

Apple Valley Simple Lot Subdivision Application

Fee:

Applicant Full Name: Timothy Polishook / Back Country Holdings, LLC

Mailing Address: [REDACTED] City: San Francisco State: [REDACTED] Zip: [REDACTED]

Phone Number: [REDACTED] Email Address: [REDACTED]

Authorized Agent (if applicable): Thomas C Timpson

Property Address: East Ranch Road City: Apple Valley State: UT Zip: 84737

Tax ID Number: AV-1365-J

Current Zoning Designation: Agriculture 5 (A-5)

Require Conditions

As per Apple Valley Subdivisions § 11.02.050(D), for a proposed subdivision to qualify for simple lot subdivision approval, the proposed simple lot subdivision shall:

- Be for a single-family dwelling or dwellings and any associated accessory dwelling.
- Be located on property zoned for such use.
- Contain no more than ten (10) lots.
- Not contain any legislative approval, such as a zone change or text amendment request. Any legislative approval necessary for the simple lot subdivision to meet all requirements shall be pursued separately and shall be completed before the Planning Commission may review the simple lot subdivision application.
- Not be traversed by the mapped lines of a proposed street as shown in the general plan unless the Town has approved the location and dedication of any public street, municipal utility easement, any other easement, or any other land for public purposes as the municipality's ordinances require.
- Conform to all applicable land use ordinances. A property that has previously obtained a variance shall be deemed to conform as it relates to the conflict that had necessitated the variance.

Submittal Requirements

An applicant shall submit an application to the Town for a Simple Lot Subdivision that includes, at a minimum, each of the following (*Apple Valley Subdivisions § 11.02.050(E)*):

- A current title report showing ownership by the applicant. [See Attached Deed](#)
 - Name of the applicant or authorized agent and contact information.
 - Property address, acreage, boundary, and tax identification number.
 - Date, scale, and North arrow.
 - Vicinity map showing the property's location relative to municipal boundaries and roads that serve the property.
 - A statement containing the zone, lot size, and amount of frontage along a public street for each proposed lot.
 - A metes and bound description of the property proposed to be subdivided.
 - ✓ A subdivision name.
 - A record of survey map, showing each new lot, which includes the following details:
 - The location of survey by quarter section and township range.
 - The date of survey.
 - The scale of the drawing and North point.
 - The distance course of all lines traced or established, giving the basis of bearing and the distance and course to two or more section corners or quarter corners, including township and range, or to identified monuments within a recorded subdivision.
 - All measured bearings, angles, and distances separately indicated from those of record.
 - A written boundary description of property surveyed.
 - All monuments set and their relation to older monuments found.
 - A detailed description of monuments found and monuments set, indicated separately.
 - The surveyor's seal or stamp.
 - The surveyor's business name and address.
 - A written narrative that explains and identifies:
 - The purpose of the survey.
 - The basis on which the lines were established.
 - The found monuments and deed elements that controlled the established or reestablished lines.
- N/A If the narrative is a separate document, it shall contain:

- The location of the survey by quarter section and by township and range.
 - The date of the survey.
 - The surveyor's stamp or seal.
 - The surveyor's business name and address.
- N/A The map and narrative shall be referenced to each other if they are separate documents.
- N/A The map and narrative shall be created on material of a permanent nature on stable base reproducible material in the sizes required by the county surveyor.

Site Specific Contents

The following documents shall accompany the simple lot subdivision application when deemed necessary by the Town Engineer (*Apple Valley Subdivisions § 11.02.050 (F)*):

- Soils Report: The applicant shall provide a detailed soils report addressing the following issues for the subdivision: hill stabilization, road design, foundation design, groundwater impacts, and general soil stability. The report must be stamped and signed by a Civil Engineer licensed in the state of Utah.
- Storm Water Plan: The applicant shall provide a detailed storm water plan for the subdivision. This plan shall include all calculations showing that it meets all applicable codes, standards, and specifications. Plans and calculations shall be stamped and signed by a civil engineer licensed in the state of Utah.
- Other Hazard Information: This may include FEMA floodplain information or other information to mitigate natural hazards.

(For Office Use Only)

Date Received: _____ Date Paid: _____

Preliminary Review

The applicant shall submit the application and all required contents. The Town will check for completeness. If not all materials have been submitted, the application should be returned to the applicant until all required contents are included (*Apple Valley Subdivisions § 11.02.050(G)(2)*).

Date of Completion Determination: _____

Administrative Review

Once the application is deemed to be complete, the Town shall complete a review of the simple subdivision application and Subdivision Improvement Plans and determine whether the application meets all requirements. If the application is found to meet all codes, standards, and specifications, Town staff shall forward the application on to the Planning Commission (*Apple Valley Subdivisions § 11.02.050(G)(3)*).

Date of Administrative Review Completion: _____

Administrative Recommendation to Planning Commission:

Planning Commission Review

The Planning Commission shall hold a public hearing on the application and approve or deny the simple lot subdivision application (*Apple Valley Subdivisions § 11.02.050(G)(4)*).

Date of Public Hearing: _____

Date of Planning Commission Decision: _____

- Approved
- Denied

Filing Date of the Record of Survey: _____

TCT ENGINEERING



BACK COUNTRY SUBDIVISION
DEVELOPMENT PLAN FOR
BACK COUNTRY HOLDINGS LLC

PARCEL # AV-1365-J
LOCATED IN THE E 1/4 NE 1/4 OF SECTION 14, T13S, R11W, S18&M, APPLE VALLEY, WASHINGTON COUNTY, UT

REVISIONS

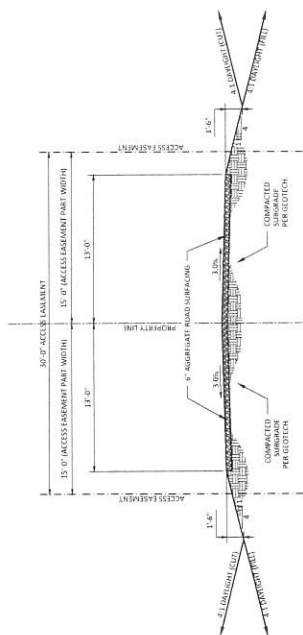
NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		

PROJECT	2022/11
DESIGNED BY	THOMAS CAMPBELL
CHECKED BY	TCT
DATE PLOTTED	
DATE PRINTED	
DATE	3/13/24
SHEET	

STREET X SECTIONS

C2.1

STREET X SECTIONS



PROPOSED ACCESS ROAD SECTION - 45' EASEMENT

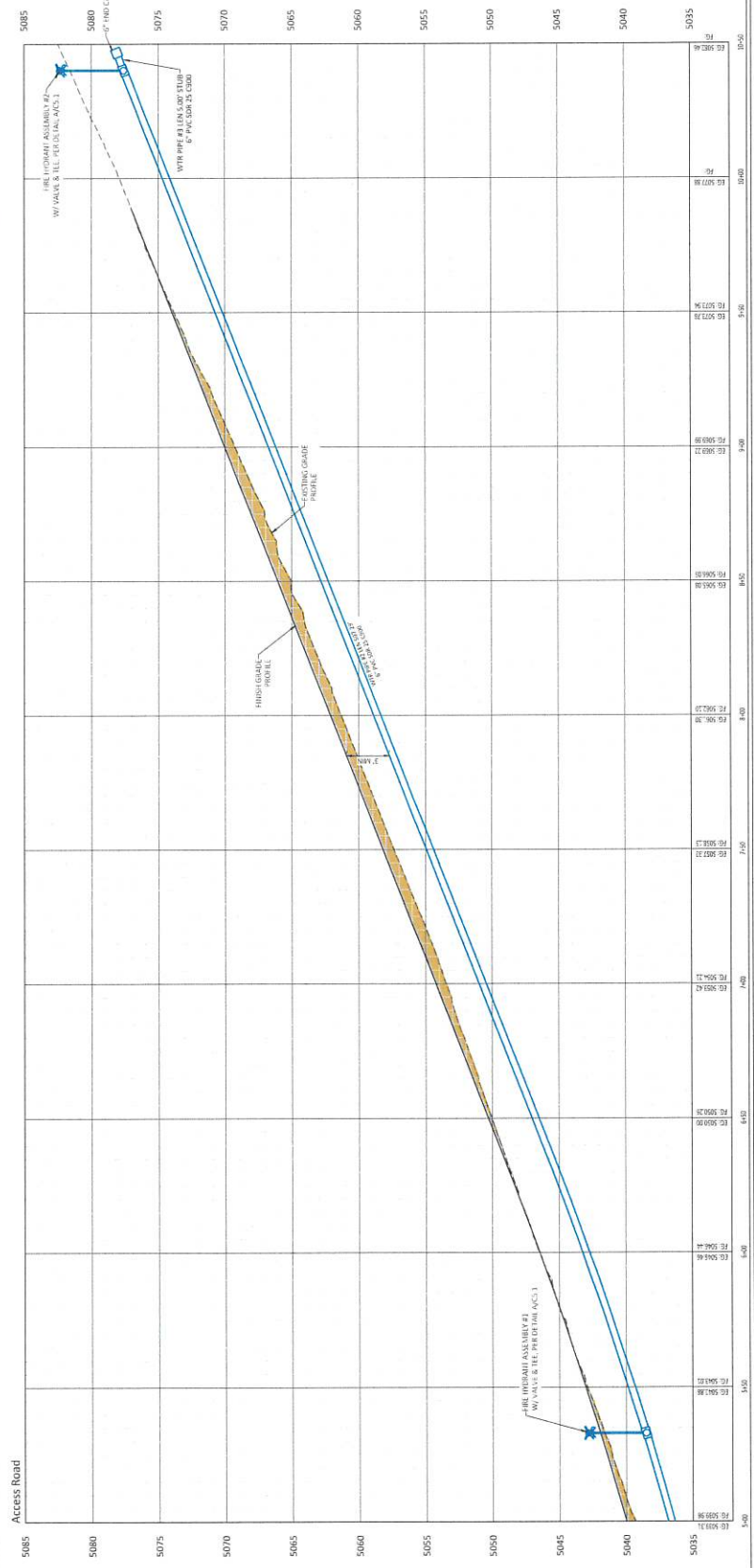
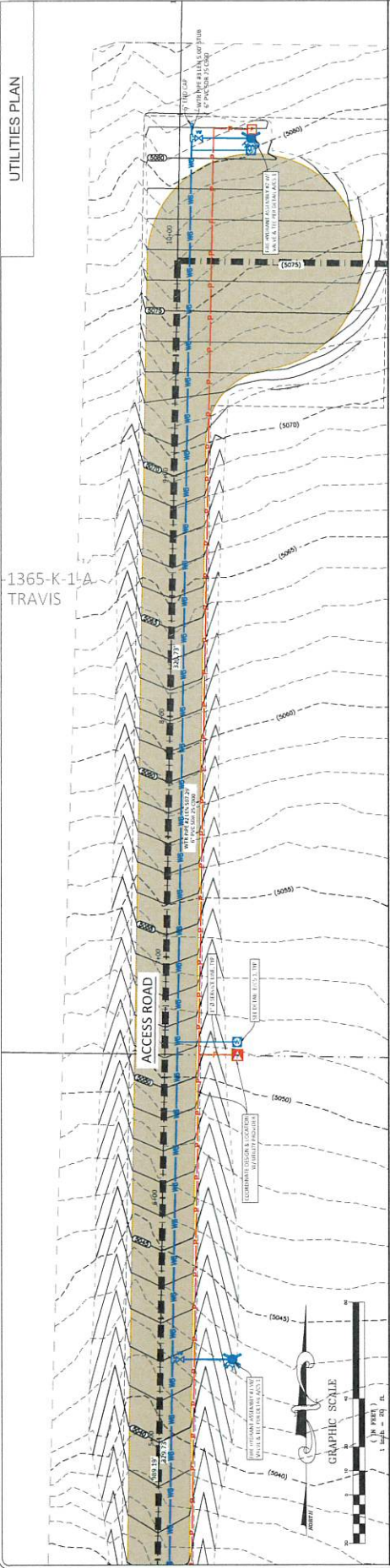


REVISIONS	
NO.	DATE
1	2/20/2018

DATE PLOTTED:	2/20/2018
DATE PRINTED:	2/20/2018
DATE CHECKED:	TCT
DATE APPROVED:	TCT
DATE:	2/20/2018

UTILITIES PLAN

1365-K-1-A
TRAVIS



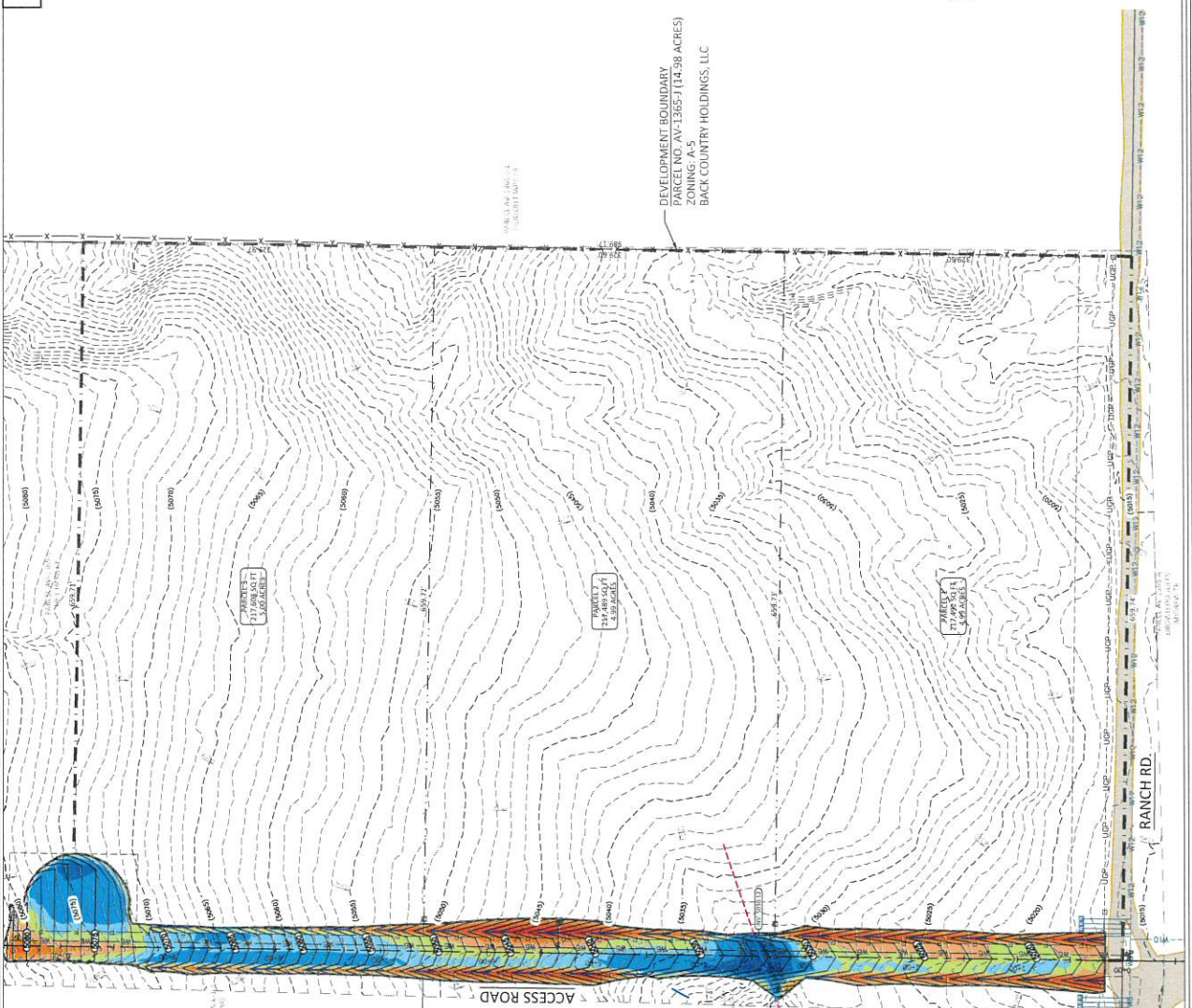
GRADING & DRAINAGE PLAN

BACK COUNTRY SUBDIVISION	
Structure / Elevation	17
Area	1.27 AC
Existing Ground to Finish Grade	1.06 CT (4.1)
Structure / Elevation	1.05 CT (4.1)
Area	1.05 CT (4.1)
Structure / Elevation	1.05 CT (4.1)
Area	1.05 CT (4.1)
Structure / Elevation	1.05 CT (4.1)
Area	1.05 CT (4.1)
Structure / Elevation	1.05 CT (4.1)
Area	1.05 CT (4.1)

NET GRADING (CUT/FILL)
 CUT/FILL VOLUMES (CUBIC FEET)
 CUT: 11,500
 FILL: 11,500

These volumes are approximate based on the information provided.

Structure	Structure Elevation	Structure Elevation	Area
1	11.00	11.00	11.00
2	11.00	11.00	11.00
3	11.00	11.00	11.00
4	11.00	11.00	11.00
5	11.00	11.00	11.00
6	11.00	11.00	11.00
7	11.00	11.00	11.00
8	11.00	11.00	11.00
9	11.00	11.00	11.00
10	11.00	11.00	11.00
11	11.00	11.00	11.00
12	11.00	11.00	11.00
13	11.00	11.00	11.00



LINE & SYMBOLS LEGEND

- DEVELOPMENT BOUNDARY
- UTILITY / DRAINAGE EASEMENT
- EXISTING GROUND CONTOUR
- PROPOSED GROUND CONTOUR
- STORM DRAIN PIPE
- RUNOFF FLOW LINE
- RUNOFF DIRECTION
- RETAINING WALL

GRAPHIC SCALE
 1 inch = 50 feet

REVISIONS

REV	DATE	DESCRIPTION
1	10/24/2024	ISSUED FOR PERMIT

PROJECT NO: 2400713
 DRAWN BY: TCT
 CHECKED BY: TCT
 DATE: 3/13/24

GRADING & DRAINAGE PLAN CUT-FILL

C3.1A

BACK COUNTRY SUBDIVISION
 DEVELOPMENT PLAN FOR
 BACK COUNTRY HOLDINGS LLC
 PARCEL # AV-1365-J
 LOCATED IN THE NE 1/4 NE 1/4 OF SECTION 14, T35S, R11W, S18RM, APPE VALLEY, WASHINGTON COUNTY, UT

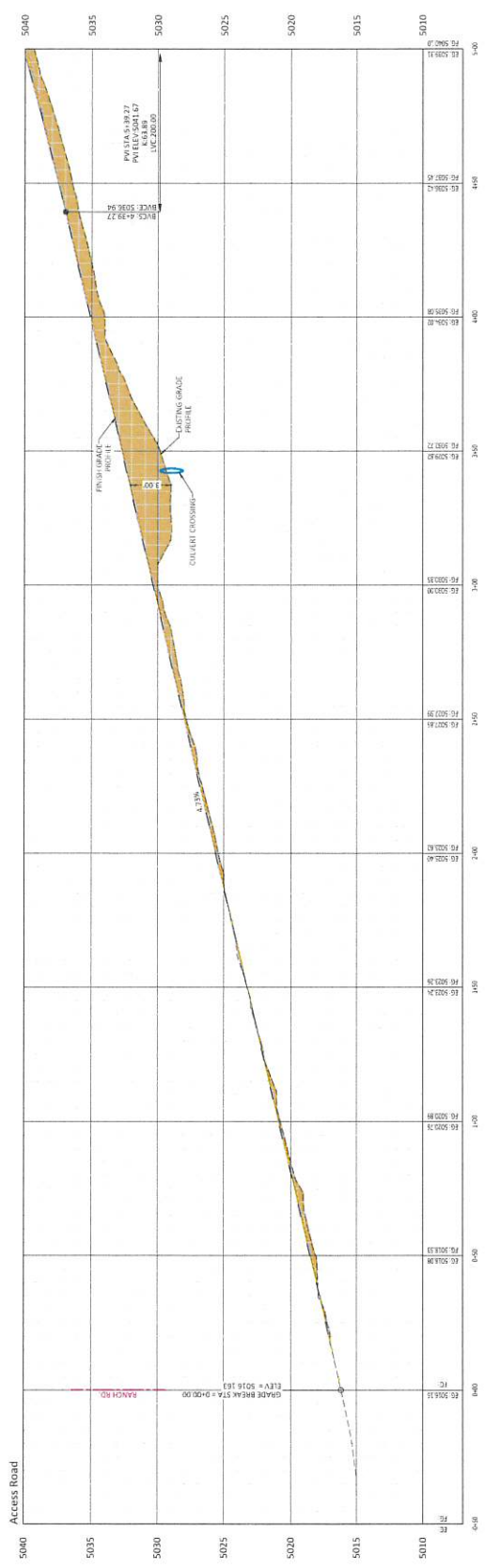
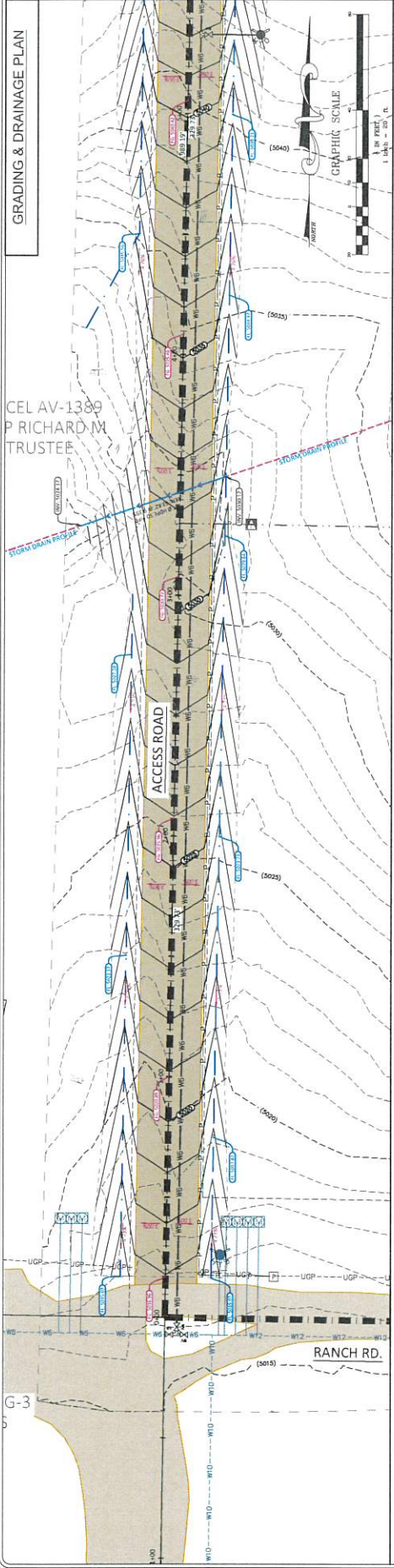




REVISIONS	
NO.	DATE

PROJECT NO.	2400115
DATE	2/20/2024
DESIGNED BY	TC
DRAWN BY	TC
CHECKED BY	TC
SCALE	3/16" = 1'

ACCESS ROAD
PLAN &
PROFILE
C3.2



TCT ENGINEERING



BACK COUNTRY SUBDIVISION
DEVELOPMENT PLAN FOR
BACK COUNTRY HOLDINGS LLC

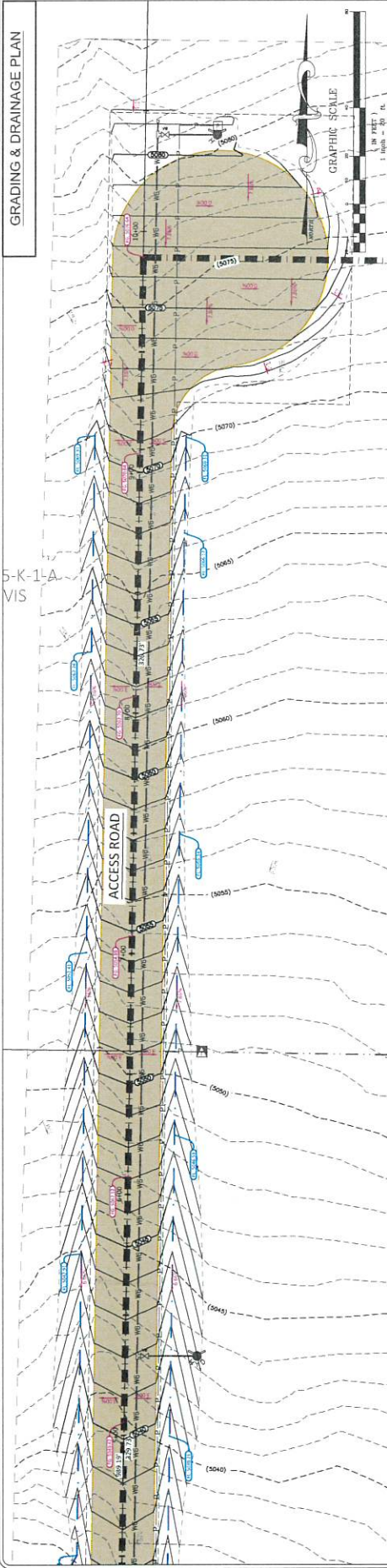
LOCATED IN THE NE 1/4 NE 1/4 OF SECTION 14, T4S, R11W, S18M, APRLE VALLEY, WASHINGTON COUNTY, UT

REVISIONS	
REV.	DATE

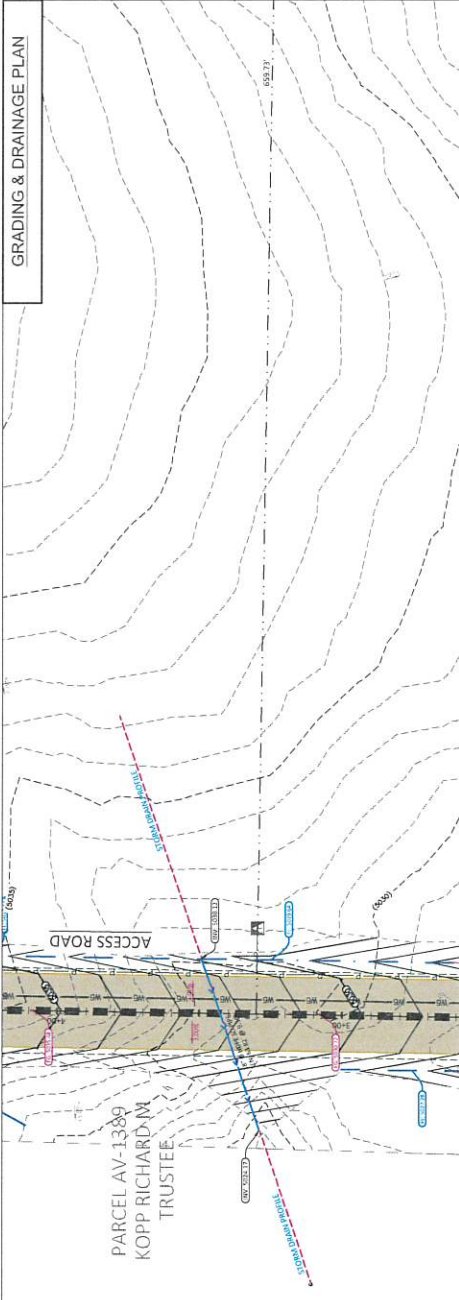
PROJECT NO.	200715
CAD FILE	1504-030
DRAWN BY	TCT
CHECKED BY	TCT
DATE	3.13.20

ACCESS ROAD
PLAN &
PROFILE
C3.3

GRADING & DRAINAGE PLAN



GRADING & DRAINAGE PLAN



TCT ENGINEERING
1100 S. 1000 E. SUITE 100
MOUNTAIN VIEW, UTAH 84040
PHONE: 435.734.4444
WWW.TCTENGINEERING.COM

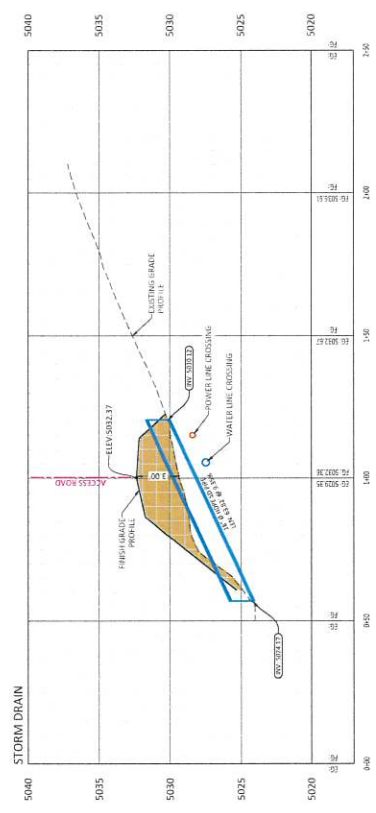


BACK COUNTRY SUBDIVISION
DEVELOPMENT PLAN FOR
BACK COUNTRY HOLDINGS LLC
PARCEL # AV-1365-J
LOCATED IN THE NE 1/4 NE 1/4 OF SECTION 14, T4S, R13W, S18M, APRLE VALLEY, WASHINGTON COUNTY, UT

REV.	DATE	DESCRIPTION

PROJECT NO.: 240715
DRAWING TITLE: STORM DRAIN PLAN & PROFILE
DESIGNED BY: TCT
CHECKED BY: TCT
DATE: 3.13.20

STORM DRAIN
PLAN &
PROFILE
C3.4



GRADING & DRAINAGE PLAN

TCT ENGINEERING



BACK COUNTRY SUBDIVISION
 DEVELOPMENT PLAN FOR
 BACK COUNTRY HOLDINGS LLC
 PARCEL # AV-1365-J
 LOCATED IN THE NE 1/4 NE 1/4 OF SECTION 14, T45S, R11W, S18&M, APPLE VALLEY, WASHINGTON COUNTY, UT

REVISIONS

NO.	DATE	DESCRIPTION
1	05/04/2018	
2		
3		
4		
5		

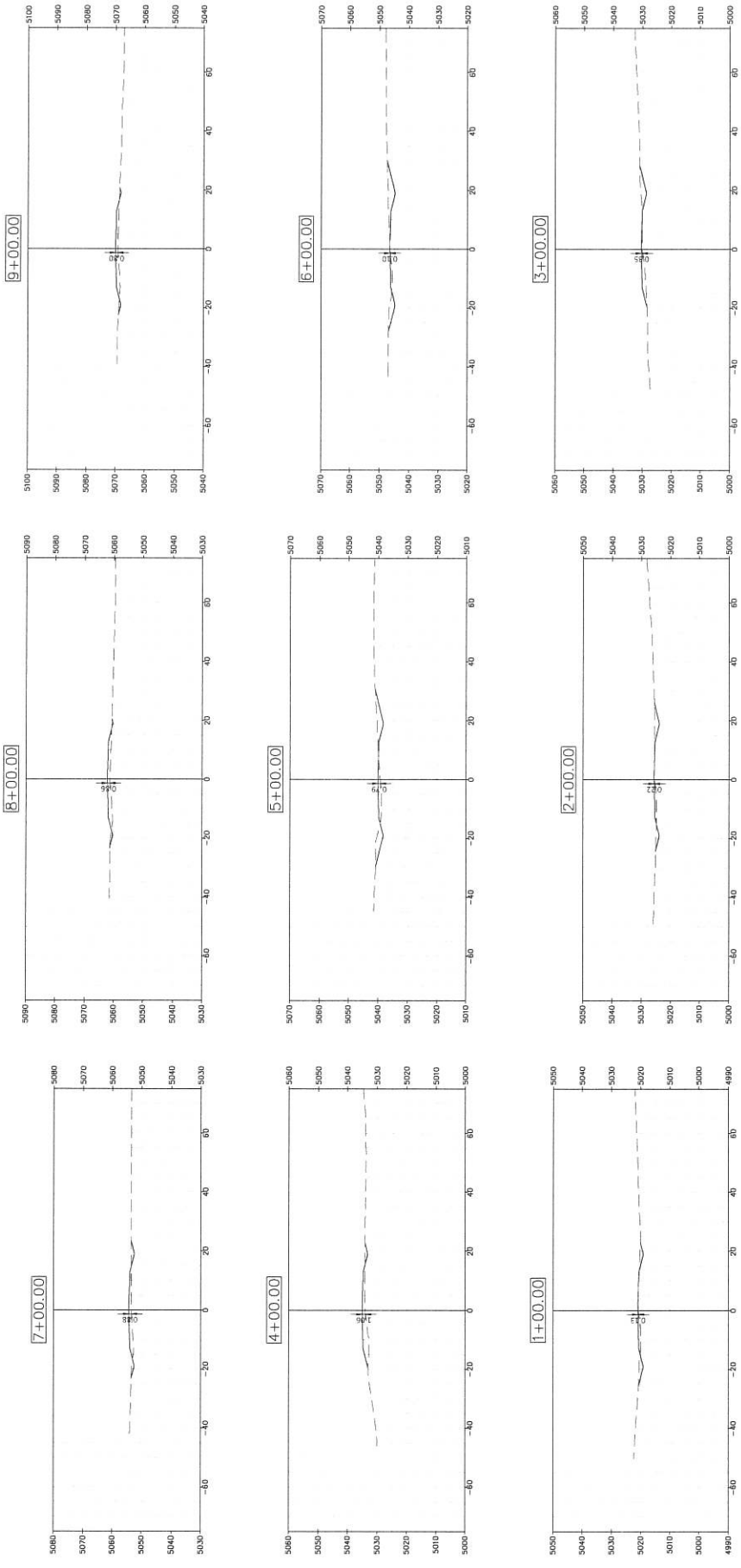
PROJECT INFORMATION

PROJECT NO.	140775
DATE	05/04/2018
DESIGNER	TCT
CLIENT	TCT
SCALE	AS SHOWN
SHEET	3 OF 26

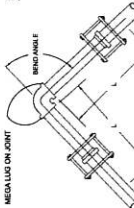
SECTIONS

C3.5

NOT TO SCALE



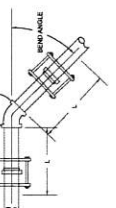
HORIZONTAL BEND



RESTRAINED LENGTHS, " (IN FEET)

BEND ANGLE	4"	6"	8"	10"	12"	14"	16"	18"	20"
11.25°	8	9	10	11	12	13	14	15	16
22.5°	8	9	10	11	12	13	14	15	16
33.75°	8	9	10	11	12	13	14	15	16
45°	8	9	10	11	12	13	14	15	16
56.25°	8	9	10	11	12	13	14	15	16
67.5°	8	9	10	11	12	13	14	15	16
78.75°	8	9	10	11	12	13	14	15	16
90°	8	9	10	11	12	13	14	15	16

VERTICAL DOWN BEND

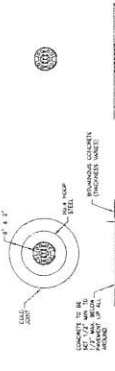


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22.5°	8	9	10	11	12	13	14	15	16
33.75°	8	9	10	11	12	13	14	15	16
45°	8	9	10	11	12	13	14	15	16
56.25°	8	9	10	11	12	13	14	15	16
67.5°	8	9	10	11	12	13	14	15	16
78.75°	8	9	10	11	12	13	14	15	16
90°	8	9	10	11	12	13	14	15	16

JOINT RESTRAINT - BEND

1. ALL JOINTS WITH RESTRAINTS MUST BE RESTRAINED. USE REINFORCING BARS WITH POLYURETHANE SHEET FOR CITY INSPECTION. RESTRAINTS MUST BE USED ON ALL RESTRAINED JOINTS.



RESTRAINED LENGTHS, " (IN FEET)

RESTRAINT	4"	6"	8"	10"	12"	14"	16"	18"	20"
1	8	9	10	11	12	13	14	15	16
2	8	9	10	11	12	13	14	15	16
3	8	9	10	11	12	13	14	15	16
4	8	9	10	11	12	13	14	15	16
5	8	9	10	11	12	13	14	15	16
6	8	9	10	11	12	13	14	15	16
7	8	9	10	11	12	13	14	15	16
8	8	9	10	11	12	13	14	15	16
9	8	9	10	11	12	13	14	15	16
10	8	9	10	11	12	13	14	15	16

PORTLAND CEMENT CONCRETE PAVEMENT



RESTRAINED LENGTHS, " (IN FEET)

RESTRAINT	4"	6"	8"	10"	12"	14"	16"	18"	20"
1	8	9	10	11	12	13	14	15	16
2	8	9	10	11	12	13	14	15	16
3	8	9	10	11	12	13	14	15	16
4	8	9	10	11	12	13	14	15	16
5	8	9	10	11	12	13	14	15	16
6	8	9	10	11	12	13	14	15	16
7	8	9	10	11	12	13	14	15	16
8	8	9	10	11	12	13	14	15	16
9	8	9	10	11	12	13	14	15	16
10	8	9	10	11	12	13	14	15	16

COVER COLLAR FOR WATER VALVE BOX



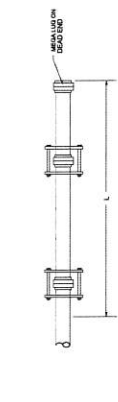
RESTRAINED LENGTHS, " (IN FEET)

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1	8	9	10	11	12	13	14	15	16
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4	8	9	10	11	12	13	14	15	16
5	8	9	10	11	12	13	14	15	16
6	8	9	10	11	12	13	14	15	16
7	8	9	10	11	12	13	14	15	16
8	8	9	10	11	12	13	14	15	16
9	8	9	10	11	12	13	14	15	16
10	8	9	10	11	12	13	14	15	16

WATER VALVE BOX COVER COLLAR - APWA 574

1. ALL JOINTS WITH RESTRAINTS MUST BE RESTRAINED. USE REINFORCING BARS WITH POLYURETHANE SHEET FOR CITY INSPECTION. RESTRAINTS MUST BE USED ON ALL RESTRAINED JOINTS.

RESTRAINED JOINT LENGTHS USAGE GENERAL NOTES



RESTRAINED LENGTHS, " (IN FEET)

RESTRAINT	4"	6"	8"	10"	12"	14"	16"	18"	20"
1	8	9	10	11	12	13	14	15	16
2	8	9	10	11	12	13	14	15	16
3	8	9	10	11	12	13	14	15	16
4	8	9	10	11	12	13	14	15	16
5	8	9	10	11	12	13	14	15	16
6	8	9	10	11	12	13	14	15	16
7	8	9	10	11	12	13	14	15	16
8	8	9	10	11	12	13	14	15	16
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RESTRAINED JOINT LENGTHS USAGE GENERAL NOTES



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4	8	9	10	11	12	13	14	15	16
5	8	9	10	11	12	13	14	15	16
6	8	9	10	11	12	13	14	15	16
7	8	9	10	11	12	13	14	15	16
8	8	9	10	11	12	13	14	15	16
9	8	9	10	11	12	13	14	15	16
10	8	9	10	11	12	13	14	15	16

JOINT RESTRAINT - DEAD END

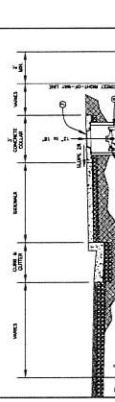
1. ALL JOINTS WITH RESTRAINTS MUST BE RESTRAINED. USE REINFORCING BARS WITH POLYURETHANE SHEET FOR CITY INSPECTION. RESTRAINTS MUST BE USED ON ALL RESTRAINED JOINTS.



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3	8	9	10	11	12	13	14	15	16
4	8	9	10	11	12	13	14	15	16
5	8	9	10	11	12	13	14	15	16
6	8	9	10	11	12	13	14	15	16
7	8	9	10	11	12	13	14	15	16
8	8	9	10	11	12	13	14	15	16
9	8	9	10	11	12	13	14	15	16
10	8	9	10	11	12	13	14	15	16

RESTRAINED JOINT LENGTHS USAGE GENERAL NOTES



RESTRAINED LENGTHS, " (IN FEET)

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4	8	9	10	11	12	13	14	15	16
5	8	9	10	11	12	13	14	15	16
6	8	9	10	11	12	13	14	15	16
7	8	9	10	11	12	13	14	15	16
8	8	9	10	11	12	13	14	15	16
9	8	9	10	11	12	13	14	15	16
10	8	9	10	11	12	13	14	15	16

3/4" WATER METER W/ 1" SERVICE LINE



RESTRAINED LENGTHS, " (IN FEET)

RESTRAINT	4"	6"	8"	10"	12"	14"	16"	18"	20"
1	8	9	10	11	12	13	14	15	16
2	8	9	10	11	12	13	14	15	16
3	8	9	10	11	12	13	14	15	16
4	8	9	10	11	12	13	14	15	16
5	8	9	10	11	12	13	14	15	16
6	8	9	10	11	12	13	14	15	16
7	8	9	10	11	12	13	14	15	16
8	8	9	10	11	12	13	14	15	16
9	8	9	10	11	12	13	14	15	16
10	8	9	10	11	12	13	14	15	16

JOINT RESTRAINT - DEAD END

1. ALL JOINTS WITH RESTRAINTS MUST BE RESTRAINED. USE REINFORCING BARS WITH POLYURETHANE SHEET FOR CITY INSPECTION. RESTRAINTS MUST BE USED ON ALL RESTRAINED JOINTS.

RESTRAINED JOINT LENGTHS USAGE GENERAL NOTES



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3	8	9	10	11	12	13	14	15	16
4	8	9	10	11	12	13	14	15	16
5	8	9	10	11	12	13	14	15	16
6	8	9	10	11	12	13	14	15	16
7	8	9							



1777 North Meadowlark Drive, Apple Valley, Utah 84737
Phone: 435-877-1190 Fax: 435-877-1192
www.applevalleyut.gov

Date: March 23, 2026

NOTICE OF PUBLIC HEARING

Parcel ID: AV-1365-J

Address: Its approximate location is: Near the intersection of 2050 E and Ranch Rd, Apple Valley, UT 84737

Re: Proposed Simple Lot Split Subdivision Application

Dear Property Owner,

In accordance with Utah Code and applicable Apple Valley ordinances, notice is hereby given that an application has been submitted to the Town of Apple Valley for a proposed simple lot split subdivision, creating two new parcels.

PUBLIC HEARING DETAILS

The Apple Valley Planning Commission will hold a **public hearing** to receive comments and consider the proposed simple lot split subdivision application on:

Date: Wednesday, April 8, 2026

Time: 6:00 PM

Location: Apple Valley Town Hall
1777 N Meadowlark Dr, Apple Valley, UT 84737

Purpose of Hearing:

To review and receive public input.

How to Participate:

You are invited to attend the hearing in person or submit written comments in advance. Written comments may be emailed to: **clerk@applevalleyut.gov** or mailed to the address above and must be received prior to the hearing.

If you wish to object to the proposed amendment, you must submit your written objection within **10 days** of the date of this notice. Objections may also be made during the hearing.

For questions or to review the petition and associated materials, please contact the Town Clerk's Office at (435) 877-1190 or by email.

Sincerely,

Jenna Vizcardo

Town Recorder

Town of Apple Valley

Town of Apple Valley

1777 N. Meadowlark Dr.
Apple Valley UT 84737

STATEMENT

DATE	NUMBER
03/18/2026	114968

Account No: 853

Contact: Back Country Holdings

Terms: Net 30

Bill To: Back Country Holdings
66 Nordhoff St
San Francisco CA 94131

DESCRIPTION	QTY	AMOUNT
Lot Split Application (AV-1365-J - 2 new parcels @\$800 each)	0	1,600.00
		Amount Due: \$1,600.00