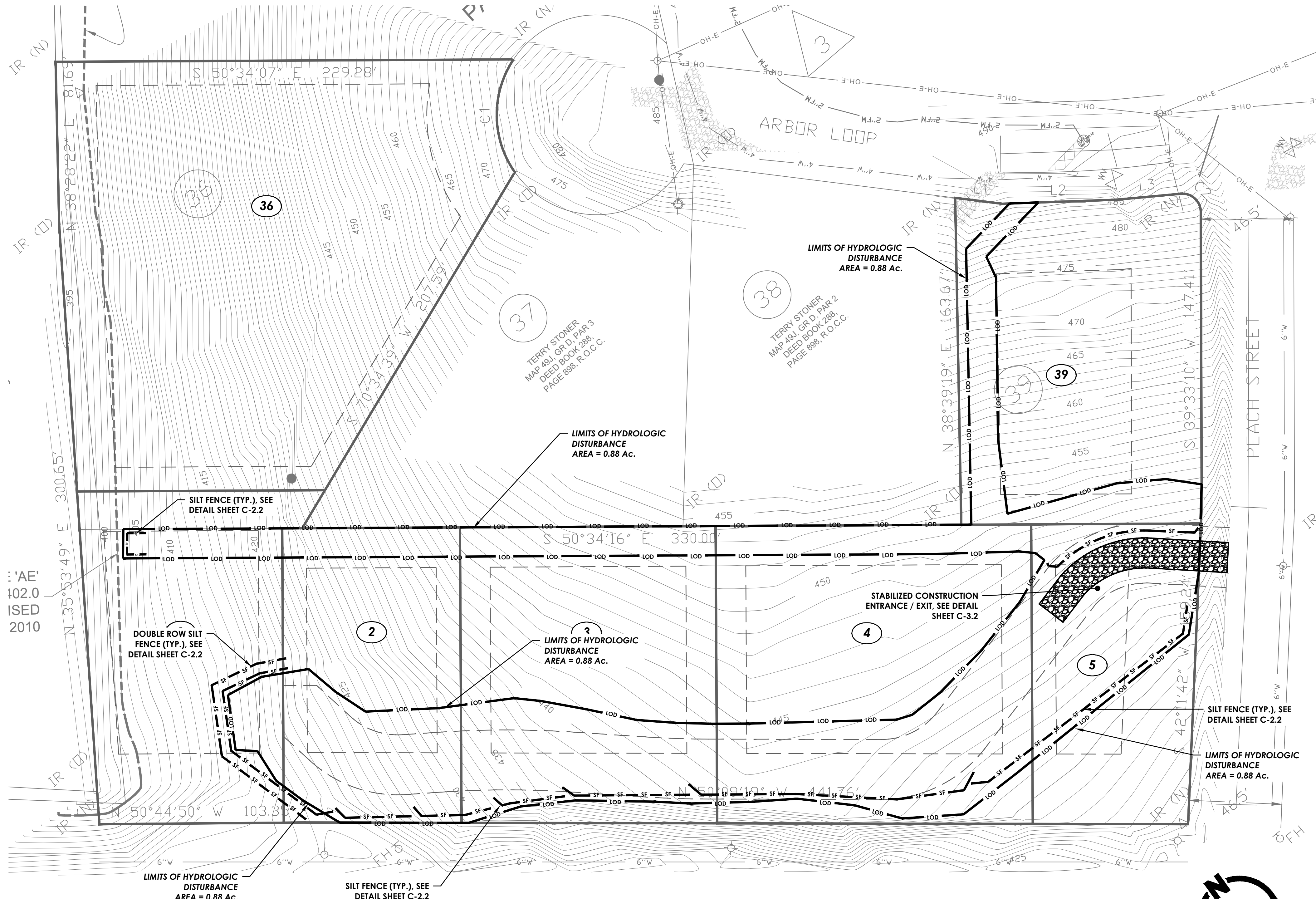
EPSC INITIAL PLAN

C-3.0

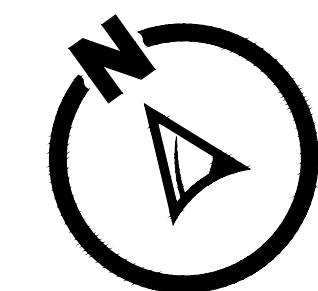
EROSION PREVENTION AND SEDIMENT CONTROL NOTES:

1. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES TO BE SELECTED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION (TDEC) EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
2. SITE EROSION CONTROLS SHALL BE CHECKED DAILY AND WITHIN 24 HOURS AFTER EACH RAINFALL EVENT GREATER THAN OR EQUAL TO 0.5 INCHES OF CONTINUOUS RAINFALL. EROSION CONTROLS SHALL BE REPAIRED IMMEDIATELY.
3. ANY OFF-SITE SEDIMENT ACCUMULATIONS SHALL BE REMOVED DAILY. IF OFF-SITE ACCUMULATIONS OCCUR ON ADJACENT PRIVATE PROPERTY, IT SHALL BE IMMEDIATELY REMOVED BY METHODS AGREED UPON BY THE CONTRACTOR AND ADJACENT PROPERTY OWNER.
4. STABILIZED ALL DISTURBED AREAS WITHIN 14 DAYS AND STEEP SLOPES EQUAL TO OR GREATER THAN 3:1 WITHIN 7 DAYS.
5. CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASHOUT AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 AND CP-13 RESPECTIVELY. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRE-CONSTRUCTION MEETING. CONTROL OF OTHER SITE WASTES SUCH AS DISCARDED MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACT TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMITEE.
6. CONTROL OF OTHER SITE WASTE SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED.
7. INLET PROTECTION TO BE REMOVED AFTER FINAL SITE STABILIZATION.
8. AN ON-SITE COPY OF THE EPSC PLANS SHALL BE KEPT CURRENT AND AVAILABLE TO THOSE RESPONSIBLE FOR EROSION PREVENTION AND SEDIMENT CONTROL MEASURES AND INSPECTION.
9. FOR PROJECTS REQUIRING COVERAGE UNDER THE TENNESSEE CONSTRUCTION GENERAL PERMIT (CGP), A COPY OF THE NOI, SWPPP, AND NOC SHALL BE AVAILABLE TO THOSE RESPONSIBLE FOR EROSION PREVENTION AND SEDIMENT CONTROL MEASURES AND INSPECTIONS. THE NOC AND TRACKING NUMBER SHALL BE POSTED AT THE ENTRANCE OF THE SITE.
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11. DISCHARGES FROM DEWATERING ACTIVITIES, IF NECESSARY, SHALL BE MANAGED WITH APPROPRIATE CONTROLS AS REQUIRED BY THE LOCAL AUTHORITY. THE CONTRACTOR SHALL WORK WITH THE INSPECTOR FROM THE LOCAL AUTHORITY FOR PROPER MANAGEMENT PRIOR TO THE COMMENCEMENT OF DEWATERING ACTIVITIES.
12. ALL EXISTING AND NEWLY CONSTRUCTED DRAINAGE STRUCTURES, PIPES, SWALES, AND RIP RAP SHALL HAVE ALL SEDIMENT REMOVED AND PROPERLY DISPOSED OF OFF-SITE UPON PROJECT STABILIZATION. THIS WILL BE REQUIRED PRIOR TO THE ACCEPTANCE OF FINAL CONSTRUCTION.
13. EROSION CONTROL MEASURES SHALL BE CLEANED WITH AT APPROXIMATELY 50% CAPACITY OR AS DIRECTED BY THE LOCAL AUTHORITY OR TDEC EROSION PREVENTION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION. THE MOST STRINGENT REQUIREMENT SHALL APPLY.
14. THE DESIGNATED PLACEMENT OF EPSC MEASURES SHALL BE SUBJECT TO ADJUSTMENT BY THE SITE EPSC INSPECTOR. ADJUSTMENTS SHALL BE RECORDED IN THE ON-SITE SET OF EPSC PLANS.
15. ALL PERIMETER MEASURES MUST BE IN PLACE, APPROVED BY FINAL INSPECTION, AND GRADING PERMIT OBTAINED PRIOR TO THE ONSET OF GRADING ACTIVITIES.

**TOTAL HYDROLOGICALLY
DISTURBED AREA = 0.88 Ac.**



NORTH MAIN STREET
(ASHLAND CITY HIGHWAY)



SCALE: 1" = 20'
0 20 40 60



NOTE:
EPSC MEASURES HAVE BEEN
SIZED FOR THE 2-YEAR
24-HOUR STORM EVENT.

TDEC CGP NOTE:

I HEREBY CERTIFY THAT THIS PROJECT DOES **NOT** REQUIRE COVERAGE UNDER A TENNESSEE CONSTRUCTION GENERAL PERMIT. THE TOTAL DISTURBED AREA IS: **0.88 ACRES**.

CHECK ALL THAT APPLY: THIS SITE DISCHARGES INTO WATERS IDENTIFIED BY TDEC AS:
☐ FULLY SUPPORTING ☐ NOT SUPPORTING ☐ EXCEPTIONAL ☒ NONE

Justin A. Harpeth
PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF TENNESSEE

10/16/2020

DATE

CIRCLE ONE: DEVELOPER PROJECT ENGINEER OTHER

EROSION PREVENTION AND SEDIMENT CONTROL NOTES:

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**TOTAL HYDROLOGICALLY
DISTURBED AREA = 0.88 Ac.**

TDEC CGP NOTE:

I HEREBY CERTIFY THAT THIS PROJECT DOES **NOT** REQUIRE COVERAGE UNDER A TENNESSEE CONSTRUCTION GENERAL PERMIT. THE TOTAL DISTURBED AREA IS: **0.88 ACRES.**

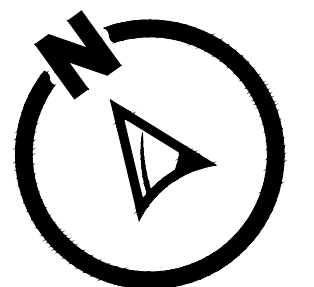
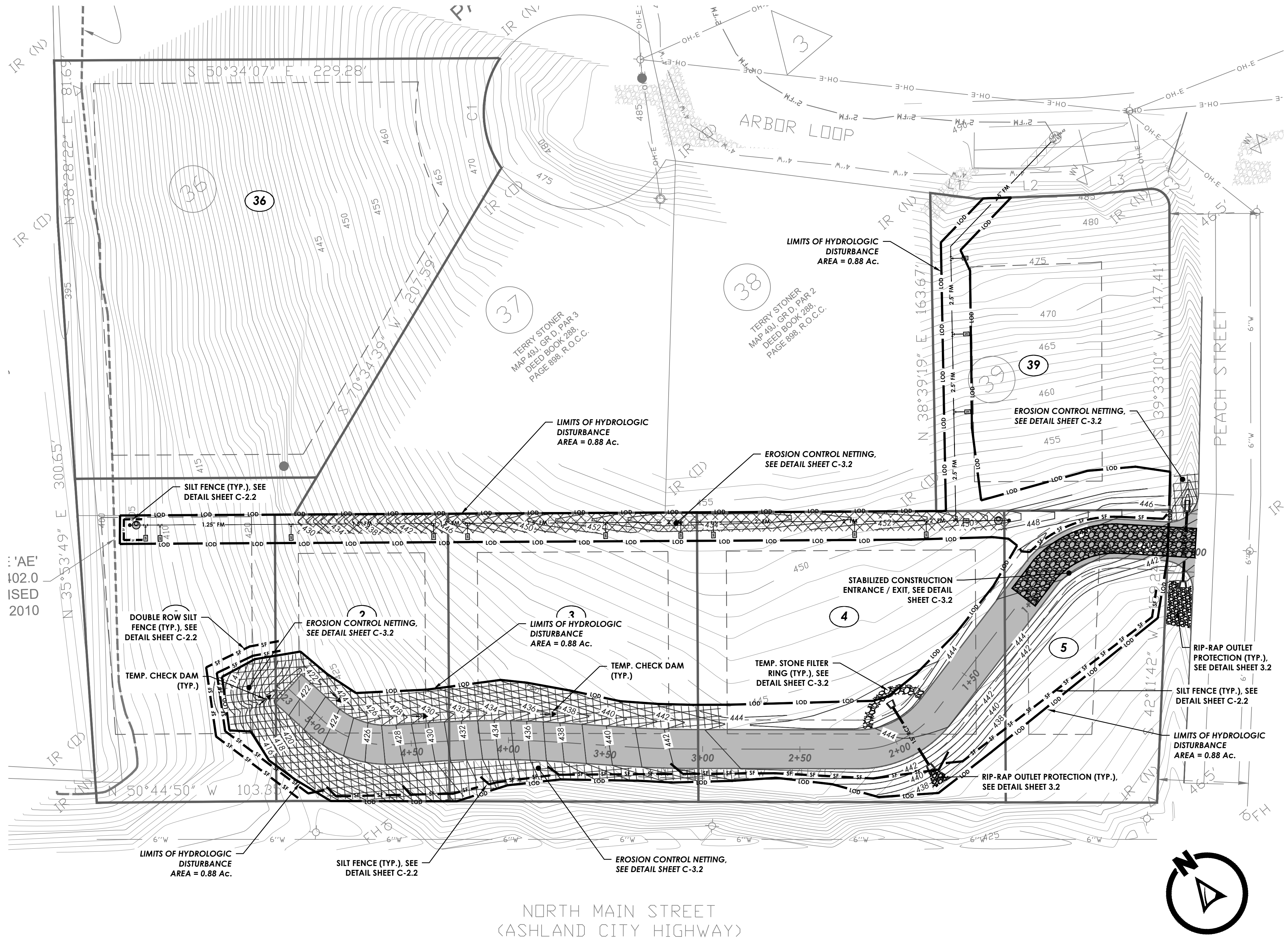
CHECK ALL THAT APPLY: THIS SITE DISCHARGES INTO WATERS IDENTIFIED BY TDEC AS:
☐ FULLY SUPPORTING ☐ NOT SUPPORTING ☐ EXCEPTIONAL ☒ NONE

Daniel J. Smith
PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF TENNESSEE

10/16/2020

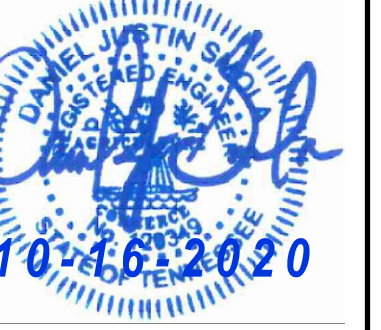
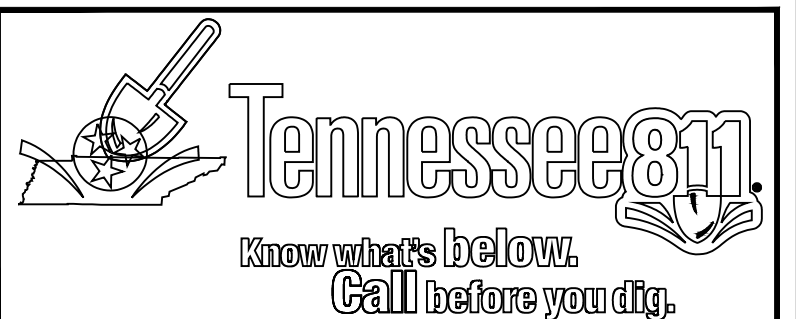
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CIRCLE ONE: DEVELOPER PROJECT ENGINEER OTHER



SCALE: 1" = 20'
0 20 40 60

NOTE:
EPSC MEASURES HAVE BEEN
SIZED FOR THE 2-YEAR
24-HOUR STORM EVENT.



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DESCRIPTION: -

**PEACH HILL SUBDIVISION
PEACH STREET
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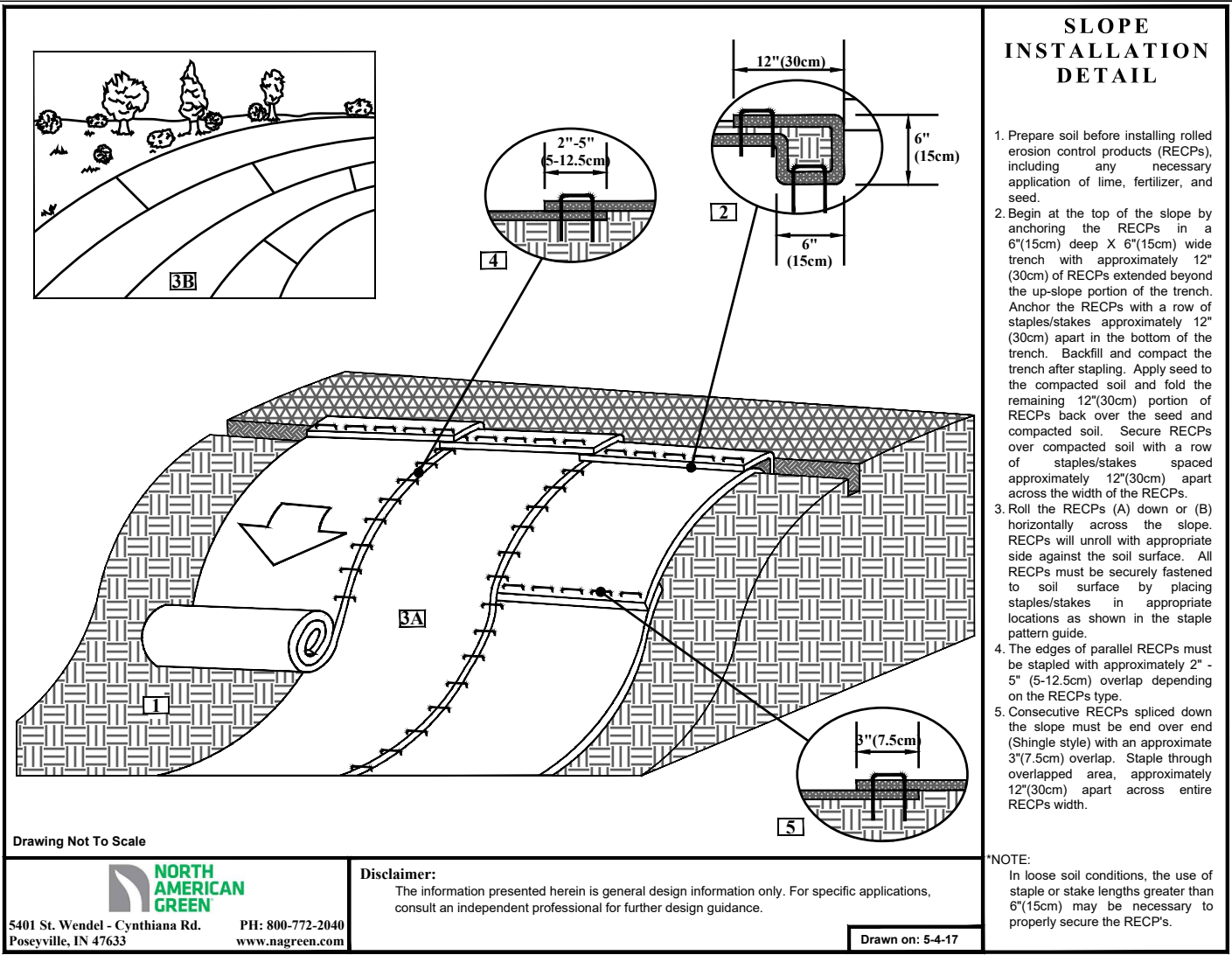
HCI PN 0540-20A

**EPSC INTERMEDIATE &
FINAL PLAN**

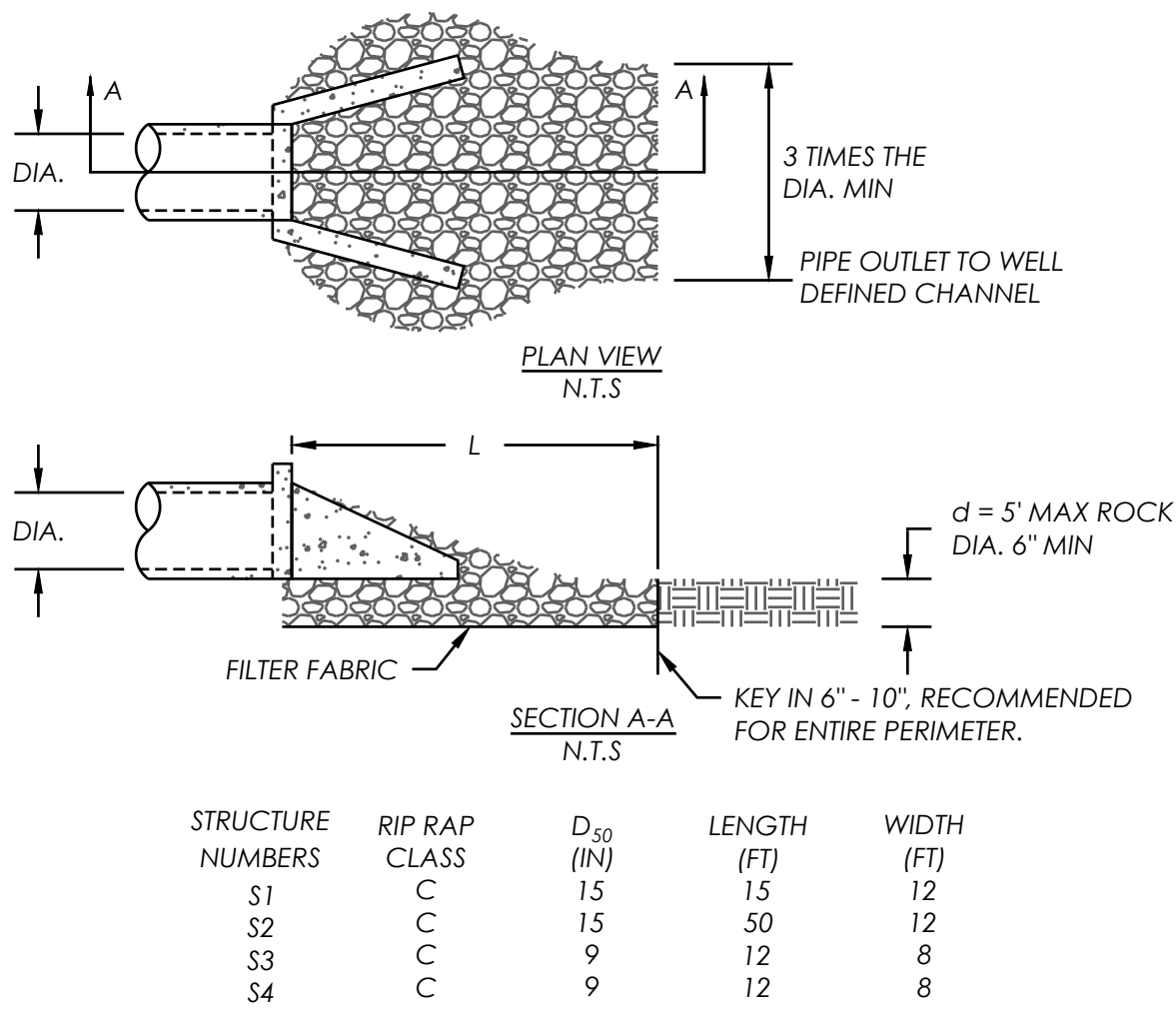
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EROSION PREVENTION AND SEDIMENT CONTROL NOTES:

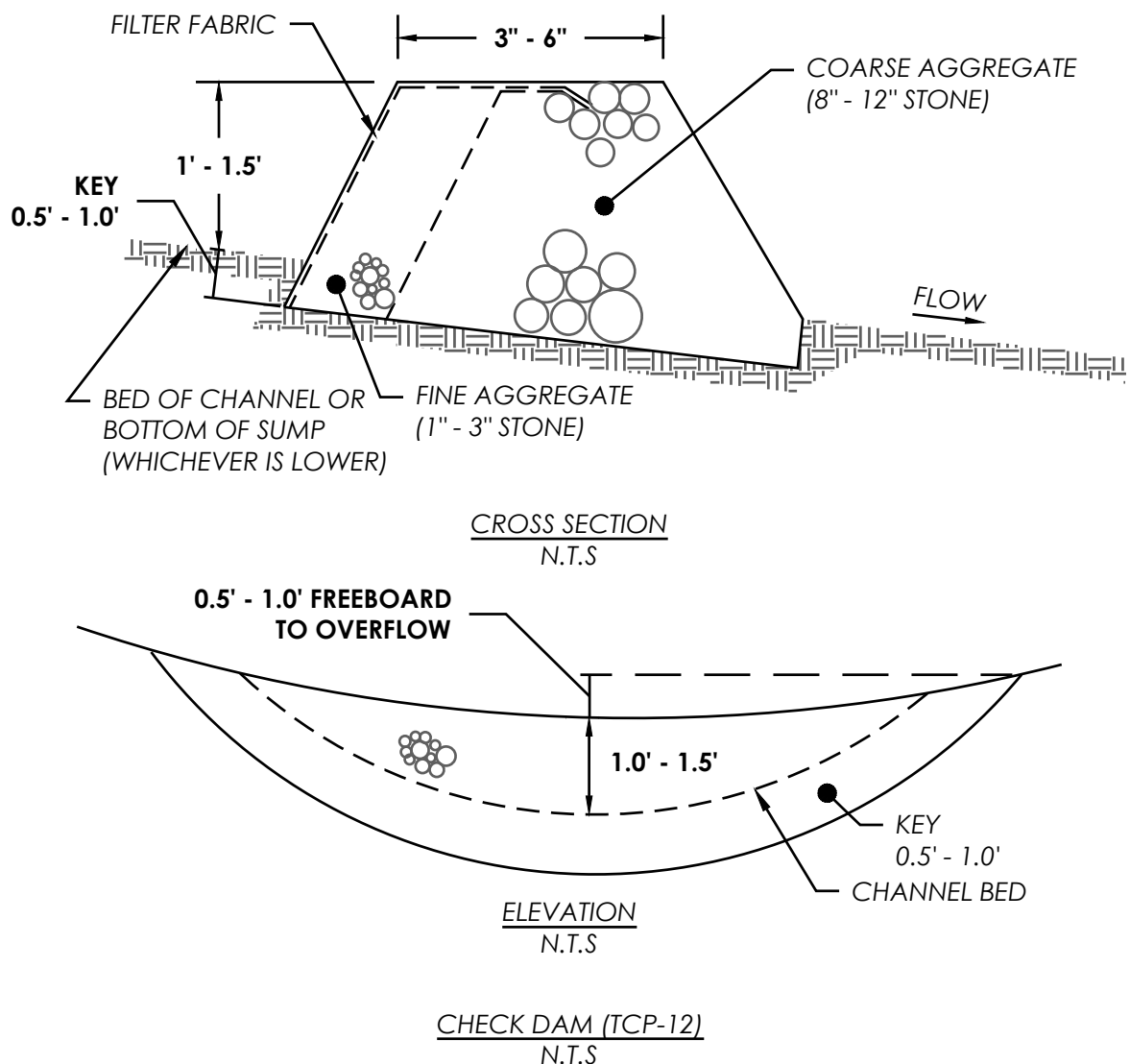
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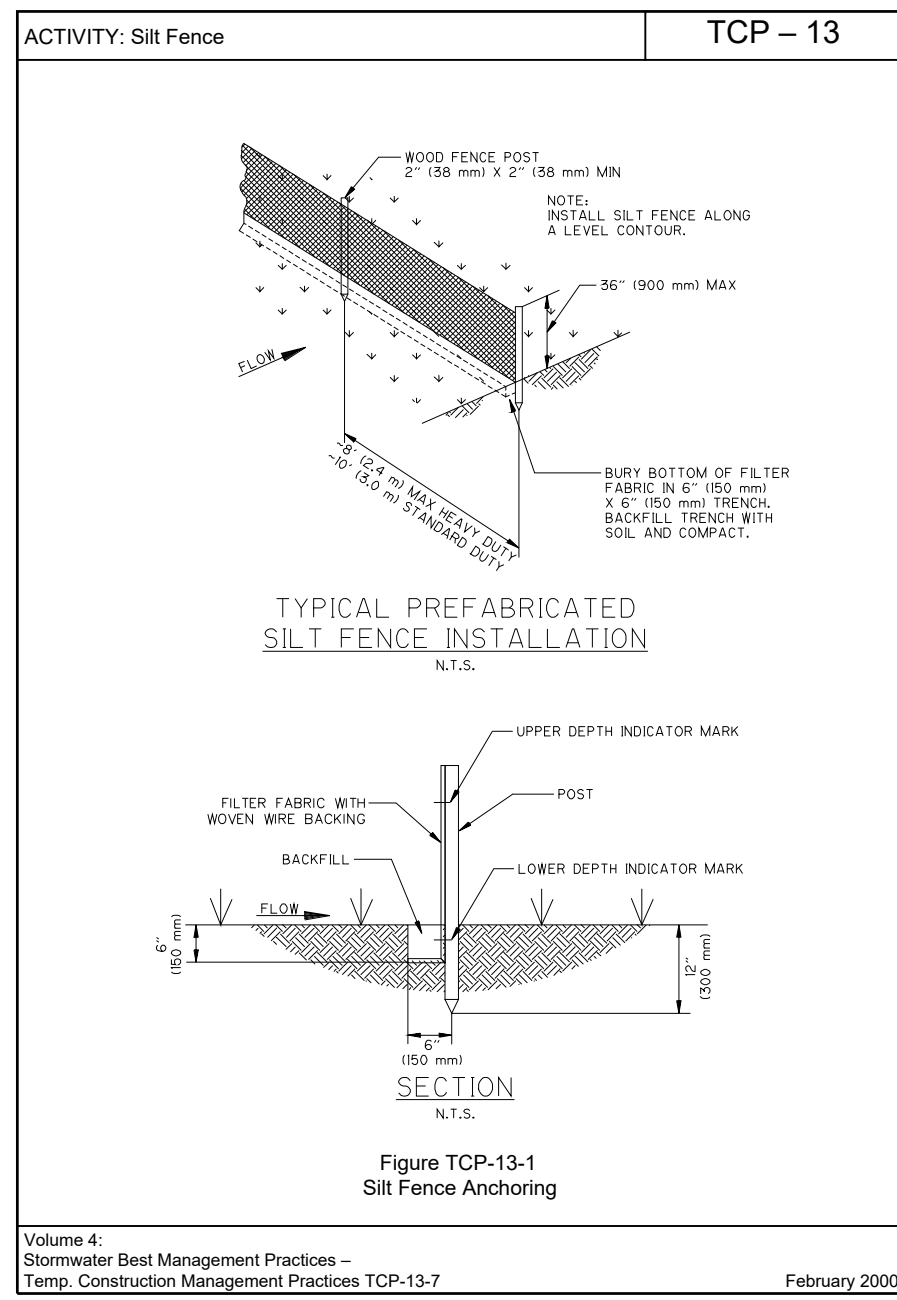
EROSION CONTROL NETTING (TCP-12)



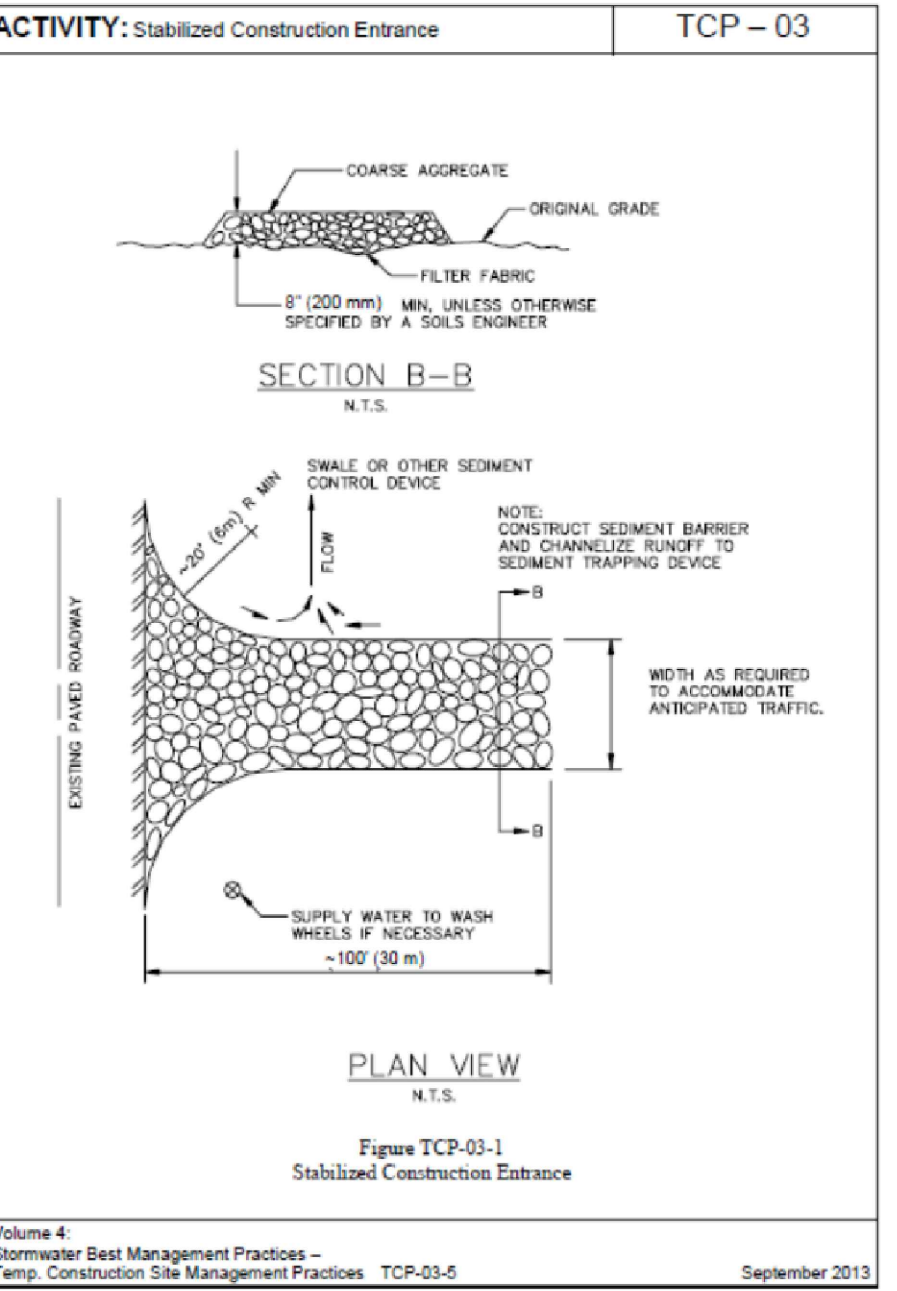
RIP RAP OUTLET PROTECTION (TCP-25)



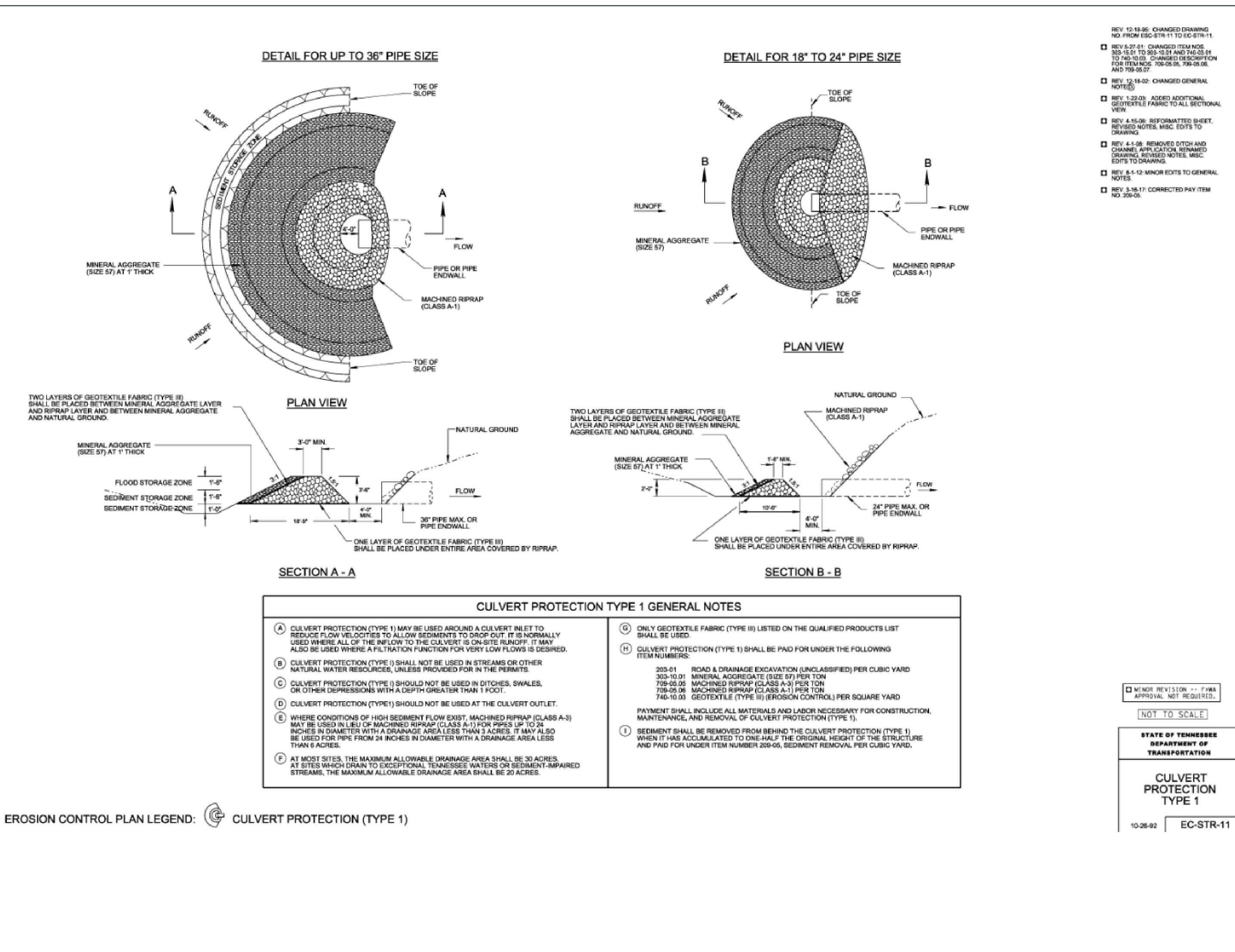
CHECK DAM (TCP-12)



SILT FENCE (TCP-13)



STABILIZED CONSTRUCTION ENTRANCE (TCP-03)



TDOT CULVERT INLET PROTECTION - TYPE 1



DATE:	10-16-2020
DRW:	AH
CHK:	DS
DESCRIPTION:	
CONST. DOCS ISSUED TO CLIENT	
DATE:	-
DRW:	-
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PEACH HILL SUBDIVISION
PEACH STREET
ASHLAND CITY, TN, 37015



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EPSC DETAILS

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PEACH HILL SUBDIVISION
PEACH STREET
ASHLAND CITY, TN, 37015



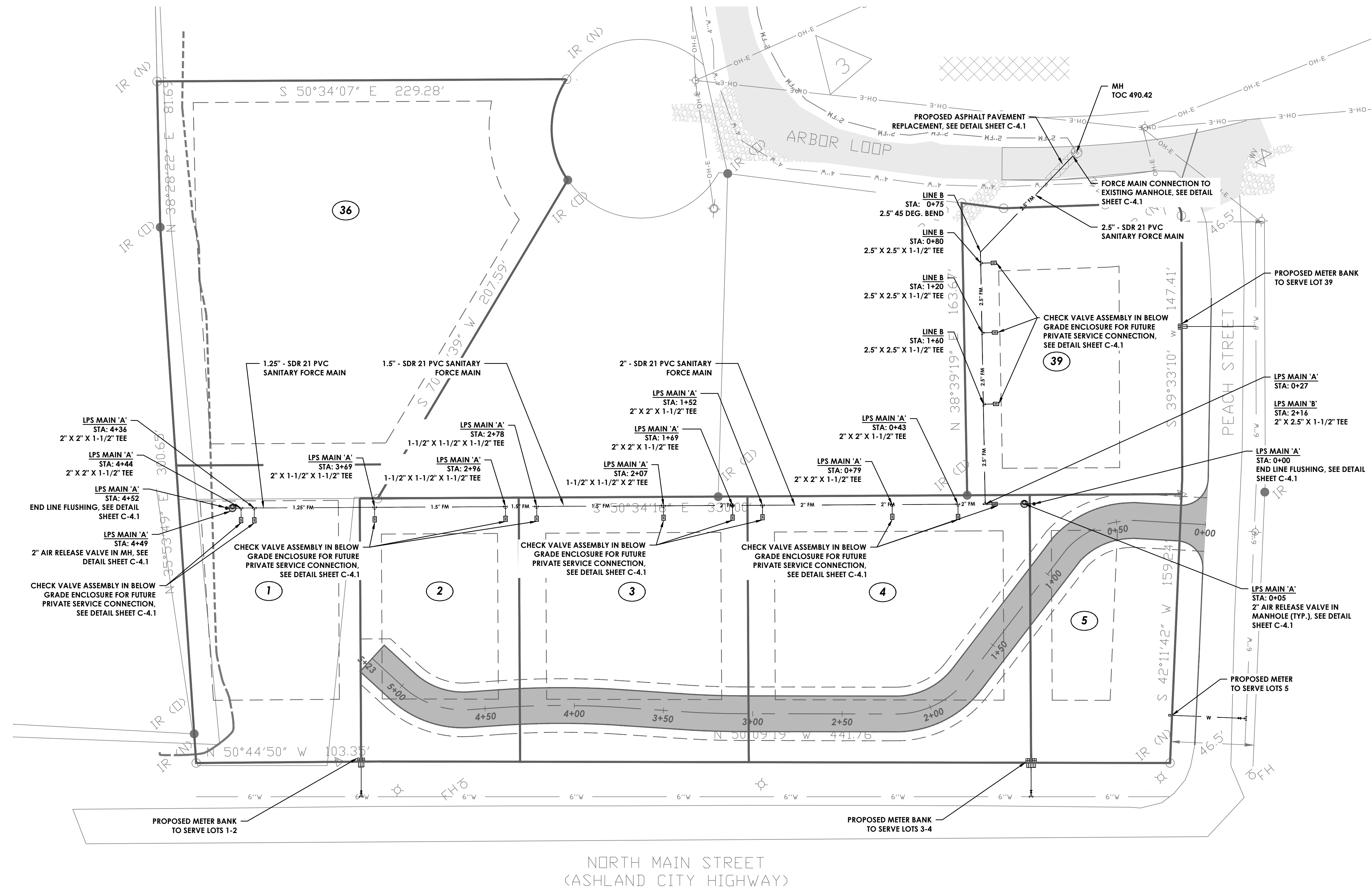
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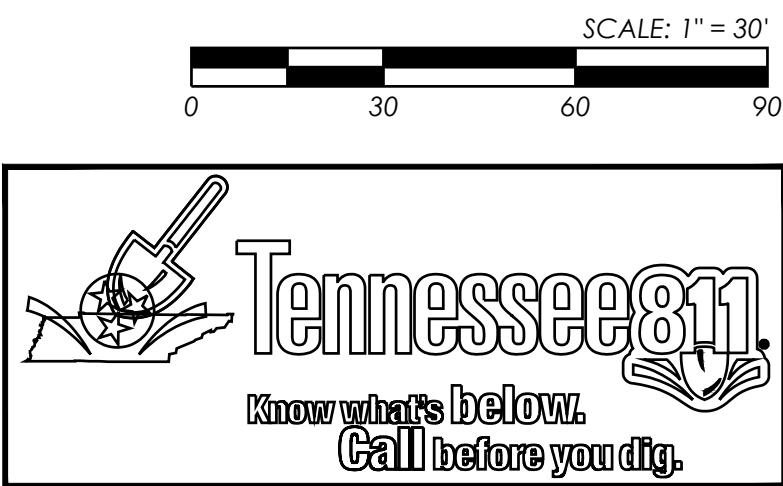
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UTILITY PLAN

C-4.0



LEGEND	
	EXISTING CONTOUR
	PROPOSED 1.25" SDR-21 PVC LPS FORCE MAIN
	PROPOSED 1.5" SDR-21 PVC LPS FORCE MAIN
	PROPOSED 2" SDR-21 PVC LPS FORCE MAIN
	PROPOSED 2.5" SDR-21 PVC LPS FORCE MAIN
	PROPOSED CHECK VALVE ASSEMBLY IN SUBGRADE ENCLOSURE
	PROPOSED LOT NUMBER
	PROPOSED 2" AIR RELEASE VALVE ASSEMBLY IN MANHOLE
	PROPOSED 2" END LINE FLUSHING

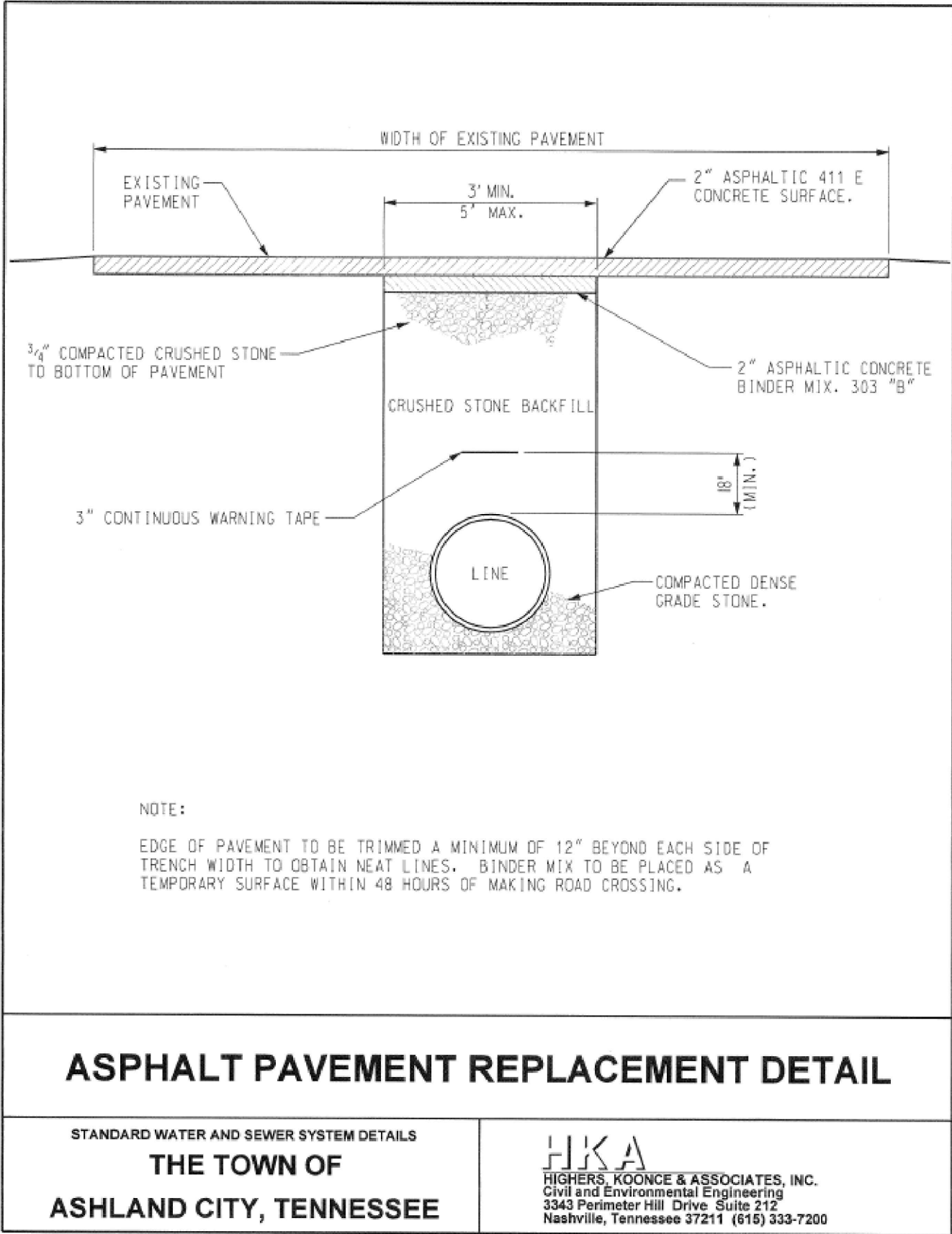
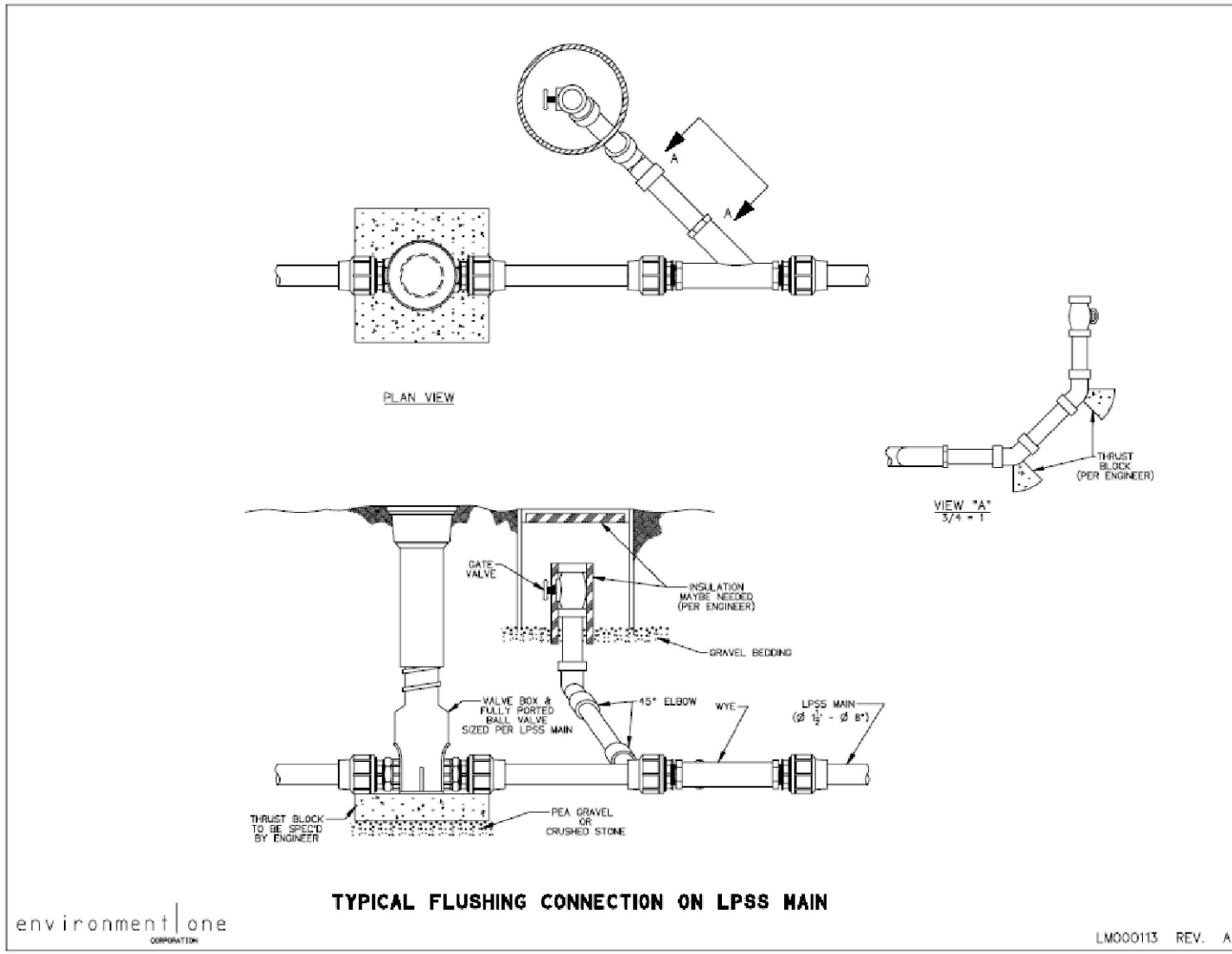


ASHLAND CITY UTILITY NOTES:

- ALL APPLICABLE FEDERAL AND STATE LAWS, MUNICIPAL ORDINANCES, AND THE RULES AND REGULATIONS OF ALL AUTHORITIES HAVING JURISDICTION OVER CONSTRUCTION OF THE PROJECT SHALL APPLY TO THE CONSTRUCTION THROUGHOUT.
- SIZES AND LOCATIONS OF ALL WATER AND SEWER LINES AND APPURTENANCES, AND ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANS APPROVED BY THE TOWN.
- PERMITS FOR PAVEMENT CUTS OR CROSSINGS OF PUBLIC ROADS, INCLUDING ANY SPECIAL BACKFILL AND PAVEMENT REPAIR REQUIRED BY THE AGENCY HAVING JURISDICTION, ARE THE RESPONSIBILITY OF THE DEVELOPER. A BOND MAY BE REQUIRED FROM THE DEVELOPER TO COVER ALL COSTS OF REPAIR AND MAINTENANCE FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF ACCEPTANCE OF THE PROJECT FOR ALL WORK PERFORMED IN EXISTING RIGHT-OF-WAYS OF ALL ROAD.
- IF CONSTRUCTION HAS NOT STARTED WITHIN ONE (1) YEAR FROM THE DATE OF APPROVAL, UTILITY PLANS SHALL BE RESUBMITTED TO RENEW APPROVAL. RENEWAL IS NOT GUARANTEED.
- THE CONTRACTORS NAME, PROJECT COST, AND ESTIMATING WORKING TIME FOR EACH PROJECT SHALL BE SUBMITTED TO THE TOWN. THE TOWN WILL BE REIMBURSED FOR EACH DAY THAT AN INSPECTOR IS REQUIRED ON THE JOB SITE UNTIL COMPLETION OF THE PROJECT.
- LABORATORY TEST REPORTS SHALL BE PROVIDED ON ALL PIPE TO ASSURE THAT IT MEETS THE REQUIREMENTS OF THE TOWN'S SPECIFICATIONS.
- SHOP DRAWINGS FOR UTILITY MATERIALS SHALL BE SUBMITTED TO THE TOWN OF ASHLAND CITY FOR REVIEW AFTER BEING THOROUGHLY CHECKED BY THE CONTRACTOR AND STAMPED WITH HIS APPROVAL.
- THE TOWN RESERVES THE RIGHT TO RELOCATE WATER AND SEWER LINES ON THE CONSTRUCTION PLANS TO FACILITATE MAINTENANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND VERIFYING THE ELEVATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE A SET OF CONSTRUCTION CUT SHEETS TO THE PRECONSTRUCTION MEETING AND THE CUT SHEETS SHALL INCLUDE THE STATIONS OF ALL PROPOSED SERVICE CONNECTIONS.

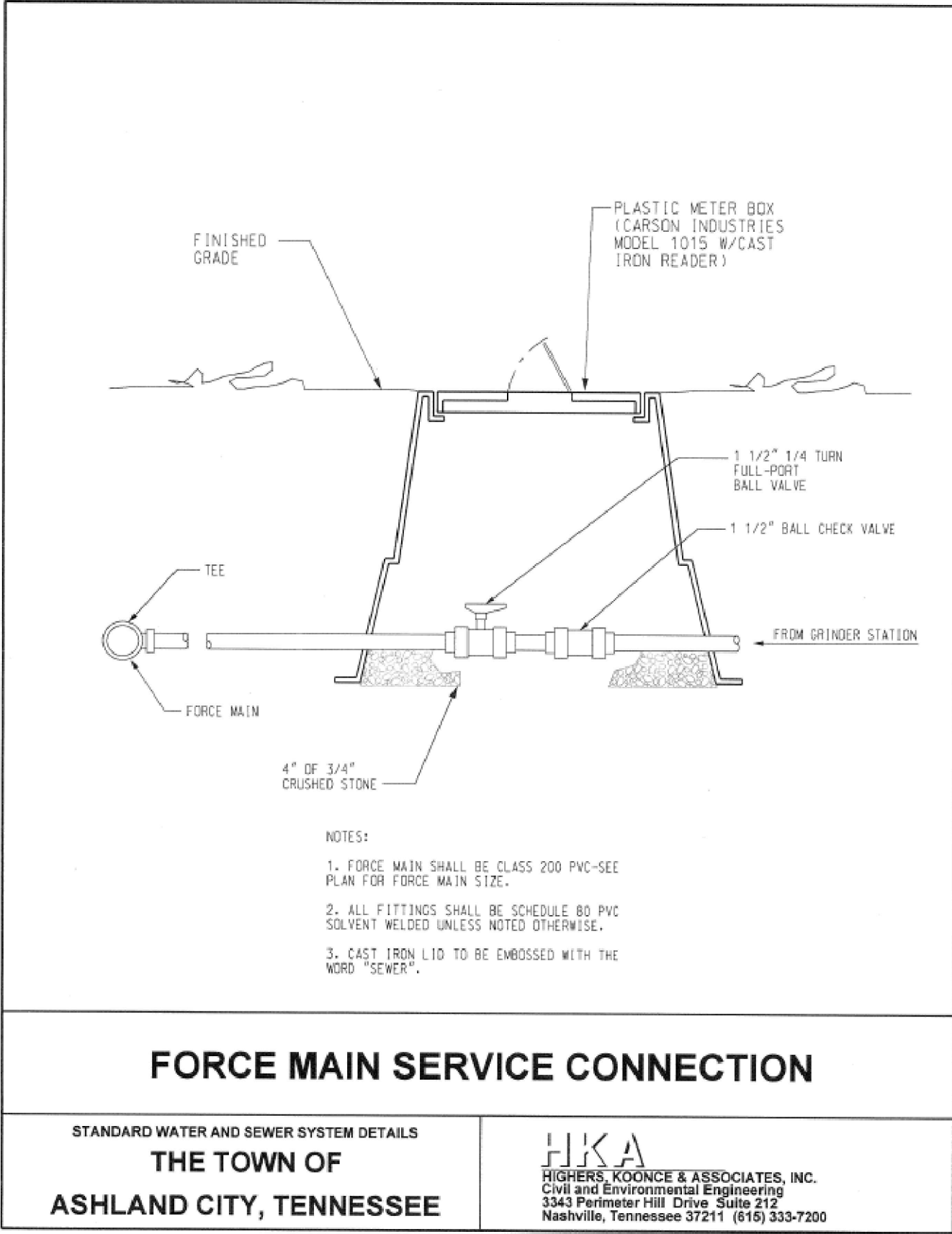
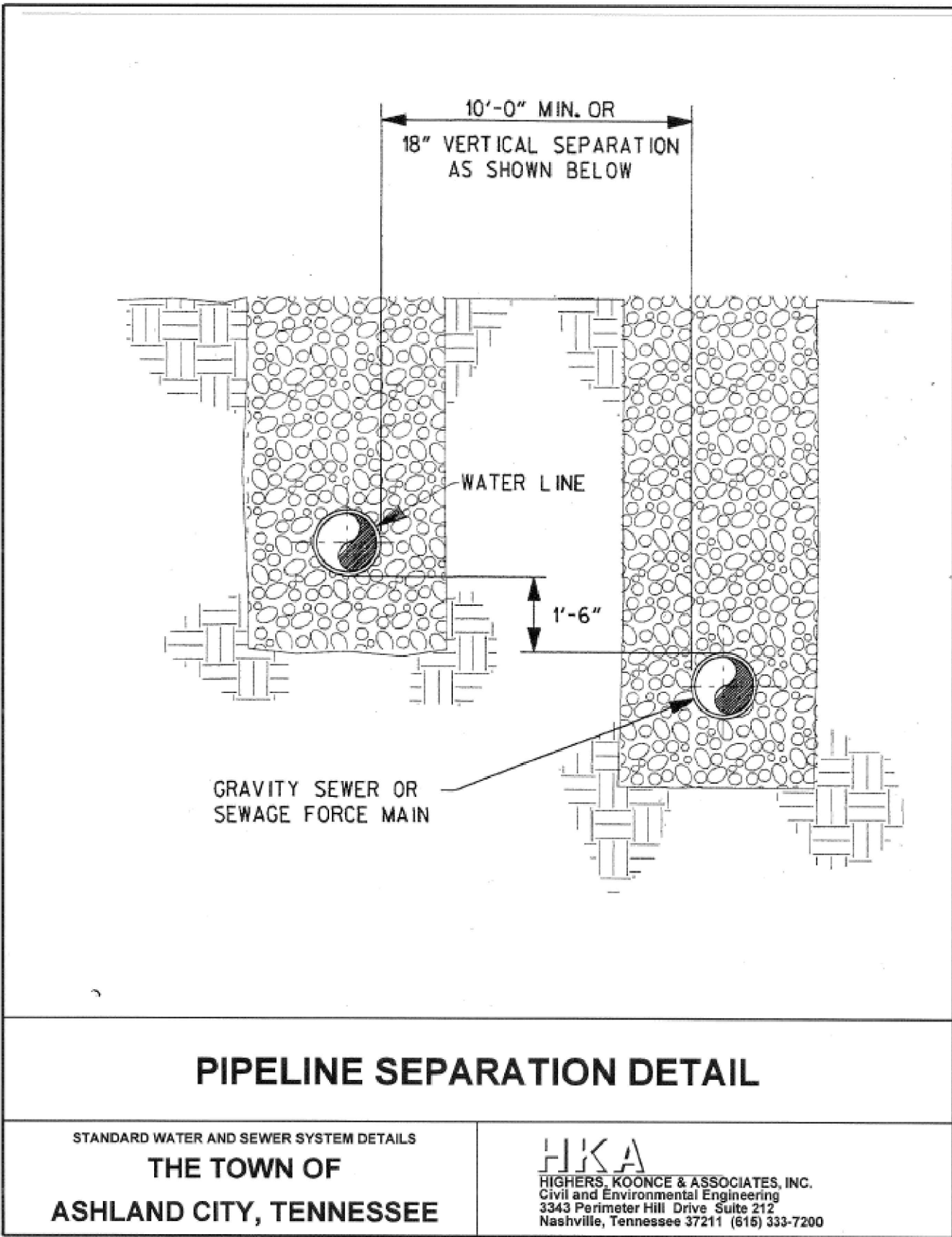
GENERAL UTILITY NOTES:

- THE CONTRACTOR WILL PROVIDE ALL NECESSARY PROTECTIVE MEASURES TO SAFEGUARD EXISTING UTILITIES FROM DAMAGE DURING THE CONSTRUCTION OF THIS PROJECT. IN THE EVENT THAT SPECIAL EQUIPMENT IS REQUIRED TO WORK OVER OR AROUND THE EXISTING UTILITIES, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE SUCH EQUIPMENT. THE COST OF PROTECTING UTILITIES FROM DAMAGE AND FURNISHING OF ANY REQUIRED SPECIAL EQUIPMENT WILL BE INCLUDED IN THE PRICE BID FOR OTHER ITEMS OF CONSTRUCTION. 3. THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATION IN THE AREA OF THEIR RESPECTIVE UTILITIES. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL CONTACT EACH UTILITY OWNERS AND REQUEST THEM TO PROPERLY LOCATE THEIR RESPECTIVE UTILITIES ON THE GROUND. THIS NOTIFICATION SHALL BE GIVEN AT LEAST THREE (3) BUSINESS DAYS PRIOR TO COMMENCEMENT OF OPERATIONS AROUND THE UTILITY.
- EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY AND SHALL BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION. IF UPON FIELD LOCATION, ANY DEVIATIONS FROM THE SHOWN DESIGN LOCATIONS SHALL BE REPORTED TO THE OWNER OR ENGINEER PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATION IN THE AREA OF THEIR RESPECTIVE UTILITIES. PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR SHALL CONTACT EACH UTILITY OWNERS AND REQUEST THEM TO PROPERLY LOCATE THEIR RESPECTIVE UTILITIES ON THE GROUND. THIS NOTIFICATION SHALL BE GIVEN AT LEAST THREE (3) BUSINESS DAYS PRIOR TO COMMENCEMENT OF OPERATIONS AROUND THE UTILITY.
- ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUITS, IRRIGATION SLEEVES, ETC...) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF ALL BASE COURSE MATERIAL.
- THE UTILITY CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL TAP AND TIE-IN FEES REQUIRED, AS WELL AS COST OF THE UNDERGROUND SERVICE CONNECTIONS TO THEIR FACILITIES.
- THOSE UTILITY OWNERS WHO PARTICIPATE IN THE "TENNESSEE ONE CALL" SYSTEM CAN BE NOTIFIED TOLL FREE AT 1-800-351-1111.
- ALL SEWER AND WATER CONNECTIONS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS OUTLINED BY THE TOWN OF ASHLAND CITY STANDARD SPECIFICATIONS AND INSTALLATION GUIDELINES FOR THE CONSTRUCTION OF PUBLIC INFRASTRUCTURE (LATEST EDITION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REIMBURSING THE TOWN OF ASHLAND CITY DEPARTMENT OF PUBLIC WORKS FOR THE COST OF INSPECTION.
- THE CONTRACTOR SHALL NOTIFY THE TOWN OF ASHLAND CITY PUBUC WORKS DEPARTMENT AND ARRANGE INSPECTION PRIOR TO BEGINNING.
- COORDINATES AND DIMENSIONS SHOWN ARE TO CENTERLINE OF PIPE, OR FITTING, OR TO CENTERLINE OF MANHOLE.
- THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINES SHALL BE 10". THE MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINES SHALL BE 18".



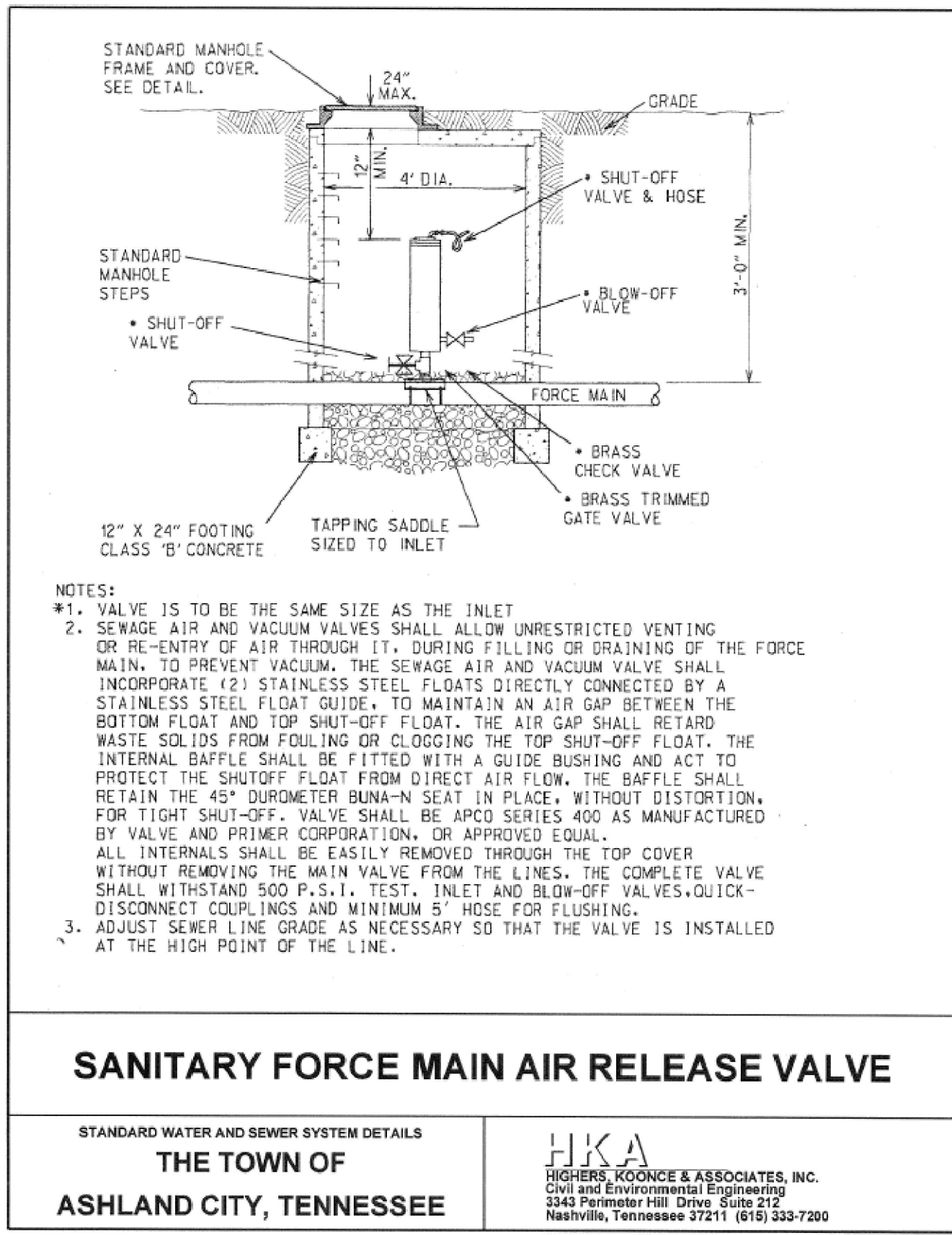
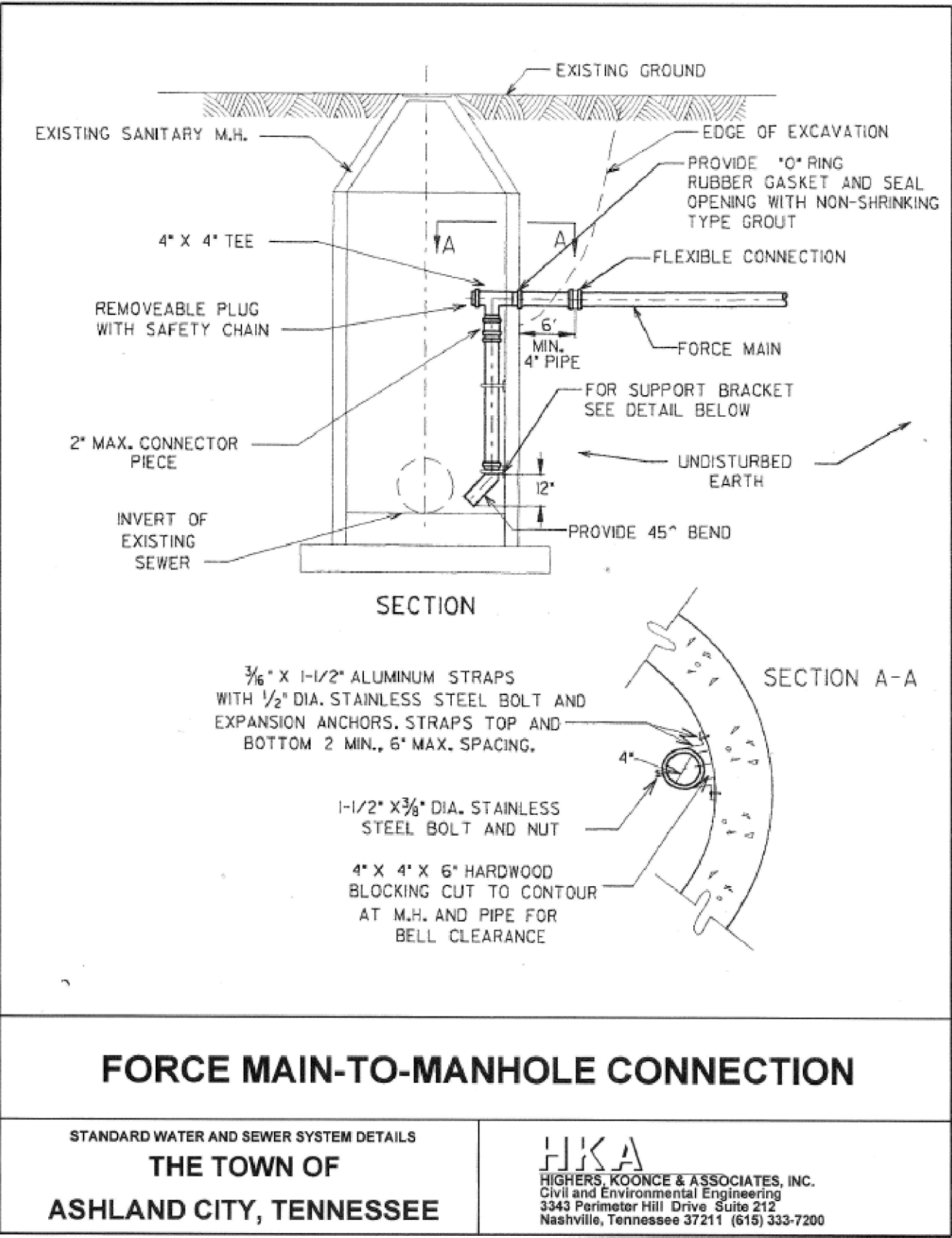
PRELIMINARY PRESSURE SEWER - PIPE SIZING AND BRANCH ANALYSIS
Peach Hill Subdivision

Prepared By: Aston Hutchison														Peach Hill Subdivision		October 7, 2020	
Zone Number	Connects to Zone	Number of Pumps (in Zone)	Accum. Pumps (in Zone)	Gals./day Per Pump	Max Flow Per Pump	Max Flow (in Ops) (GPD)	Pipe Size (inches)	Max Velocity (FPS)	Length of Main in this Zone (Per 100 ft)	Friction Loss This Zone	Accum. Fr. Loss (feet)	Max. Minus Elevation	Minimum Pump Elevation	Static Head	Total Dynamic Head (feet)		
This spreadsheet was calculated using pipe diameters for 3000 PSI PVC.										Friction loss calculations were based on a Constant for inside roughness (C) of 150.							
1.00	2.00	3	3	350	11.00	2	22.00	1.25	4.00	83.00	4.22	3.50	23.91	487.00	400.00	87.00	110.91
2.00	3.00	6	9	350	11.00	3	33.00	1.50	4.56	162.00	4.56	7.39	20.41	487.00	438.50	48.50	68.91
3.00	4.00	11	20	350	11.00	5	55.00	2.00	4.86	208.00	3.97	8.27	13.02	487.00	432.00	55.00	68.02
4.00	4.00	14	34	350	11.00	6	66.00	2.50	3.98	216.00	2.20	4.75	4.75	487.00	455.00	32.00	36.75



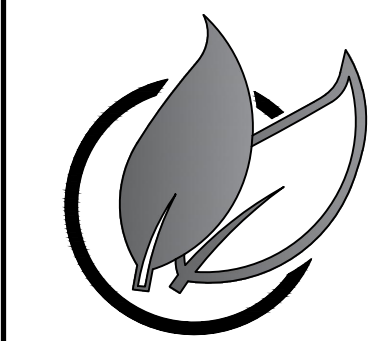
PRELIMINARY PRESSURE SEWER - ACCUMULATED RETENTION TIME (HR)
Peach Hill Subdivision

Zone Number	Connects to Zone	Accumulated Total of Pumps (in Zone)	Pipe Size (inches)	Gallons per 100 lineal feet	Length of Zone	Capacity of Zone	Average Daily Flow	Average Fluid Changes per Day	Average Retention Time (Hr)	Accumulated Retention Time (Hr)
This spreadsheet was calculated using pipe diameters for 3000 PSI PVC. Gals per Day per Dwelling 350										
1.00	2.00	3	1.25	9.15	83.00	7.60	1,050	138.19	0.17	0.38
2.00	3.00	9	1.50	12.07	162.00	19.35	3,130	161.09	0.15	0.40
3.00	4.00	20	2.00	18.84	208.00	59.19	7,000	178.61	0.13	0.75
4.00	4.00	34	2.50	27.60	216.00	59.62	11,900	199.60	0.12	0.12



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UTILITY PLAN DETAILS

C-4.1