

MULTI-FAMILY SITE PLAN FOR *2543 Bell St. Townhomes Phase 2*

CITY OF ASHLAND CITY, CHEATHAM COUNTY, TENNESSEE

CONVENTIONAL SIGNS

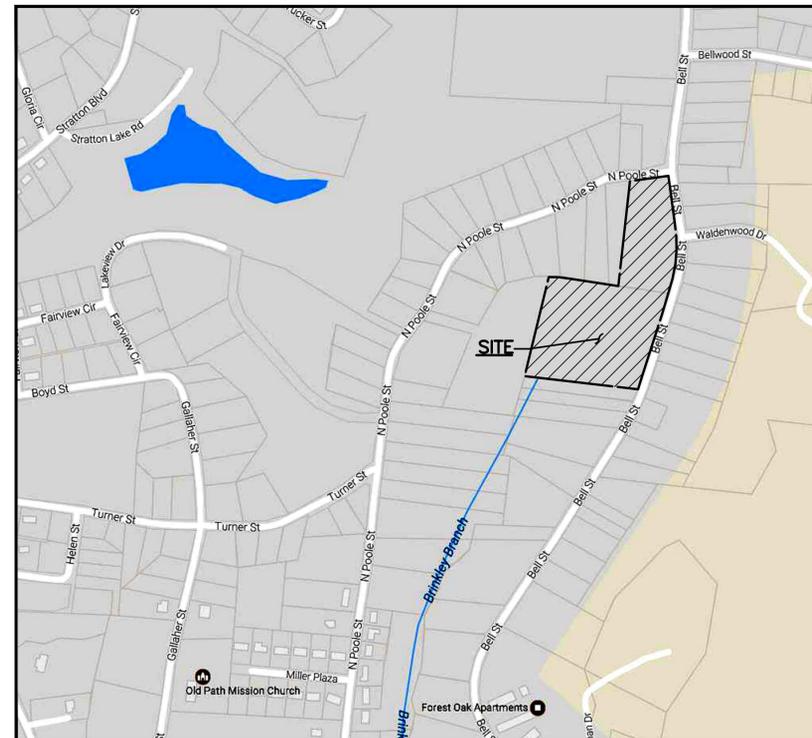
	PROPOSED	EXISTING
SANITARY SEWER	—S—	-S-
STORM SEWER	—ST—	-ST-
WATERLINE	—W—	-W-
SANITARY MANHOLE	●	⊙
STORM MANHOLE	●	⊙
CATCH BASIN	■	⊞
YARD BASIN	●	⊙
HYDRANT	▼	⊙
CENTERLINE	—	-

SITE DATA

PROJECT NAME: MULTI-FAMILY SITE PLAN
EXISTING USE: SINGLE FAMILY RESIDENTIAL
ADDRESS: 2543 BELL STREET
CITY: ASHLAND CITY
COUNTY: CHEATHAM
STATE: TN
PARCEL: 055E B 00200 000 AND 055E B 00100 000
EXISTING ZONING AND CHARACTER AREA OVERLAY: R-3
PROPOSED ZONING: R-4 PUD
ACREAGE OF SITE: 6.512
SQUARE FOOTAGE OF SITE: 283,675
MINIMUM REQUIRED SETBACK LINES:
 YARD FRONTING ON ANY STREET: 35 FEET
 SIDE YARD: 15 FEET
 REAR YARD: 20 FEET

OWNER: MARK DRIVER AND DIXIELAND COMPANY
ADDRESS: 119 CUMBERLAND STREET, ASHLAND CITY, TN 37015
PHONE: No.: 615-432-2919
E-MAIL ADDRESS: sreigle@realtracs.com
CONTACT NAME: STEVE REIGLE

BUILDING SQUARE FOOTAGE: 950 SF/HOME MAX.
BUILDING TOTAL: 19,950 SF
BUILDING HEIGHT: 35' MAX
MINIMUM PARKING REQUIREMENT: 42 SPACES
PARKING PROVIDED:
 SURFACE SPACES 51 (INCLUDES 2 PER UNIT PLUS 9 VISITOR SPACES)



LOCATION MAP
N.T.S.

INDEX OF SHEETS

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BENCH MARK DATA

SITE BENCHMARK:
 SEWER MANHOLE
 TOP OF CASTING
 N: 708093.13
 E: 1659366.97
 ELEV: 626.97 (DATUM IS NAVD88)

DEVELOPED BY:

REGAL HOMES
 119 CUMBERLAND ST.
 ASHLAND CITY, TN 37015
 615-403-7002

NOTES:

THE CITY OF ASHLAND CITY, IS NOT A MEMBER OF TN ONE CALL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ASHLAND CITY, WATER MANAGEMENT, NO LESS THAN 72 HOURS PRIOR TO COMMENCING WORK.

CONSTRUCTION OF PHASES 1 AND 2 SHALL COMPLY WITH THE ASHLAND CITY LANDSCAPE/TREE ORDINANCE.

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NORTH

DATE	REVISION
4/3/22	PHASE 2

TITLE SHEET

MULTI-FAMILY SITE PLAN FOR
 2543 BELL ST. TOWNHOMES
 ASHLAND CITY, CHEATHAM COUNTY, TENNESSEE



SCALE: AS NOTED
 DATE: 4-28-22
 DRAWN BY: DEM
 DESIGN: DRK CHECK: GNF
 PROJECT: 50E00017
 DRAWING: 50-00017GS00A4
 SHEET **CO.0**

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GENERAL NOTES (Site, Storm and Pavement)

SPECIFICATIONS

Except as modified by these plans and by the City of Ashland City Specifications, all work shall be governed by the Tennessee Department of Transportation, "Standard Specifications for Road and Bridge Construction" dated January 1, 2015 and supplements thereto.

UNDERGROUND UTILITIES AND ADJUSTMENTS

The location of existing utilities shown on these plans is approximate. The exact location shall be verified by the contractor. Any and all adjustments or extensions required for public or private utilities will be done by and at the expense of their respective owners, unless otherwise noted on the plans.

In Tennessee it is a requirement per "The underground utility damage prevention act" that anyone who engages in excavation activities must notify all known utility owners, no less than three (3) or more than ten (10) working days prior to their intended excavation. A list of these utility owners may be obtained from the county register of deeds. Those utility owners who participate in the Tennessee One Call program can be notified at 1-800-351-1111.

EXISTING BENCHMARKS, MONUMENTS AND CONTROL POINTS

Existing survey monuments, bench marks, property corner points and control points damaged or disturbed by construction will be replaced by a registered land surveyor at the expense of the contractor. Should the contractor fail to properly replace these points, the Owner shall replace these points at the Contractors expense, after three (3) weeks' notice.

EXISTING STORM DRAINAGE

Before starting work, a representative of the Owner and the contractor shall make a visual inspection of the existing storm sewers and drains within the work limits. A record of the inspection shall be kept in writing by the Owner. Any change in the condition resulting from the contractors operations shall be corrected, upon completion of the work, to the satisfaction of the Owner, at no cost to the Owner, including the regrading of ditches and swales to drain properly. The contractor shall conduct his operations so as to maintain storm sewer flows at all time and shall promptly replace in kind any storm sewers disturbed by construction.

ADA

All construction activities shall be in compliance with the requirements of the Americans with Disabilities Act (ADA) in effect at the time in which the construction activities are performed.

All sidewalks on site shall be ADA compliant in accordance with Ashland City requirements. Maximum cross slope allowed is 2%.

ROOF DRAINS

Roof drains, foundation drains and all other clean water connections to the sanitary sewer are prohibited.

RESTORATION OF RIGHT OF WAY

All existing features in existing rights of way that are disturbed due to construction, such as: mailboxes, shrubs, bushes, guardrail, driveways, swales, sewers, catch basins, berms, seeded areas, etc. shall be replaced to their original condition to the satisfaction of the Owner.

SITE CLEANUP

The contractor is responsible for ensuring the site is clean and in operable condition at the time of final acceptance.

HAUL ROUTES

The Contractor shall be responsible for the cleanup of any mud, dirt or debris deposited on haul roads as a result of his operations. Cleanup operations shall be as directed by the Owner and to the satisfaction of the City.

INSURANCE

No contractor or subcontractor shall start any work until the approved certificate of liability insurance is filed with The Owner naming The Owner as the insured.

SAFETY REQUIREMENTS

The Contractor shall at all times follow the State and local safety requirements during construction of this project. Special care shall be taken during all trenching operations. Sheeting and bracing, cribbing, etc. must be installed to provide maximum safety to the contractor's workers in full compliance with Occupational Safety and Health Administration (OSHA) regulations.

SITE CONSTRUCTION

EXISTING CONDITIONS
The contractor shall visit the job site prior to bidding for verification of all existing conditions and interferences.

SITE GRADING AND DRAINAGE

The approved site grading and drainage may not be changed without the approval of City of Ashland City.

CLEARING AND GRUBBING

All existing trees, vegetation, and organic topsoil shall be stripped and removed from the construction area. All existing structures and foundations shall be removed with all voids filled in, if necessary. Removed topsoil may be used as embankment in areas outside of the building or pavement influence.

EXCAVATION AND EMBANKMENT

Excavation and embankment operations under the proposed pavement areas shall be in accordance with the Tennessee Department of Transportation, "Standard Specifications for Road and Bridge Construction" dated January 1, 2015 and supplements thereto. Excavation and embankment operations under the proposed building pad shall be in accordance with the specifications below. Where discrepancies exist between the TDOT specs and the specs below, the more stringent specs shall apply under the building pad area.

All grading operations, excavation, fill, compaction testing and backfill shall be observed and tested by a qualified Soils Engineer.

No fill shall be placed prior to approval of the subgrade by the Soils Engineer.

Unauthorized excavation below bottom of proposed foundation elevations shall be filled with lean concrete or compacted granular fill.

Contractor is to be responsible for removal of all existing unsuitable soil materials, including topsoil, from the proposed building pad and pavement areas. All existing underground debris is to be removed, including but not limited to, existing footings, foundation walls, mulch, tree roots, etc. Topsoil may be stored on site and used as fill material in lawn/grass areas only.

Remove all below grade wood and metal from proposed building pad area.

Do not permit a new foundation to bear directly on an existing footing or rigid body.

Remove any and all old backfill materials from around the proposed building pad area.

Fill any over excavated areas with compacted granular material, such as sand, sand and gravel, or crushed stone.

Place fill material in loose lifts not exceeding 8 inches and compact and test each lift. Compact to dry unit weight not less than 95 percent of max unit weight as determined by modified proctor (ASTM D 1557) at optimum moisture content +/- 3 percent, or as recommended by the Soils Engineer.

Materials used for fill shall be composed of soil, crushed rock, or any approved mixture of these. The material shall be free from organic matter and other deleterious substances and shall not contain rocks or lumps having diameter of more than 6 inches. All material used in fill areas shall be approved by the soils engineer. Only one off-site source shall be used for the fill material unless otherwise specifically authorized by the soils engineer or the owner.

The approved fill material shall be placed in layers which when compacted shall not exceed six inches. Each layer shall be spread evenly and thoroughly bladed and mixed during the spreading to ensure uniform material in each layer.

When fill material includes rock, no large rocks shall be allowed to nest and all voids must be carefully filled in with small stones or earth, properly compacted. No large rocks will be permitted within twelve inches of the finish grade.

If the moisture content of the material from the fill source is not appropriate to establish density, the contractor shall provide moisture adjustment accordingly.

Compaction equipment shall be of such design that it will be able to compact the fill to specified density.

Compaction of each layer shall be continuous over its entire area and the compaction equipment shall make sufficient trips to ensure that the required density has been obtained.

Field density tests shall be made by the soils engineer as approved by the Owner of the compaction of each layer of fill. Density tests shall be taken in compacted material below the disturbed surface. When these tests indicate that the density of any layer of fill or portion thereof is below the required density, the particular layer or portion shall be reworked until the required density has been obtained.

No fill material shall be placed, spread or rolled while it is frozen or thawing or during unfavorable weather conditions. When the work is interrupted by heavy rains, fill operations shall not be resumed until the soils engineer indicates that the moisture content and density of the previously placed fill are adequate.

The Contractor shall perform all cutting, filling, compacting and rough grading required to bring the entire project area to subgrade. In all cases, the finished subgrades shall be sloped to drain water away from the building walls.

Grading shall include all lawn and landscape area shown on the grading plan and such additional areas disturbed by construction storage, vehicle, and other construction operations, including utility trenching.

Proposed grades shown are designed to produce the desired configuration of the site and do not necessarily represent a balance between cut and fill. If excavation and grading cuts do not provide enough fill to achieve the required grades, the Contractor shall provide additional fill as required by this section. Excess material from the excavation of other contractors may be dumped on the site if it can be incorporated into the grading plan. Excess materials not reused shall be lawfully removed from the site.

All affected areas within the street Right of Way, on site or in off-site utility easements not otherwise surfaced shall be seeded, mulched, watered and maintained until an adequate stand of grass is obtained.

If stockpiled topsoil is to remain on site it shall be covered with a plastic liner until reuse or removal.

Following completion of normal subgrade compaction procedures, and as approved by the Owner, the finished pavement subgrade areas shall be proffed rolled using a loaded tandem axle dump truck. Any areas showing instability shall be undercut a minimum of 12 inches and replaced with stone. Acceptable stone material includes TDOT 303-01, Type A.

Contractor to provide and install a minimum of 8" topsoil in all landscape beds prior to landscape installation. In areas where rock is present, topsoil depth shall be 12" minimum. All construction debris to be removed prior to installation of topsoil.

SIDEWALKS

Sidewalks shall be constructed per TDOT Section 701 and details contained in these plans.

DRAINAGE

STORM SEWER CONDUIT

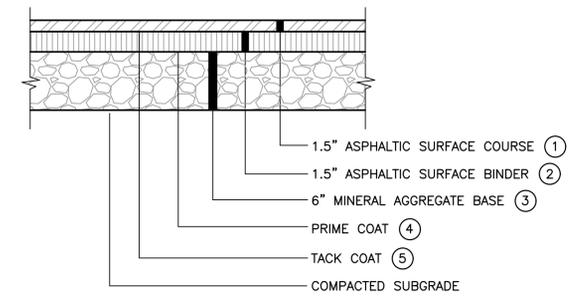
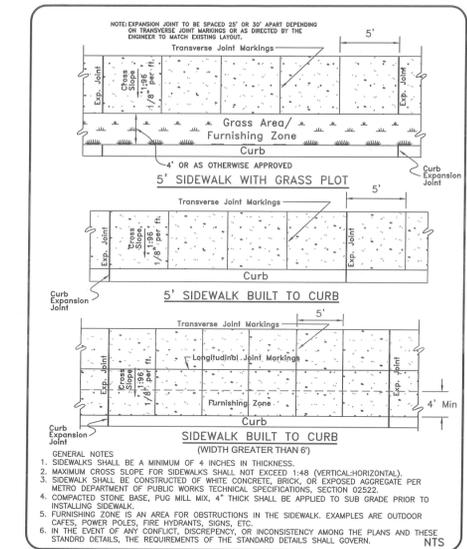
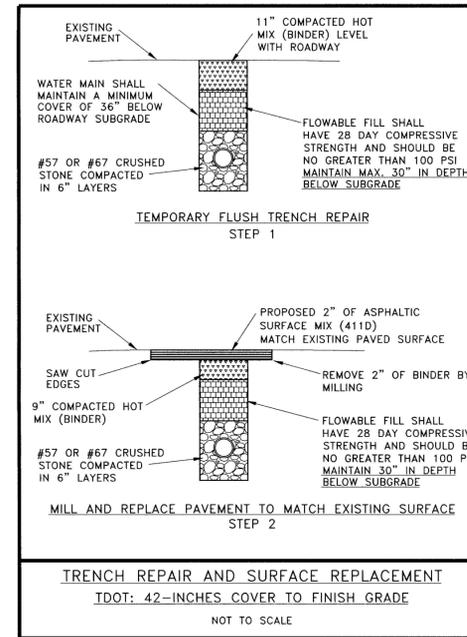
Pipe within 5' of the edge of pavement or under pavement shall be backfilled with granular material to the subgrade. Granular material and compaction shall meet the requirements of the City of Ashland City.

Pipe bedding shall be Class C and shall meet the requirements of the City of Ashland City.

On-site pipe material shall be HDPE as specified in these plans. Pipe material within the right-of-way shall be RCP as specified in these plans.

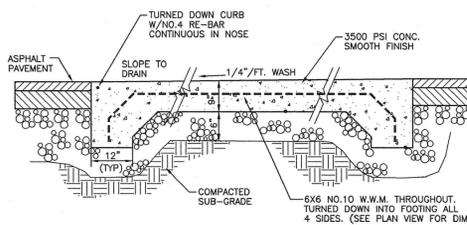
WATER/SANITARY SEWER

All work shall be performed according to the City of Ashland City Specifications.

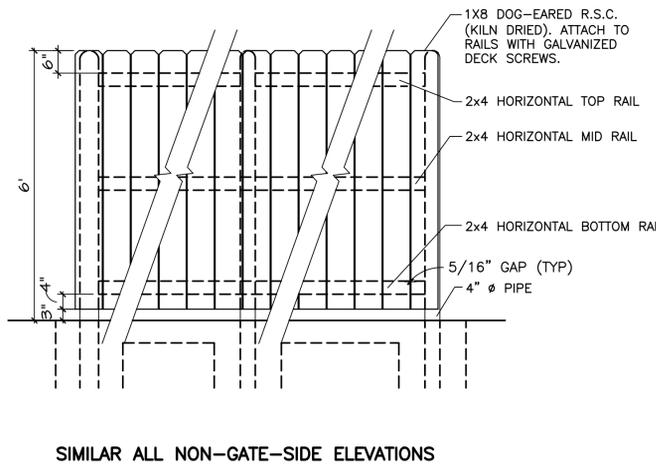
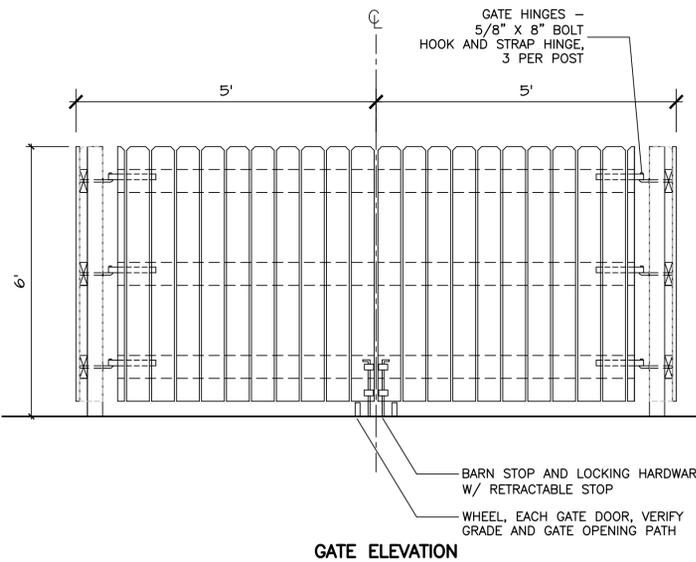


- ① BITUMINOUS SURFACE:
TDOT 411-01.01 - MINERAL AGGREGATE (ASC) GRADING "D"
TDOT 411-01.02 - ASPHALTIC CEMENT GRADING "D"
- ② BITUMINOUS BINDER:
TDOT 307-03.11 - BITUMINOUS PLAT MIX BASE (HOT MIX) (BPMB-HM) GRADING "B"
- ③ MINERAL AGGREGATE:
TDOT 303-01 - MINERAL AGGREGATE TYPE "A" BASE, GRADING "D"
- ④ PRIME COAT:
TDOT 402-01 - BITUMINOUS MATERIAL FOR PRIME COAT (PC) 0.30-0.35 GAL./SQ. YD.
TDOT 402-01 - AGGREGATE FOR COVER MATERIAL (PC) 8-12 LB./SQ. YD.
- ⑤ TACK COAT:
TDOT 403-01 - BITUMINOUS MATERIAL FOR TACK COAT (TC) 0.02 GAL./SQ. YD.

TYPICAL ASPHALT PAVEMENT SECTION
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DUMPSTER PAD SECTION
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DUMPSTER ENCLOSURE
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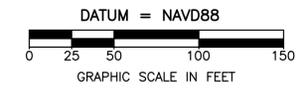
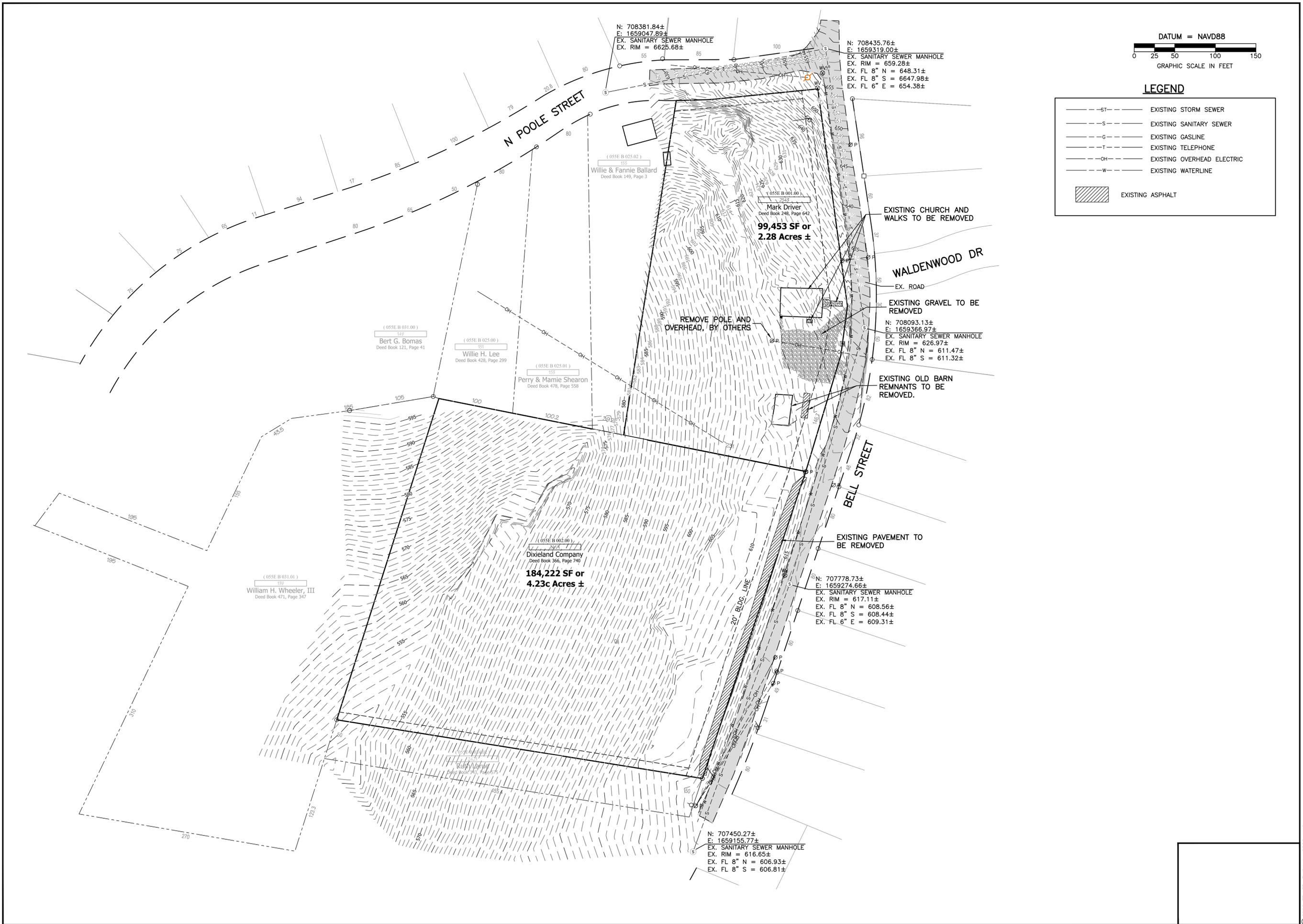
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DATE	4/3/22
REVISION	PHASE 2

GENERAL NOTES AND DETAILS

PROJECT: MULTI-FAMILY SITE PLAN FOR 2543 BELL ST. TOWNHOMES ASHLAND CITY, CHEATHAM COUNTY, TENNESSEE

SCALE:	1" = 20'
DATE:	4-28-22
DRAWN BY:	DEM
DESIGN: DRK	CHECK: GNF
PROJECT:	50E00017
DRAWING:	50-00017GS00A4
SHEET	C0.1



LEGEND

---ST---	EXISTING STORM SEWER
---S---	EXISTING SANITARY SEWER
---G---	EXISTING GASLINE
---T---	EXISTING TELEPHONE
---OH---	EXISTING OVERHEAD ELECTRIC
---W---	EXISTING WATERLINE
[Hatched Box]	EXISTING ASPHALT

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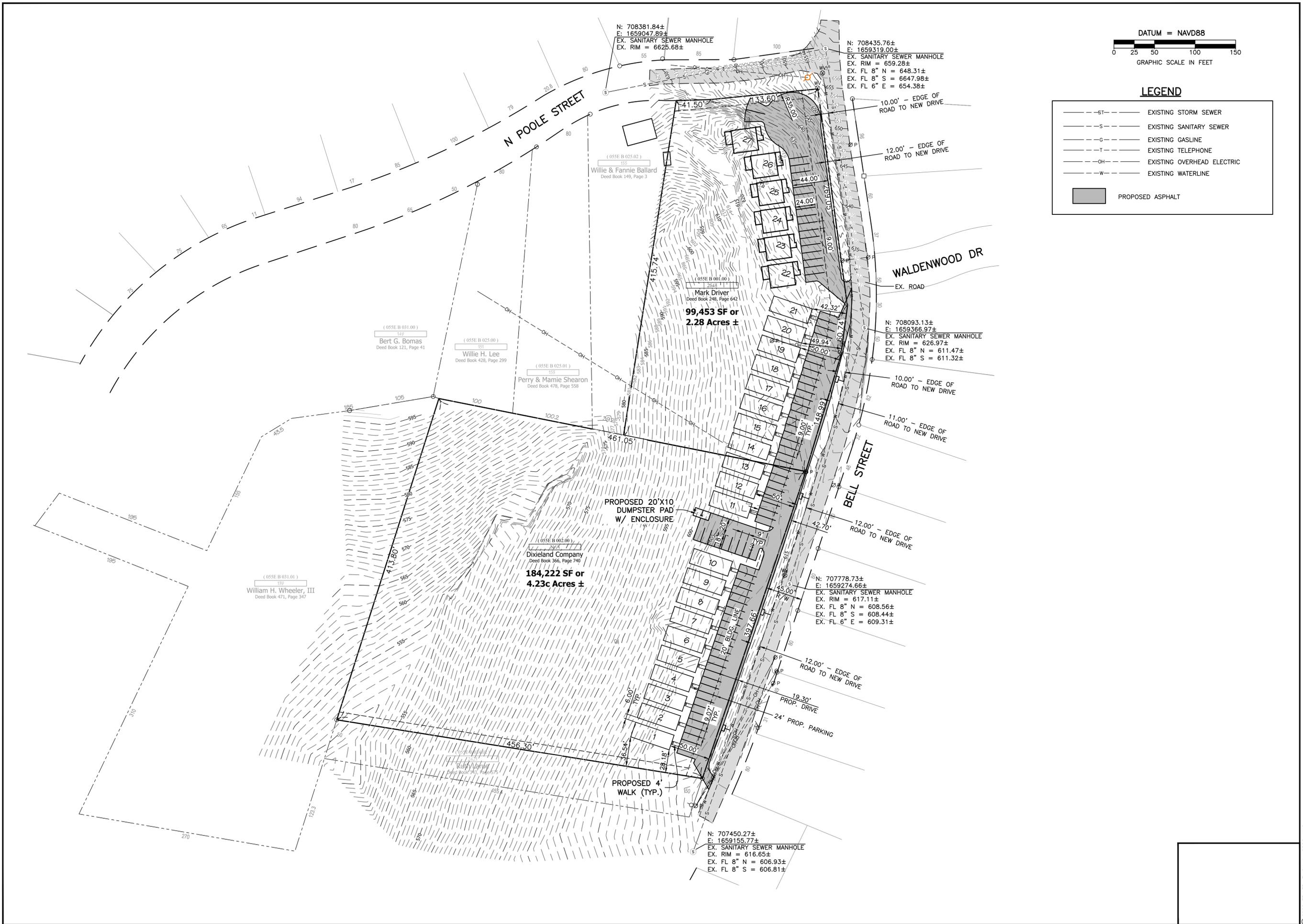
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EXISTING SITE CONDITIONS & DEMOLITION PLAN
 MULTI-FAMILY SITE PLAN FOR
 2543 BELL ST. TOWNHOMES
 ASHLAND CITY, CHEATHAM COUNTY, TENNESSEE

SCALE:	1" = 50'
DATE:	4-28-22
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SHEET	C1.1

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NORTH	4/3/22	DATE
	PHASE 2	REVISION
	REVISED BLDG. LOCATION 11/27/17	

TITLE: SITE GEOMETRICS PLAN

PROJECT: MULTI-FAMILY SITE PLAN FOR 2543 BELL ST. TOWNHOMES ASHLAND CITY, CHEATHAM COUNTY, TENNESSEE

SCALE:	1" = 50'
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PROJECT:	50E00017
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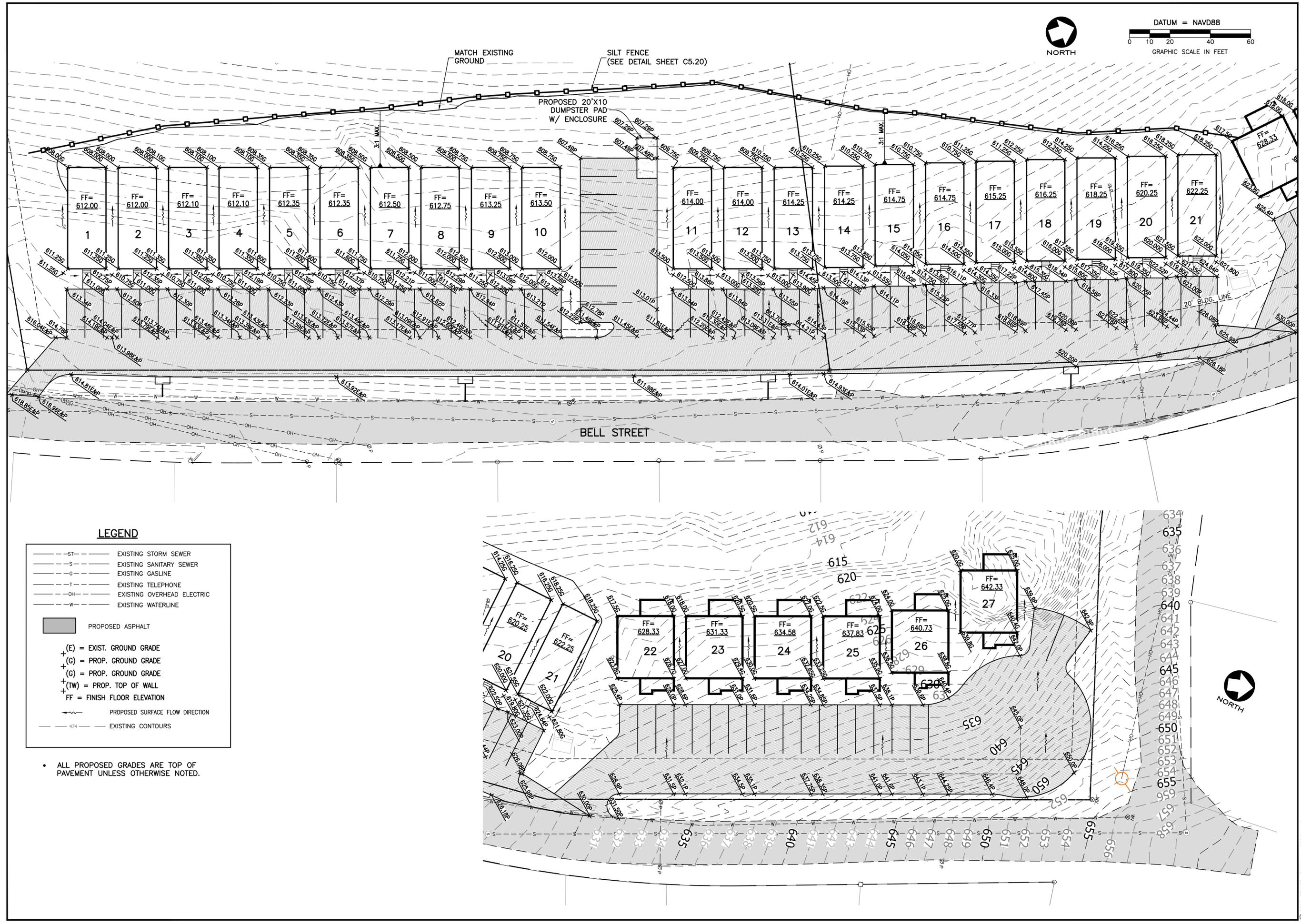
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REVISION	DATE
1	11/27/17
2	10/31/17
3	11/27/17

TITLE: **SITE GRADING PLAN**
 PROJECT: **MULTI-FAMILY SITE PLAN FOR 2543 BELL ST. TOWNHOMES ASHLAND CITY, CHEATHAM COUNTY, TENNESSEE**

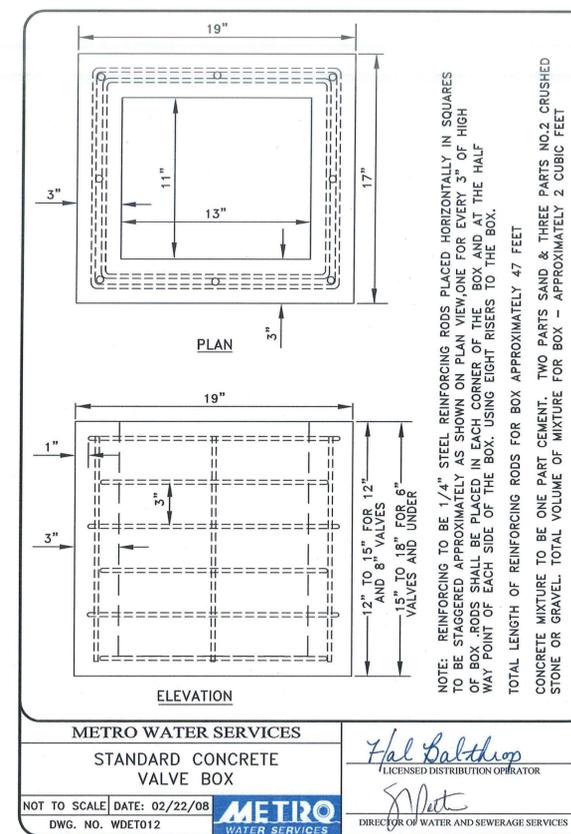
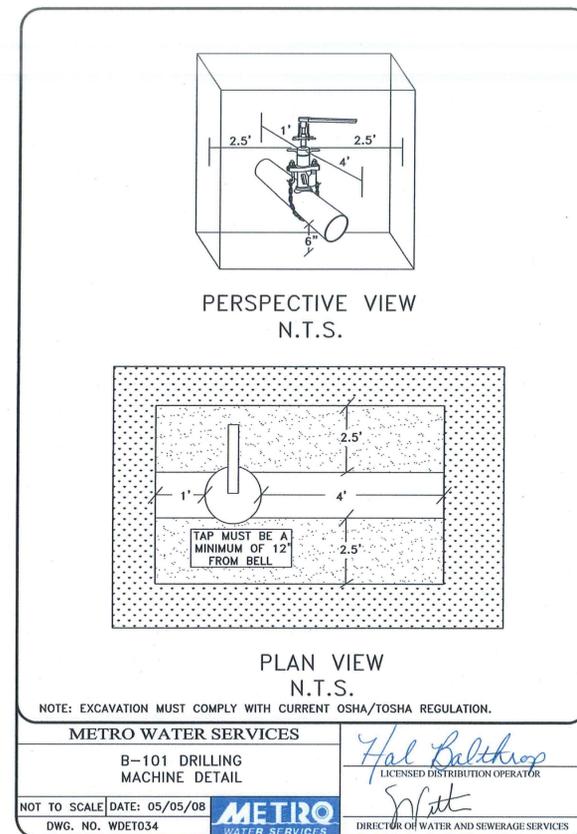
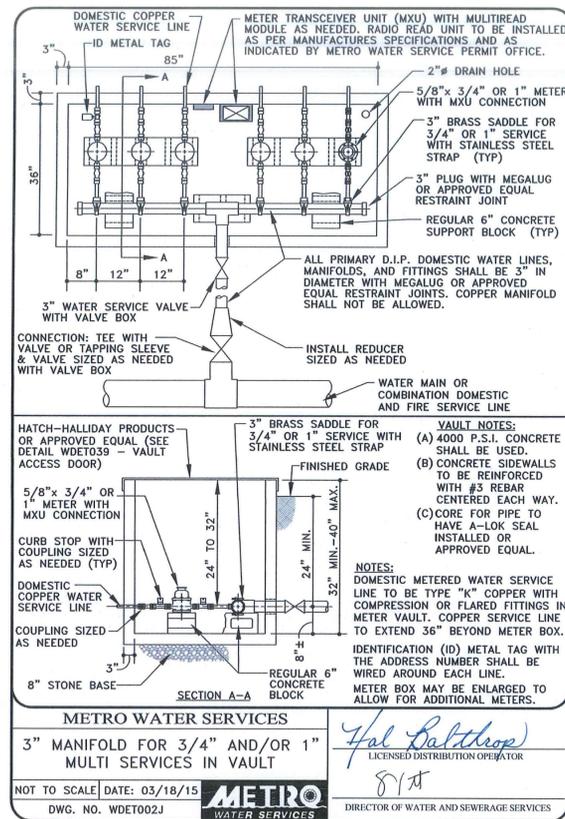
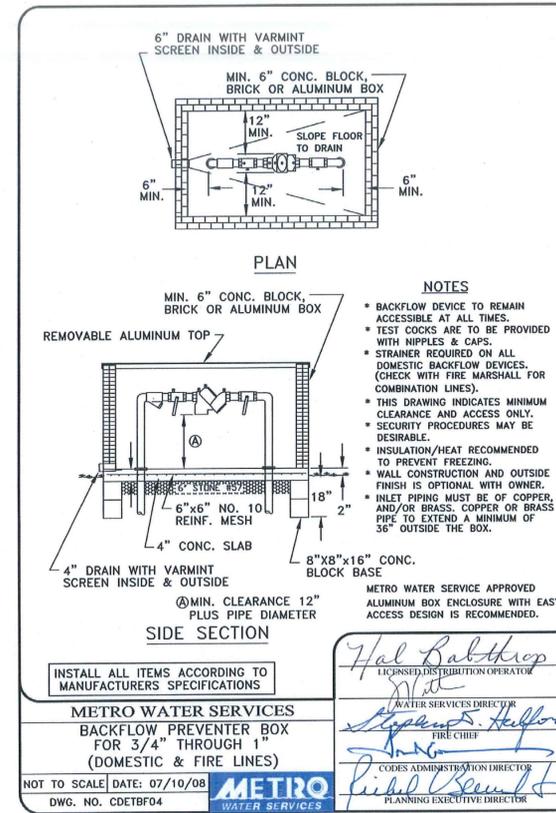
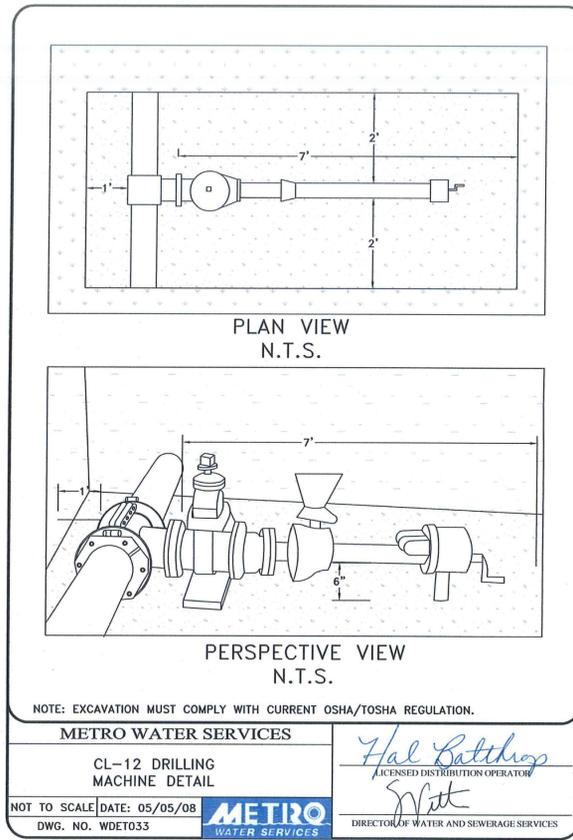
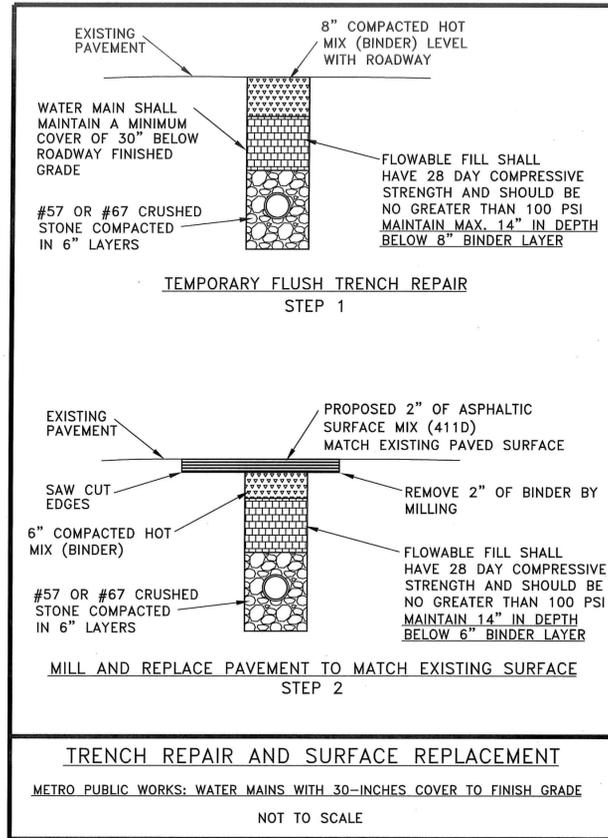
SCALE: 1" = 20'
 DATE: 4-28-22
 DRAWN BY: DEM
 DESIGN: DRK CHECK: GNF
 PROJECT: 50E00017
 DRAWING: 50-00017GS00A4
 SHEET **C3.1**



LEGEND

- ST— EXISTING STORM SEWER
- S— EXISTING SANITARY SEWER
- G— EXISTING GASLINE
- T— EXISTING TELEPHONE
- OH— EXISTING OVERHEAD ELECTRIC
- W— EXISTING WATERLINE
- PROPOSED ASPHALT
- (E) = EXIST. GROUND GRADE
- + (G) = PROP. GROUND GRADE
- + (G) = PROP. GROUND GRADE
- + (TW) = PROP. TOP OF WALL
- FF = FINISH FLOOR ELEVATION
- ~ PROPOSED SURFACE FLOW DIRECTION
- 474— EXISTING CONTOURS

• ALL PROPOSED GRADES ARE TOP OF PAVEMENT UNLESS OTHERWISE NOTED.



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UTILITY DETAILS

MULTI-FAMILY SITE PLAN FOR
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ASHLAND CITY, CHEATHAM COUNTY, TENNESSEE

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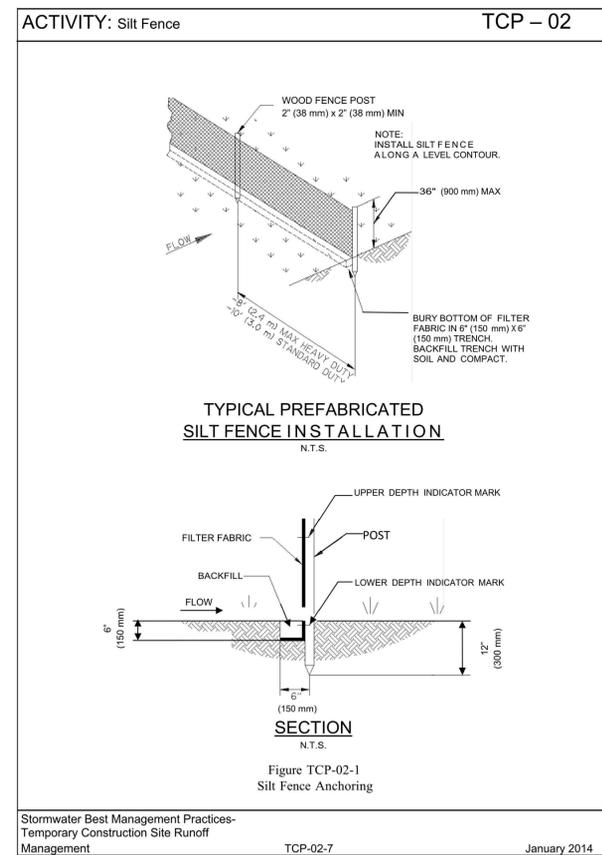
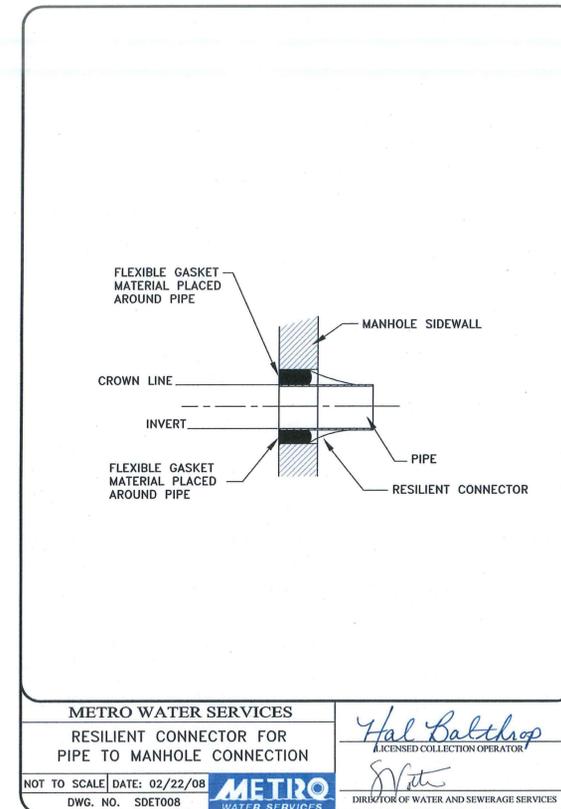
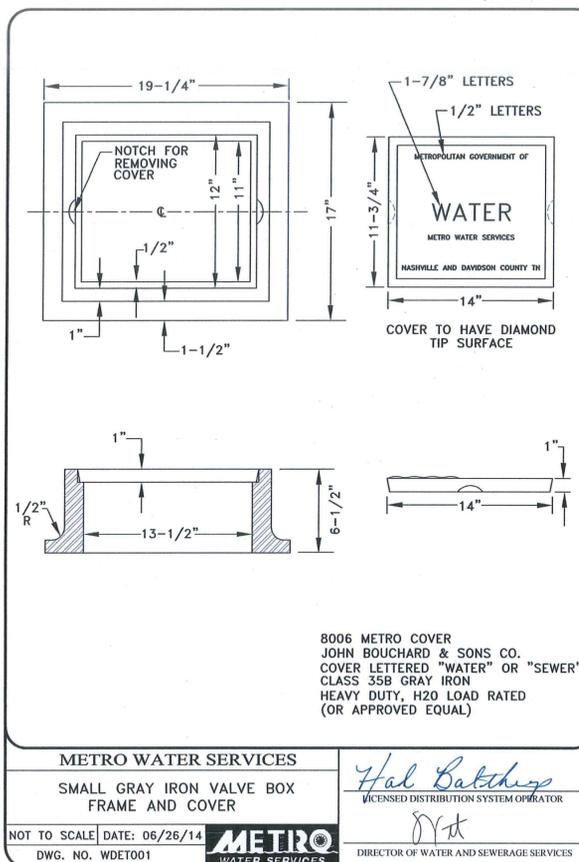
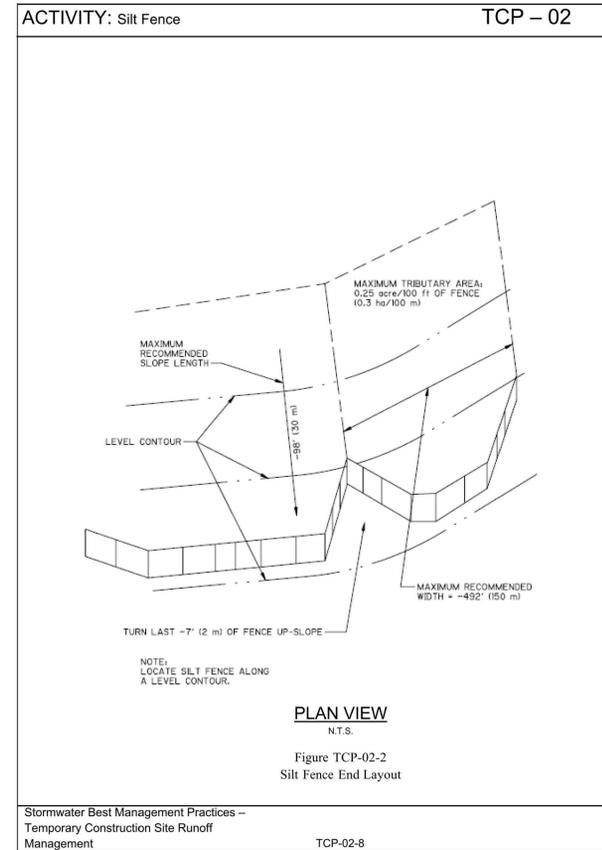
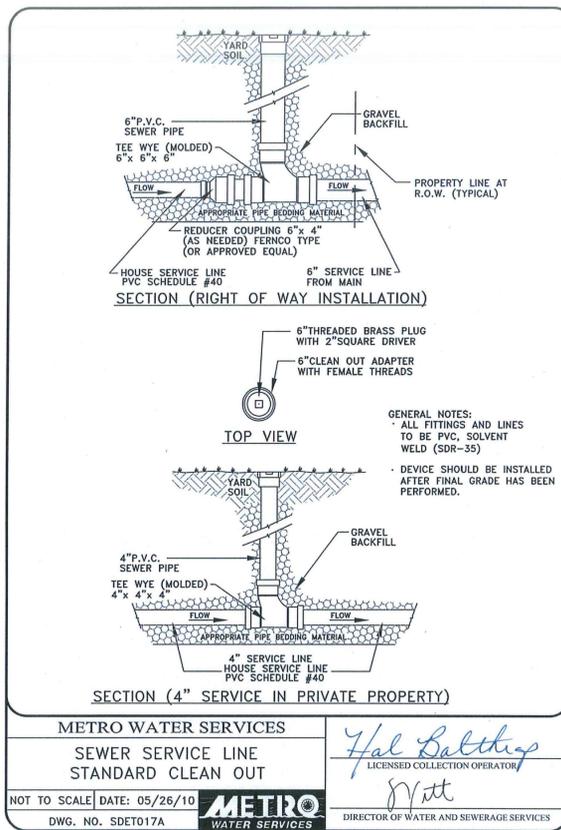
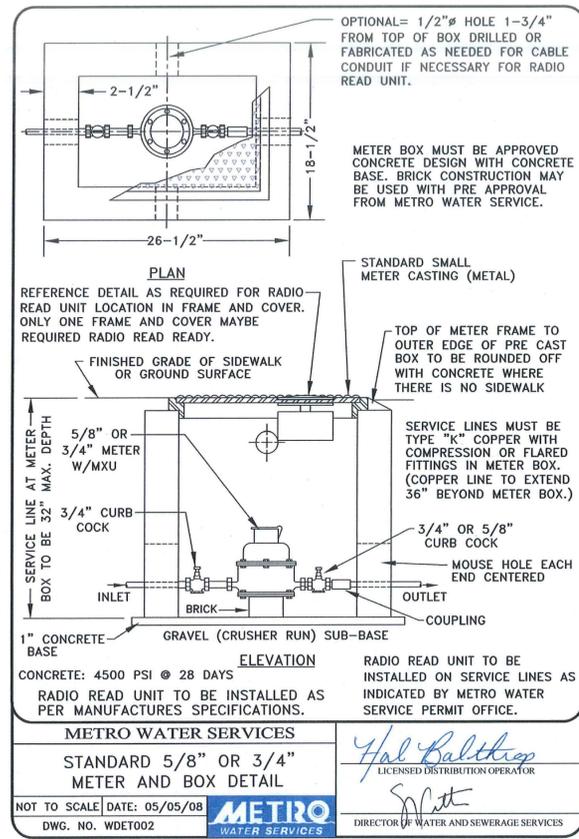
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PROJECT: 50E00017

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SHEET C5.1



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UTILITY AND EROSION DETAILS

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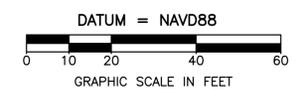
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THREE WORKING DAYS BEFORE YOU DIG
IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. THE LOCATION OF UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE AND THE LOCATION OF ALL UNDERGROUND UTILITIES IS UNKOWN.

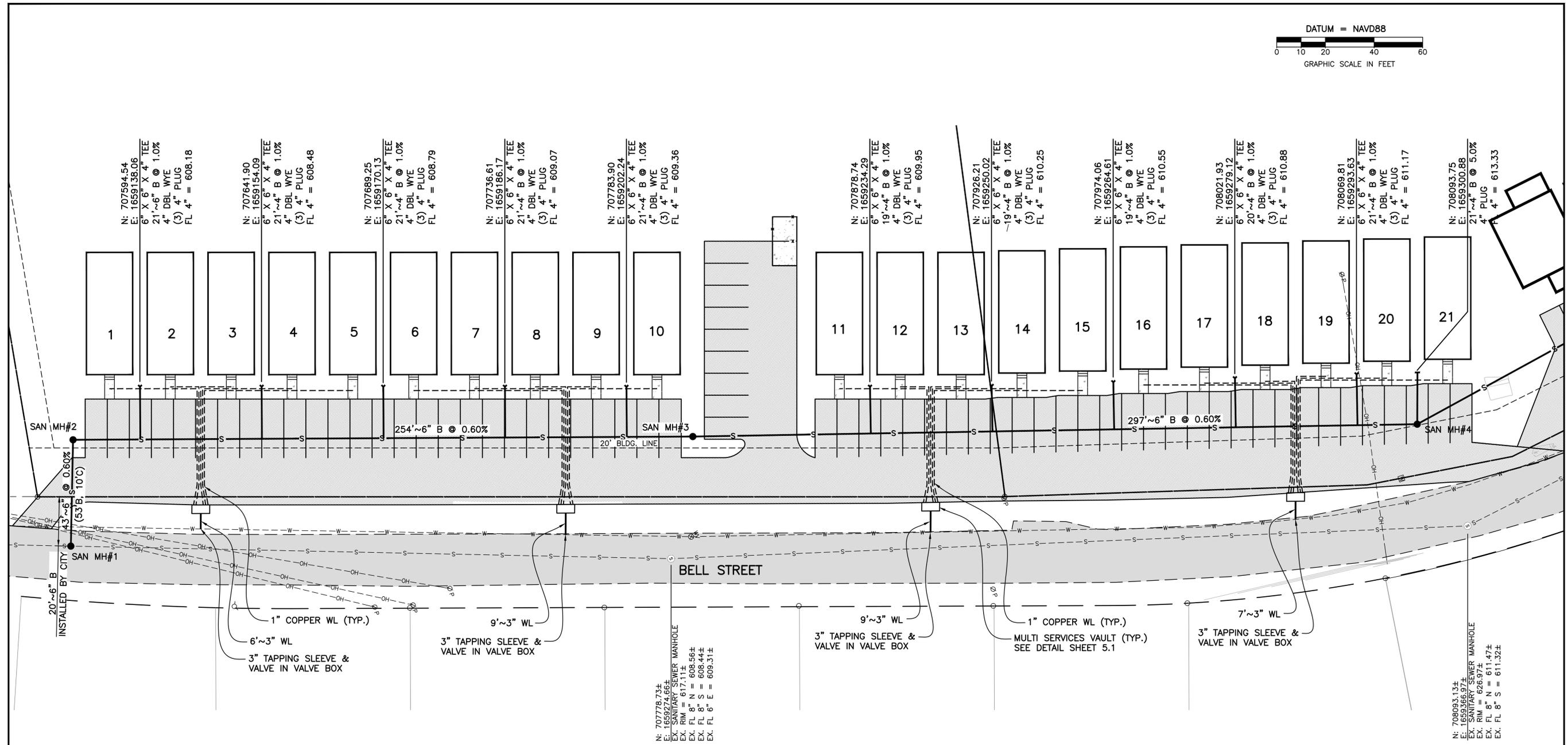
725 Cool Springs Blvd., Suite 600
Franklin, Tennessee, 37067
Phone: (615) 772-6229
www.fellerfinch.com

FellerFinch & ASSOCIATES, INC.
Engineers • Land Planners

REVISION	DATE
1	4/15/22
2	11/27/21
3	10/31/21

SITE UTILITY PLAN
MULTI-FAMILY SITE PLAN FOR
2543 BELL ST. TOWNHOMES
ASHLAND CITY, CHEATHAM COUNTY, TENNESSEE

SCALE: 1" = 20'
DATE: 4-28-22
DRAWN BY: DEM
DESIGN: DRK CHECK: GNF
PROJECT: 50E00017
DRAWING: 50-00017GS00A4
SHEET **C5.3**



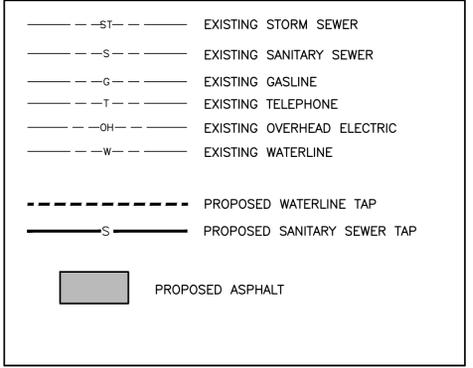
WATERLINE SERVICE TAP DATA

BLDG #1 N: 707582.43 E: 1659134.75 84'~1" COPPER WL	BLDG #7 N: 707724.51 E: 1659182.86 84'~1" COPPER WL	BLDG #13 N: 707914.18 E: 1659246.29 60'~1" COPPER WL	BLDG #19 N: 708057.63 E: 1659290.35 60'~1" COPPER WL
BLDG #2 N: 707606.35 E: 1659142.06 60'~1" COPPER WL	BLDG #8 N: 707748.43 E: 1659190.17 61'~1" COPPER WL	BLDG #14 N: 707937.62 E: 1659255.02 83'~1" COPPER WL	BLDG #20 N: 708081.07 E: 1659299.08 83'~1" COPPER WL
BLDG #3 N: 707630.03 E: 1659150.08 61'~1" COPPER WL	BLDG #9 N: 707772.11 E: 1659198.18 60'~1" COPPER WL	BLDG #15 N: 707961.06 E: 1659263.75 107'~1" COPPER WL	BLDG #21 N: 708104.51 E: 1659307.81 107'~1" COPPER WL
BLDG #4 N: 707653.47 E: 1659158.80 84'~1" COPPER WL	BLDG #10 N: 707795.55 E: 1659206.91 84'~1" COPPER WL	BLDG #16 N: 707985.47 E: 1659269.63 105'~1" COPPER WL	
BLDG #5 N: 707676.91 E: 1659167.53 108'~1" COPPER WL	BLDG #11 N: 707866.58 E: 1659230.97 83'~1" COPPER WL	BLDG #17 N: 708009.38 E: 1659276.94 81'~1" COPPER WL	
BLDG #6 N: 707700.59 E: 1659175.55 108'~1" COPPER WL	BLDG #12 N: 707890.50 E: 1659238.28 59'~1" COPPER WL	BLDG #18 N: 708033.30 E: 1659284.24 58'~1" COPPER WL	

SANITARY STRUCTURE DATA

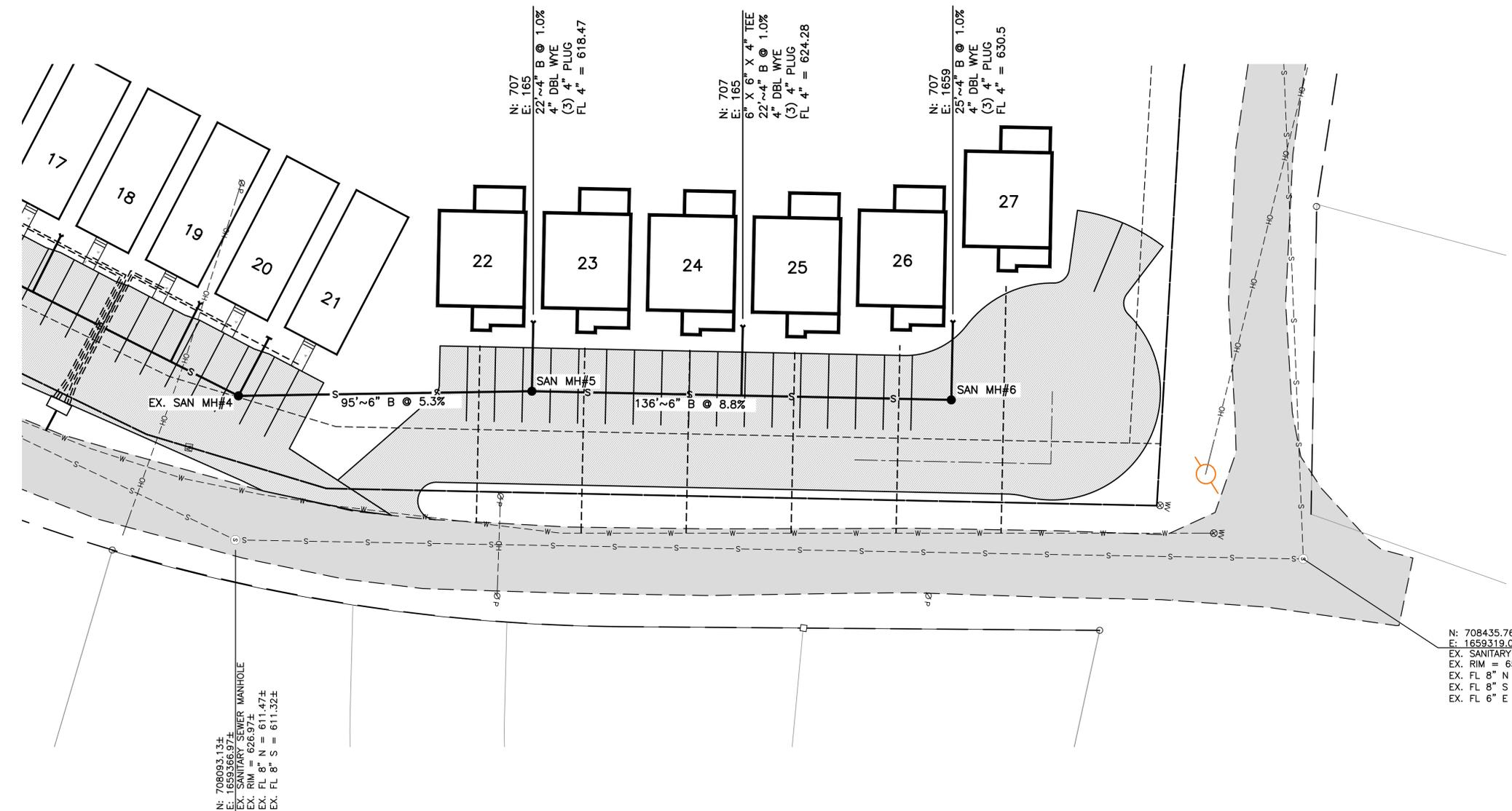
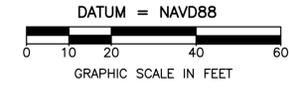
SANITARY MANHOLE #1 N: 707546.70 E: 1659190.67 TOP = 619.05 FL 6" W = 607.46 EX. FL 8" N&S = 607.38±	SANITARY MANHOLE #2 N: 707561.51 E: 1659149.76 TOP = 614.80 FL 6" E&N = 607.72	SANITARY MANHOLE #3 N: 707803.23 E: 1659230.20 TOP = 612.75 FL 6" N&S = 609.24	SANITARY MANHOLE #4 N: 708086.87 E: 1659320.91 TOP = 623.35 FL 6" S = 611.02 FL 4" W = 612.52
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LEGEND



N: 707778.73±
E: 1659222.66±
EX. SANITARY SEWER MANHOLE
EX. RIM 8" N = 608.56±
EX. FL 8" S = 608.44±
EX. FL 6" E = 609.31±

N: 708093.13±
E: 1659366.97±
EX. SANITARY SEWER MANHOLE
EX. RIM = 626.97±
EX. FL 8" N = 611.47±
EX. FL 8" S = 611.32±



N: 708093.13±
 E: 1659366.97±
 EX. SANITARY SEWER MANHOLE
 EX. RIM = 626.97±
 EX. FL 6" N = 611.47±
 EX. FL 6" S = 611.32±

N: 708435.76±
 E: 1659319.00±
 EX. SANITARY SEWER MANHOLE
 EX. RIM = 659.28±
 EX. FL 8" N = 648.31±
 EX. FL 8" S = 6647.98±
 EX. FL 6" E = 654.38±

CISTERN

PROVIDE A 700 GALLON CISTERN FOR EACH UNIT TO BE USED AS IRRIGATION WATER. DIRECT ALL ROOF DRAINAGE TO THE CISTERN.

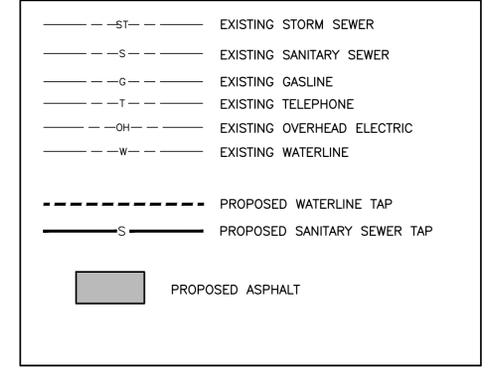
WATERLINE SERVICE TAP DATA

- BLDG #22**
 N: 708161.61
 E: 1659292.71
 57'~1" COPPER WL
- BLDG #23**
 N: 708195.29
 E: 1659288.09
 60'~1" COPPER WL
- BLDG #24**
 N: 708228.98
 E: 1659283.47
 59'~1" COPPER WL
- BLDG #25**
 N: 708262.66
 E: 1659278.85
 58'~1" COPPER WL
- BLDG #26**
 N: 708295.95
 E: 1659271.35
 61'~1" COPPER WL
- BLDG #27**
 N: 708326.95
 E: 1659247.15
 80'~1" COPPER WL

SANITARY STRUCTURE DATA

- EX. SANITARY MANHOLE #4**
 N: 708086.87
 E: 1659320.91
 EX. TOP = 623.35
 EX. FL 6" S = 611.02
 EX. FL 4" W = 612.52
 PROP. FL 6" NW = 613.0
- SANITARY MANHOLE #5**
 N: 708180.52
 E: 1659304.58
 TOP = 6
 FL 6" N&SE = 618.0
 FL 4" W = 618.25
- SANITARY MANHOLE #6**
 N: 708315.14
 E: 1659286.12
 TOP = 65
 FL 6" S = 630.0
 FL 4" W = 630.25

LEGEND



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